

As directed by the North Carolina Board of Architecture and Registered Interior Designers, architectural seals are not required for - and should not be placed by NVR on - these plans and specifications. These plans and specifications are prepared solely by, and for the exclusive use of, NVR, Inc. and are solely for a family residence consisting of eight or fewer attached units with grade level exits and which is not part of or physically connected with any other buildings or residential units. NVR, Inc. does not provide any third party the opportunity to customize these plans. The respective drawings contained herein shall be used only as construction assembly drawings by NVR, Inc. and its subcontractors. Any unauthorized use of these plans with the written consent of NVR, Inc. is prohibited.

GRAND BAHAMA

DIV-COMM-LOT-UNIT		
RLH-YK-0106		
COMM-LOT		
KIPLING VILLAGE - 0106		
STREET ADDRESS		APT. NO.
37 ARTESA COURT		----
CITY	STATE	ZIP
FUQUAY VARINA	NC	27526

As directed by the North Carolina Board of Architecture and Registered Interior Designers, architectural seals are not required for – and should not be placed by NVR on – these plans and specifications.

James Bales
05/02/2025



NVR, Inc.
5285 Westview Drive,
Suite 100
Frederick, MD 21703

[illegible]

FIRST FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR / SLAB FOUNDATION (BASE SF)	1330 SF
	1330 SF
GARAGE SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
TWO CAR GARAGE / SLAB FOUNDATION	431 SF
	431 SF
UNFINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
REAR COVERED PORCH (ADD. SF)	140 SF
FRONT COVERED PORCH	25 SF
	165 SF
TOTAL FINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR / SLAB FOUNDATION (BASE SF)	1330 SF
	1330 SF

STRUCTURAL DESIGN CRITERIA

- ALL LOCAL AND STATE CODES
- ROOF LIVE LOAD 20 psf
- ULTIMATE WIND SPEED 130 mph
- WIND EXPOSURE CATEGORY B
- SEISMIC DESIGN CATEGORY A / B

SET NO. - VERSION	SHEET NO.	PAGE NO.
GBH00 - 01	CS-1	
RELEASE NO. ----		

1. These plans and specifications are designed for the exclusive use by NVR, Inc. for the purpose of residential construction. As such, these products are offered for sale in NVR, Inc. communities only. NVR, Inc. is a production homebuilder and does not plan on the opportunity to customize these plans. The respective drawings contained herein in shall only be used as construction assembly drawings by NVR, Inc., and their sub-contractors. Any unauthorized use of these plans without the written permission of NVR, Inc. is prohibited. All standard notes, dimensions, elevation markers and title markers that reference "As" shall be considered "As" for sheet reference.
2. These plans are subjected to modification as necessary to meet code requirements or to facilitate mechanical/plumbing installations or to incorporate design improvements.
3. These plans are not to be scaled for construction purposes. Dimension lines and notes supersede all scale references.
4. Single Family Attached/Detached - Automatic residential fire sprinkler systems shall be installed in accordance with NCBCE F2104 or NFPA 13D where required.
5. This note sheet only covers major code requirements. The plans are intended to conform to all current applicable codes or engineering design in accordance with Section 101.3.

1. This note sheet only covers major code requirements. The plans are intended to conform to all current applicable codes including, but not limited to:

NCRG 2018, NCMC 2018, NCPG 2018, NCFGC 2018, NEC 2020 w/ NC Amendments
NCEC 2018, NCFPC 2018

2. Constr. Type: V-B

3. Max Stories: 3

I. Insulation requirements per 2018 NCRC Chapter II, Energy Efficiency, or Chapter 4 of the 2018 North Carolina Energy Conservation Code (NCECC), or Chapter 4 of the 2015 International Energy Conservation Code (IECC), Residential Energy Efficiency by the prescriptive method. See NVR "Standard Energy Package" for field procedures and details.

CLIMATE ZONE	FENESTRATION U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	FRAME WALL R-VALUE 2x4 / 2x6	FLOOR R-VALUE	BASEMENT WALL R-VALUE UNFIN. / FIN.	SLAB R-VALUE & DEPTH	GRAVL SPACE WALL R-VALUE
3	0.35	0.30	38	15 / 19	19	5 / 15	NA	5 / 15
4	0.35	0.30	38	15 / 19	19	10 / 15	10	10 / 15

- Table of Loads for House Structure. Per Table 301.5

Floor Living Areas

- 40# P.S.F. (Live)
- 10# P.S.F. (Dead) unless noted otherwise by calculations

Floor Sleeping Areas

- 30# P.S.F. (Live) unless noted otherwise by calculations
- 10# P.S.F. (Dead) unless noted otherwise by calculations

Garage Floors

- 50# P.S.F. (Live)
- 50# P.S.F. (Dead)

Roof Areas

- Top Chord
 - 20# P.S.F. (Live)
 - 10# P.S.F. (Dead)
- Bottom Chord
 - 10# P.S.F. (Live) (Attics without storage)
 - 20# P.S.F. (Live) (Attics with limited storage)
 - 10# P.S.F. (Dead)
 - 30# P.S.F. (Live)

Habitable Attics

Trusses

- Areas up to 130 mph ultimate wind speed per Table R301.2(4)
- Exposure category 'B'

Walls

- Areas up to 130 mph ultimate wind speed per Table R301.2(4)

Vult	115 mph	130 mph
Vasd	84 mph	101 mph

Note: Linear interpolation between contour lines permitted.

Stairs

- 40# P.S.F. (Live)
- 10# P.S.F. (Dead)

Allowable deflection of structural members per IRC Table R301.7

Design Codes:

1. National Design specification for Wood Construction by National Forest Products Association.
2. Specification for the Design Fabrication and Erection of Structural Steel for Buildings by American Institute of Steel Construction.

* Where required, Laminated Veneer Lumber may be used per Engineering
 ** Structural Steel - A.S.T.M. A36

5. All plain and reinforced concrete shall comply with requirements in **ACI 318**.
6. Concrete footings shall be poured a maximum 5' slump, 5 bags mix, and 2500 psi minimum strength per **Table R402.2**. Concrete walls shall be poured a maximum 5' slump, 5 1/2-bag mix, and 3000 psi minimum strength per **Foundation Wall Design table** below. Specified air content and/or wall height control shall be 12" or less.
7. Walls and footings designed as unreinforced unless otherwise specified on foundation plans or details. "Special soil and/or site conditions may require the addition of reinforcing."
4. Footing frost depth to be no less than 12" per **R403.1.4** and **Table R301.2(1)**.
5. Minimum Soil Bearing Capacity shall be 2,000 PSF and per **Table R401.41**.
6. Slab requirements:
Interior slabs on grade (excluding garage slabs) to be minimum 3'-1/2" concrete (may be represented on plans as nominal 4") over 4" sub-base, with vapor barrier (6-mil polyethylene) as required per **Section 506** and a minimum 2500 PSI per **Table R402.2**.
Non-structural garage slabs shall be nominal 3'-1/2" thick and shall be installed on compacted / undisturbed soil per **Table R402.2**. Slabs shall be 3500 PSI air-entrained concrete.
Structural garage slabs utilizing grade beams shall be nominal 4" thick. Slabs shall be 3500 PSI air-entrained concrete.
Porch Slab and exterior concrete work shall be nominal 4" minimum 3500 PSI air-entrained concrete with 6x6 in.4x4-ft mesh or equivalent fiber mesh reinforcement.
7. Unconditioned crawl spaces shall have a minimum net area of ventilation not less than 1 square foot for each 150 square feet of area, unless the ground surface is covered by a Class 1 vapor retarder. In no event shall the minimum net area of ventilation shall be not less than 1 square foot for each 1500 square feet of area. One such ventilating opening shall be within 3 feet (914 mm) of each corner of the building, per **R408.1.2**.
8. Foundation drains shall be located per local codes and according to local climate conditions. Drain discharge by gravity or mechanical means to conform with approved site plan and installed per **Section R405.1**.
9. The top course of block of foundation walls shall be semi-solid block or open cores of hollow block shall be filled with mortar.
10. Block piers to be solid block or mortar-filled hollow block.
11. A poured concrete foundation wall designed to withstand an equivalent fluid weight of 30# per cubic ft. may be substituted where masonry units (block) are shown on plans.
12. Concrete and masonry foundation walls shall be dampproofed with min. 3/8" portland cement parging from footing to top of finished grade. The parging shall be covered with a coat of approved bituminous material applied at the recommended rate per **R406.1**.
13. Where required, concrete and masonry foundation walls shall be waterproofed with an approved membrane extending from footing to top of finished grade. The joints in the membrane shall be lapped and sealed with an adhesive compatible with the waterproofing membrane. Waterproofing to be in accordance with **R406.2**.
14. Reserved for future use.
15. Foundation framing anchors shall be 1/2"x18" anchor bolts with "T" minimum embedment or Simpson Strong-Tie MASA / USP FAS (16 gauge steel, galvanized) or equivalent set in concrete or grouted cell, 1'-0" maximum from corners and spaced at a maximum of 6' o.c. and in the middle third of the width of the plate. For walls connecting offset braced wall panels, 2'-0" in length or shorter shall have min. (5) and/or strap and those 12" or shorter can be installed without anchor straps. Townhouses in seismic design category "C" shall require a 22" x 3" x 3" plate washer per **R403.1.61** and maximum anchor bolt spacing for buildings over two stories shall be 4'.
16. Steel columns and bases shall be given a shop coating of rust-inhibitive paint or equivalent to provide corrosion resistance per **R401.2**.
17. For masonry veneers:
Per **RT03.6.41** - Corrugated sheet metal veneer shall be a minimum of No. 22 U.S. gauge by 7/8 inch. Each tie shall be spaced not more than 32" o.c. horizontally and 24" o.c. vertically. Each tie shall support not more than 2.67 square feet of wall area. For townhouses in Seismic Design Category "C" and in wind areas of 120 mph, the tie shall provide a square foot pressure, each tie shall support not more than 2 square feet of wall area.

14. Foundation wall strip footing thickness to be 8" (or 6" with a single story) unless otherwise noted as specified by engineering. Strip footing projections beyond the face of the foundation wall shall not to exceed the footing thickness. Bump out footings, pier pads, and any other footing identified as being greater than 8" in thickness shall not be reduced.

20. Block foundation walls may be substituted for poured foundation walls shown on foundation plans provided all requirements of **Section R404** are met.
21. Termite treatment provided below slabs or to framing members per **R318.1**

WALL HEIGHT	WALL THICKNESS	LATERAL SOIL LOAD (a)	UNBALANCED FILL	VERTICAL REINFORCING (b)	HORIZONTAL REINFORCING (b)
8'-0"	8"	45	6'-0"	NOT REQUIRED	2- #4 BARS (f)
			7'-0"	NOT REQUIRED (d)	3- #4 BARS (d)
		60	6'-0"	NOT REQUIRED (d)	3- #4 BARS (de)
			7'-0"	#4 @ 22" O.C. (d)	3- #4 BARS (de)
	10"	45	6'-0"	NOT REQUIRED	2- #4 BARS (f)
			7'-0"	NOT REQUIRED	2- #4 BARS (f)
		60	6'-0"	NOT REQUIRED	2- #4 BARS (f)
			7'-0"	NOT REQUIRED	2- #4 BARS (f)
9'-0"	8"	45	7'-0"	NOT REQUIRED (d)	4- #4 BARS (de)
			8'-0"	#4 @ 19" O.C. (d)	4- #4 BARS (de)
		60	7'-0"	#4 @ 19" O.C. (d)	4- #4 BARS (de)
			8'-0"	#4 @ 15" O.C. (d)	4- #4 BARS (de)
	10"	45	7'-0"	NOT REQUIRED	3- #4 BARS (g)
			8'-0"	NOT REQUIRED (d)	4- #4 BARS (de)
		60	7'-0"	NOT REQUIRED	4- #4 BARS (de)
			8'-0"	#4 @ 19" O.C. (d)	4- #4 BARS (de)

NOTE: BACKFILLING OF THE FOUNDATION SHALL NOT TAKE PLACE BEFORE THE BASEMENT SLAB IS IN PLACE AND THE FLOOR FRAMING IS ERECTED OR UNLESS WALLS ARE ADEQUATELY BRACED.

- a. SOIL CLASSES GM, GC, SM, SM-SC AND ML - 45 PSF
SOIL CLASSES SC, MH, ML-CL AND CL - 60 PSF
- b. SPACING SHOWN IS BASED UPON $F_y = 60,000$ PSI
STEEL FOR $F_y = 40,000$ PSI STEEL, REDUCE SPACING BY 0.67
- c. CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF NOT LESS THAN 3000 PSI
- d. ENGINEERED DESIGN PER ACI 332-14, REQUIREMENTS FOR RESIDENTIAL CONCRETE CONSTRUCTION
- e. FOR ALL WALL HEIGHTS, ONE HORIZONTAL BAR SHALL BE LOCATED WITHIN THE TOP 24", ONE IN THE BOTTOM 24" WITH THE REMAINING BARS EQUALLY SPACED, MAINTAIN 2" OF CONCRETE COVER BETWEEN INSIDE FACE OF WALL AND FACE OF HORIZONTAL BARS.
- f. ONE BAR WITHIN 12" OF TOP AND AT MID-HEIGHT OF WALL PER TABLE R404.1(2)(i).
- g. ONE BAR WITHIN 12" OF TOP AND ONE EACH AT THIRD POINT OF WALL HEIGHT PER TABLE R404.1(2)(i).

1. Habitable areas and sleeping rooms shall have a window or door as a second means of egress that shall be minimum 5.7 sq. ft. openable area (5.0 sq. ft. if at grade level) with maximum sill height 44" above finish floor (min. hgt. 24", min. width 20") per **R310.1**.
2. All emergency egress and rescue openings shall have a minimum net clear openable area of 4 sq ft. The minimum net clear opening height shall be 22" and a minimum net clear opening width of 20". Emergency egress and rescue openings must have a minimum total glazing area of not less than 5 sq ft in the case of a ground window and not less than 5.7 sq ft in the case of an upper story window per **R310.2.1**. Window wells where required, shall be installed per **R310.2.3** with a minimum of 4 sq ft and a minimum horizontal projection and width of 36". Wells with a greater depth of 44" shall have permanently affixed ladder or steps per **R310.2.3.1**.
3. Clear opening heights for exterior doors to be 6'-6" minimum per **R311.2**. All interior doors providing egress from habitable rooms shall have nominal minimum dimensions of 2'-6" by 6'-8" per **R311.6.1**. Habitable rooms with double doors less than 5'-0" in total width (less than 2'-6" per door slab) shall have a total opening width of at least 2'-6" with no slide bolts or locking devices installed on either door.
4. Sliding glass drs/patio drs/vids must be safely glazed per **R308.4**.
5. Interior stairways shall have minimum head room of 6'-8" per **311.1.2** and minimum tread depth of 4" and maximum riser height of 8 1/4". Handrails are required for stairs with four or more risers and shall have minimum height of 34" and maximum height of 38" above treads and landings. Handrail to have maximum 4 1/2" projection into width of stair per **Section R311.7**. Enclosed accessible space under stairs shall have walls on stair surface and all soffits protected on the enclosed side with 1/2" gypsum board per **R302.1**.
6. Guard rails to have minimum height of 36" and shall not have openings from the walking surface to the required guard height which allow passage of a sphere 4 inches in diameter per **R312**.
The triangular openings at the open side of stair, formed by the riser, tread and bottom rail of a guard, shall not allow passage of a sphere 6 inches (153 mm) in diameter per **R312.1.3**.
Where exterior landings or floors serving the required egress door are not at grade, they shall be provided with access to grade by means of a stairway in accordance with **Section R311.7** (see item #5 above) or a ramp in accordance with **Section R311.8**.
7. Handrails shall be installed on exterior stairs having (4) or more risers per **R311.7.8**. Guards shall be installed at exterior porches / decks that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 36 inches (914 mm) horizontally to the edge of the open side. Insect screening shall not be considered as a guard.
10. All flashing used (including at windows, doors, and with stone or masonry veneer) shall be corrosion-resistant per **R103.4**. See HVR Flashing Details.
11. Wood framed bearing walls shall 2 x 6 @ 24" o.c., maximum or 2 x 4 @ 16" o.c., maximum per **Table R602.3(3)** and **Table R602.3(5)** unless otherwise noted on plans.
12. All exterior sheathing to be structural sheathing designed in accordance with **R602.10**.
13. An approved water-resistant barrier shall be applied over sheathing of exterior walls per **Section R703.2**.
14. Interior sheathing shall be 1/2" gypsum wall board unless otherwise noted. Exceptions may include, but are not limited to, special requirements for wall bracing and fire separation.
15. Scaffolding is typical for gypsum installation and nailing will only be permitted at the perimeter of the board.
 - All screws shall be corrosion-resistant Type W 1-1/4" drywall screws.

SCREW FASTENING SCHEDULE			
Framing Spacing		WITH ADHESIVE	
		Cellings	Load-brg. walls
16		16	24
24		16	24
Framing Spacing		WITHOUT ADHESIVE	
		Cellings	Load-brg. walls
16		12	16
24		12	16

- For 1/2" wallboard, nails shall be 1-1/4" long, 1/4" head and .048 diameter shanks with annular ring or acceptable equivalent and comply with ASTM C54.
- For 5/8" wallboard, nails shall be 1-3/8" long, 1/4" head and .048 diameter shanks.
- Garages shall be completely separated from the residence and attic area by not less than 1/2" gypsum board applied to the garage side. Garages between habitable rooms shall be separated from all habitable rooms above by not less than 5/8" type X gypsum board. Where a structure is supporting a fire-resisting assembly, such as the garage, the structure shall also be protected by not less than 1/2" gypsum board per **Section R302.6**. Openings and penetrations through the separation shall be protected by sealing the area around the penetration per **Section R302.5**. The garage door shall be a 20-minute fire-rated door and be equipped with a self-closing device installed per **Section R302.5.1**.
- Asphalt shingles shall be installed per **section R405.2**. For roof slopes of 2:12 through 4:12, in lieu of two layers of underlayment, a self-adhesive polymer-modified bitumen underlayment shall be used per **section R405.11 Exception #1**.
- Attic spaces shall be ventilated w/ ridge and soffit vents unless otherwise noted. Venting provided per **R406.2**.
- Fireblocking shall be installed between ceiling and floor openings per **R302.11**. Draftstopping to be installed in accordance with **R302.12**.
- Water closet, lavatory or bidet shall not be set closer than 15 inches from its center to any side wall or partition in a vanity or close to the 30 inches center to center between adjacent fixtures. There shall be a clearance of not less than 21 inches in front of the water closet, lavatory or bidet to any wall, fixture or door per **P2105.1**.
- Heating and cooling equipment installation shall be in accordance with **IRC Chapter 14 and the International Mechanical Code**.
- Mechanical fireplaces shall be installed per **Section R1004 and I005**.
- Single family attached structures to have 2-hour dwelling unit separation wall continuous to roof deck. Roofing material to be minimum class "C" over approved fire retardant wood decking extending 4" each side of dwelling unit separation wall per **R302.2 and R302.3**.
- Untreated wood shall be minimum 8" above finish grade per **R311 Item #2**.
- Bottom plates on slabs and any wood in contact w/ concrete or masonry to be pressure treated material per **Section R317**.
- Exterior egress swing doors shall open onto a landing not more than 8 1/4" below the top of the threshold when door swings in and 1 1/2" below the top of the threshold when the door swings out. The landing shall extend a minimum of 36" in the direction of travel and be at least the width of the doorway served per **R315.3**.
- Air exhaust and intake openings that terminate outdoors shall be protected with corrosion-resistant screening, louvers, or grills having a min. opening size of 1/4" and maximum of 1/2" in any dimension per **R303.6**.
- Fasteners and connectors for pressure preservative-treated wood shall be hot-dipped galvanized steel.
- Windows that have an operable opening more than 72" above finished grade or surface below, the lowest part of the clear opening of the window shall be a minimum of 24" above the finished floor of the room in which the window is located, glazing between the floor and 24" shall be fixed or have openings through which a 4" dia. sphere cannot pass per **Section R312.2**.
- The final grade shall fall a minimum of 6 inches within the first 10 feet of the foundation per **R401.3**.
- One- and two-family dwelling construction (R302.11):**
Vinyl or aluminum soffit material shall be securely attached to framing members and use an underlayment material of either fire retardant treated wood, 3/4-inch wood sheathing or 5/8-inch gypsum board. Venting requirements shall apply to both soffit and underlayment and shall be per **Section R406**. Where the property line is 10 feet or more from the building face, the provisions of this code section shall not apply.
- Townhouse construction (R302.25):**
Projections extending into the fire-separation distance shall have not less than 1-hour fire-resistive construction on the underside. Vinyl or aluminum soffit material shall be securely attached to framing members and use an underlayment material of either fire retardant treated wood, 3/4-inch wood sheathing or 5/8-inch gypsum board. Venting requirements shall apply to both soffits and underlayment. Vents shall be nominal 2-inch continuous or equivalent intermittent and shall not exceed the minimum net free air requirements of **Section R406.2** by more than 50%. Vents in soffit are not allowed within 4 feet of fire walls or property lines per **R302.2.5 and R302.2.6**.
- 1-hour fire-rated construction required on projections within 2' to 3' of lot line per **R302.1**. No projections allowed within 2' of property line.
1-hour fire-rated construction required on townhouse eaves within 3' of the property line.
- Note: Single Family Detached product will NOT be built within 3' of the property line.**
- Wall bracing is designed in compliance with **Section R602.10**. When wall bracing is beyond the criteria for a prescriptive approach, the structure is analyzed utilizing engineering in compliance with the North Carolina Building Code (NCBC). Refer to house-specific wall bracing detail sheets and wall bracing standard details. Adhesive attachment of wall sheathing, including Method GB, shall not be permitted in Seismic Design Category C.
- Minimum floor sheathing shall be 5/8" tongue & groove decking underlayment grade plugged and sanded, exterior glue, glued and nailed on joists to meet. "American Plywood Association" approved glued floor system, unless otherwise specified.

1. Ground-fault and arc-fault circuit interrupter protection is provided per **NFPA 70** (National Electric Code).
2. Electric panel box installation to be in accordance with **NFPA 70, Article 400 Section III**. Location may vary by design.
3. Approved smoke detectors shall be installed in each sleeping room; outside each separate sleeping area. In the immediate vicinity of the bedrooms; and on each additional story of the dwelling, including basements and habitable attics but not including crawl spaces and uninhabitable attics. Where more than one smoke detector is required, they shall be installed in such a manner that the activation of one alarm will activate all of the alarms in the individual unit. All smoke detectors shall receive their primary power from the building wiring and be equipped with a battery backup.
4. Unless listed for installation in such locations, smoke detectors shall be installed at least 10 feet from a cooking appliance, at least 3 feet from the door to a bathroom containing a tub or shower, at least 3 feet from forced air supply registers, and at least 3 feet from the tip of a ceiling fan blade. In sleeping rooms, smoke detectors should be located in the vicinity of the room entrance. They shall be installed at the highest portion of the ceiling (including tray or coffered ceilings) or within 12 inches vertically from the highest point in rooms with sloped ceilings.
5. Interior stairs shall be provided with an artificial light source in the vicinity of each landing or directly over each stair section, eliminating treads and landings to a level not less than 1ft measured at the center of the tread or landing per **R303.7**.
6. Outlets within 6' of a sink must be GFI protected.
7. An approved carbon monoxide alarm shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms. Where a fuel-burning appliance is located within a bedroom or its attached bathroom, a carbon monoxide alarm shall be installed within the bedroom. **R131.5**.
8. Outlets installed in laundry areas must be GFI protected.

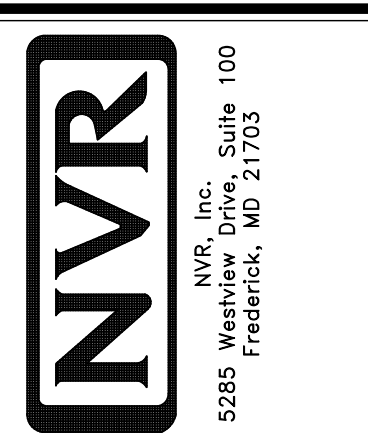
--	--	--	--	--	--	--	--

REV.	NO.	DATE	REMARKS
1		1/8/14	MBT - CODE UPDATES FOR 2016 NGREC
2		3/1/14	MBT - UPDATED ENGRY NOTES
3		12/16/22	CAP - REVISE NOTE FOR 2X4 OR 2X6 EXTERIOR WALL

05/02/2025



© NVR, Inc., The owner, expressly reserves its copyright and other property rights in these plans. These plans are not to be reproduced, changed, or copied in any form or manner whatsoever, nor are they to be assigned to any third party, without first obtaining the expressed written consent of NVR, Inc.



SHEET NO.	SS-1	MODEL NCRC 2018 SPEC SHEET	SET NO. VERSION
		DRAWING TITLE SINGLE FAMILY ATTACHED SINGLE FAMILY DETACHED	DRAWN BY
		OPTION DESCRIPTION NC State Building Code - Residential Code 2018	DATE: OPTION

As directed by the North Carolina Board of Architecture and Registered Interior Designers, architectural seals are not required for – and should not be placed by NVR on – these plans and specifications.

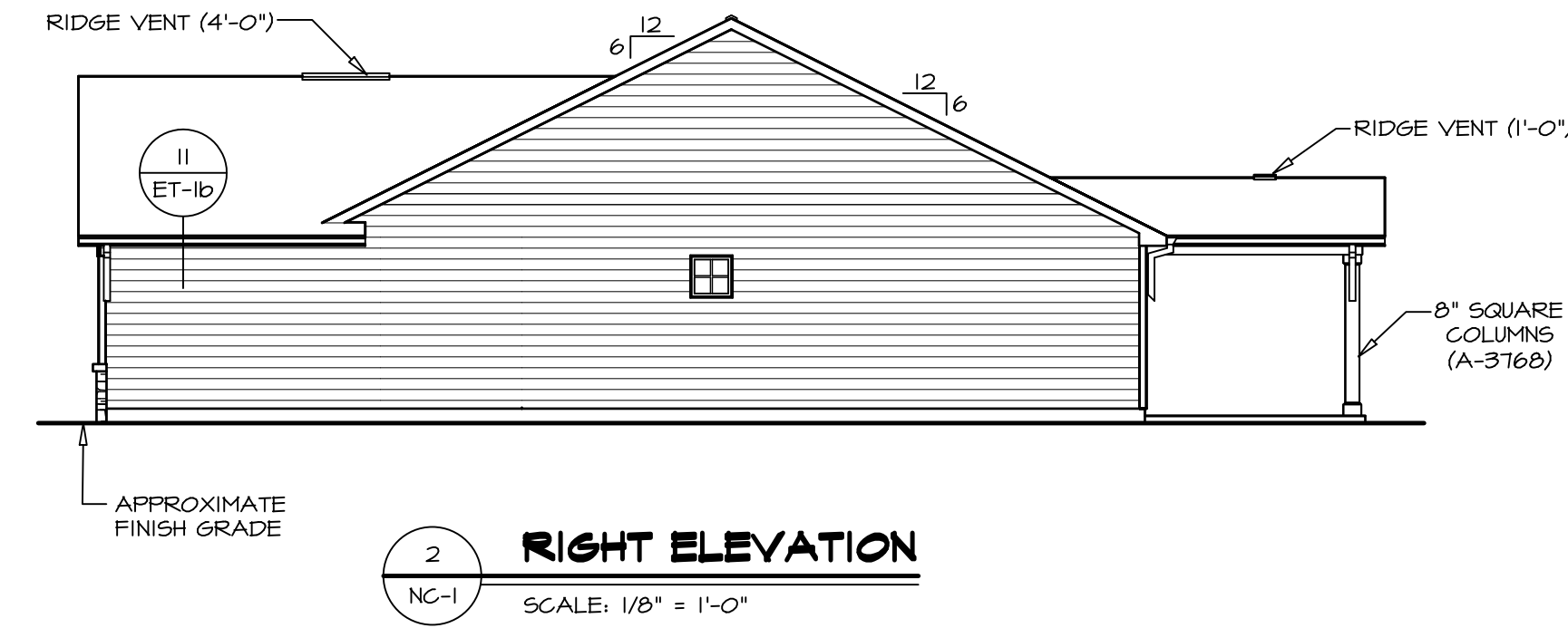
DIV-COMM-LOT-UNIT
RLH-VK-0106

COMM-LOT	KIPLING VILLAGE - 0106
STREET ADDRESS	97 ARTESA COURT
CITY	FUQUAY VARIANA
STATE	NC
ZIP	27526

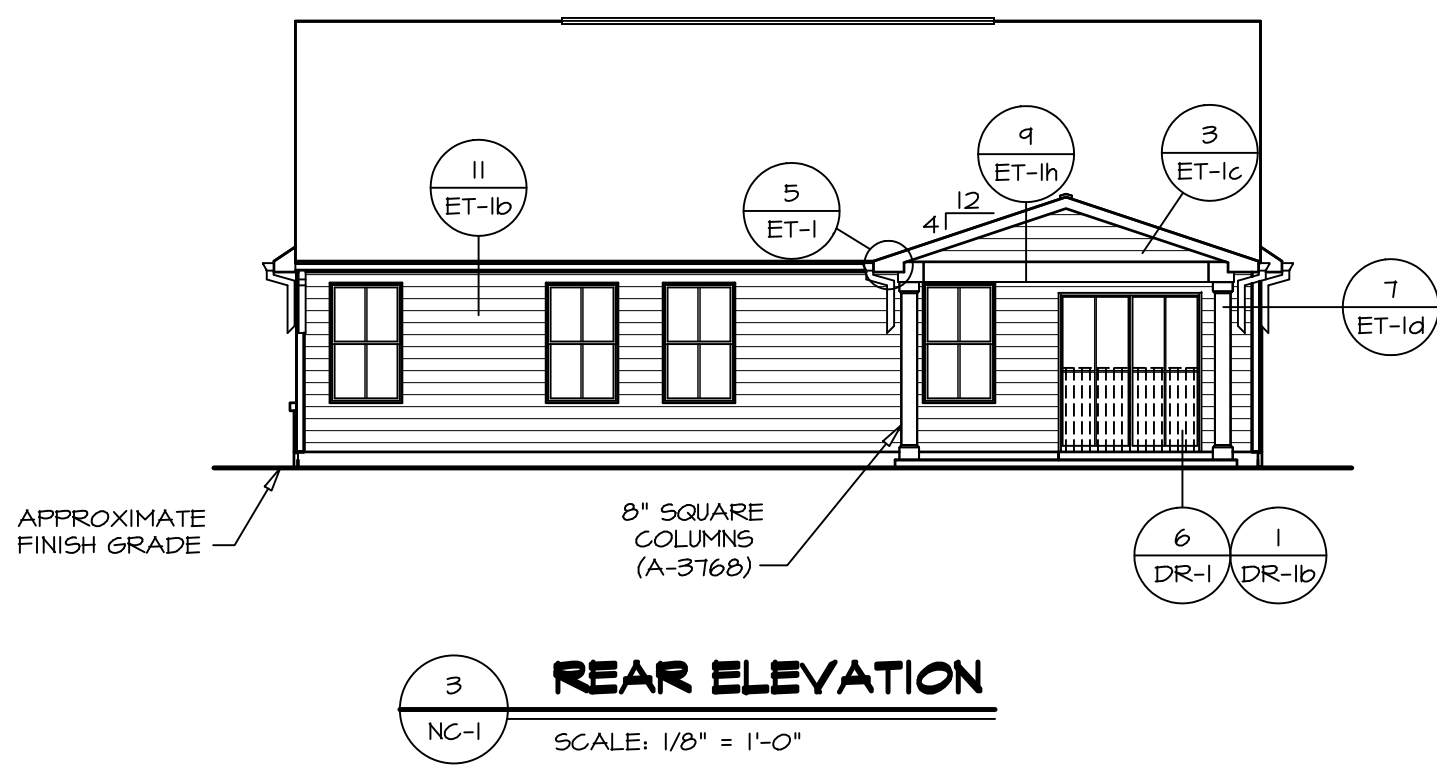
© NVR, Inc., expressly reserves its copyright and other property rights in these plans. These plans are not to be reproduced, stored in a retrieval system, or copied in any form or manner whatsoever, nor are they to be used for any purpose other than the first obtaining the expressed written consent of NVR, Inc.



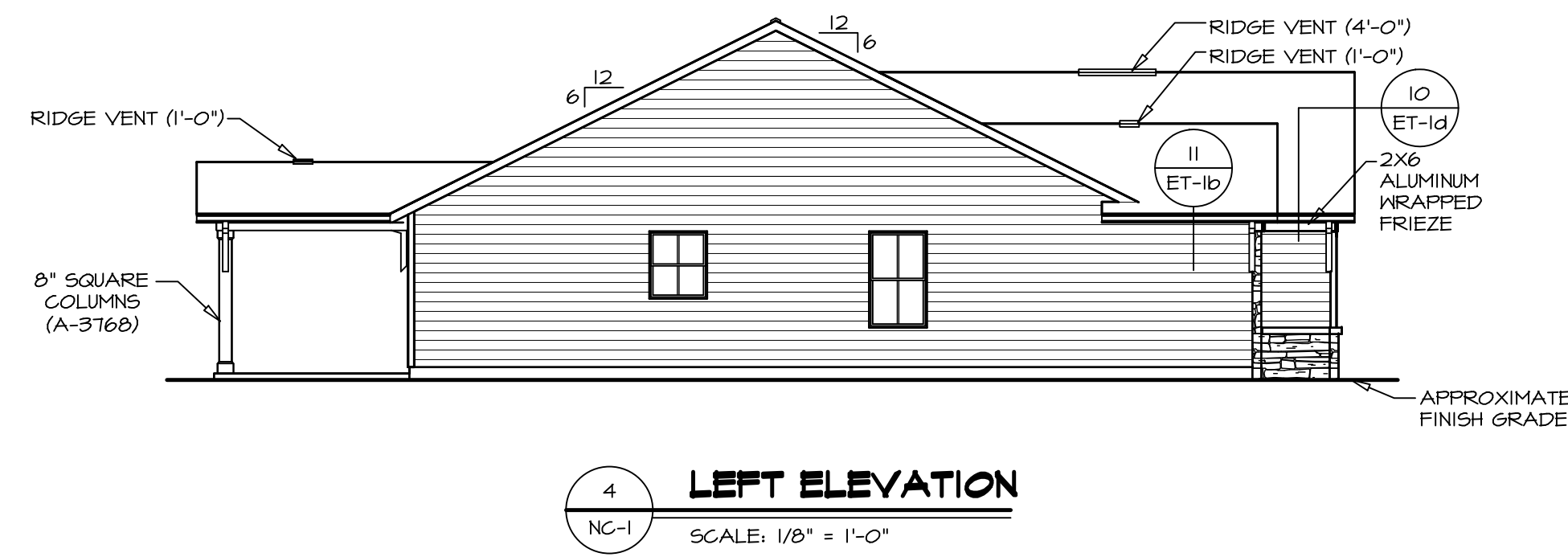
SET NO. 06H00	VERSION 01	RELEASE NO. ----
DRAWN BY BN	DATE: 7/2/20	OPTION FSM, FSA
MODEL GRAND BAHAMA	DRAWING TITLE ELEVATIONS	OPTION DESCRIPTION MONOLITHIC SLAB FOUNDATION
SHEET NO. NC-1		5



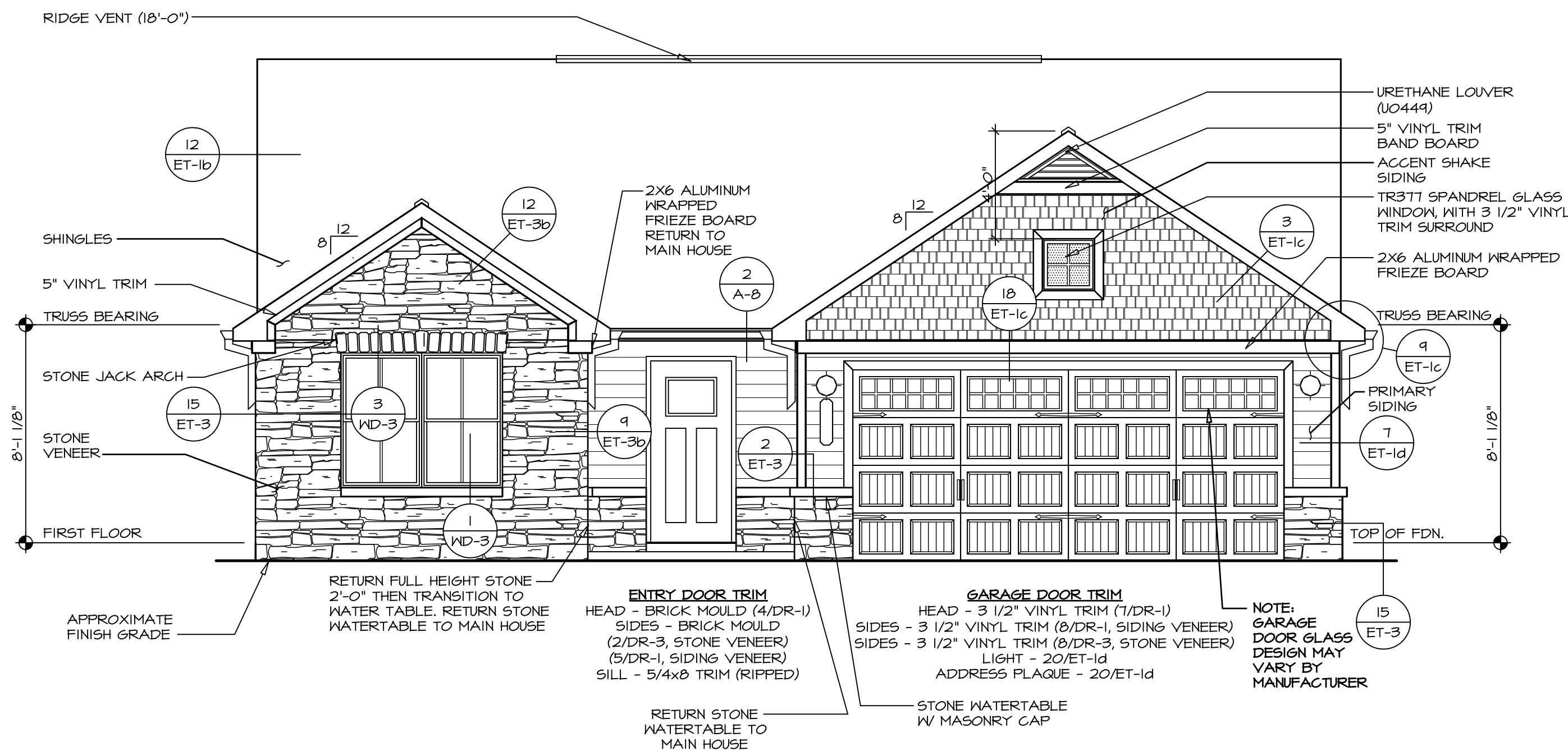
2 RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



3 REAR ELEVATION
SCALE: 1/8" = 1'-0"



4 LEFT ELEVATION
SCALE: 1/8" = 1'-0"



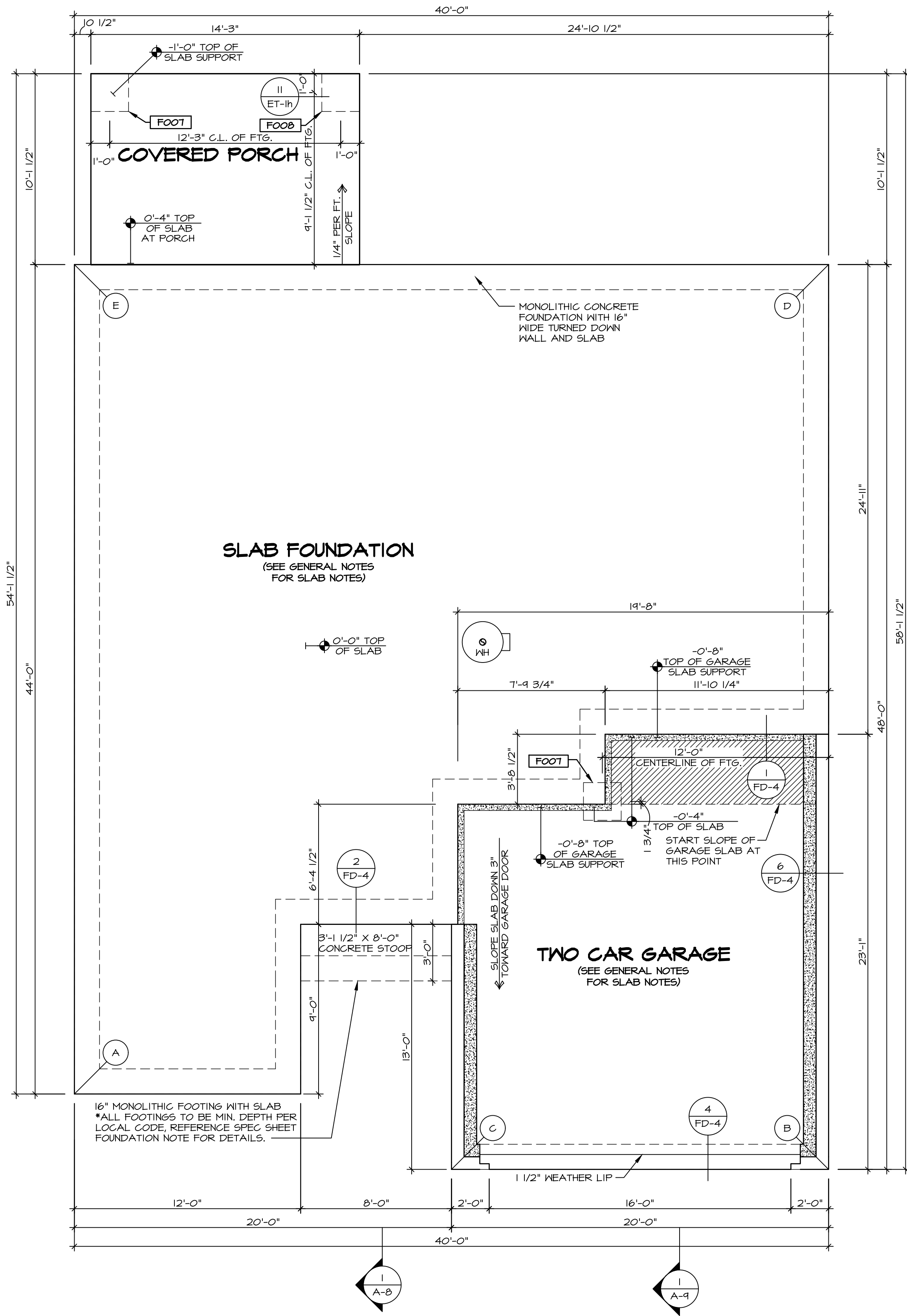
1 FRONT ELEVATION "L"
SCALE: 1/4" = 1'-0"

FOOTING/THICKENED SLAB SCHEDULE					
IDENTIFIER	LENGTH	WIDTH	HEIGHT	ENG. NUM.	REMARKS
FOOT	2'-0"	2'-0"	1'-0"	S0001	
FOOT	2'-0"	2'-0"	1'-0"	S0002	
FOOB	2'-0"	2'-0"	1'-0"	S0001	

FOUNDATION DIAGONALS			
A		B	
A	0"	A	40'-2 3/8"
B	40'-2 3/8"	B	0"
C	20'-4 3/4"	C	20'-0"
D	59'-5 9/16"	D	48'-0"
E	44'-0"	E	62'-5 13/16"

FOUNDATION NOTES - SLAB	
1. SEE STANDARD DETAIL CATEGORY "FD" SHEET(S).	
2.1. CONCRETE SLAB ON VAPOR BARRIER OVER SUB-BASE (SEE SPEC SHEET FOR SLAB NOTES)	
2.2. UNEXCAVATED WITH CONCRETE SLAB OVER SUB-BASE (SEE SPEC SHEET FOR SLAB NOTES) OR STRUCTURAL CONCRETE SLAB OVER SUB-BASE (SEE SPEC SHEET FOR SLAB NOTES)	
3. SEE FOUNDATION HOLD DOWN SHEET FOR CONNECTION INFORMATION	
4. SLAB LEDGE LOCATIONS VARY W/ GRADE BEAM(S) ORIENTATION. SEE GB-1 FOR DETAILS.	
5. THE DIRECTION OF THE ARROW IS THE DIRECTION OF REBAR, AS REQUIRED	
6. ALL FOOTINGS ARE PLAIN, NON-REINFORCED CONCRETE UNLESS NOTES OTHERWISE.	
7. SEE MS-1 DETAILS FOR FOOTER SLEEVE INFORMATION.	
8. THICKEND SLAB DEPTHS MEASURE FROM TOP OF SLAB. PAD FOOTING DEPTHS MEASURE 4" BELOW TOP OF SLAB.	

LEGEND	
	BEARING WALL
	NON BEARING WALL
	MASONRY WALL
	INDICATES BEARING FROM POINT-LOAD ABOVE
	JACKS
	BEAM/HEADER
	FOOTING/THICKENED SLAB
	STEEL COLUMN
	TRUSS TIE DOWN
	PORTAL FRAME
	JOIST/TRUSS
	LVL
	ENGINEERING PAGE NUMBER
	WINDOW/DOOR TAG
	PRECAST LINTEL TAG
-SEE FA DETAILS FOR FIRE ASSEMBLIES	
-SEE FC DETAILS FOR FRAMING CONNECTORS AND MATERIAL USAGE	



1 FOUNDATION PLAN
NC-3 SCALE: 1/4" = 1'-0"

As directed by the North Carolina Board of Architecture and Registered Interior Designers, architectural seals are not required for – and should not be placed by NVR on – these plans and specifications.

DIV-COMM-LDT-UNIT		RLH-VK-0106	
COM-LOT	COM-LOT	STREET ADDRESS	APT. NO.
97 ARTESA COURT	97 ARTESA COURT	97 ARTESA COURT	---
CITY	CITY	STATE	ZIP
FUQUAY VARIANA	FUQUAY VARIANA	NC	27526

05/02/2025	NORTH CAROLINA PROFESSIONAL SEAL	
44932	SEAL	
EDWARD ABERTS	ENGINEER	
EDWARD ABERTS	NVR, Inc.	
EDWARD ABERTS	NVR, Inc. License # D-0477	

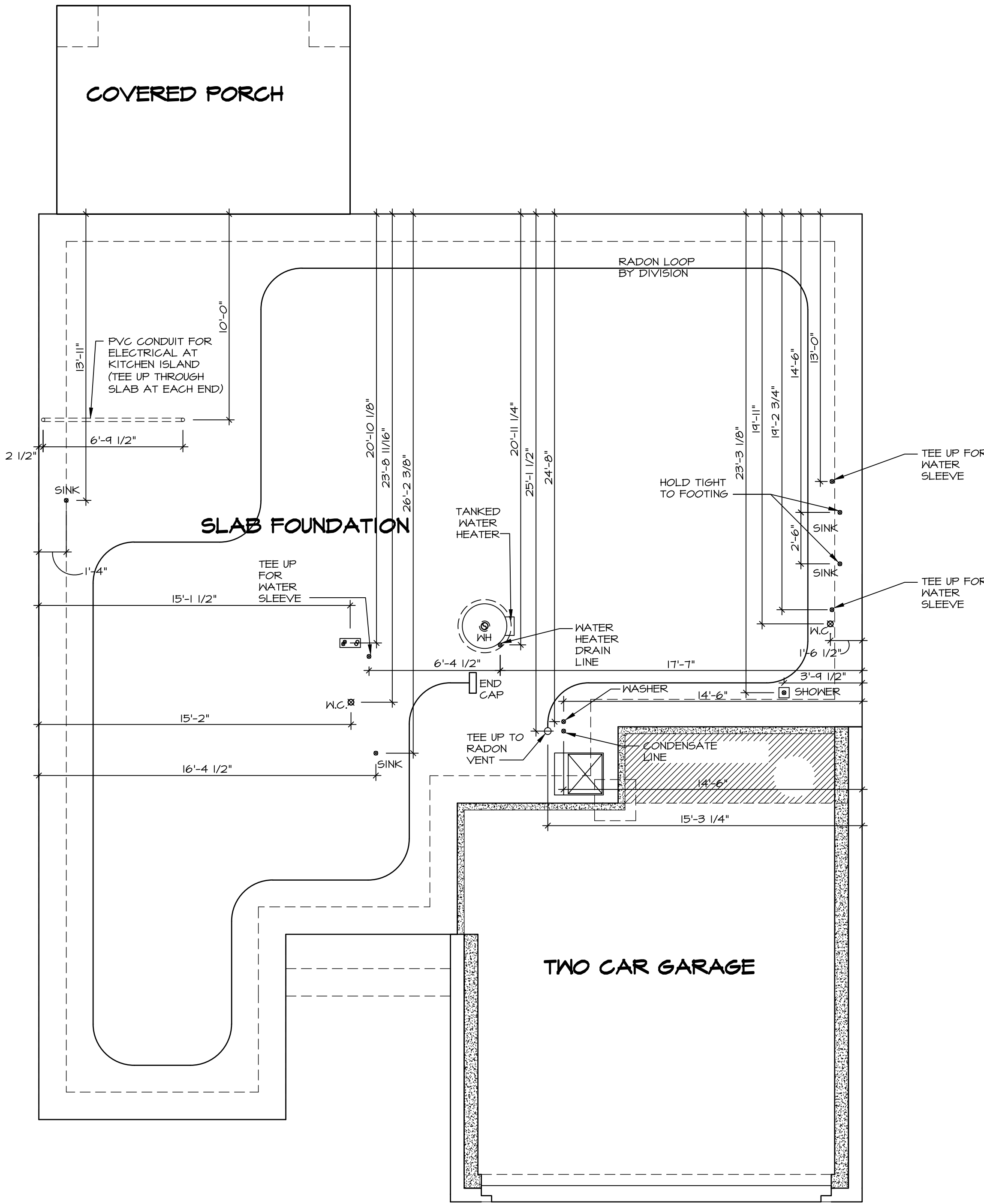
NVR, Inc., expressly reserves its copyright and other property rights in these plans. These plans are not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the prior written consent of NVR, Inc.

NVR	
NVR, Inc. Suite 100 5285 Westview Drive Friedrick, MD 21703	

SET NO. 06H00	VERSION 01	RELEASE NO. ----
DRAWN BY	DRAWN BY	DATE:
OPTION	OPTION	DATE:

MODEL GRAND BAHAMA		DRAWING TITLE FOUNDATIONS	
NC-3		OPTION DESCRIPTION	
7		7	

INSTALLATION OF RADON STACK AND LOOP TO BE DETERMINED BY DIVISION



1 PLUMBING PLAN
NC-5 SCALE: 1/4" = 1'-0"

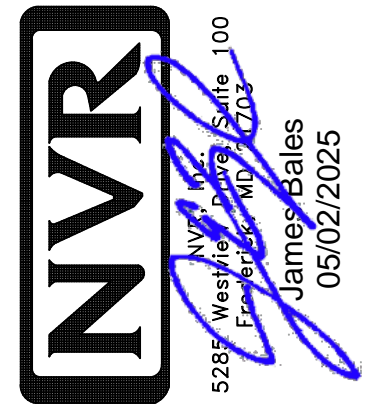
PLUMBING NOTES:

- RADON REMEDIATION
RADON LOOP:
- (4") PERFORATED "LOOP"
 - MUST BE PLACED IN STONE BED SLIGHTLY HIGHER THAN ANY INTERIOR DRAINTILE
 - LOOP TO BE SEPARATE FROM ANY DRAINTILE ELEMENTS
 - TO BE CORRUGATED PIPE
 - SCREWS TO BE INSTALLED THROUGH LOOP AT TEE UP INTO STACK
- STACK REQUIREMENTS:
- 3" PVC STACK (4" IF BASEMENT IS GREATER THAN 2200 SQFT.)
 - NO PART OF STACK IS TO BE HORIZONTAL (45° ELBOWS PERMITTED AS REQUIRED)
 - PIPE TO BE PHYSICALLY LABELED IN THE FIELD AS "RADON VENT" OR OTHER JURISDICTIONALLY REQUIRED LANGUAGE (ON EVERY LEVEL OF HOUSE)
 - ROOF TERMINATION TO BE IN TOP 1/3 OF ROOF
 - SCREEN OR VENT CAP INSTALLED TO KEEP PESTS OUT OF RADON VENT AT ROOF TERMINATION.

As directed by the North Carolina Board of Architecture and Registered Interior Designers, architectural seals are not required for – and should not be placed by NVR on – these plans and specifications.

DIV - COMM - LOT - UNIT	RLH-VK-0106
COMM - LOT	KIPLING VILLAGE - 0106
STREET ADDRESS	91 ARTESA COURT
CITY	FUQUAY VARIANA
STATE	NC
ZIP	27526

© NVR, Inc., expressly reserves its copyright and other property rights in these plans. These plans are not to be reproduced, stored in a retrieval system, or transmitted in any form or manner whatsoever, nor are they to be used for any purpose other than the first obtaining the expressed written consent of NVR, Inc.



MODEL	GRAND BAHAMA	SET NO. 68H00
DRAWING TITLE	PLUMBING	VERSION 01
OPTION DESCRIPTION		RELEASE NO. ----
		DRAWN BY
		DATE:
		OPTION

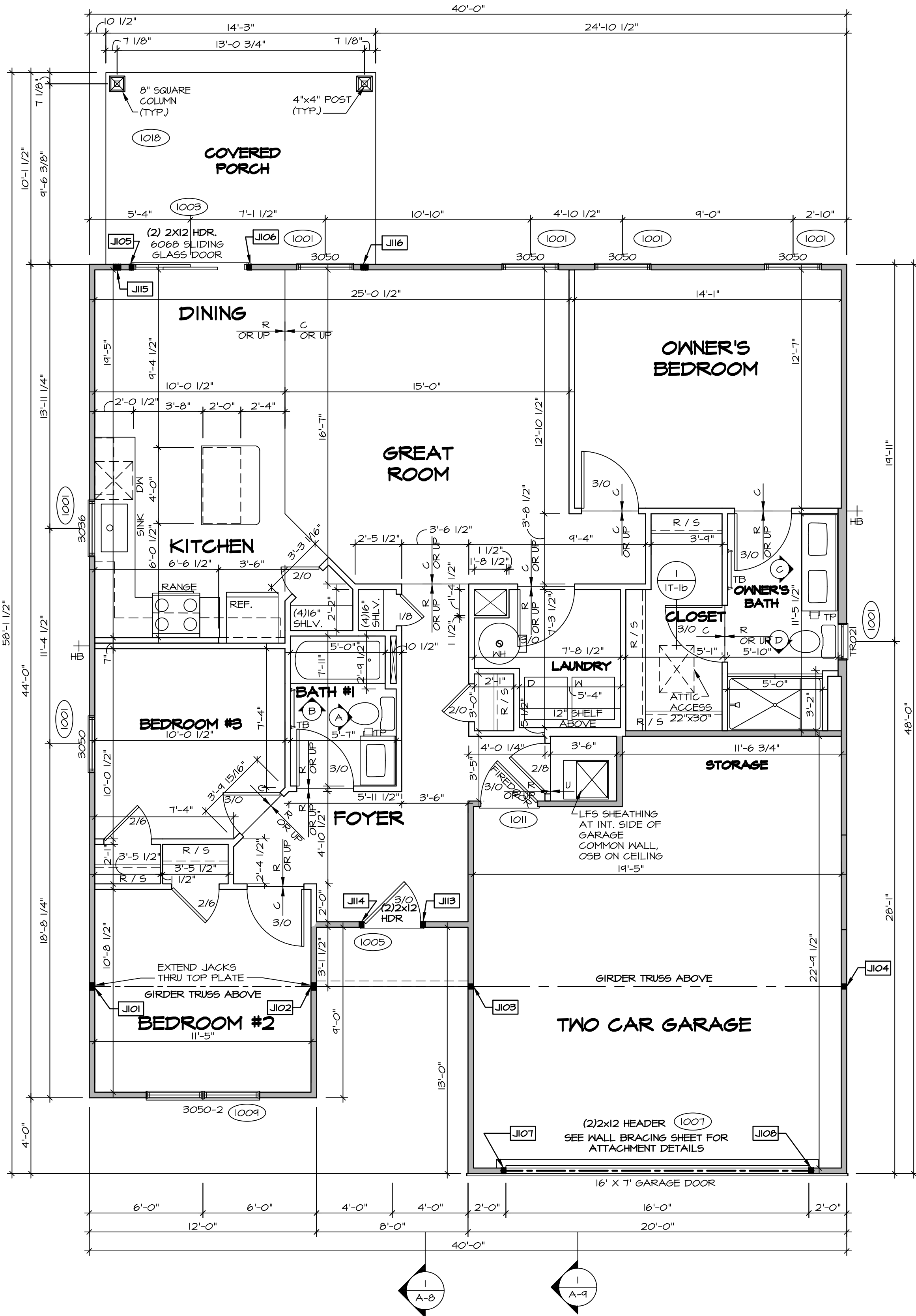
FIRST FLOOR JACK SCHEDULE			
IDENTIFIER	DESCRIPTION	ENG. NUM.	REMARKS
J101	JACK - (3) 2X4 SP#1	1000	EXTEND THRU TOP PLATE
J102	JACK - (3) 2X4 SP#1	1000	EXTEND THRU TOP PLATE
J103	JACK - (2) 2X4 SPF STUD GRADE	1000	
J104	JACK - (2) 2X4 SPF STUD GRADE	1000	
J105	JACK - (2) 2X4 SPF STUD GRADE	1003	
J106	JACK - (2) 2X4 SPF STUD GRADE	1003	
J107	JACK - (2) 2X4 SPF STUD GRADE	1007	
J108	JACK - (2) 2X4 SPF STUD GRADE	1007	
J113	JACK - (2) 2X4 SPF STUD GRADE	1005	
J114	JACK - (2) 2X4 SPF STUD GRADE	1005	
J115	JACK - (3) 2X4 SPF STUD GRADE	1018	
J116	JACK - (3) 2X4 SPF STUD GRADE	1018	

LVL PLY TO PLY FASTENING SCHEDULE: (WHERE APPLICABLE BASED ON LVL USAGE)	
1.A - (2) PLY UP TO AND INCLUDING 11 7/8" TALL: FASTEN PLIES W/ (2) ROWS 16D NAILS AT 12" O.C. OR ALT 1 1/2" WIDE LVL FASTEN PLIES W/ (3) ROWS 12D NAILS AT 12" O.C.	
2.A - (2) PLY 14" UP TO AND INCLUDING 18": FASTEN PLIES W/ (3) ROWS 16D NAILS AT 12" O.C. OR ALT 1 1/2" WIDE LVL FASTEN PLIES W/ (4) ROWS 12D NAILS AT 12" O.C.	
3.A - (2) PLY 20" TALL AND OVER: FASTEN PLIES W/ (4) ROWS 16D NAILS AT 12" O.C. OR ALT 1 1/2" WIDE LVL FASTEN PLIES W/ (5) ROWS 12D NAILS AT 12" O.C.	
4.A - (3) PLY UP TO AND INCLUDING 11 7/8" TALL: FASTEN PLIES W/ (2) ROWS 16D NAILS AT 12" O.C. FROM EACH SIDE OR ALT 1 1/2" WIDE LVL FASTEN PLIES W/ (3) ROWS 12D NAILS AT 12" O.C. FROM EACH SIDE.	
5.A - (3) PLY 14" UP TO AND INCLUDING 18": FASTEN PLIES W/ (3) ROWS 16D NAILS AT 12" O.C. FROM EACH SIDE OR ALT 1 1/2" WIDE LVL FASTEN PLIES W/ (4) ROWS 12D NAILS AT 12" O.C. FROM EACH SIDE.	
6.A - (3) PLY 20" TALL AND OVER: FASTEN PLIES W/ (4) ROWS 16D NAILS AT 12" O.C. FROM EACH SIDE OR ALT 1 1/2" WIDE LVL FASTEN PLIES W/ (5) ROWS 12D NAILS AT 12" O.C. FROM EACH SIDE.	
7.A - (4) (ALL SIZES): FASTEN PLIES WITH (3) ROWS OF SDN22634 STRUCTURAL WOOD SCREWS, OR EQUIVALENT, AT 16" O.C. STAGGERED. SEE SHOP DRAWING FOR ADDITIONAL INFORMATION.	

FLOOR PLAN NOTES:	
1. ALL HEADERS ARE (2) 2x6 W/ 2x4 WALLS OR (3) 2x6 W/ 2x6 WALLS, UNLESS OTHERWISE NOTED.	
2. ALL HEADERS HAVE (1) 2x4 OR 2x6 JACK AND KING STUD EACH END, UNLESS OTHERWISE NOTED. MULTI-OPENING HEADERS TO HAVE (2) JACKS AT INTERMEDIATE BEARING, UNLESS OTHERWISE NOTED. NO ADDITIONAL FLOOR SYSTEM BLOCKING OR CONTINUOUS LOAD PATH JACKS ARE REQUIRED UNLESS OTHERWISE NOTED.	
3. ALL EXTERIOR WALLS TO BE 4" OR 6" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED. HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED. SEE ARCHITECTURAL DETAIL 8/IT-1B FOR 3/4" FIRE STOPPING AT BULKHEAD / CEILING PANELS.	
5. SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.	
6. SEE STANDARD DETAIL CATEGORY "IT" SHEET(S) FOR INTERIOR TRIM DETAILS.	
7. SEE DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.	
8. ALL HEADERS IN NON-BEARING WALLS SHALL BE A SINGLE FLAT 2X4 OR 2X6 ATTACHED TO CRIPPLES ABOVE, UNLESS OTHERWISE NOTED.	
9. TANKED WATER HEATER SHOWN AS BASE CONDITION, OPTIONAL TANKLESS WATER HEATER IS AVAILABLE IN LIEU OF TANKED WATER HEATER.	
10. INTERIOR HEADER HEIGHT FOR 8' CEILING WILL BE 6'-11", 9' CEILING WILL BE 7'-11", 10' CEILING WILL BE 8'-3", UNLESS OTHERWISE NOTED.	
11. BASEMENT FINISH DIMENSIONS ASSUME A 1/2" GAP BETWEEN FRAME WALL AND CONCRETE WALL.	
12. ALL INTERIOR BEARING WALLS SHALL HAVE GYPSUM APPLIED TO AT LEAST ONE SIDE OR HAVE MID-HEIGHT BLOCKING INSTALLED.	
13. NON-BEARING WALLS OVER CONCRETE TO BE HELD 1/2" SHORT OF FRAMING ABOVE.	

GYPSUM NOTES:	
AT GARAGE:	
GYPSUM BOARD AT COMMON WALLS, CEILINGS, BEAM WRAPS AND SUPPORTS PER STANDARD DETAIL FA-1(b) FIRE ASSEMBLIES OR AS REQUIRED BY LOCAL CODE.	
AT STAIRS:	
1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET	


LEGEND	
	BEARING WALL
	NON BEARING WALL
	MASONRY WALL
	INDICATES BEARINGS FROM POINT-LOAD ABOVE
	JACKS
	BEAM/HEADER
	STEEL COLUMN
	TRUSS TIE DOWN
	PORTAL FRAME
	JOIST/TRUSS
	LVL
	ENGINEERING PAGE NUMBER
	WINDOW/DOOR TAG
	PRECAST LINTEL TAG
-SEE FA DETAILS FOR FIRE ASSEMBLIES	
-SEE FC DETAILS FOR FRAMING CONNECTORS AND MATERIAL USAGE	
ALL WINDOWS HAVE 7'-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED	



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

As directed by the North Carolina Board of Architecture and Registered Interior Designers, architectural seals are not required for – and should not be placed by NVR on – these plans and specifications.

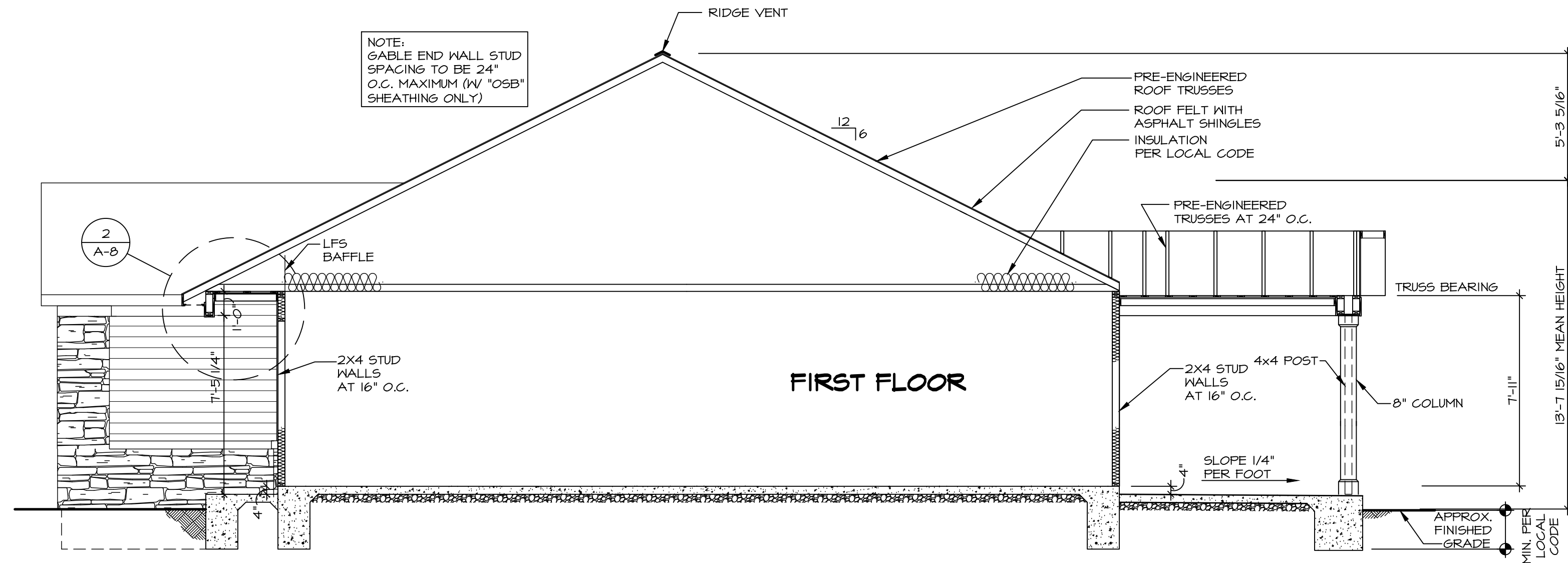
DIV-COMM-LOT-UNIT		RLH-VK-0106	
COMM-LOT	KLING VILLAGE - 0106	APT. NO.	----
STREET ADDRESS	97 ARTESA COURT	CITY	FUQUAY VARIANA
STATE	NC	ZIP	27526

05/02/2025		NVR, Inc. License #: D-0477
NVR, Inc. expressly reserves its copyright and other property rights in these plans. These plans are not to be reproduced, changed, or copied in any form or manner without the prior written consent of NVR, Inc.		

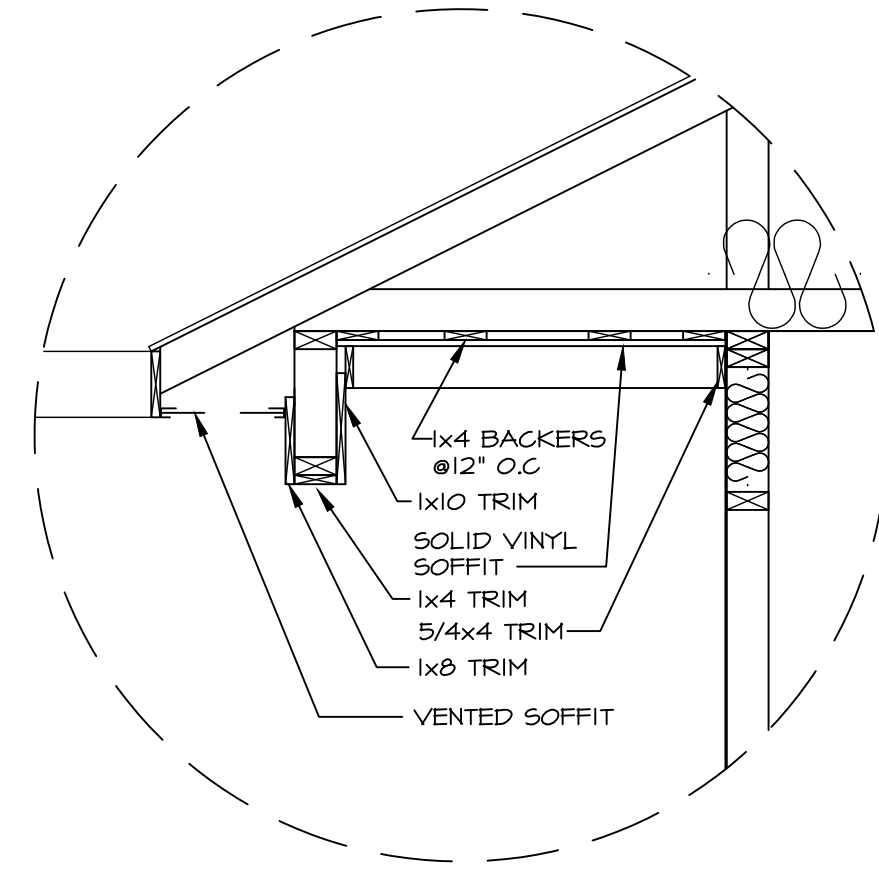
NVR	
NVR, Inc., Suite 100 5285 Westview Drive Frederick, MD 21703	

SET NO. 66H00	VERSION 01	RELEASE NO. ----
DRAWN BY	DATE:	OPTION

MODEL	GRAND BAHAMA
DRAWING TITLE	FIRST FLOOR PLAN
SHEET NO.	NC-7
OPTION DESCRIPTION	
12	



1 BUILDING SECTION - FOYER
SCALE: 1/4" = 1'-0"



2 DETAIL
SCALE: 3/4" = 1'-0"

As directed by the North Carolina Board of Architecture and Registered Interior Designers, architectural seals are not required for – and should not be placed by NVR on – these plans and specifications.

DIV-COMM-LOT-UNIT
RLH-VK-0106

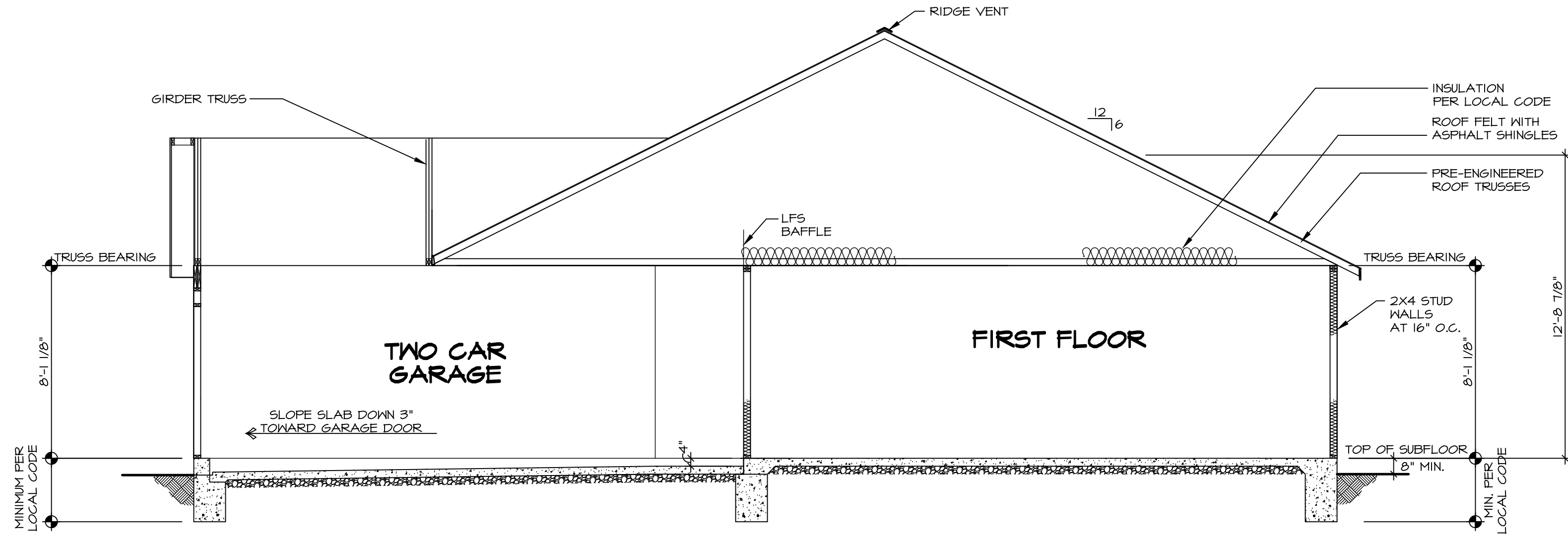
COMM-LOT
KIPFLING VILLAGE - 0106
STREET ADDRESS
91 ARTESA COURT
CITY
FUGUAY VARINA
STATE
NC
APT. NO.

ZIP
21526

© NVR, Inc., expressly reserves its copyright and other property rights in these plans. These plans are not to be reproduced, stored in a retrieval system, or transmitted in any form or manner whatsoever, nor are they to be used for any purpose other than the first obtaining the expressed written consent of NVR, Inc.

NVR
5295 West 10th Avenue, Suite 100
Ft. Lauderdale, FL 33309
James Sales
05/02/2025

SHEET NO.
NC-8
MODEL
GRAND BAHAMA
DRAWING TITLE
BUILDING SECTIONS
OPTION DESCRIPTION
SET NO. 06H00
VERSION 01
RELEASE NO. ----
DRAWN BY
DATE:
OPTION



BUILDING SECTION - GARAGE
SCALE: 1/4" = 1'-0"

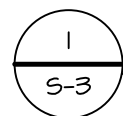
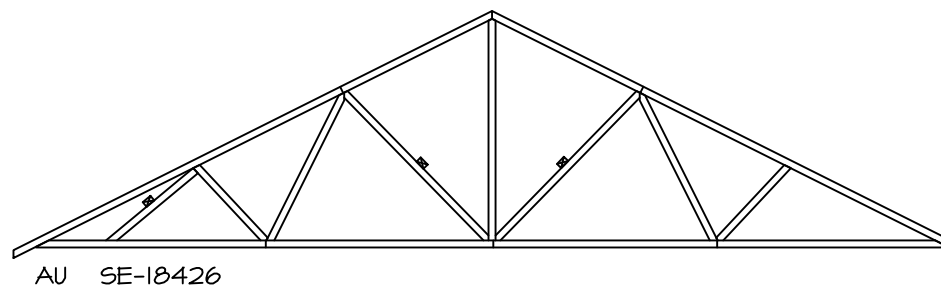
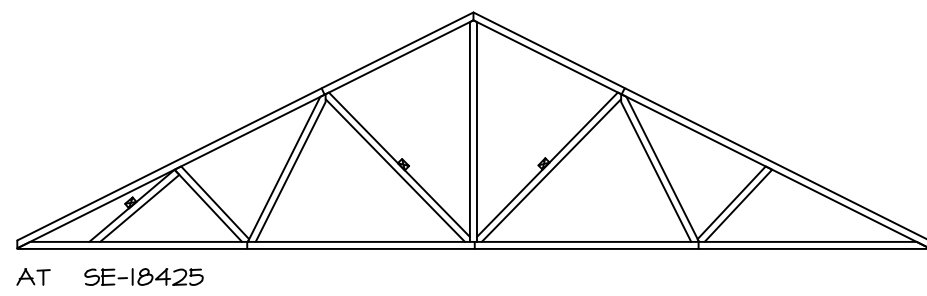
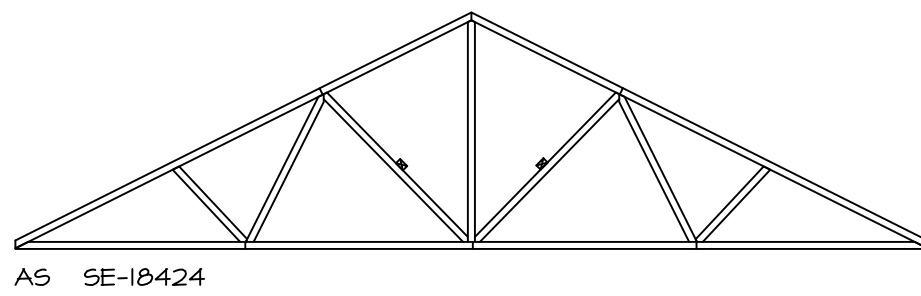
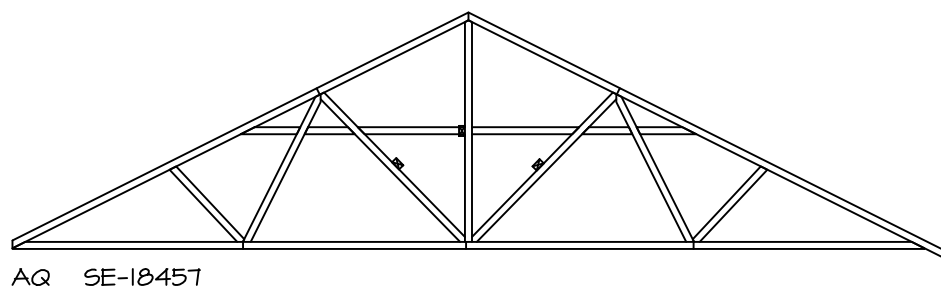
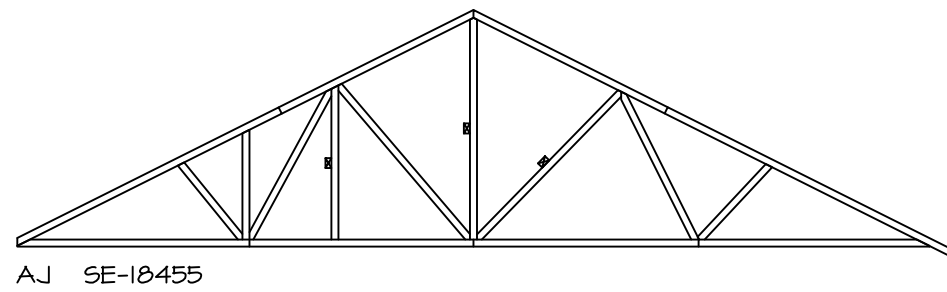
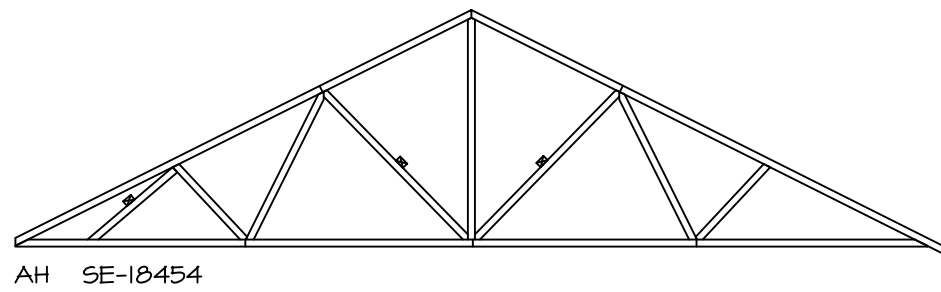
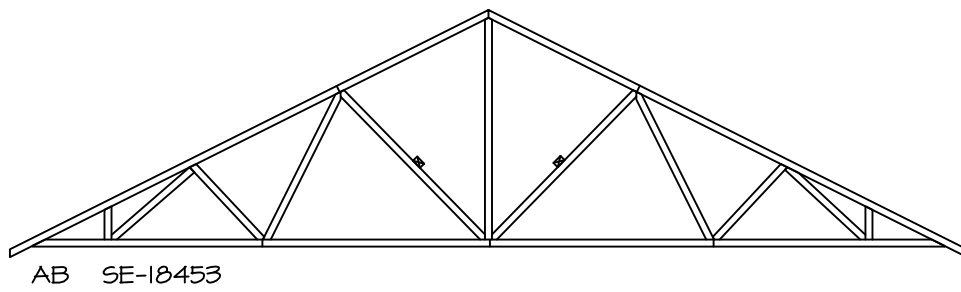
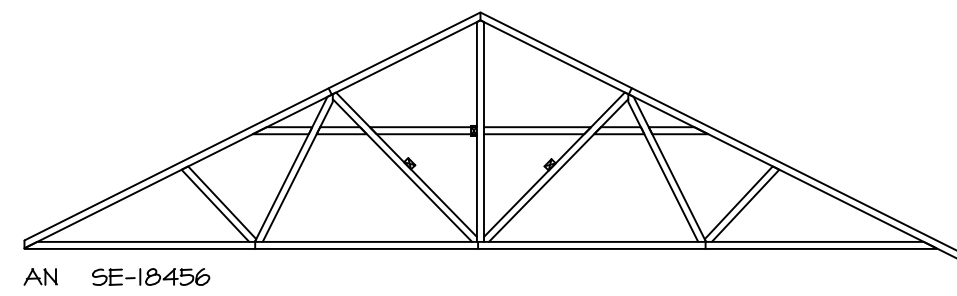
As directed by the North Carolina Board of Architecture and Registered Interior Designers, architectural seals are not required for – and should not be placed by NVR on – these plans and specifications.

DIV-COMM-LOT-UNIT RLH-VK-0106			
COMM-LOT	KIPPLING VILLAGE - 0106		
STREET ADDRESS	91 ARTESA COURT		
APT. NO.	----	STATE	NC
CITY	FUQUAY VARIANA	ZIP	27526

© NVR, Inc., expressly reserves its copyright and other property rights in these plans. These plans are not to be reproduced, stored in a retrieval system, or transmitted in any form or manner whatsoever, nor are they to be used for any purpose other than the first obtaining the expressed written consent of NVR, Inc.

NVR
5295 West 100th Ave, Suite 100
Fruita, CO 81521
James Sales
05/02/2025

SHEET NO. NC-9	MODEL GRAND BAHAMA	SET NO. 06H00
	DRAWING TITLE BUILDING SECTIONS	VERSION 01
	OPTION DESCRIPTION	RELEASE NO. ---- DRAWN BY DATE: OPTION
14		



TRUSS BRACING DETAILS

SCALE: 1/4" = 1'-0"

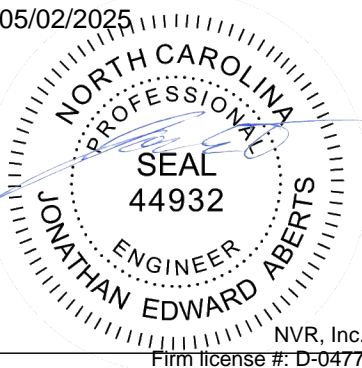
TRUSS BRACING NOTES:

- IF TRUSS DOES NOT APPEAR ON THIS TRUSS BRACING SHEET, NO ADDITIONAL LATERAL BRACING IS REQUIRED.
- 2X4 SPP#2 LATERAL BRACES SHALL BE NAILED TO MINIMUM (3) TRUSS MEMBERS WITH MINIMUM (2) 10D NAILS. PROVISIONS MUST BE MADE AT ENDS OR SPECIFIED INTERVALS TO RESTRAIN OR ANCHOR LATERAL BRACING.
- WEB "T" BRACE, DETAIL 3/RF-1c, IS REQUIRED WHERE LATERAL BRACING IS NOT CONTINUOUS ACROSS THREE (3) OR MORE TRUSSES AND MAY BE USED IN LIEU OF 2X4 LATERAL BRACING.
- DIAGONAL BRACING REQUIRED WHEN LATERAL BRACING IS REQUIRED (4/RF-1c)
- STUDDED GABLE BRACING DETAIL (1/RF-1c) TO BE UTILIZED FOR TRUSSES 6'-4" IN HEIGHT OR GREATER.
- PARTIALLY SHEATHED GABLES, SEE (5/RF-1c) FOR "L" BRACING WHEN REQUIRED.
- LATERAL BRACING CAN BE APPLIED TO EITHER SIDE OF THE WEB MEMBER IDENTIFIED IN THE DRAWING.
- SHEATHING (OSB OR GYPSUM) REPLACES LATERAL AND DIAGONAL TRUSS BRACING.

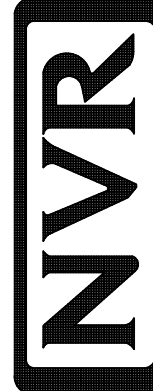
As directed by the North Carolina Board of Architecture and Registered Interior Designers, architectural seals are not required for – and should not be placed by NVR on – these plans and specifications.

DIV-COMM-LOT-UNIT
RLH-VK-0106

COMM-LOT KIPLING VILLAGE - 0106	APT. NO. -----	STATE NC	ZIP 27526
STREET ADDRESS 97 ARTESA COURT		CITY FLOUJAY VARINA	



NVR, Inc., expressly reserves its copyright and other property rights in these plans. These plans are not to be reproduced, stored in a retrieval system, or copied in any form or manner whatsoever, nor are they to be used for any project not specifically identified herein, without the prior written consent of NVR, Inc. License #: D-0477



NVR, Inc., Suite 100
5285 Westview Drive
Frederick, MD 21703

SET NO. 06H00	VERSION 01
RELEASE NO. ----	DRAWN BY
DATE:	OPTION

MODEL
GRAND BAHAMA

DRAWING TITLE
TRUSS BRACING

SHEET NO.
S-3

22

BRACED WALL LINE SCHEDULE				
WIND SPEED (ULT)	IDENTIFIER	REQUIRED (FT)	ACTUAL (FT)	METHOD
130 MPH	BWL 100.00	3.84'	6.00'	CONTINUOUS (WITH GNB)
130 MPH	BWL 101.00	8.38'	38.00'	WSP (WITH GNB)
130 MPH	BWL 102.00	11.75'	16.46'	CONTINUOUS (WITH GNB)
130 MPH	BWL 103.00	9.10'	34.00'	WSP (WITH GNB)
130 MPH	BWL 104.00	7.38'	6.00'	ENGINEERED
130 MPH	BWL 105.00	5.40'	13.00'	WSP (WITH GNB)
130 MPH	BWL 106.00	6.21'	8.16'	CONTINUOUS (WITH GNB)
130 MPH	BWL 107.00	2.33'	9.00'	WSP (WITH GNB)

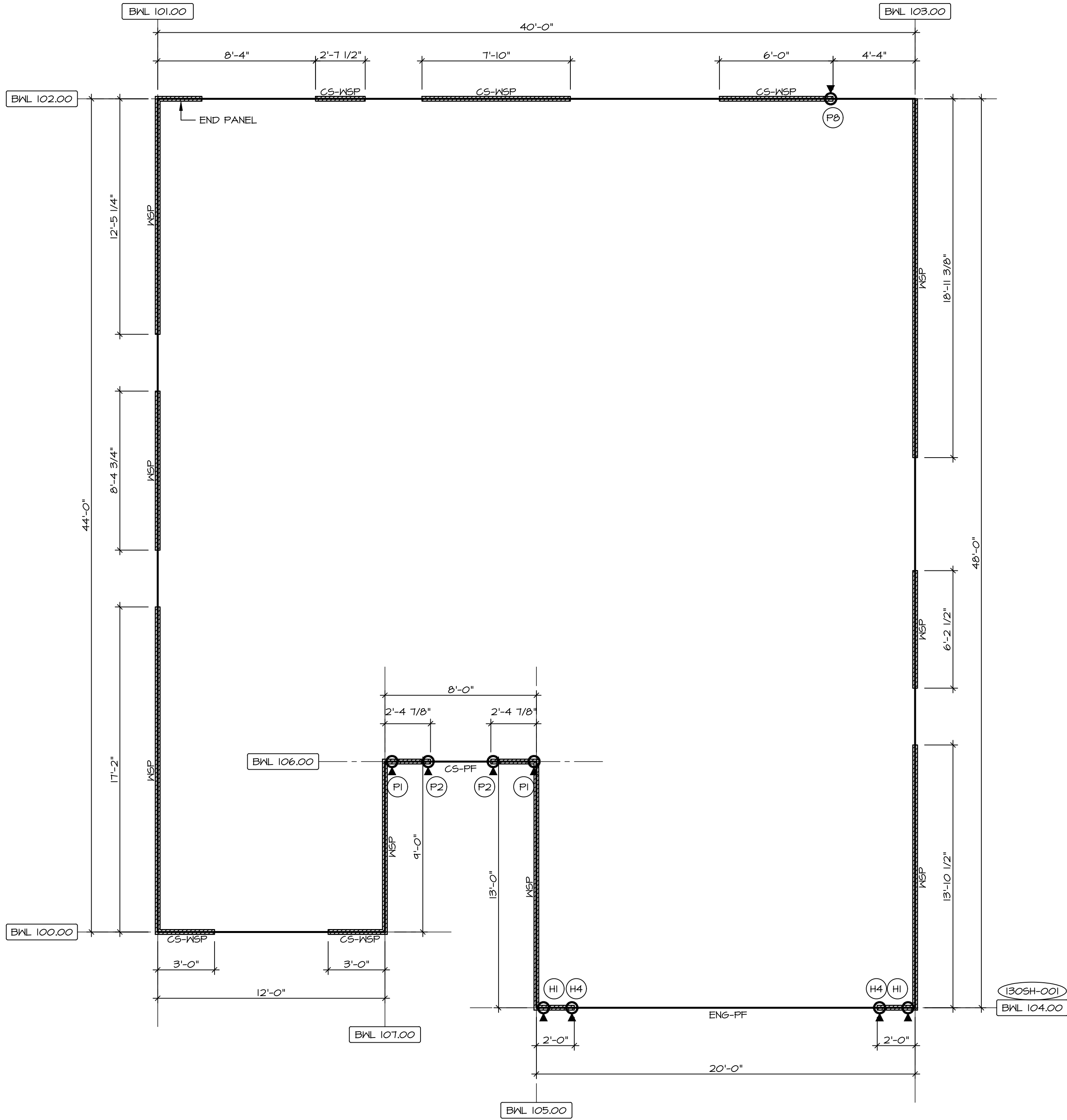
BRACING LEGEND

BWL XXXXX	BRACED WALL LINE I.D.
—	BRACED WALL LINE
—	HOUSE WALL
▨	BRACED WALL PANEL
(X)	ENGINEERING PAGE NUMBER
WSP	WOOD STRUCTURAL PANEL
GB	GYPSUM BOARD (1) SIDED OR (2) SIDED
GB-BW	GYPSUM BOARD BLOCKED WALL CONSTRUCTION (1) SIDED OR (2) SIDED (SEE STANDARD DETAIL 6 /WB-2)
LIB	LET-IN BRACING (SEE STANDARD DETAIL F /WB-2)
CS-WSP	CONTINUOUS SHEATHING - WOOD STRUCTURAL PANEL
CS-PF	CONTINUOUS SHEATHING - PORTAL FRAME, SEE FLOOR PLANS FOR PORTAL FRAME HEADER INFORMATION (SEE STANDARD DETAIL A, C /WB-2)
CS-G	CONTINUOUS SHEATHING - WOOD STRUCTURAL PANEL ADJACENT TO GARAGE OPENINGS
ENG-WSP-A	ENGINEERED DESIGN W/ WALL STRUCTURAL PANEL SHEATHING TYPE 'A' FASTENING REQUIREMENTS (NO HOLD DOWNS REQUIRED UNLESS NOTED)
ENG-WSP-B	ENGINEERED DESIGN W/ WALL STRUCTURAL PANEL SHEATHING TYPE 'B' FASTENING REQUIREMENTS (NO HOLD DOWNS REQUIRED UNLESS NOTED)
ENG-WSP-C	ENGINEERED DESIGN W/ WALL STRUCTURAL PANEL SHEATHING ON BOTH SIDES OF THE WALL TYPE 'C' FASTENING REQUIREMENTS (NO HOLD DOWNS REQUIRED UNLESS NOTED)
ENG-PF	ENGINEERED DESIGN W/ PORTAL FRAME, SEE FLOOR PLANS FOR PORTAL FRAME HEADER INFORMATION (SEE STANDARD DETAIL PAGE WB-1)
ENG-SBI-A	ENGINEERED DESIGN W/ (1) SIDED GYPSUM BOARD TYPE 'A' FASTENING REQUIREMENTS
ENG-SBI-B	ENGINEERED DESIGN W/ (1) SIDED GYPSUM BOARD TYPE 'B' FASTENING REQUIREMENTS
ENG-BW	ENGINEERED DESIGN W/ (1) SIDED GYPSUM BOARD W/ BLOCK WALL CONSTRUCTION (SEE STANDARD DETAIL 17/WB-1)
HD	HOLD-DOWN: 1. SEE SHEET WB-2 FOR "P" INDICATOR SCHEDULE AND DETAILS 2. SEE SHEET WB-4 FOR "H" INDICATOR SCHEDULE AND DETAILS 3. ARROW INDICATES LOCATION.

NOTES:
HOUSE HAS BEEN ANALYZED UTILIZING A PRESCRIPTIVE METHOD IN COMPLIANCE WITH INTERNATIONAL RESIDENTIAL CODES (IRC) UNLESS OTHERWISE NOTED. ENGINEERED WALL LINES ARE IN COMPLIANCE WITH INTERNATIONAL BUILDING CODES (IBC).

FASTENING SCHEDULE			
SHEATHING	FASTENER	SPACING	
		EDGES	FIELD
PRESCRIPTIVE 7/16" WOOD STRUCTURAL PANELS OR EQUIVALENT (W/ METHOD WSP, CS-WSP, CS-G)	8d COMMON NAILS ALTERNATIVE FASTENER 1-3/4" 16-GAUGE CORROSION RESISTANT STAPLES	6" O.C.	6" O.C.
ENGINEERED 7/16" WOOD STRUCTURAL PANELS (W/ METHOD ENG-WSP-A, ENG-WSP-B, ENG-WSP-C)	A - 8d COMMON NAILS	4" O.C.	6" O.C.
	A - 1-3/4" 16-GAUGE CORROSION RESISTANT STAPLES	3" O.C.	6" O.C.
	B - 8d COMMON NAILS*	3" O.C.	6" O.C.
	B - 1-3/4" 16-GAUGE CORROSION RESISTANT STAPLES	N/A	6" O.C.
1/2" GYPSUM WALLBOARD (W/ METHOD GB-1, GB-2, ENG-SBI-A)	C - 8d COMMON NAILS* SHEATHING ON BOTH SIDES OF THE WALL C - 1-3/4" 16-GAUGE CORROSION RESISTANT STAPLES SHEATHING ON BOTH SIDES OF THE WALL	3" O.C.	6" O.C.
	C - 1-3/4" 16-GAUGE CORROSION RESISTANT STAPLES SHEATHING ON BOTH SIDES OF THE WALL	N/A	6" O.C.
1/2" GYPSUM WALLBOARD (W/ METHOD GB-1, GB-2, ENG-SBI-A)	1-1/4" LONG, 1/4" HEAD, .018" DIA. ANNULAR-RINGED NAILS	7" O.C.	7" O.C.
1/2" GYPSUM WALL BOARD BLOCKED AT THE EDGES (W/ METHOD GB-BW-1, GB-BW-2, ENG-BW)	CORROSION RESISTANT TYPE W 1-1/4" DRYWALL SCREWS	7" O.C.	7" O.C.
1/2" GYPSUM WALL BOARD BLOCKED AT ALL GYPSUM EDGES. USE CORROSION RESISTANT TYPE W 1-1/4" DRYWALL SCREWS	BLOCKING REQUIRED AT ALL GYPSUM EDGES. USE CORROSION RESISTANT TYPE W 1-1/4" DRYWALL SCREWS	4" O.C.	12" O.C.

- NOTES:
- MINIMUM 7/16" CROWN WIDTH FOR STAPLES IN WOOD STRUCTURAL PANEL
 - SPECIFIED GYPSUM FASTENING REQUIRED ONLY WHERE METHOD GB IS IDENTIFIED. SEE PHASE SPECS FOR TYPICAL GYPSUM FASTENER SPACING.
 - USE OF STAPLES IN WOOD STRUCTURAL PANEL AS FASTENING METHOD ON WALLS PER ENGINEERED ALTERNATIVE.
 - * STAPLE ALTERNATIVE FOR USE IN FIELD ONLY. WALL PANELS NOT IDENTIFIED AS BRACED WALL PANELS SHALL BE FASTENED IN ACCORDANCE WITH THE WSP/ENG-WSP-A METHOD.



1 FIRST FLOOR BRACED WALL DETAIL
SCALE: 1/8" = 1'-0"

As directed by the North Carolina Board of Architecture and Registered Interior Designers, architectural seals are not required for – and should not be placed by NVR on – these plans and specifications.

DIV-COMM-LOT-UNIT
RLH-VK-0106

COMM-LOT
KIPLING VILLAGE - 0106
STREET ADDRESS
97 ARTESA COURT
CITY
FLOUJAY VARINA

05/02/2025
NORTH CAROLINA
PROFESSIONAL
SEAL
44932
ENGINEER
JONATHAN EDWARD ABERTS
NVR, Inc.
Professional Engineer License # D-0477

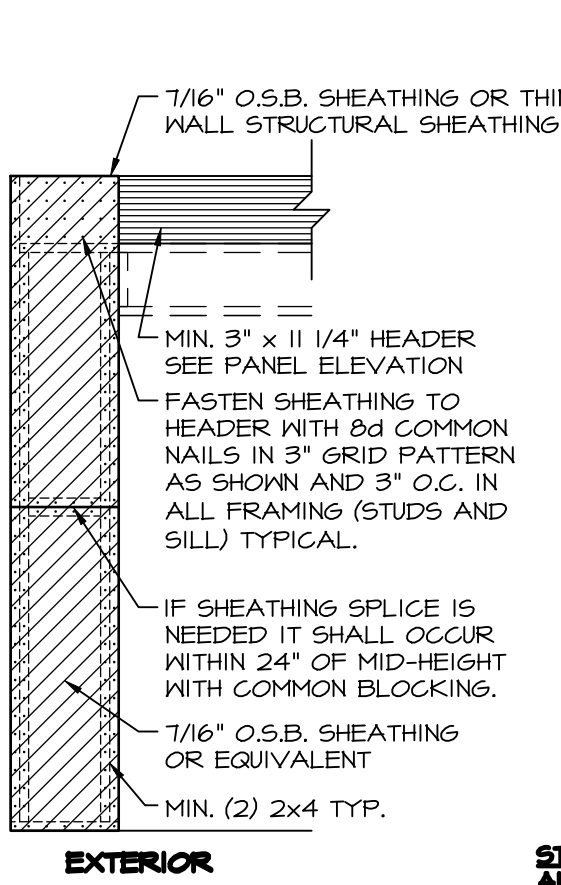
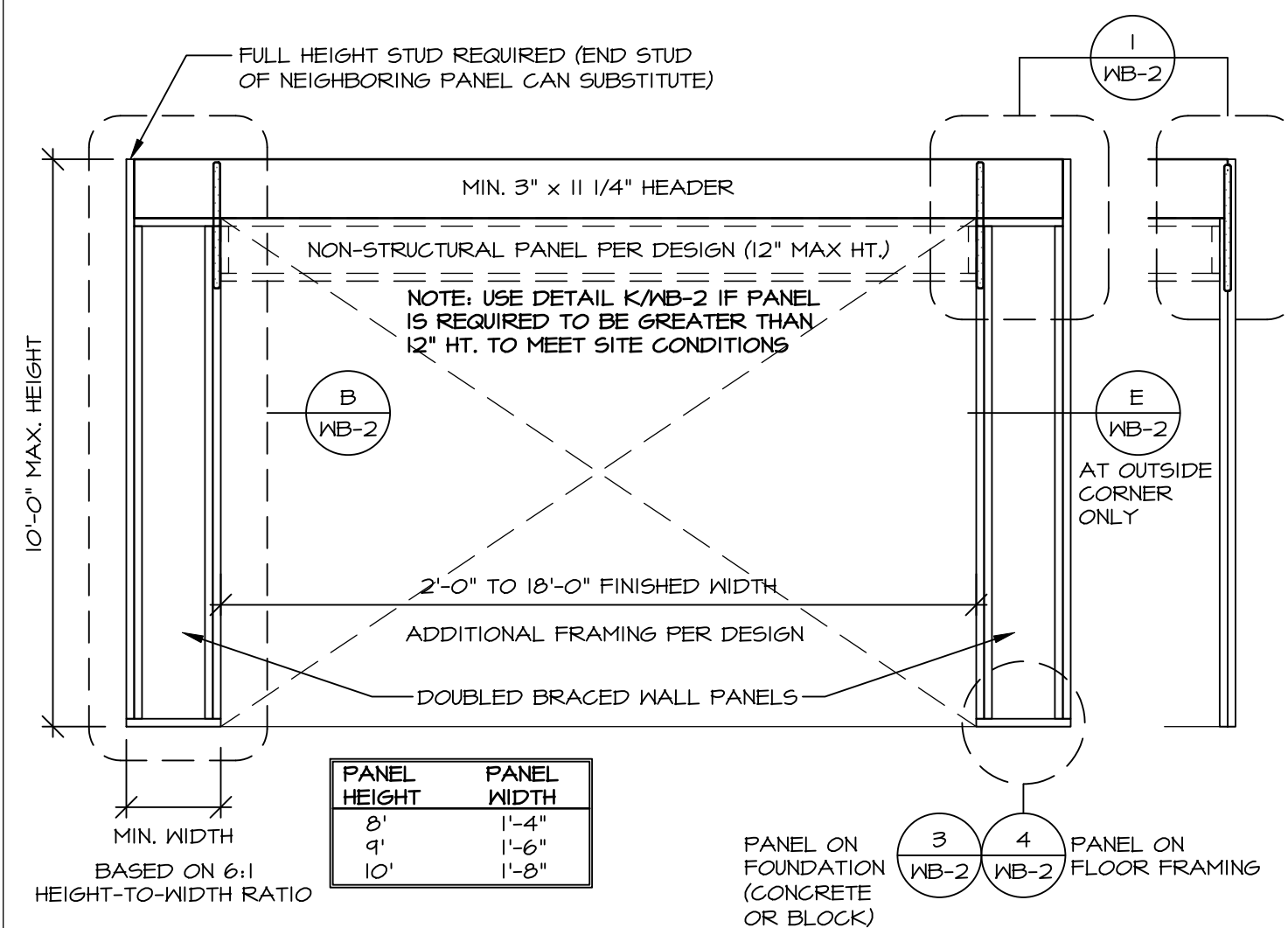
NVR, Inc., expressly reserves its copyright and other property rights in these plans. These plans are not to be reproduced, copied, or otherwise used in any form or manner whatsoever, nor are they to be used for any project not specifically identified herein, without the prior written consent of NVR, Inc.

NVR
NVR, Inc., Suite 100
5285 Westview Drive
Frederick, MD 21703

SET NO. GBH00
VERSION 01
RELEASE NO. ----
DRAWN BY
DATE:
OPTION

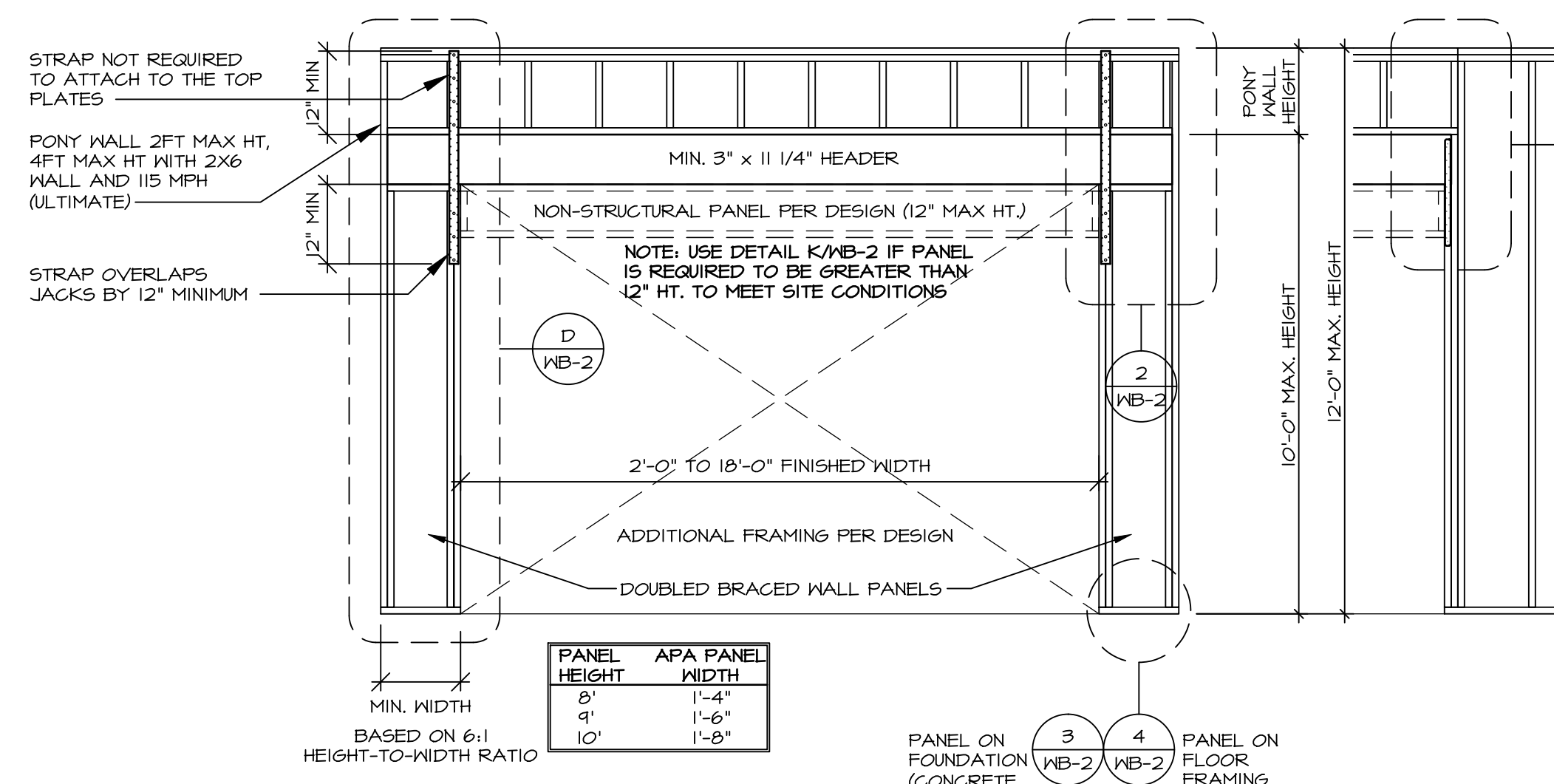
MODEL
GRAND BAHAMA
DRAWING TITLE
WALL BRACING
OPTION DESCRIPTION
SHEET NO.
S-4
23



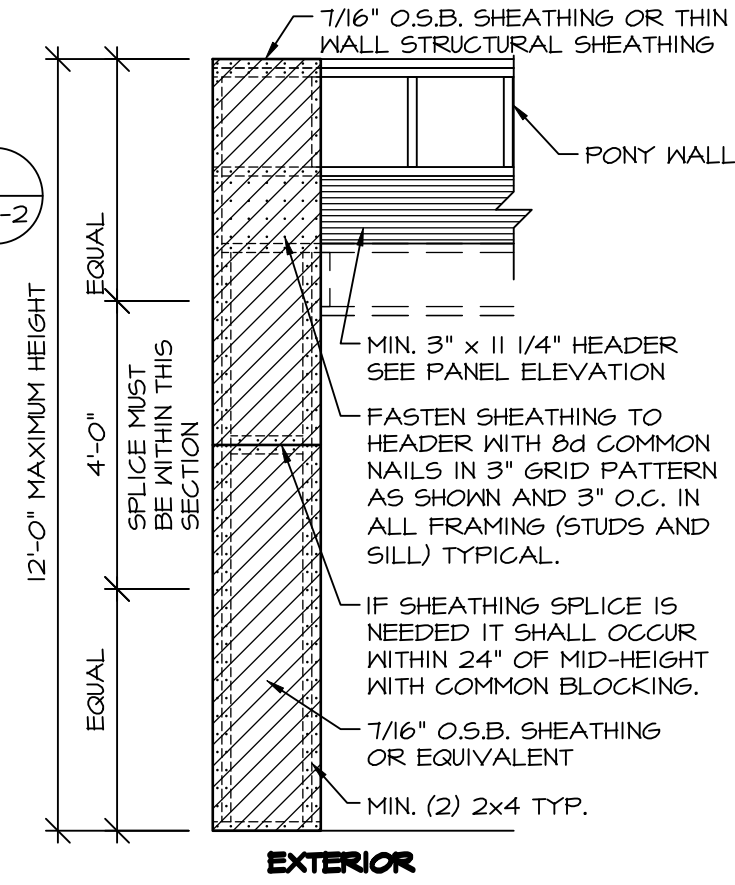


PORTAL FRAME: SHEATHING APPLICATION DETAIL

STAPLE FASTENER, ENGINEERED ALTERNATIVE FOR CDS.
FASTEN SHEATHING TO HEADER USING 16 GAUGE, 1 3/4" LEG STAPLES (MIN. 15/16" CROWN) IN A 3" X 1 1/2" GRID PATTERN AND TO ALL OTHER FRAMING MEMBERS AT 1 1/2" O.C. (TYP.)

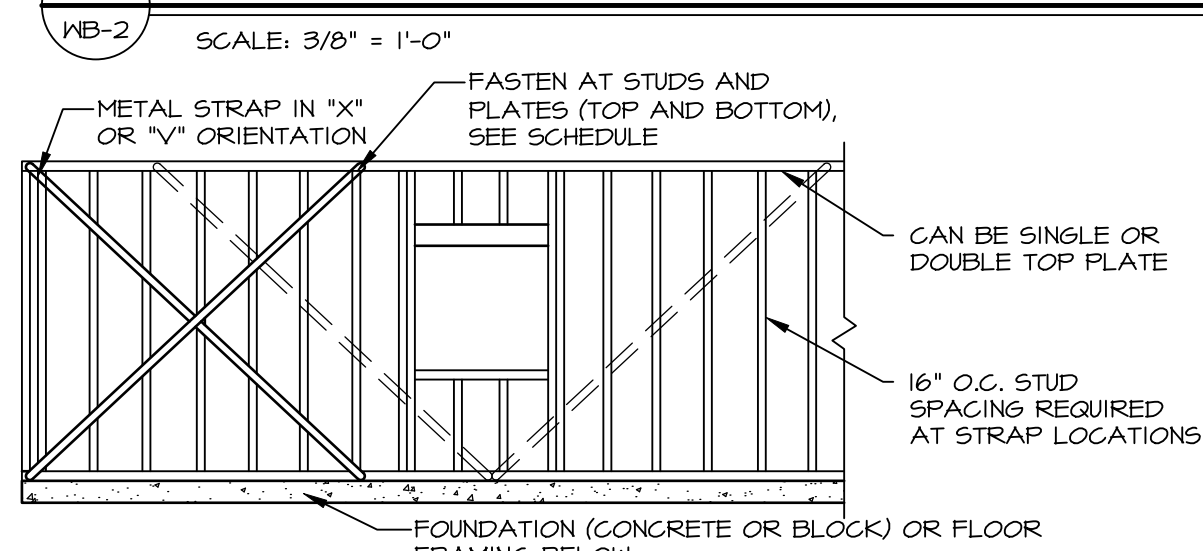


ALTERNATE PORTAL FRAME



ALTERNATE PORTAL FRAME: SHEATHING APPLICATION DETAIL

CONTINUOUSLY SHEATHED PORTAL FRAME



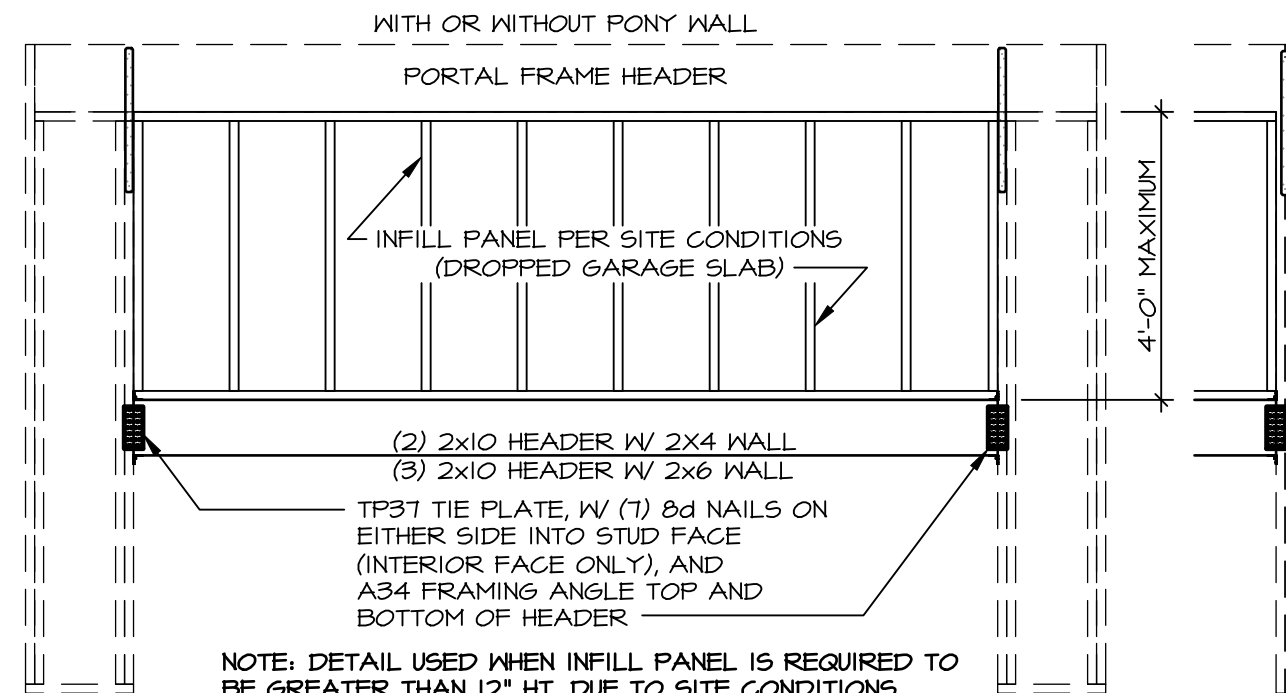
SIMPSON STRONG-TIE LIB STRAP INFO.	FASTENERS PLATES/STUDS
LIB-A = WB106	(3) 16d
LIB-B = WB126	(3) 16d (1) 8d
LIB-C = WB143C	(4) 16d

LET-IN BRACING

NOT TO SCALE

BLOCKED WALL CONSTRUCTION

NOT TO SCALE



INFILL PANEL DETAIL

NOT TO SCALE

NOTE: FOR TRUSSES WITH HEEL HEIGHTS GREATER THAN 15'-1/4", THE INTERIOR CEILING DIAPHRAGM AND EXTERIOR SHEATHING INSTALLED ON EXPOSED TRUSS HEELS ARE USED FOR LATERAL SUPPORT.

SEE ALTERNATE EXTERIOR WALL BRACING PANEL AS REQUIRED WITH CANTILEVER.

FOR INDICATED HEEL HEIGHTS, EXTEND SHEATHING UP TRUSS VERTICAL WEB MEMBER. ATTACH WITH 3-8d NAILS, NO BLOCKING BETWEEN TRUSSES REQUIRED.

HEEL HEIGHTS FROM 1/4" TO 1/4"

CONTINUOUS RIM OR END JOIST

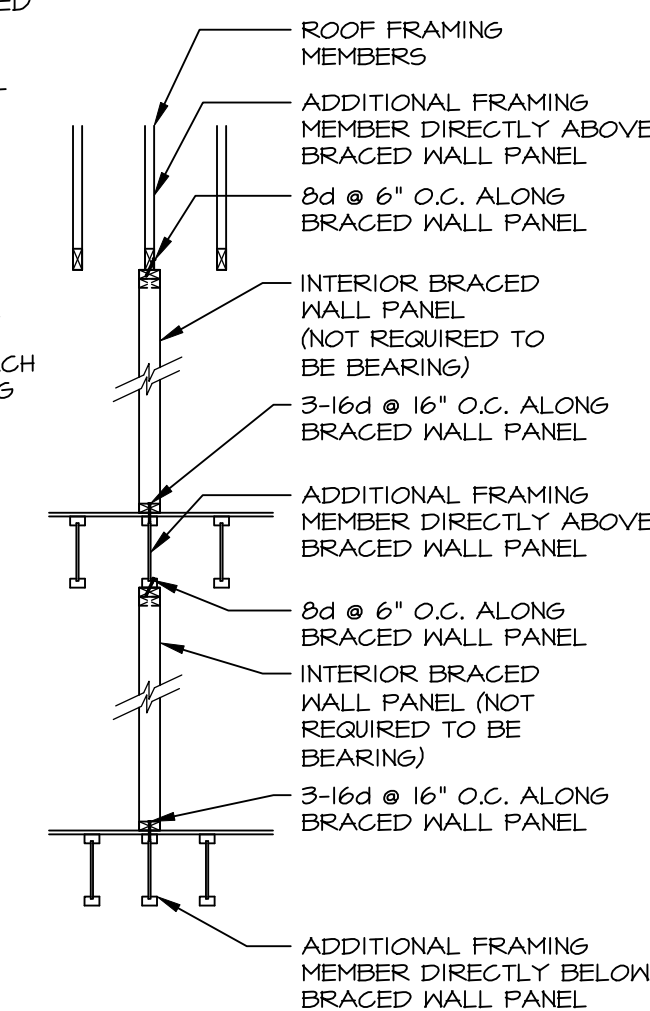
8d @ 6" O.C. ALONG BRACED WALL PANEL

3-16d @ 16" O.C. ALONG BRACED WALL PANEL

EXTERIOR BRACED WALL PANEL

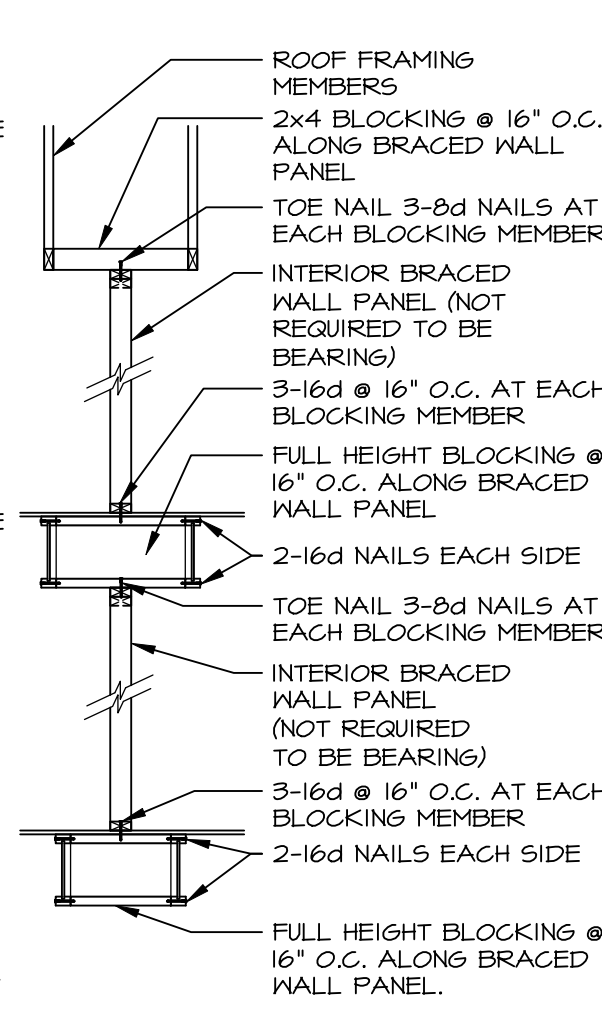
3-16d @ 16" O.C. ALONG BRACED WALL PANEL

CONTINUOUS RIM OR END JOIST



WALL BRACING PANEL CONNECTION DETAILS

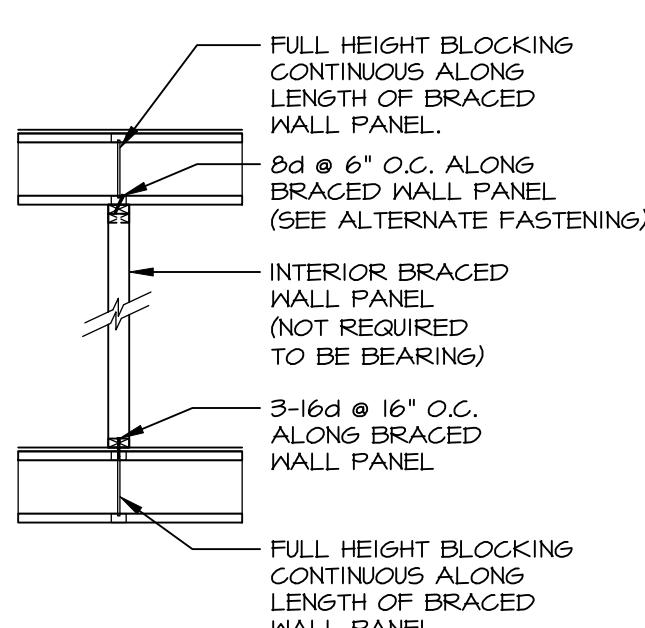
SCALE: 3/8" = 1'-0"



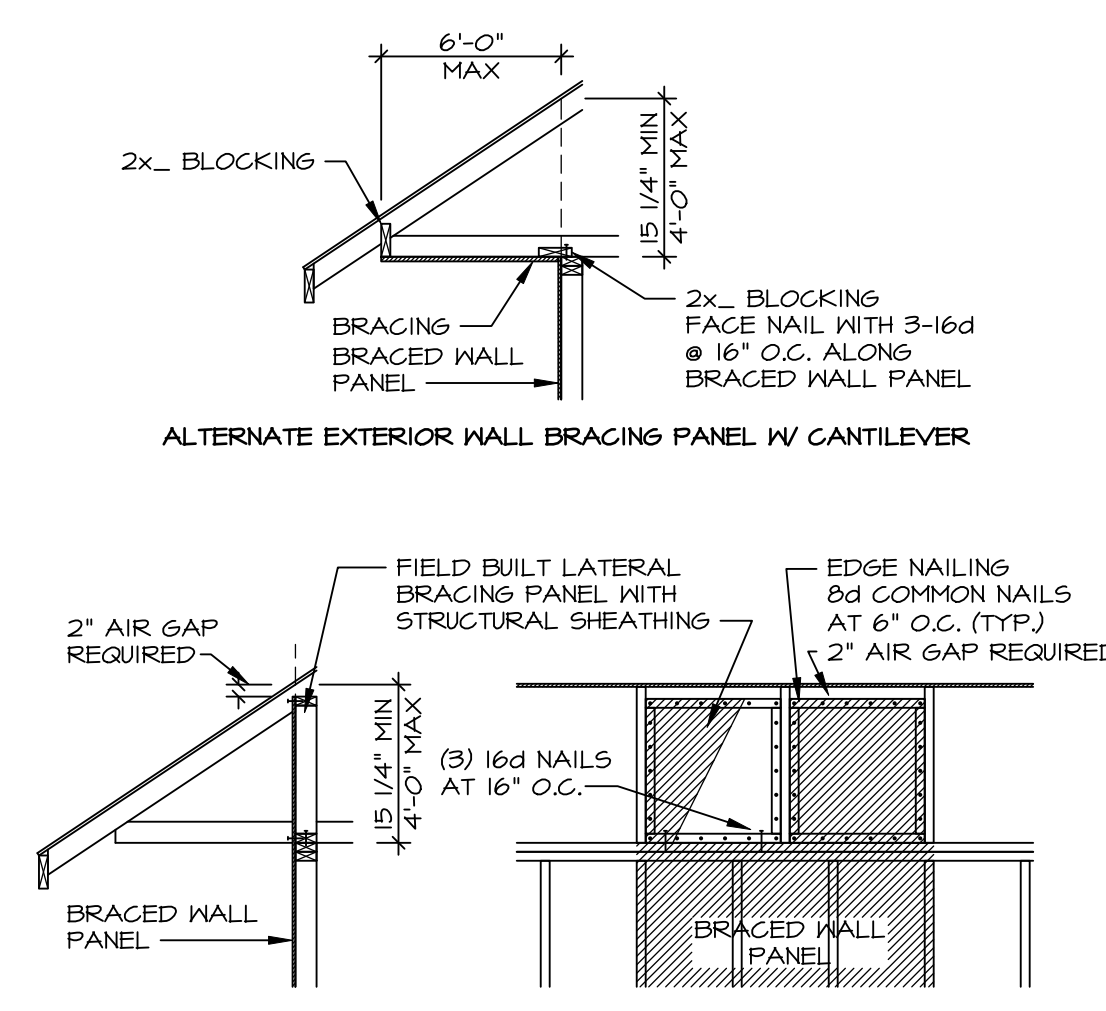
WALL BRACING PANEL CONNECTION DETAILS

SCALE: 3/8" = 1'-0"

ALTERNATE FASTENING:
WHERE PERPENDICULAR FRAMING MEMBERS ARE SPACED @ 16" O.C. OR LESS, TOE NAIL 3-8d NAILS AT EACH FRAMING MEMBER ALONG THE BRACED WALL PANELS IN LIEU OF CONTINUOUS FULL HEIGHT BLOCKING.

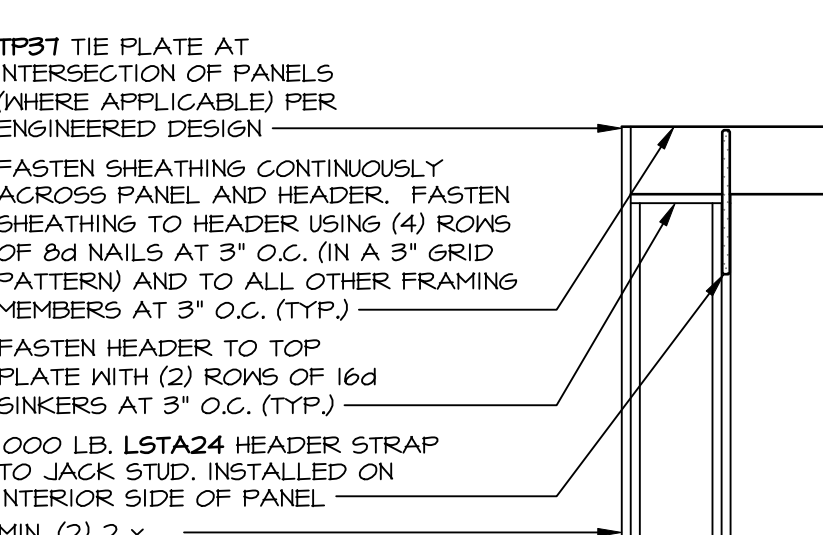


BRACED WALL PANEL CONNECTION WHEN PERPENDICULAR TO FLOOR/CEILING FRAMING



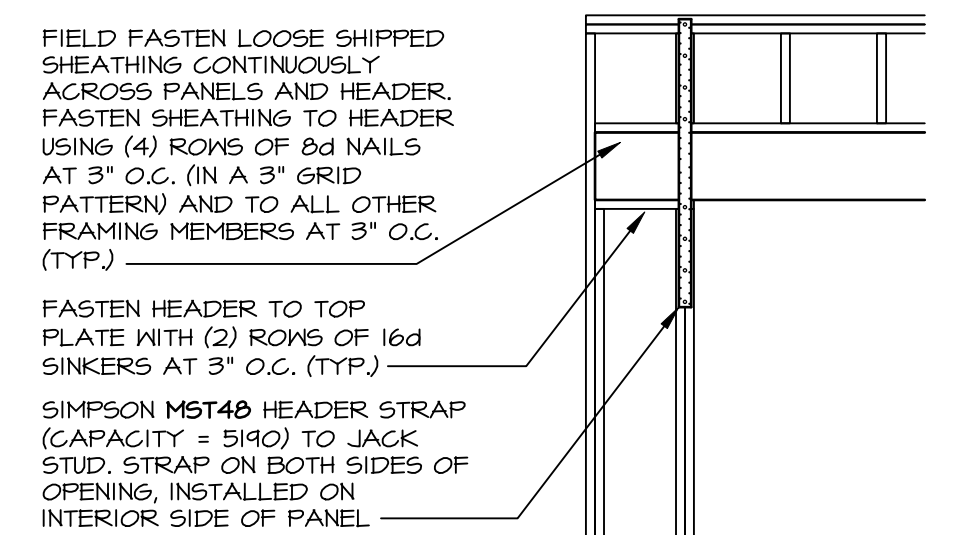
ALTERNATE EXTERIOR WALL BRACING PANEL W/ CANTILEVER

ALTERNATE EXTERIOR WALL BRACING PANEL W/ CANTILEVER ALTERNATIVE



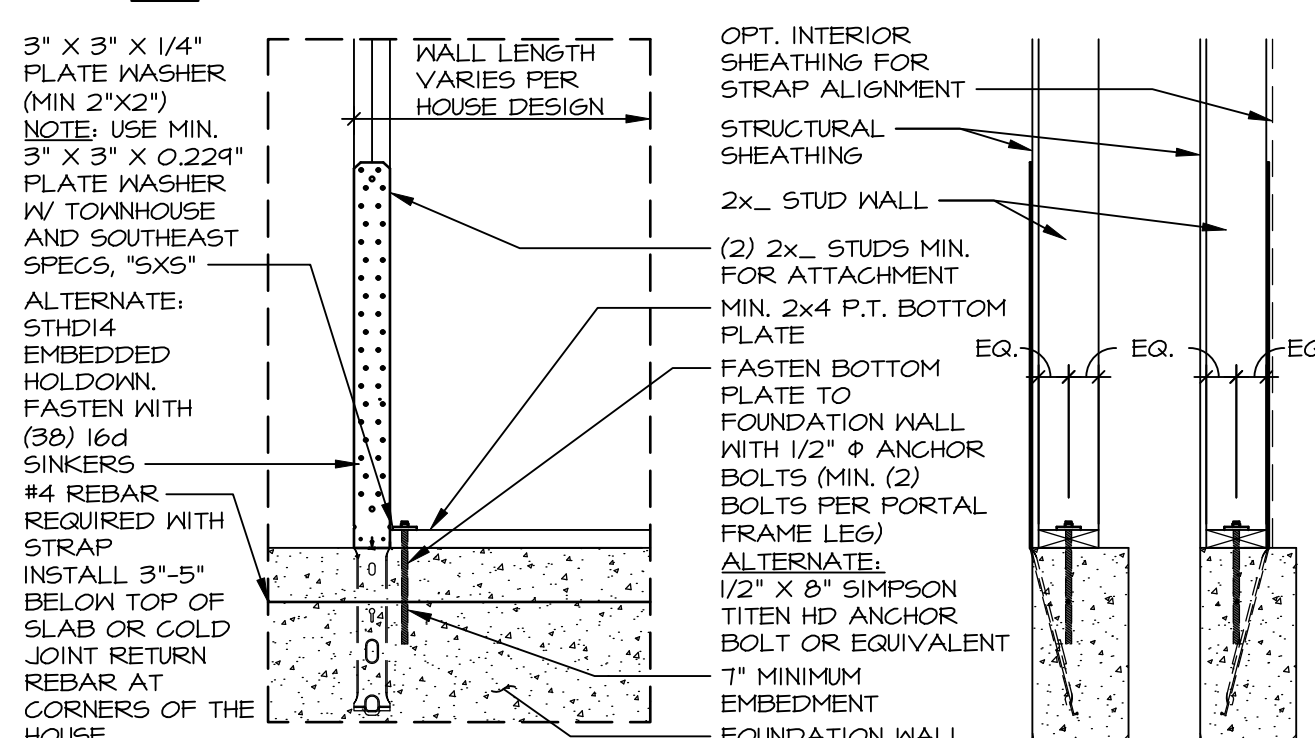
CONTINUOUSLY SHEATHED PORTAL: TYP. HEADER / PANEL CONNECTION

SCALE 3/8" = 1'-0"



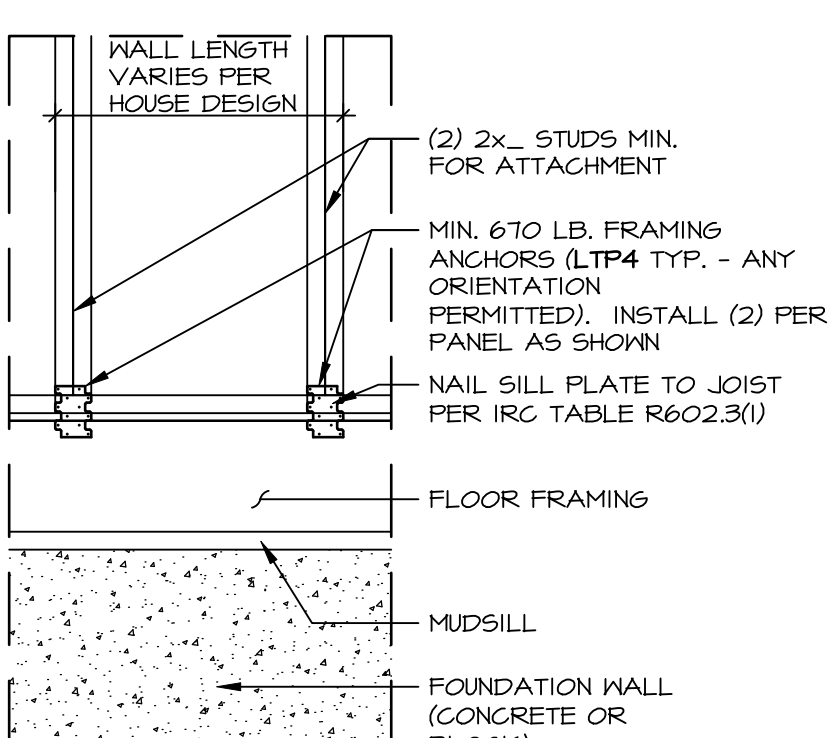
ALTERNATE PORTAL FRAME: HEADER / PANEL CONNECTION

SCALE 3/8" = 1'-0"



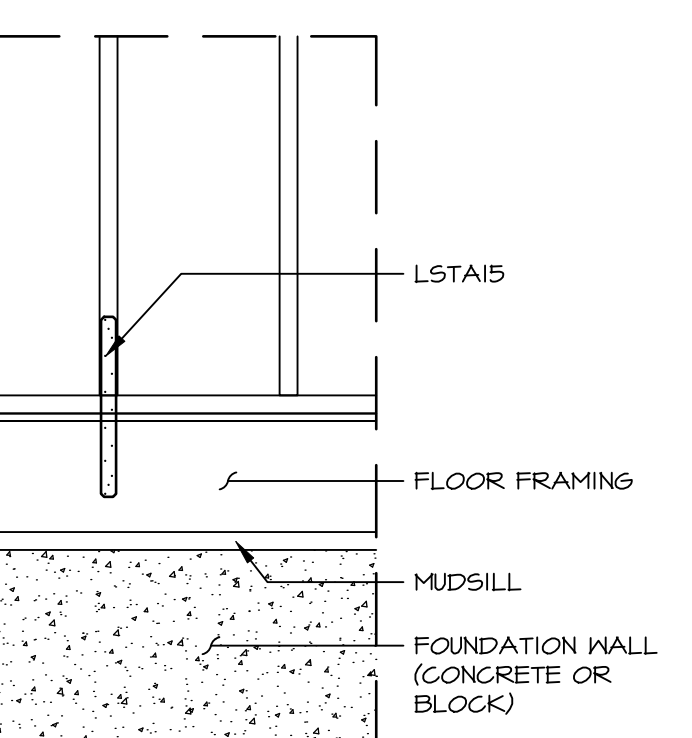
HOLD-DOWN DETAIL: FOUNDATION

SCALE: 3/4" = 1'-0"



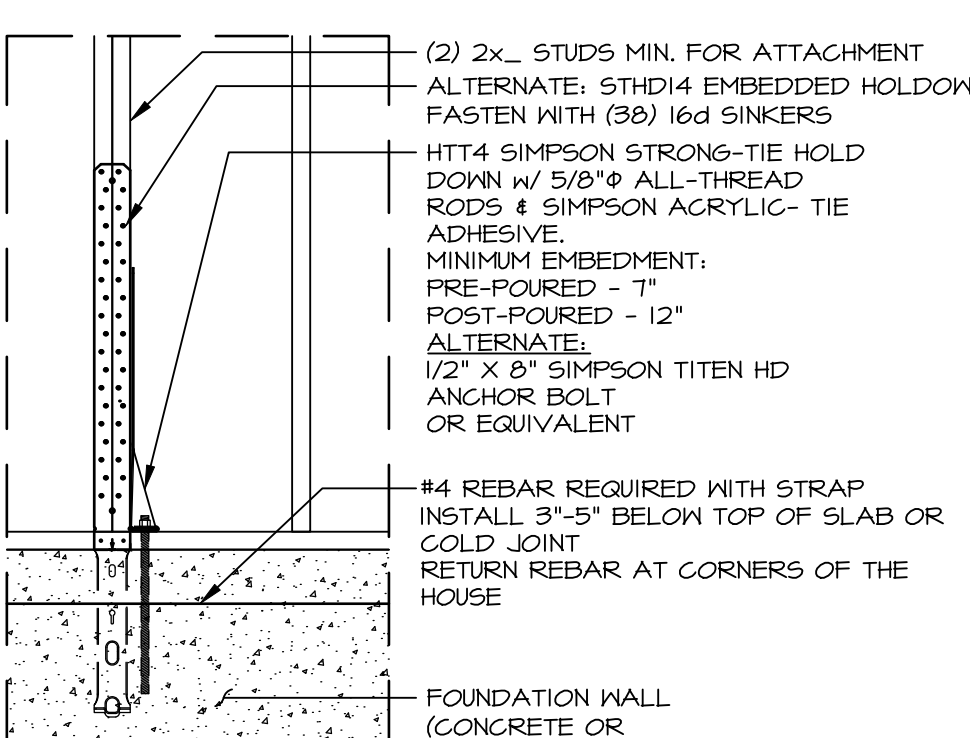
HOLD-DOWN DETAIL: FRAMED FLOOR

SCALE: 3/4" = 1'-0"



HOLD-DOWN DETAIL: FRAMED FLOOR

SCALE: 3/4" = 1'-0" 800# HOLD DOWN



HOLD-DOWN DETAIL: FOUNDATION

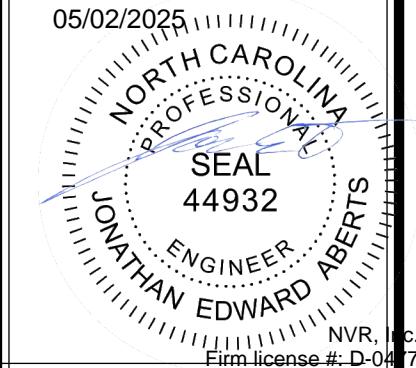
SCALE: 3/4" = 1'-0" 800# HOLD DOWN

ID	BOTTOM CONNECTOR	QTY.	DETAIL	TOP CONNECTOR	QTY.	DETAIL
P1	3"x3"x1/4" PLATE WASHER 1/2" THREADED ROD	1	(3) WB-2	NONE	N/A	N/A
P2	3"x3"x1/4" PLATE WASHER 1/2" THREADED ROD	1	(3) WB-2	LSTA24	1	(1) WB-2
P3	3"x3"x1/4" PLATE WASHER 1/2" THREADED ROD	1	(3) WB-2	MST48	1	(2) WB-2
P4	LTP4	1	(4) WB-2	NONE	N/A	N/A
P5	LTP4	1	(4) WB-2	LSTA24	1	(1) WB-2
P6	LTP4	1	(4) WB-2	MST48	1	(2) WB-2
P7	LSTA15	1	(5) WB-2	NONE	N/A	N/A
P8	HTT4 5/8" A24 THR. ROD	1	(6) WB-2	NONE	N/A	N/A
P9	NONE	N/A	N/A	LSTA24	1	(1) WB-2
P10	NONE	N/A	N/A	MST48	1	(2) WB-2

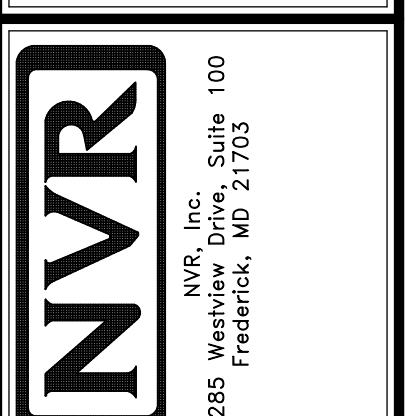
NOTES: THREADED ROD PART INCLUDES (2) NUTS AND (2) WASHERS

As directed by the North Carolina Board of Architecture and Registered Interior Designers, architectural seals are not required – and should not be placed by NVR on these plans and specifications.

REV.	NO.	DATE	REMARKS
37	1/1/24	ARS - 0249503	DETAIL B REVISED STABLE SIZE FROM 1 1/4" TO 1 3/4"
38	1/23/24	DLR - 0249504	REMOVED DETAIL E/WB-2 CORNER DETAIL
39	4/24/24	CEL - 0249504	PLATE WASHERS CHANGED TO 3"x3" WITH 1/2" THREADED ROD
40	10/2/20	CEL - REVISED	W/2" TO INCLUDE FLOOR TRUSSES
41	10/18/20	CEL - ADDED	NOTES DETAILING WHEN TO USE K/WB-2
42	4/17/21	ARS - REV. DTL C	POINT WALL NOTED
43	6/19/21	ARS - 0249503	REVISED W/2" TO REMOVE USE OF FLAT BLOCKING
44	12/19/22	DLR - 0249504	ADDED PERP. WALL BRACING DTL. AND ALT. FTS. TO HWB-2
45	4/9/23	DLR - 0249503	REVISED CONNECTOR CHART, REMOVED PART NUMBERS



NVR, Inc.
The owner, expressly reserves its copyright and other property rights in any drawings, specifications, or other documents prepared by NVR, Inc. for the project. No part of these documents may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written consent of NVR, Inc.



SET NO.	VERSION	DRAWN BY	ELH	DATE	4/8/14	OPTION
---------	---------	----------	-----	------	--------	--------

SHEET NO.	MODEL	WALL BRACING DETAILS	DRAWING TITLE	PREScriptive WALL BRACING DESIGN	OPTION DESCRIPTION
WB-2					