

Adams Soil Consulting
1676 Mitchell Road
Angier, NC 27501
919-414-6761

August 8, 2023
Project #1741

Randy Foulke

RE: Preliminary soil/site evaluation for a portion of 2 parcels located adjacent to A D Hall Road in Harnett County, NC (PIN # 9658-53-8952 & 9658-53-3992)

Mr. Foulke,

Adams Soil Consulting (ASC) conducted a preliminary soil evaluation on the above referenced parcel to determine the areas of soils which are suitable for subsurface wastewater disposal systems (conventional & LPP). The evaluation was performed using hand auger borings during moist soil conditions based on the criteria found in the State Subsurface Rules, 15ANCAC 18A .1900 "Laws and Rules for Sewage Treatment and Disposal Systems". From this evaluation, ASC sketched the boundary between the suitable soils and unsuitable soils onto a background map taken from the Harnett County GIS database. Only a portion of the property was evaluated per your request.

The suitable soils shown on the accompanying soil map have potential for a conventional type initial and repair area for at least one 3-bedroom single family home. The combined lots contain greater than 20,000 ft² of provisionally suitable soils that consist of sandy clay loam to clay subsoil that can support a daily loading rate of 0.275-0.6 gallons/day/ft². The soil area identified on the accompanying soil map contained provisionally suitable soils to a depth of 24 inches or more from the existing soil surface. The lot should accommodate a house foot print of at least 80' x 80'.

The specific septic system and/or repair system will be permitted by the Harnett County Health Department. Additionally, the Harnett County Health Department will establish the loading rates for any proposed septic system. The areas for the proposed septic fields shall not be impacted by home sites, pools, garages and shall not be mechanically altered from the natural lay of the land.

The lots will require a detailed soils evaluation by the Harnett County Health Department prior to issuance of any permits for a septic system. A septic system design/layout may be required before a permit can be issued on the above referenced lots demonstrating available space for the primary and repair septic areas. Due to the subjective nature of the permitting process and the variability of naturally occurring soils, Adams Soil Consulting cannot guarantee that areas delineated as suitable for on-site wastewater disposal systems will be permitted by the governing agency. The lots may require a septic system utilizing pumps, shallow or ultra-shallow conventional trench placement, low pressure pipe system, and/or reductions system for final

approval. The accompanying soil map is preliminary in nature, no further assumptions or subdivision should be made without a more detailed evaluation.

If you have any questions regarding the findings on the attached map or in this report, please feel free to contact me anytime. Thank you allowing me to perform this site evaluation for you.

Sincerely,

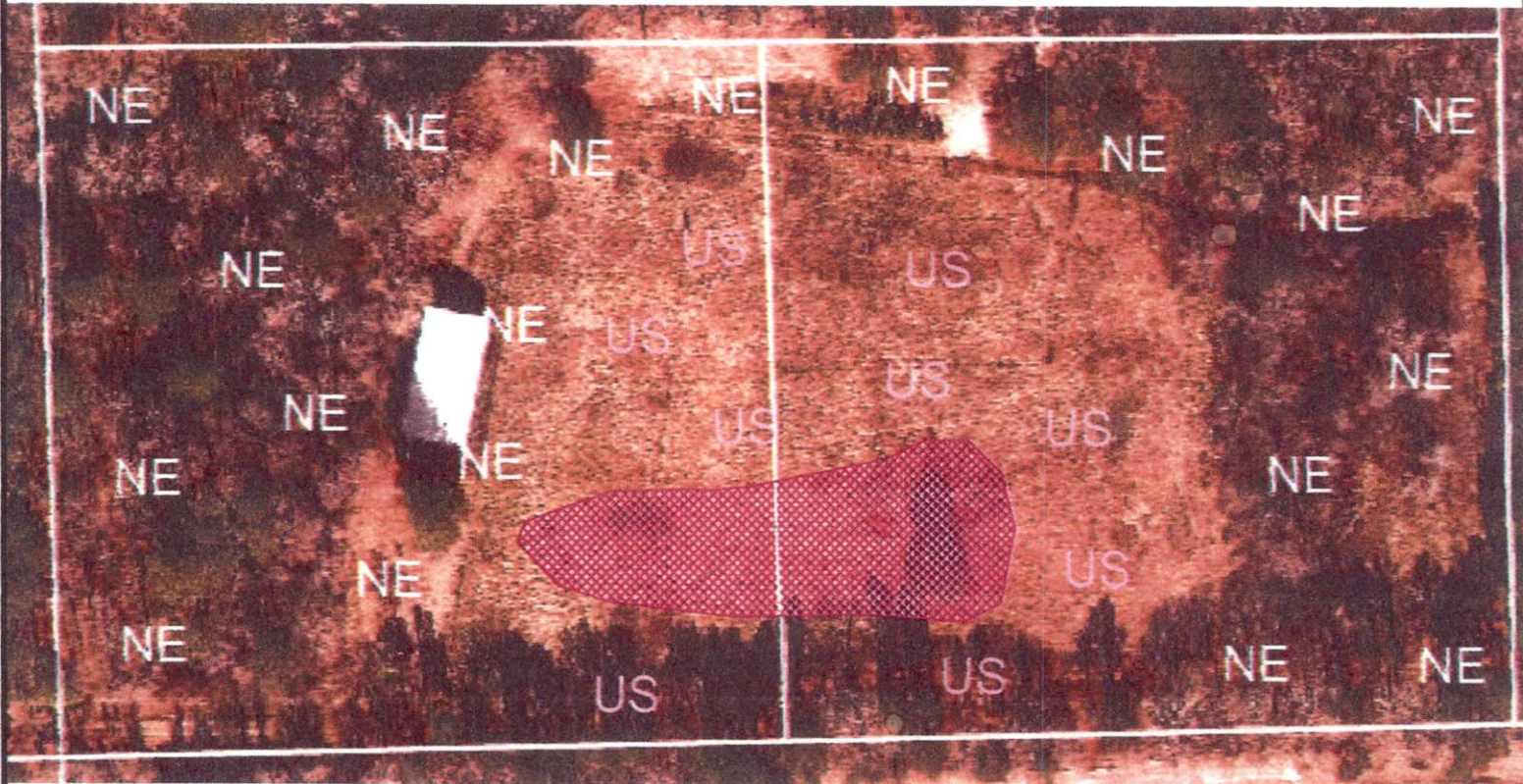


Alex Adams

NC Licensed Soil Scientist #1247



Randy Foulke
Preliminary Soils Evaluation
A D Hall Road
2 Parcels - ~6.4 acres
Harnett County, NC
PIN #s 9568-53-8952 & 9568-53-3992



*Preliminary Soils Evaluation

*Soil boundary was sketched onto a preliminary map of the property taken from public records.

*Not a Survey.

*Septic system setbacks listed below for new lots.

- 1) 10' from property lines.
- 2) 100' from wells for primary systems.
- 3) 50' from surface waters (streams, ponds, lakes).

*Any mechanical disturbances such as grading, cutting and filling of the suitable soil areas can render areas unsuitable for future septic systems.

*See accompanying report for additional information.

*Due to Soil Variability, Adams soil consulting cannot guarantee that the areas shown as suitable will be permitted by the local Health Department.

*Not a Survey
sketched from public records

Legend



Areas contain soils with 30 inches or more of useable soil material and have potential for conventional, modified conventional, LPP or ultra-shallow conventional septic systems. There may be inclusion of soils 24-29 inches to a restrictive horizon that will have potential for LPP septic systems.

US

Unsuitable areas for conventional onsite waste water disposal.

Areas Not Evaluated



GRAPHIC SCALE
1" = 120'



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8-10-23