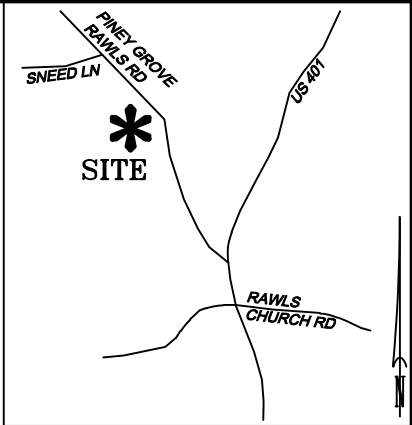
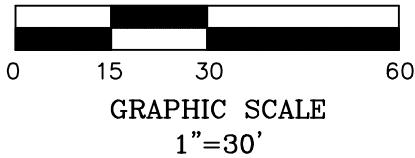


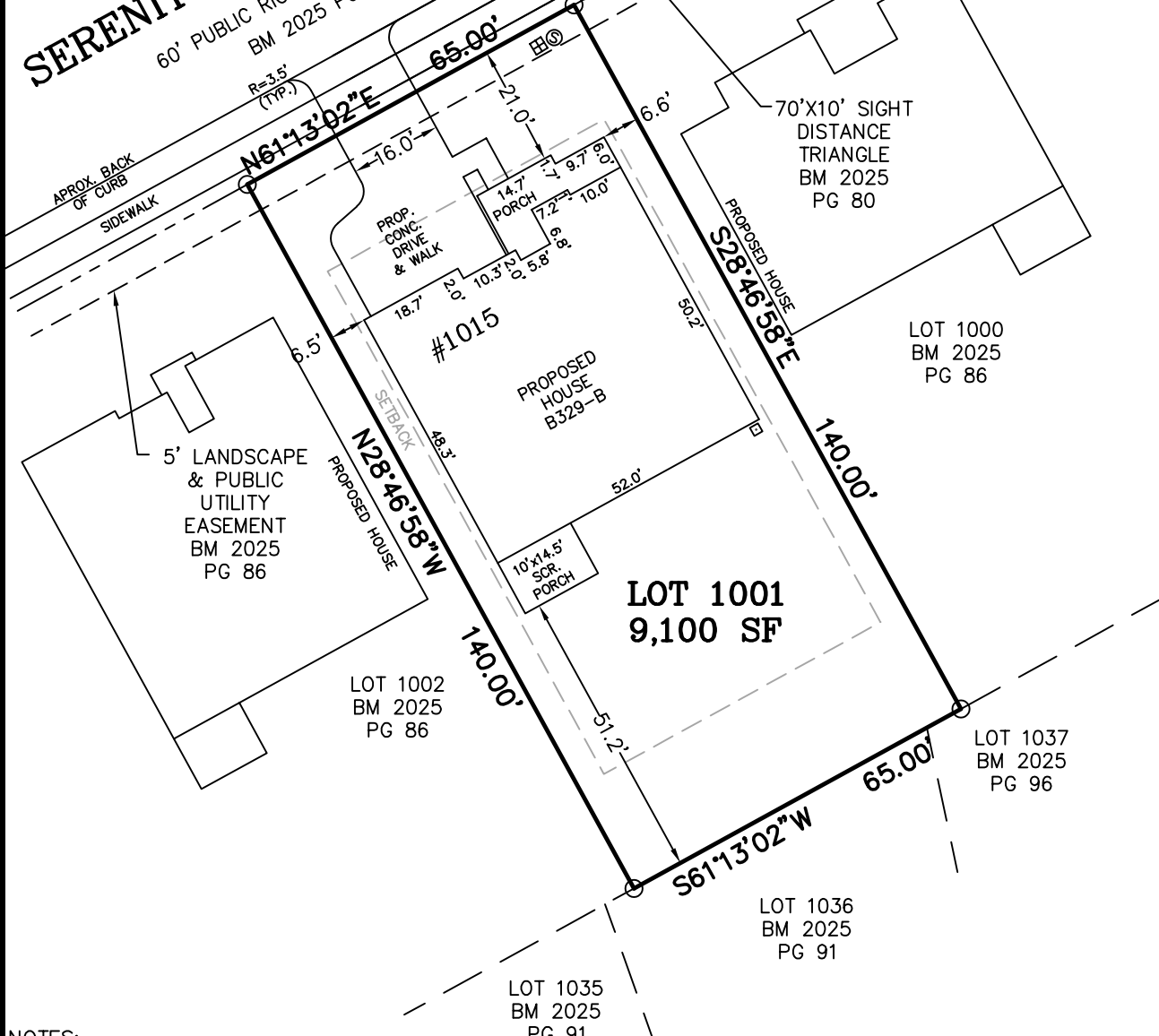
**LEGEND**

- MATHEMATICAL POINT
- CONTROL CORNER
- ▣ WATER METER
- ⊙ SEWER CLEAN OUT
- ⊗ FIRE HYDRANT



VICINITY MAP (NTS)

**SERENITY WALK PARKWAY**  
 60' PUBLIC RIGHT OF WAY & UTILITY  
 BM 2025 PG 86



**NOTES:**

- REFERENCE HARNETT CO. BM 2025, PG 83-86 FOR BOUNDARY INFORMATION, NORTH INDEX & TIE LINES TO SUBDIVISION CONTROL CORNERS.
- ZONED: RA-30, RA-40, & CONSERVATION.
- SETBACKS, PER BM 2025 PG 83:  
 43' LOT WIDTH:  
 FRONT YARD-20', SIDE YARD-4' & 4' OR 0' & 8', REAR YARD-20', CORNER YARD-12'.  
 >43' LOT WIDTH:  
 FRONT YARD-20', SIDE YARD-5', REAR YARD-20', CORNER YARD-12'.
- PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AS SCALED FROM THE NFIP FIRM No. 3720065500L (EFFECTIVE DATE: JULY 19, 2022).

MAXIMUM BUILT-UPON AREA-3,600 SF

TOTAL ESTIMATED IMPERVIOUS-3,584 SF	
SITE	SQ. FT.
HOUSE	2,710
DRIVEWAY	677
LEAD WALK	43
SCR. PORCH	145
A/C PAD	9

**PERMIT PLAN LOT: 1001**

SERENITY SUBDIVISION, PHASE 3A  
 HECTOR'S CREEK TOWNSHIP, HARNETT COUNTY, NC

SURVEYED FOR  
**DAVID WEEKLEY HOMES**  
 1901 N. HARRISON AVENUE, SUITE 200  
 CARY, NC 27513

I HEREBY CERTIFY THAT THE BUILDING WILL LIE WHOLLY ON THE LOT. THIS PLAT IS OF AN EXISTING PARCEL OF LAND. THIS IS NOT A SURVEY AND NOT FOR RECORDATION PURPOSES.



**MSS LAND CONSULTANTS, PC**  
 "Committed to Total Quality Service"  
 Firm License: C-2070  
 E S T. 1 9 9 8

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 (Suite E) Fax (919) 510-9102  
 Raleigh, NC 27612 Email: hayesm@mssland.com

**PRELIMINARY PLAN**

MATTHEW A. HAYES, PLS L-4516