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Architecture Plan Review: ☒ No Comments ☐ See Comments Items drawn on any drawings and not written in the contract selctions **WILL NOT** be included in the site specific drawings.

Customer Request:

1. XXX
2. XXX
3. XXX
4. XXX

Design Solution:

1. XXX
2. XXX
3. XXX
4. XXX

Reason For Modification:

1. XXX
2. XXX
3. XXX
4. XXX

Comments:

1. XXX
2. XXX
3. XXX
4. XXX

## Square Footage

### Living Areas

FIRST FLOOR	1707 SF
SECOND FLOOR	1907 SF
	3614 SF

### Unfinished Areas

GARAGE	751 SF
OUTDOOR LIVING	239 SF
PORCH	67 SF
	1058 SF

Square Footage total may vary by +1 SF due to automated rounding of first and second floor area.

## Redraws

Plan Review: 2/18/2025

-INCREASED CARRIAGE GARAGE DEPTH TO 20' DEEP

Plan Review: XX/XX/XX

Xxxxx

Plan Review: XX/XX/XX

Xxxxx

## Division: RALEIGH

Building Code: 2018 North Carolina Residential Building Code

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Space for Architect Seal



The Drees Company  
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RESIDENCE FOR:  
**MARKET**  
108 GOLDEN LEAF FARMS RD.  
TOBACCO ROAD

Job Number: <b>TBRD-0039-00</b>	Drawing Date: <b>2/10/2025</b>	Coord Name: <b>G. PIEPER</b>	Coord Phone: <b>859.578.4355</b>
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House Name: Drawing Scale: 1/8" = 1'0"

**the KAYLEEN**

Born on Date: 05/31/2024 CDs Drawn By: CM



Sheet Information

**0C.1**  
Cover Sheet  
Elevation "A"

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GENERAL NOTES - RALEIGH

FOUNDATION NOTES

CRAWL SPACES:  
- SLOPE CONCRETE SLAB 4" MINIMUM TOWARDS GARAGE DOOR  
- EXTERIOR FLATWORK/GARAGES SHALL HAVE A MINIMUM CONCRETE SRENGTH OF 4,500 PSI  
- FOOTINGS TO A MINIMUM CONCRETE STRENGTH OF 2500 PSI, UNLESS OTHERWISE NOTED  
- ASSUMED ALLOWABLE SOIL BEARING PRESSURE: 2,000 p.s.f.  
- WATERPROOF FOUNDATION WITH BITUMINOUS SPRAY.  
- WALL TIES EMBEDDED IN THE HORIZONTAL MORTAR JOINT SHALL BE 16" ON CENTER. TIES IN ALTERNATE COURSES SHALL BE STAGGERED. THE MAXIMUM VERTICAL DISTANCE BETWEEN TIES SHALL NOT EXCEED 16" AND THE MAXIMUM HORIZONTAL DISTANCE SHALL NOT EXCEED 16" ADDITIONAL TIES SHALL BE PROVIDED AT ALL OPENINGS, AND WITHIN 12" OF THE OPENING.  
- CORE FILL ENTIRE BLOCK WALL WHEN THE WALL IS 4'-0" TALL OR HIGHER. INSTALL #4 REBAR IN EACH HOLLOW AREA OF EACH BLOCK FROM FOOTING TO TOP OF WALL, ON THE ENTIRE WALL PRIOR TO CORE FILLING IT.  
- TOP COURSE OF BLOCK ON ALL WALLS WILL BE FILLED SOLID WITH MORTAR PLACING THE FOUNDATION STRAPS OR BOLTS IN THE MORTAR 6'-0" ON CENTER, AND 12" FROM EACH CORNER.  
- 12"x16" PIERS: HOLLOW MASONRY UP TO 48" HIGH, SOLID MASONRY UP TO 9'0" HIGH  
- 16"x16" PIERS: HOLLOW MASONRY UP TO 64" HIGH, SOLID MASONRY UP TO 12'0" HIGH  
- BLOCK PIERS SHOULD BE PLACED DIRECTLY ON CONCRETE FOOTINGS PER PLAN. THEY SHOULD BE PLUMBED AND SQUARE WITHIN 1/4".  
- SILL PLATES TO BE A MINIMUM OF 2x4 NOMINAL LUMBER.

FRAMING NOTES

DESIGN LOADS:  
FLOORS: 40 psf LIVE LOAD + 10 psf DEAD LOAD = 50 psf GARAGE FLOOR: 50 psf LIVE LOAD SEISMIC: "A" & "B"  
ROOF: 18 psf LIVE LOAD + 17psf DEAD LOAD = 35 psf WIND SPEED: 120 MPH  
DESIGN DEFLECTION LIMITS (BASED ON LIVE LOAD, EXCEPT MASONRY):  
RAFTERS GREATER THAN 3:12 L/180 CEILINGS L/240  
MASONRY VENEER L/600  
NOMINAL LUMBER FLOORS: L/360  
MANUFACTURED WOOD FLOORS: DESIGNED TO MINIMUM PRO RATING OF 35 (OR EQUIVALENT).  
NO MORE THAN 8 POINT DIFFERENCE BETWEEN ADJACENT SPANS.  
L/480 FOR SPANS UP TO 16'-0" AND NO GREATER THAN 1/2" DEFLECTION  
L/600 FOR SPANS OVER 16'-0" IF SIMPLE SPAN AND NO GREATER THAN 1/2" DEFLECTION  
L/840 FOR SPANS OVER 16'-0" IF CONTINUOUS SPAN. AND NO GREATER THAN 1/2" DEFLECTION

-JOIST SPACING: 19.2" o.c. MAXIMUM SPACING  
DOUBLE EVERY OTHER FLOOR JOIST UNDER KITCHEN ISLANDS  
INSTALL UNCOUPLING MEMBRANE IN TILE FLOOR AREAS IF 19.2" o.c. FLOOR JOIST SPACING  
GLUE AND MECHANICALLY FASTEN [SCREWS] WOOD FLOOR IF 19.2" o.c. FLOOR JOIST SPACING

- MANUFACTURED WOOD PRODUCTS (INCLUDING, BUT NOT LIMITED TO, STRUCTURAL WOOD BEAMS AND I-JOISTS) SHALL BE FABRICATED, HANDLED, AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.  
- JOISTS ARE NOT TO BE PLACED DIRECTLY OVER INTERIOR PARALLEL WALLS. (TO PREVENT UNEVEN FLOOR DEFLECTION FROM OCCURRING)  
- ALL WOOD BEAMS/HEADERS: 2x6's TO BE SPF STUD GRADE OR BETTER/ 2x8 OR LARGER TO BE SYP #2 [ PER NDS 2012 ] OR BETTER, U.O.N.  
- ALL HEADERS SHALL BE SUPPORTED BY (1) 2x JACK STUD AND (1) 2x KING STUD MINIMUM. THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACKS REQUIRED, U.N.O. AT FLUSH OR DROPPED BEAMS, THE NUMBER OF STUDS SPECIFIED INDICATES THE TOTAL NUMBER OF STUDS REQUIRED TO SUPPORT THE BEAM.  
- EXTERIOR WALLS TO BE 2x4 SPF STUD GRADE AT 16" o.c. UNLESS OTHERWISE NOTED (10'-4-1/2" MAXIMUM WALL HEIGHT)  
- ALL INTERIOR BEARING WALLS AND WALLS AT BASEMENT & FIRST FLOOR STAIRWELLS, KITCHEN, BATH, & GARAGE TO BE 2x4 SPF STUD GRADE @ 16" o.c.; ALL OTHER NON-BEARING INTERIOR WALLS TO BE 2x4 SPF STUD GRADE @ 24" o.c. U.O.N.  
- ALL WALLS TO BE 3 1/2" UNLESS OTHERWISE NOTED.  
- PROVIDE SOLID BEARING TO FOUNDATION OR BEAM BELOW FOR ALL BEAMS, HEADERS & GIRDER TRUSSES. PROVIDE BLOCKING BETWEEN JOISTS AS REQUIRED.  
- SEE SELECTION SHEET FOR SIZE AND STYLE OF FIREPLACE. SEE FIREPLACE ELEVATION DETAIL FOR ADDITIONAL FRAMING REQUIREMENTS, IF ANY.  
- CHECK SELECTION SHEETS FOR FLOOR COVERING AT TOP AND BOTTOM OF STAIR RISERS AND ADJUST RISERS AS REQ'D.  
- PROVIDE BLOCKING AT ALL HANDRAIL TERMINATION AND BRACKET LOCATIONS.  
- 20-MINUTE FIRE RATED DOOR BETWEEN GARAGE AND LIVING AREA.  
- EXTERIOR WALL TO BE 2x4 SPF STUD G AT 16" o.c. UNLESS OTHERWISE NOTED (10'-0" MAXIMUM UNBRACED WALL HEIGHT).  
- ALL EXTERIOR WALLS AND INTERIOR BEARING WALLS, FRAMED HIGHER THAN THE STANDARD PLATE HEIGHT, SHALL BE FRAMED WITH CONTINUOUS FULL HEIGHT STUDS TO THE HIGHEST CEILING (I.E. NO INTERMEDIATE BREAKS) TO PREVENT LATERAL HINGE CONDITIONS.  
- IN THE GARAGE, PROVIDE 1/2" GYP. BOARD AT ALL WALLS COMMON TO LIVING SPACE AND ALL STRUCTURAL MEMBERS SUPPORTING FLOOR/CEILING ASSEMBLY. GARAGE CEILING TO BE 1/2" SAG RESISTANT GYP. BOARD WHEN THERE ARE NO HABITABLE SPACES ABOVE, OR 5/8" TYPE X GYP. BOARD WHEN HABITABLE SPACES ARE ABOVE.  
- ALL EMERGENCY ESCAPE & RESCUE OPENINGS TO BE A MAXIMUM OF 44" OFF OF FINISHED FLOOR AND HAVE MINIMUM OPENING DIMENSIONS OF 24" IN HEIGHT, 20" IN WIDTH, & HAVE A MINIMUM OPENING AREA OF 5.7 S.F.  
ALL DOORS TO BE 6'-8" TALL UNLESS OTHERWISE NOTED.  
- ALL GLASS IN INTERIOR AND EXTERIOR DOORS TO BE TEMPERED (INCLUDING SIDELITES AND TRANSOMS)  
- ALL LUMBER CONTACTING CONCRETE TO BE PRESSURE TREATED.  
- ALL FASTENERS, HANGERS, AND OTHER CONNECTORS TO BE USED WITH PRESSURE TREATED WOOD ARE TO HAVE ZMAX COATING (OR EQUIVALENT) HOT-DIPPED GALVANIZED OR STAINLESS STEEL.  
- AT STAIR HANDRAIL, ON ONE SIDE ONLY, SHALL BE CONTINUOUS FOR THE ENTIRE LENGTH OF THE STAIRWAY, AND ENDS SHALL BE RETURNED TO A WALL OR POST. THE HANDRAIL MAY BE INTERRUPTED AT A NEWEL POST AT A TURN.  
- ALL HANDRAIL GRIP PORTIONS SHALL NOT EXCEED 2-1/4" IN CROSS SECTIONAL DIMENSION.  
- HANDRAILS SHALL BE INSTALLED ON ALL STAIRS WITH 4 OR MORE RISERS, HANDRAIL HEIGHTS SHALL BE A MINIMUM OF 34" AND A MAXIMUM OF 38".  
- ALL STAIRS TO BE CONSTRUCTED SO AS NOT TO ALLOW A 4" SPHERE TO PASS THROUGH THE RISER.  
- GUARDRAILS MUST BE A MINIMUM OF 36" HIGH. GUARDRAILS AT THE OPEN SIDES OF STAIRS MUST BE A MINIMUM OF 34" HIGH MEASURED VERTICALLY FROM THE NOSING AT THE TREADS. THE HORIZONTAL SPACING OF THE VERTICAL BALUSTERS SHALL BE 4" O.C.  
- GUARDRAIL DESIGN TO RESIST A MINIMUM OF 200 LBS LATERAL FORCE

BASEMENTS:  
- SLOPE CONCRETE SLAB 4" MINIMUM TOWARDS GARAGE DOOR  
- EXTERIOR FLATWORK/GARAGES SHALL HAVE A MINIMUM CONCRETE SRENGTH OF 4,500 PSI  
- FOOTINGS TO A MINIMUM CONCRETE STRENGTH OF 2500 PSI, UNLESS OTHERWISE NOTED- ALL FOUNDATION WALLS TO BE CAST IN PLACE CONCRETE 3000 PSI MIN. UNLESS OTHERWISE NOTED.  
- BASEMENT WINDOW LOCATIONS MAY VARY FROM DRAWING DUE TO LOT CONDITIONS.  
- BACKFILL ADJACENT TO FOUNDATION WALLS SHALL NOT BE PLACED UNTIL THE WALL HAS SUFFICIENT STRENGTH AND HAS BEEN ANCHORED TO THE FLOOR OR HAS BEEN SUFFICIENTLY BRACED TO PREVENT DAMAGE BY THE BACKFILL.  
- ASSUMED ALLOWABLE SOIL BEARING PRESSURE: 2,000 p.s.f.  
- WATERPROOF FOUNDATION WITH BITUMINOUS SPRAY.  
- VERTICAL CONTROL JOINTS IN BASEMENT FOUNDATION WALLS - STANDARD LOCATION GUIDELINES:  
1) PLACE A CONTROL JOINT IN ALL UNBRACED WALLS OVER 30' IN LENGTH. (NOTE: "T" WALLS AND CORNERS COUNT AS A BRACE).  
2) WINDOWS THAT ARE LARGER THAN THE STANDARD BASEMENT WINDOW REQUIRE A CONTROL JOINT.  
3) CONTROL JOINTS ARE NOT REQUIRED AT EVERY WINDOW THAT IS STANDARD SIZE.  
4) IF THERE IS A STANDARD WINDOW LOCATED IN A WALL SEGMENT THAT REQUIRES A CONTROL JOINT, THEN THE CONTROL JOINT SHOULD BE PLACED ON THE SIDE OF THE WINDOW THAT IS ADJACENT TO THE LONG SIDE OF THE WALL. IF THERE IS MORE THAN ONE WINDOW IN A WALL THEN ONLY ONE WINDOW SHOULD HAVE A CONTROL JOINT.  
5) DOORS DO NOT GET CONTROL JOINTS.  
6) CONTROL JOINTS SHOULD NOT BE LOCATED WITHIN 3' OF A BEAM POCKET.  
7) CONTROL JOINTS ARE REQUIRED AT THE FIRST AND LAST STEP DOWN AT STEPPED BASEMENT FOUNDATION WALLS.  
- INTERIOR FLATWORK SHALL HAVE A MINIMUM CONCRETE STRENGTH OF 3,000 PSI.  
- ALL VERTICAL STEEL AND ALL STEEL IN STRUCTURAL SLABS TO BE GRADE 60. ALL HORIZONTAL STEEL IN FOUNDATION WALLS AND FOOTERS TO BE GRADE 40 STEEL.

MECHANICAL/ELECTRICAL NOTES

- ANY GAS APPLIANCES MUST BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.  
- HOLD THE CENTERLINE OF ALL EXTERIOR LIGHT FIXTURES AT 5'-8" OFF BOTTOM OF DOOR OPENING.  
- ALL KITCHEN CABINET DIMENSIONS ARE CABINET TO CABINET.  
- CABINET STYLES MAY VARY FROM INTERIOR ELEVATIONS DEPENDING ON STYLE, MANUFACTURER, ETC. FOR CABINET DETAILS SEE SHOP DRAWINGS.  
- CABINET SIZES MAY VARY WITH FULL-OVERLAY CABINETS.  
- GROUND FAULT INTERRUPTER (GFCI) OUTLETS TO BE INSTALLED PER NEC 2017, SECT. 210.8  
- PROVIDE HOSE BIBS PER DIVISION SPEC. SHEET. EXACT LOCATION TO BE FIELD DETERMINED UNLESS OTHERWISE NOTED ON THE PLANS.  
- MIN. 50 C.F.M. FOR ALL EXHAUST FANS IN BATHROOMS

INSULATION DETAILS  
EXTERIOR STUD WALL CAVITY: (2x4) R-15  
(2x6) R-19  
FLOOR JOIST CAVITY AT STANDARD PERIMETER: R-19  
FLOOR JOIST CAVITY AT CANTILEVER: R-19  
OVER GARAGE: (OVER HORIZONTAL SPACE) R-38 BLOWN  
(SLOPED AND VERTICAL SPACE) R-38 BATT

ELEVATION NOTES


- WINDOW STYLE AND MULLIONS MAY VARY FROM ELEVATION DEPENDING UPON MANUFACTURER, STYLE, PATTERN, TYPE, ETC.  
- USE SECONDARY HEAT BARRIER ON ALL DIRECT VENT FIREPLACES 7' OR LESS ABOVE A WALKWAY.  
- GRADE AWAY FROM FOUNDATION WALLS SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10'.  
- PROVIDE TYVEK OR EQUIVALENT HOUSE WRAP BEHIND BRICK AND STONE VENEER OVER WOOD SHEATHING.  
- PROVIDE BRICK WEEP HOLES AT 24" O.C. WITH BRICK VENEER AND MORTER NET BEHIND AND THROUGH WEEP HOLES.  
- PROVIDE FLASHING AND WEEP HOLES ABOVE ALL BRICK ANGLE IRONS, BELOW ALL BRICK SILLS AND ABOVE SILL PLATE SEALERS.  
- EXTERIOR STEPS TO HAVE A MAXIMUM 8" RISER. WHEN VERTICAL RISE EXCEEDS 30" OR FOUR OR MORE CONTINUOUS RISERS, A HANDRAIL IS REQUIRED.

ROOF PLAN NOTES

- ALL OVERHANGS TO HAVE (2) SOFFIT VENTS PER EACH 8' SOFFIT SECTION.  
- PROVIDE BAFFLES AT EXTERIOR TRUSS BEARING FOR VENTILATION.  
- PROVIDE 15# FELT PAPER UNDER SHINGLES.

SLAB ON GRADE:  
- ALL CONCRETE SLABS ON GRADE SHALL BE THE THICKNESS AS INDICATED ON THE DETAILS OVER MINIMUM 6 MIL. POLYETHYLENE (VISQUEEN) VAPOR BARRIER. SLABS SHALL BE REINFORCED WITH 6x6 W1.4 WWF LAPPED 8" AT EDGES AND ENDS IN CONFORMANCE WITH ASTM-A 185, OR FIBERMESS REINFORCEMENT SHALL BE USED WITH A MINIMUM FIBER LENGTH OF 1/2" TO 2 1/4" COMPLYING WITH ASTM C 1116. THE DOSAGE AMOUNT SHALL BE 0.75 TO 3.0 POUNDS PER CUBIC YARD IN ACCORDANCE WITH MANUFA TURER'S RECOMMENDATIONS.  
- SLABS ON GRADE SHALL BEAR ON STRUCTURAL FILL WHICH SHALL BE CLEAN SAND FREE OF DEBRIS AND OTHER DELETERIOUS MATERIAL. STRUCTURAL FILL SHALL BE COMPACTED TO A DENSITY OF AT LEAST 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D1557). TERMITE PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS. IF SOIL TREATMENT IS USED, THE TREATMENT SHALL BE DONE AFTER ALL EXCAVATION, BACKFILLING, AND COMPACTION IS COMPLETED.  
- FOOTINGS MAY BEAR UPON UNDISTURBED SOIL OR UPON STRUCTURAL FILL. STRUCTURAL FILL SHALL BE COMPACTED TO A DENSITY OF AT LEAST 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D1557) FOR A DEPTH OF AT LEAST TWO FEET (2'-0") BELOW THE BOTTOM OF THE FOOTING.  
- THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT:  
3" CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH  
2" CONCRETE EXPOSED TO EARTH AND WEATHER  
1 1/4" CONCRETE NOT EXPOSED TO EARTH OR WEATHER  
- SLOPE CONCRETE SLAB 4" MINIMUM TOWARDS GARAGE DOOR  
- EXTERIOR FLATWORK/GARAGES SHALL HAVE A MINIMUM CONCRETE SRENGTH OF 4,500 PSI  
- ASSUMED ALLOWABLE SOIL BEARING PRESSURE: 2,000 p.s.f.  
- INTERIOR FLATWORK SHALL HAVE A MINIMUM CONCRETE STRENGTH OF 3,000 PSI.  
- ALL STEEL IN STRUCTURAL SLABS TO BE GRADE 60. ALL HORIZONTAL STEEL IN FOUNDATION WALLS AND FOOTERS TO BE GRADE 40 STEEL.


Space for Architect Seal



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RESIDENCE FOR:  
**MARKET**  
108 GOLDEN LEAF FARMS RD.  
TOBACCO ROAD

Job Number: <b>TBRD-0039-00</b>	Drawing Date: <b>2/10/2025</b>	Coord Name: <b>G. PIEPER</b>	Coord Phone: <b>859.578.4355</b>
House Name:			Contract Drawn By: <b>EWI</b>
the <b>KAYLEEN</b>			Series: <b>EXECUTIVE</b>
			Plan No.:
Born on Date: 05/31/2024	CDs Drawn By: CM		



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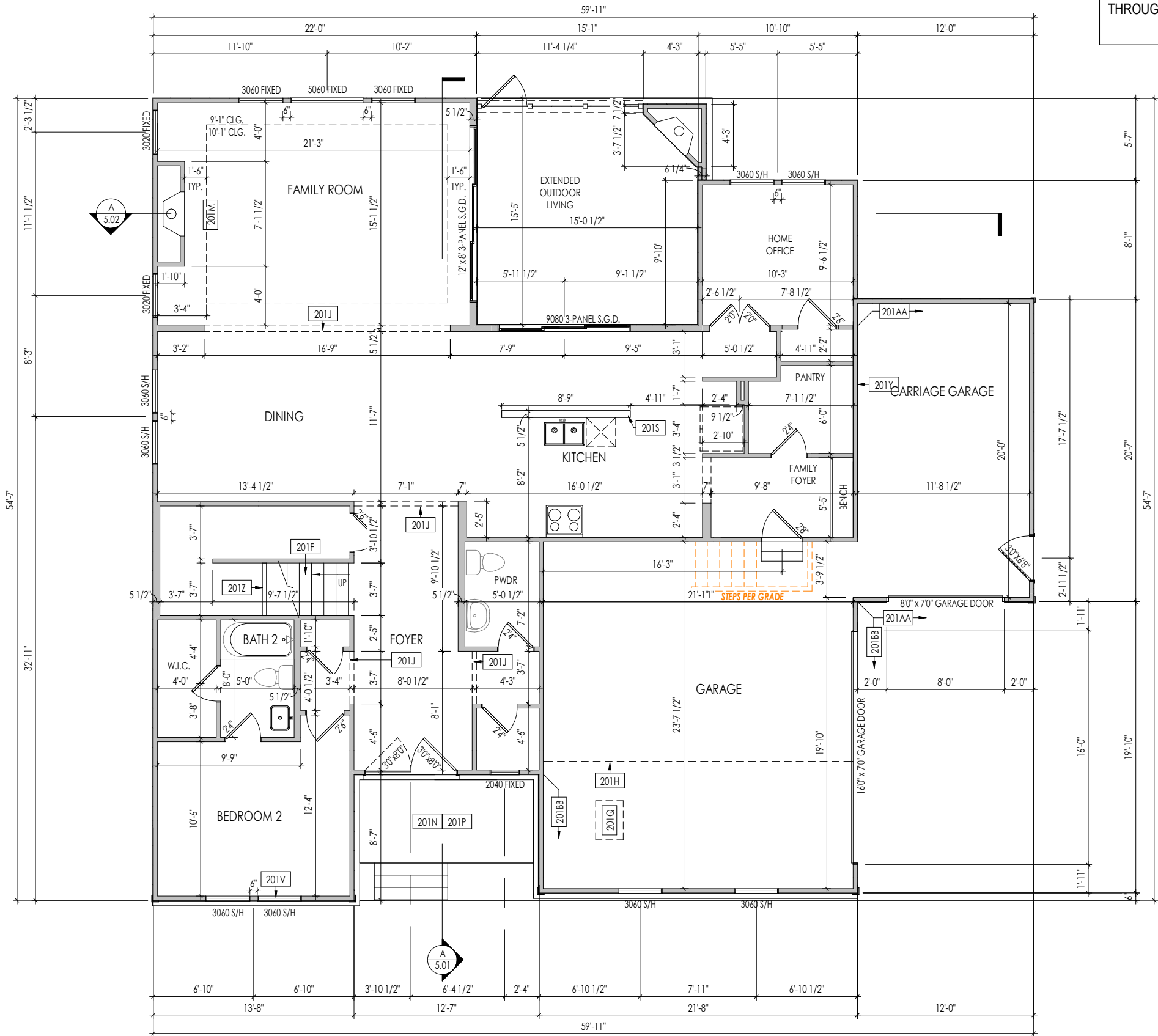
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General Notes  
Elevation "A"

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General Notes:

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.
2. ALL FIRST FLOOR CEILINGS TO BE 10'-11" ABOVE SUBFLOOR UNLESS OTHERWISE NOTED.
3. FRAME TOP OF ALL WINDOWS AT 1'-10" BELOW TOP OF PLATE UNLESS OTHERWISE NOTED.
4. ALL DROPPED, INTERIOR HEADERS (FALSE AND BEARING) ARE DROPPED 1'-3" FROM CEILING.
5. REFER TO SELECTION SHEETS FOR FLOORING MATERIAL PRIOR TO CONSTRUCTING STAIRS TO DETERMINE RISER HEIGHTS.
6. REFER TO SHEET 2.01S FOR STRUCTURAL INFORMATION.

Key Notes:

201AA	FRAME GARAGE WALL FULL HEIGHT STUDS AT 10'-1" WITH 2x4 STUDS AT 16" O.C. FROM TOP OF FOUNDATION WALL
201BB	FRAME GARAGE WALL FULL HEIGHT STUDS AT 11'-5 1/4" WITH (2)2x4 STUDS AT 16" O.C. FROM TOP OF FOUNDATION WALL; IF ELECTRICAL PANEL LOCATED IN GARAGE, PAD OUT WALL FOR ELECTRICAL PANEL
201F	SEE SHEET B/5.01 OR C/5.01 FOR STAIR FRAMING DETAILS
201H	OUTLINE OF SECOND FLOOR ABOVE
201J	FRAME TOP OF OPENING AT HEIGHT SPECIFIED IN GENERAL NOTES ON THIS SHEET
201M	DIRECT VENT FIREPLACE - REFER TO SELECTION SHEET FOR MODEL AND FIREPLACE DETAIL SHEET F-1 FOR FRAMING INFORMATION
201N	DO NOT CENTER FLOOR JOIST OVER FRONT DOOR TO ALLOW FOR CAN LIGHT INSTALLATION
201P	CARPENTER TO DROP ELECTRICAL WIRE THROUGH PORCH CEILING FOR LIGHTS
201Q	22-1/2" x 32" ATTIC ACCESS
201S	34-1/2" HIGH KITCHEN ISLAND WALL
201V	FRAME TOP OF WINDOW @ 11-1/4" BELOW TOP PLATE
201Y	SHEATHE WALL FULL HEIGHT PRIOR TO INSTALLING LOW ROOF TRUSSES
201Z	APPROX. LOCATION OF 36" HIGH WALL UNDER STAIRS (FIELD VERIFY)

Space for Architect Seal



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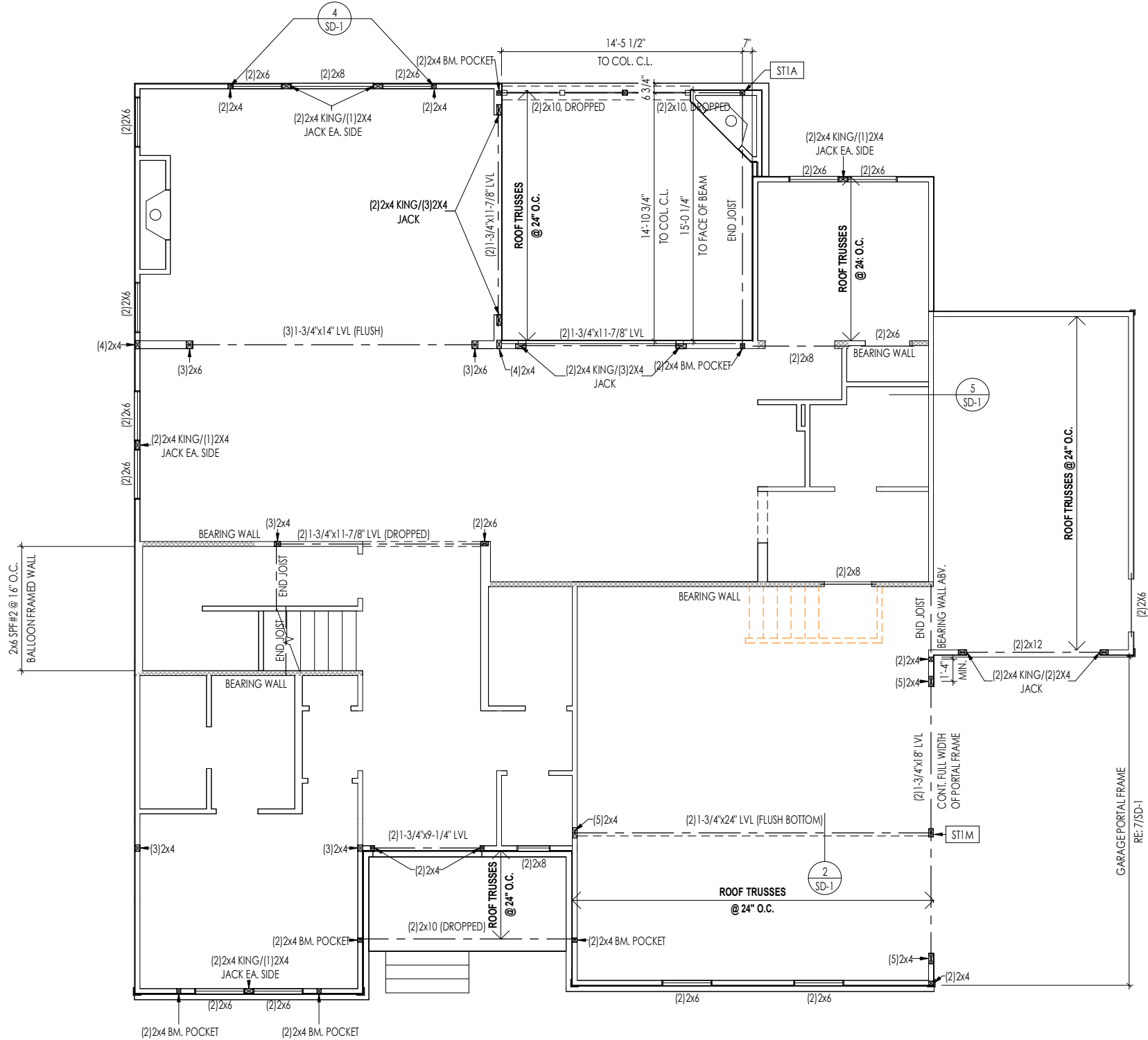
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House Name: <b>the KAYLEEN</b>	Drawing Scale: 1/8" = 1'-0"	Contract Drawn By: <b>EWI</b>	Series: <b>EXECUTIVE</b>
Born on Date: <b>05/31/2024</b>	CDs Drawn By: <b>CM</b>	Plan No.:	

**Drees HOMES**  
SM  
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Phone: (919) 844-9288

**2.01F**  
First Floor Framing Plan  
Elevation "A"





REISSUED: 02/18/2025

General Notes:	
1. REFER TO SHEET S-0 FOR ENGINEERING NOTES.	
Key Notes:	
ST1A	4x4 P.T. WOOD POST WITH SIMPSON 8CS2-2/4 CAP & BASE
ST1M	[4]2x4s TO GARAGE HEADER BELOW

Space for Architect Seal

NORTH CAROLINA  
REGISTERED  
SEAL  
12648  
ARCHITECT  
AMANDA K. SZOKE

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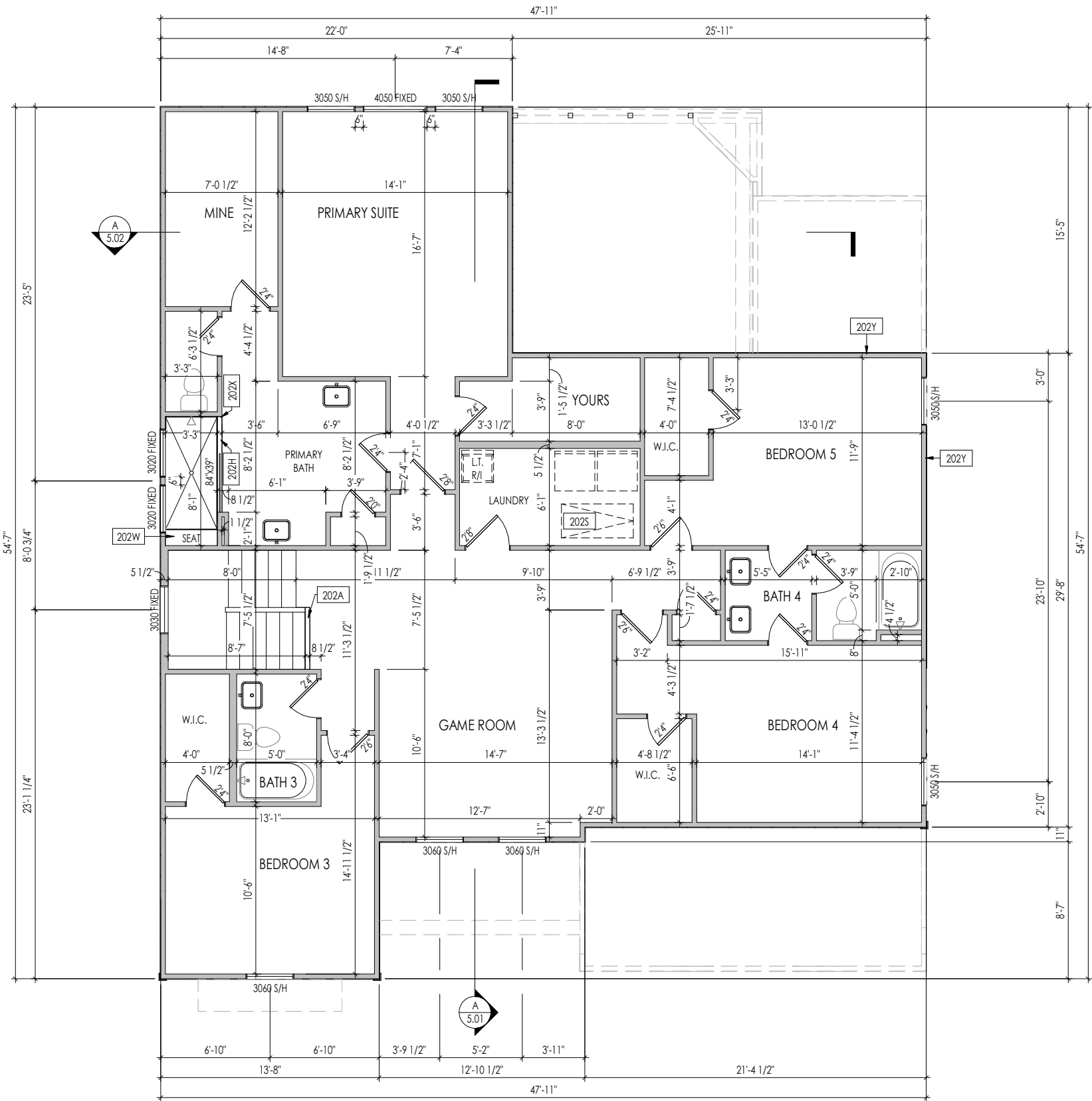
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House Name: <b>the KAYLEEN</b>		Contract Drawn By: <b>EWT</b>	
Born on Date: <b>05/31/2024</b>		CDs Drawn By: <b>CM</b>	
		<b>2.01S</b> First Floor Structural Plan Elevation "A"	

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- General Notes:
- 1. REFER TO SHEET ON.1 FOR GENERAL NOTES.
  - 2. ALL SECOND FLOOR CEILINGS TO BE 9'-1" ABOVE SUBFLOOR UNLESS OTHERWISE NOTED.
  - 3. FRAME TOP OF ALL WINDOWS AT 1'-0-1/4" BELOW TOP OF PLATE UNLESS OTHERWISE NOTED.
  - 4. ALL DROPPED, INTERIOR HEADERS (FALSE AND BEARING) ARE DROPPED 1'-0" FROM CEILING.
  - 5. REFER TO SELECTION SHEETS FOR FLOORING MATERIAL PRIOR TO CONSTRUCTING STAIRS TO DETERMINE RISER HEIGHTS.
  - 6. REFER TO SHEET 2.02S FOR STRUCTURAL INFORMATION.

Key Notes:	
202A	36" HIGH WALL
202H	4-1/2" HIGH SHOWER CURB
202S	PULL DOWN ATTIC ACCESS STAIRS (25-1/2" x 54") WITH LIGHT AND OUTLET
202W	SHOWER SEAT - 18" HIGH, USE 2x4 STUDS @ 16" O.C., COVER TOP & SIDES W/ 5/8" WOOD SHEATHING, SLOPE TOP 3/4" FROM BACK TO FRONT FOR WATER RUN-OFF
202X	PROVIDE BLOCKING FOR SHOWER DOOR/ENCLOSURE
202Y	SHEATHE WALL FULL HEIGHT PRIOR TO INSTALLING LOW ROOF TRUSSES

Space for Architect Seal

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**MARKET**

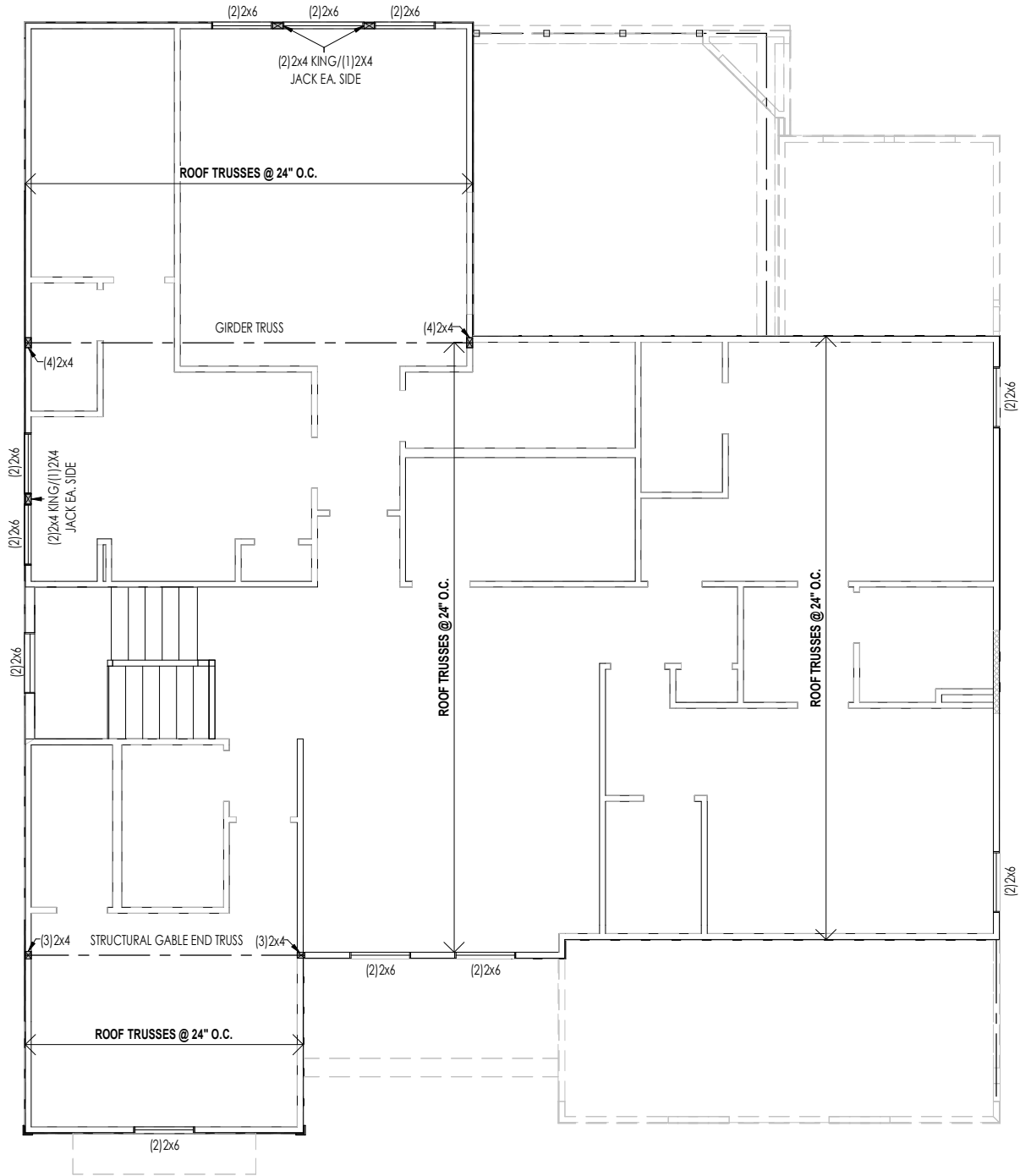
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			Series: <b>EXECUTIVE</b>
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Sheet Information

**2.02F**  
Second Floor Framing Plan  
Elevation "A"



General Notes:

1. REFER TO SHEET S-0 FOR ENGINEERING NOTES.

Key Notes:

Space for Architect Seal



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RESIDENCE FOR:  
**MARKET**  
108 GOLDEN LEAF FARMS RD.  
TOBACCO ROAD

Job Number: <b>TBRD-0039-00</b>	Drawing Date: <b>2/10/2025</b>	Coord Name: <b>G. PIEPER</b>	Coord Phone: <b>859.578.4355</b>
House Name: <b>the KAYLEEN</b>			Contract Drawn By: <b>EW</b>
			Series: <b>EXECUTIVE</b>
Born on Date: 05/31/2024			Plan No.:
CDs Drawn By:			CM



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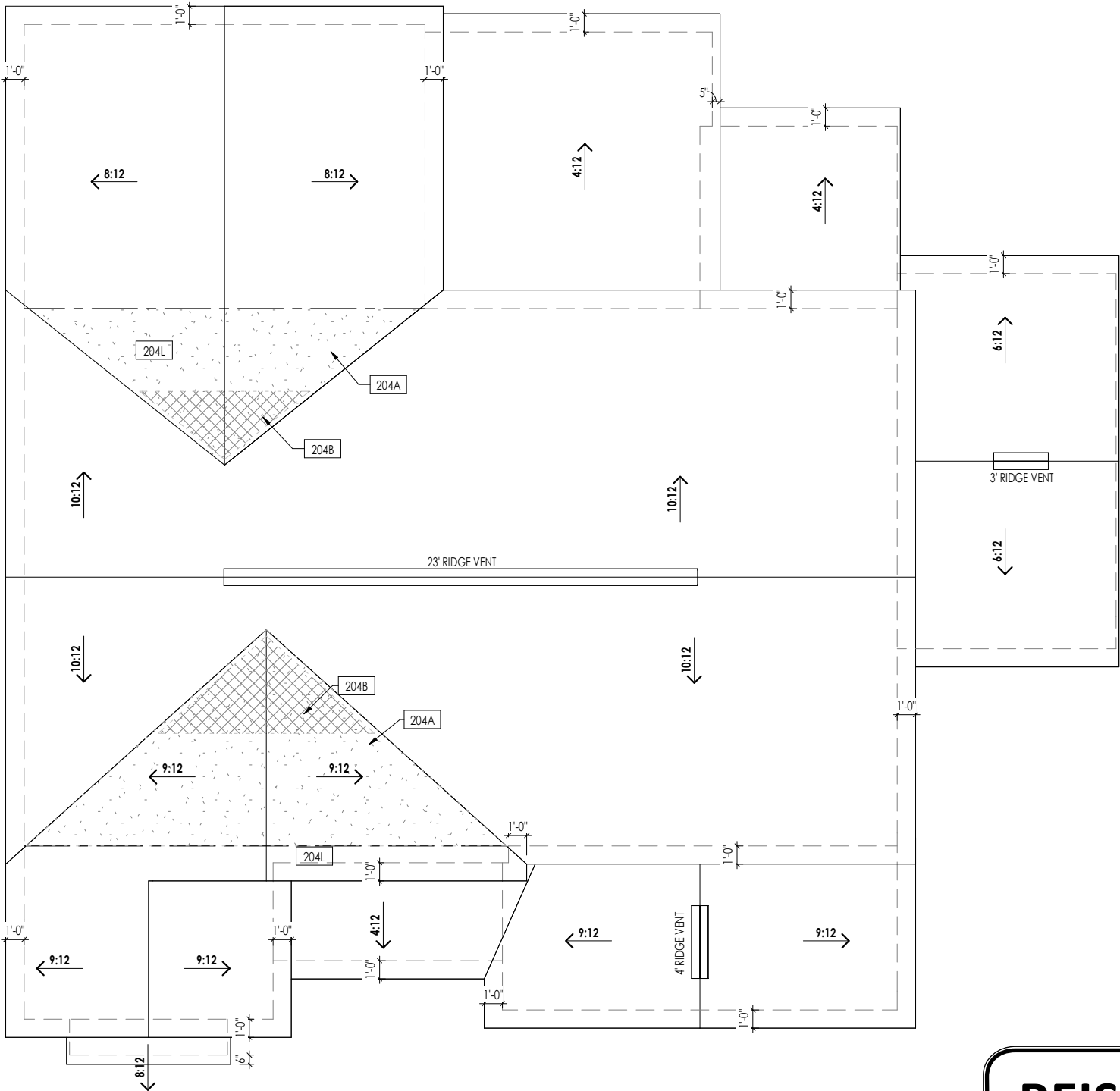
Sheet Information

**2.02S**  
Second Floor Structural Plan  
Elevation "A"

ROOF VENTILATION			
CITY/SERIES:		RALEIGH	
	MAIN HOUSE	GARAGE	CARRIAGE
TOTAL ATTIC AREA:	2,107	309	255
REQUIRED NET FREE VENTILATION (ATTIC AREA/300):	7.02	1.03	0.85
ACTUAL NET FREE VENTILATION (UPPER + LOWER):	7.59	1.76	1.54
DOWNSPOUT CALCULATION			
	MAIN HOUSE	GARAGE	CARRIAGE
TOTAL DRAINABLE ROOF AREA:	2739.1	401.7	331.5
MINIMUM # OF DOWNSPOUTS:	5	1	1

HEEL CUT STANDARDS			
		OVERHANG	
		1'-0"	2'-0"
ROOF PITCH	4:12	3-3/4"	7-3/4"
	5:12	4-3/4"	9-3/4"
	6:12	5-3/4"	11-3/4"
	7:12	6-3/4"	13-3/4"
	8:12	7-3/4"	N/A
	9:12	8-3/4"	N/A
	10:12	9-3/4"	N/A
	12:12	11-3/4"	N/A
	14:12	13-3/4"	N/A


General Notes:	
1. REFER TO SHEET ON.1 FOR GENERAL NOTES AND SHEET SD-0 FOR ENGINEERING NOTES.	
Key Notes:	
204A	VALLEY TRUSS OVER-FRAMING @ 24" O.C.
204B	NO ROOF DECKING UNDER OVER-FRAMING IN THIS AREA TO ALLOW FOR PROPER ATTIC VENTILATION
204L	BEAM BELOW - SEE SHEET 2.02S FOR SIZE AND LOCATION



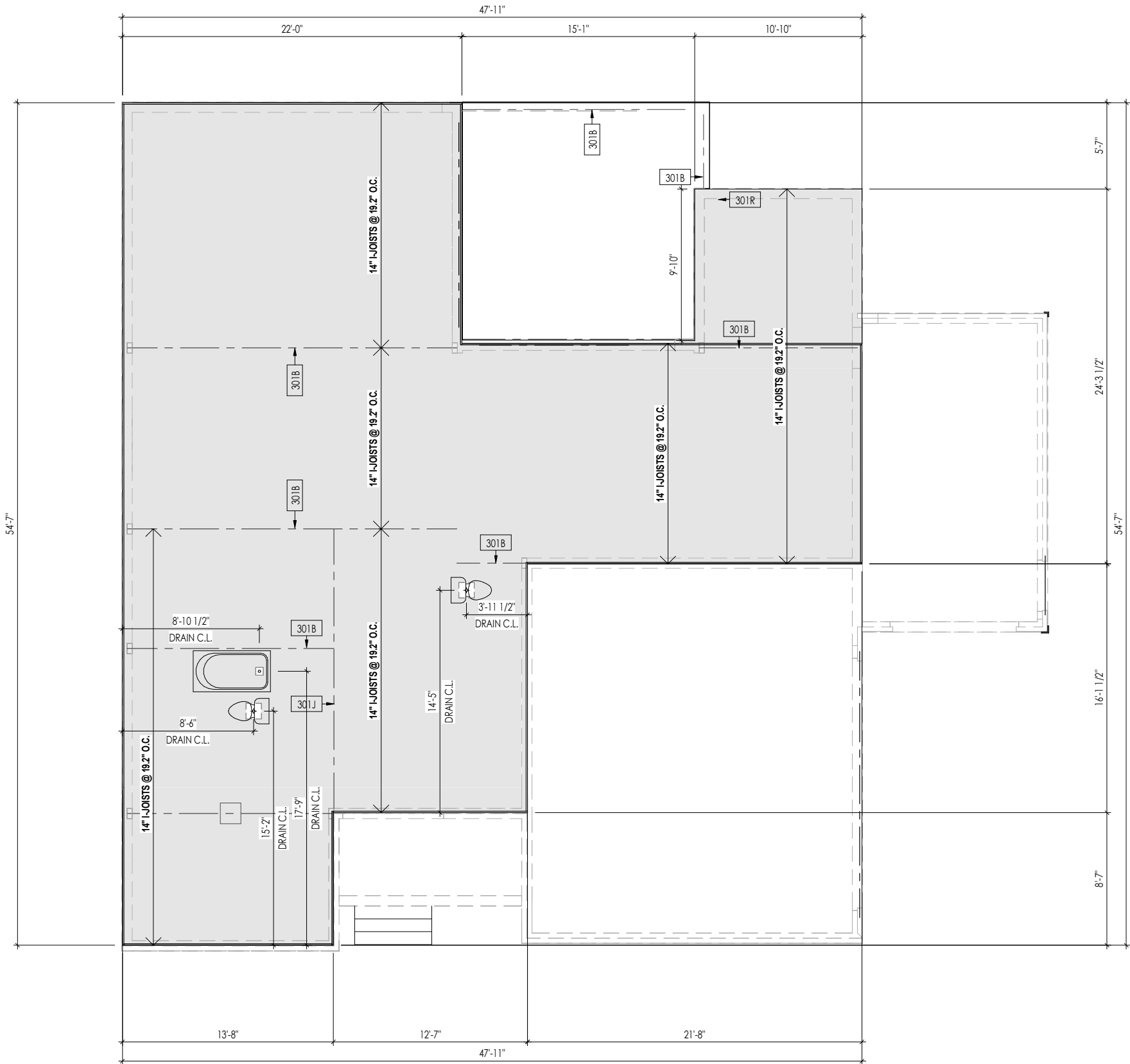
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RESIDENCE FOR: <b>MARKET</b> 108 GOLDEN LEAF FARMS RD. TOBACCO ROAD			
Job Number: <b>TBRD-0039-00</b>	Drawing Date: <b>2/10/2025</b>	Coord Name: <b>G. PIEPER</b>	Coord Phone: <b>859.578.4355</b>
House Name: <b>the KAYLEEN</b>		Contract Drawn By: <b>EWI</b>	
Born on Date: 05/31/2024		CDs Drawn By: CM	
 Copyright © 2019 ( 2024 ) The Drees Company. All Rights Reserved. 8521 Six Forks Road, Suite 500, Raleigh, NC. 27615 Phone: (919) 844-9288		Sheet Information	<b>2.04</b> Roof Plan Elevation "A"





General Notes:

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.
2. FLOOR JOISTS TO BE 14" TJI 210 SERIES, OR EQUAL, @ 19.2" O.C., UNLESS OTHERWISE NOTED.
3. JOISTS ARE NOT TO BE PLACE DIRECTLY OVER INTERIOR PARALLEL WALL. (TO PREVENT UNEVEN FLOOR DEFLECTION FROM OCCURRING)
4. ADD'L JOISTS MAY BE LOCATED UP TO 2" AWAY FROM THE PARTITION WALL ABOVE IN CASES WHERE MECHANICAL PENETRATIONS

Key Notes:

301B	BEAM BELOW - SEE FOUNDATION PLAN FOR MORE INFO
301J	ADDITIONAL JOIST UNDER PARTITION ABOVE
301R	OUTLINE OF WOOD DECK - SEE SHEET 1.01 FOR FRAMING INFO

Space for Architect Seal



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RESIDENCE FOR:  
**MARKET**  
108 GOLDEN LEAF FARMS RD.  
TOBACCO ROAD

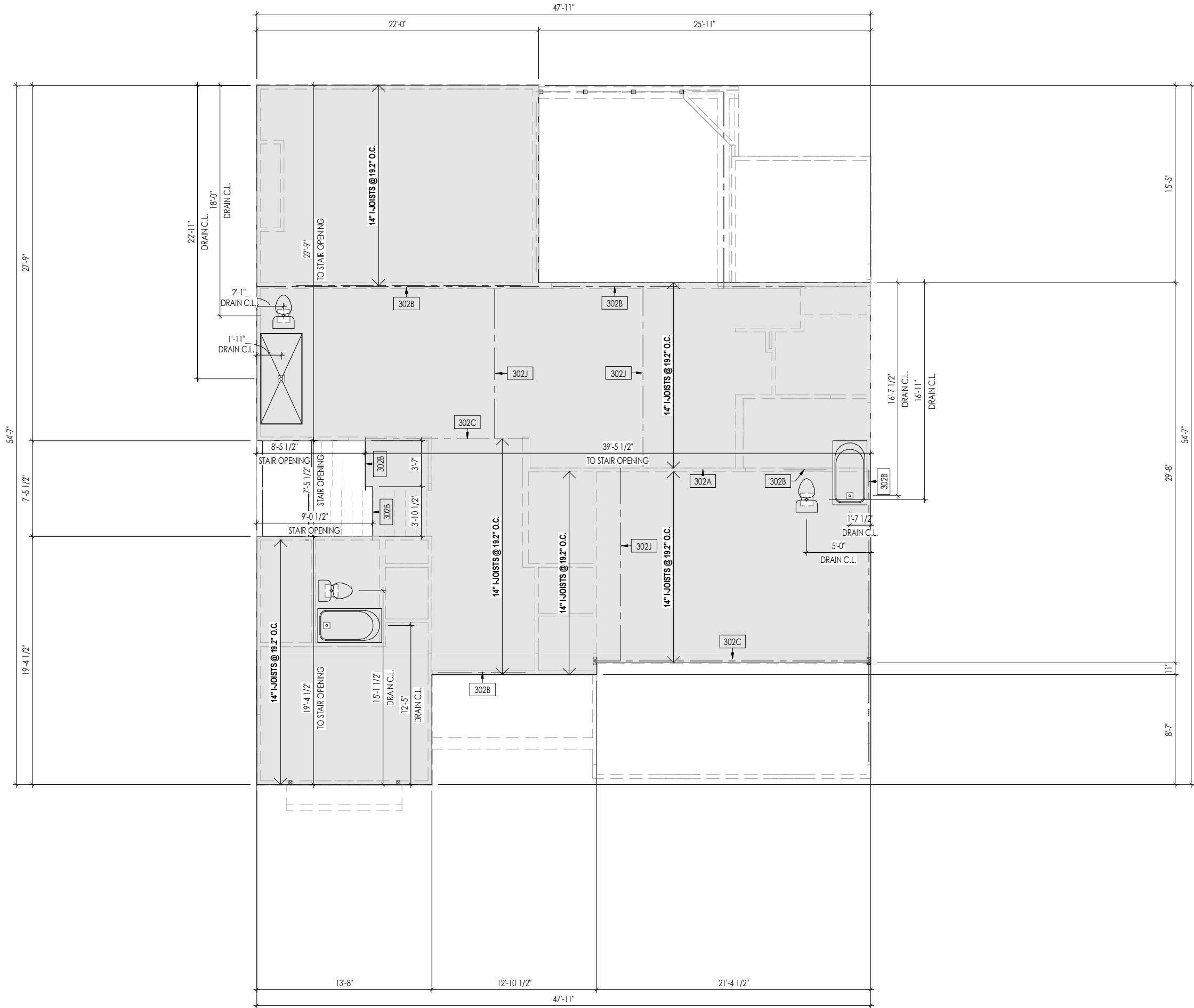
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House Name: <b>the KAYLEEN</b>			Contract Drawn By: <b>EWI</b>
			Series: <b>EXECUTIVE</b>
Born on Date: <b>05/31/2024</b>			CDs Drawn By: <b>CM</b>



Sheet Information

**3.01**  
First Floor Subfloor Plan  
Elevation "A"

2/18/2025 6:30:29 AM



General Notes:

- 1. REFER TO SHEET ON.1 FOR GENERAL NOTES.
- 2. FLOOR JOISTS TO BE 14" TJI 210 SERIES, OR EQUAL, @ 19.2" O.C., UNLESS OTHERWISE NOTED.
- 3. JOISTS ARE NOT TO BE PLACE DIRECTLY OVER INTERIOR PARALLEL WALL.  
(TO PREVENT UNEVEN FLOOR DEFLECTION FROM OCCURRING)
- 4. ADD'L JOISTS MAY BE LOCATED UP TO 2" AWAY FROM THE PARTITION WALL ABOVE IN CASES WHERE MECHANICAL PENETRATIONS

Key Notes:

302A	BEARING WALL BELOW
302B	BEAM BELOW - SEE SHEET 2.01S FOR MORE INFO
302C	FLUSH BEAM - SEE SHEET 2.01S FOR MORE INFO
302J	ADDITIONAL JOIST UNDER PARTITION ABOVE

Space for Architect Seal



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RESIDENCE FOR:  
**MARKET**  
108 GOLDEN LEAF FARMS RD.  
TOBACCO ROAD

Job Number: <b>TBRD-0039-00</b>	Drawing Date: <b>2/10/2025</b>	Coord Name: <b>G. PIEPER</b>	Coord Phone: <b>859.578.4355</b>
House Name: <b>the KAYLEEN</b>			Contract Drawn By: <b>EWT</b>
Born on Date: 05/31/2024			Series: <b>EXECUTIVE</b>
CDs Drawn By: CM			Plan No.:

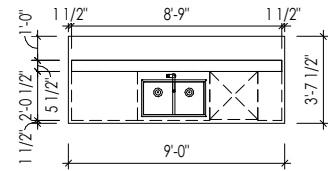
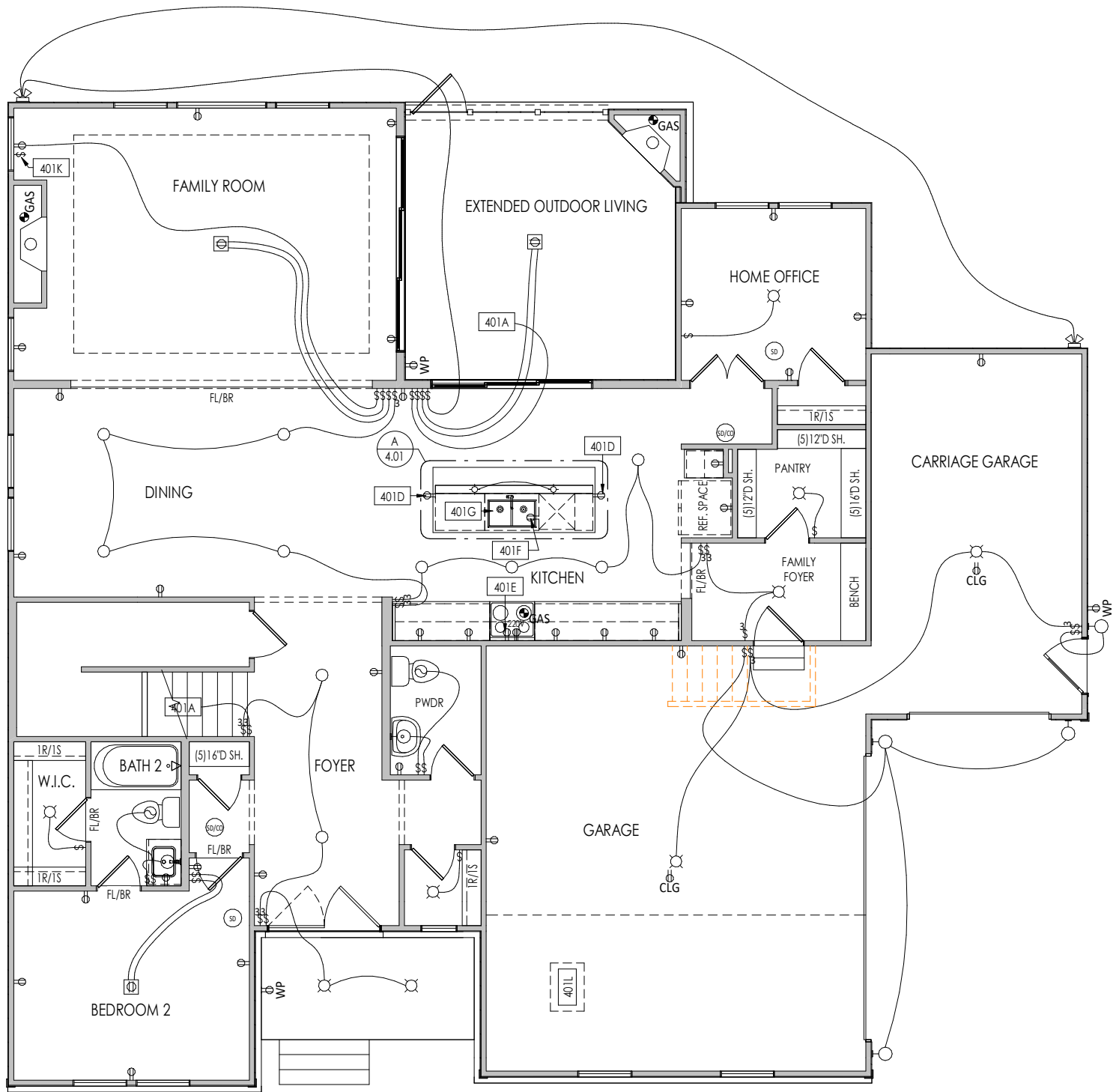


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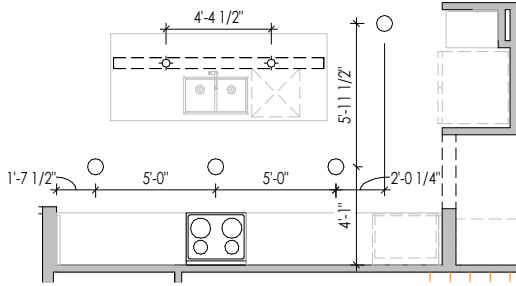
Sheet Information

**3.02**  
Second Floor Subfloor Plan  
Elevation "A"

I:\Content\5 SOUTH EASTRA EIGHT\TBRD-0039-401 TBRD-4039-401.rvt



A Kitchen Island Detail  
1/8" = 1'-0"



B Kitchen Lighting Detail  
1/8" = 1'-0"

General Notes:

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.

Key Notes:

401A	TO SWITCH OR LIGHT ABOVE
401D	HOLD OUTLET HIGH ON ISLAND
401E	OUTLET FOR RANGE HOOD/MICROWAVE HELD HIGH - VENT TO EXTERIOR
401F	OUTLET FOR DISHWASHER LOCATED IN SINK CABINET
401G	PUSH BUTTON FOR GARBAGE DISPOSAL OR SWITCH LOCATED IN SINK CABINET - REFER TO SELECTIONS
401K	SWITCHES FOR BLOWER UNIT WITH DIRECT VENT FIREPLACE ONLY
401L	DIRECT VENT FIREPLACE

MECHANICAL LEGEND

WALL OUTLET	CLG. MOUNTED LIGHT FIXT.	HOSE BIB
WEATHERPROOF GFCI OUTLET	SURFACE MOUNT DISC LIGHT OR RECESSED CEILING LIGHT, PER SPECS.	SHOWER HEAD
220 VOLT OUTLET	WALL MOUNTED LIGHT FIXT.	GAS GAS HOOK UP
GFCI OUTLET	DOUBLE SPOTLIGHT FIXT.	FLOOR DRAIN
FLOOR OUTLET	COUNTER POP-UP OUTLET	SMOKE DETECTOR
COUNTER POP-UP OUTLET	DIRECTIONAL CAN LIGHT	SMOKE DETECTOR/CO DETECTOR COMBINATION
SINGLE POLE SWITCH	PIN LIGHT	EXHAUST FAN AND LIGHT COMBINATION
3-WAY SWITCH	WALL SCONCE @ 5'-6" A.F.F.	CLG. MTD. EXHAUST FAN
4-WAY SWITCH	FLUORESCENT LIGHT	DATA JACK
STAIR LIGHT	UNDER CABINET LIGHTING	CABLE TELEVISION JACK
BLOCK, MOUNT, & SWITCH FOR FUTURE FAN/LIGHT COMBINATION (CENTER, UNLESS OTHERWISE NOTED)		

Space for Architect Seal



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RESIDENCE FOR:  
**MARKET**  
108 GOLDEN LEAF FARMS RD.  
TOBACCO ROAD

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House Name: <b>the KAYLEEN</b>			Contract Drawn By: <b>EWT</b>

Series:  
**EXECUTIVE**

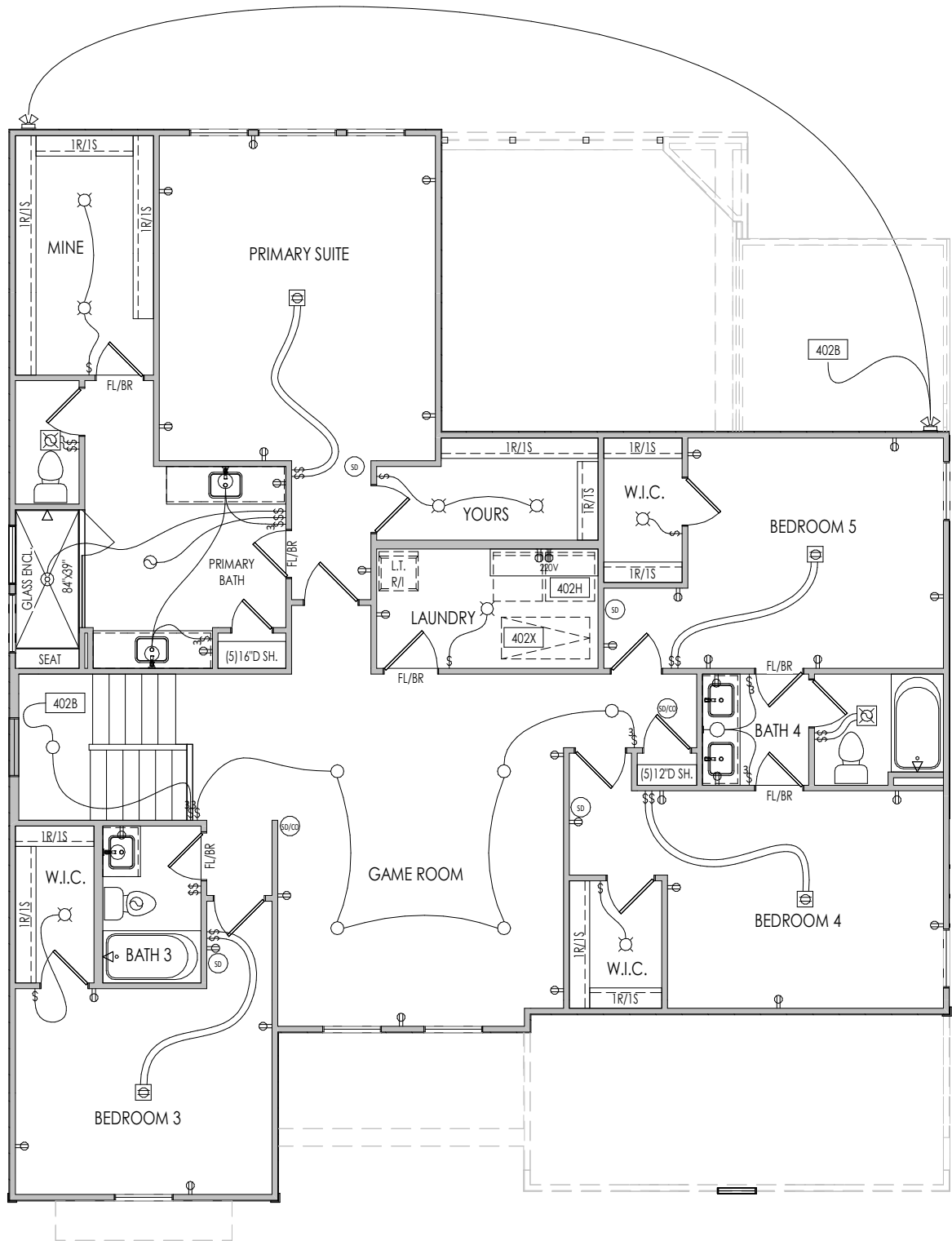
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**CM**































**Drees HOMES**  
SM  
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Sheet Information

**4.01**  
First Floor Mechanical Plan  
Elevation "A"

2/18/2025 6:30:30 AM



General Notes:					
1. REFER TO SHEET ON.1 FOR GENERAL NOTES.					
Key Notes:					
402B	TO SWITCH OR LIGHT BELOW				
402H	LOCATE WASHER TO LEFT OF DRYER				
402X	PULL DOWN ATTIC ACCESS STAIRS (25'-1/2" x 54") WITH LIGHT AND OUTLET				
MECHANICAL LEGEND					
	WALL OUTLET		CLG. MOUNTED LIGHT FIXT.		HOSE BIB
	WEATHERPROOF GFCI OUTLET		SURFACE MOUNT DISC LIGHT OR RECESSED CEILING LIGHT, PER SPECS.		SHOWER HEAD
	220 VOLT OUTLET		WALL MOUNTED LIGHT FIXT.		GAS HOOK UP
	GFCI OUTLET		DOUBLE SPOTLIGHT FIXT.		FLOOR DRAIN
	FLOOR OUTLET		DIRECTIONAL CAN LIGHT		SMOKE DETECTOR
	COUNTER POP-UP OUTLET		PIN LIGHT		SMOKE DETECTOR/CO DETECTOR COMBINATION
	SINGLE POLE SWITCH		WALL SCONCE @ 5'-6" A.F.F.		EXHAUST FAN AND LIGHT COMBINATION
	3-WAY SWITCH		FLUORESCENT LIGHT		CLG. MTD. EXHAUST FAN
	4-WAY SWITCH		UNDER CABINET LIGHTING		DATA JACK
	STAIR LIGHT				CABLE TELEVISION JACK
	BLOCK, MOUNT, & SWITCH FOR FUTURE FAN/LIGHT COMBINATION (CENTER, UNLESS OTHERWISE NOTED)				

Space for Architect Seal

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RESIDENCE FOR:  
**MARKET**  
108 GOLDEN LEAF FARMS RD.  
TOBACCO ROAD

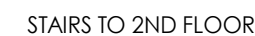
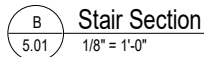
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House Name: <b>the KAYLEEN</b>			Contract Drawn By: <b>EWI</b>
			Series: <b>EXECUTIVE</b>
Born on Date: 05/31/2024			CDs Drawn By: CM

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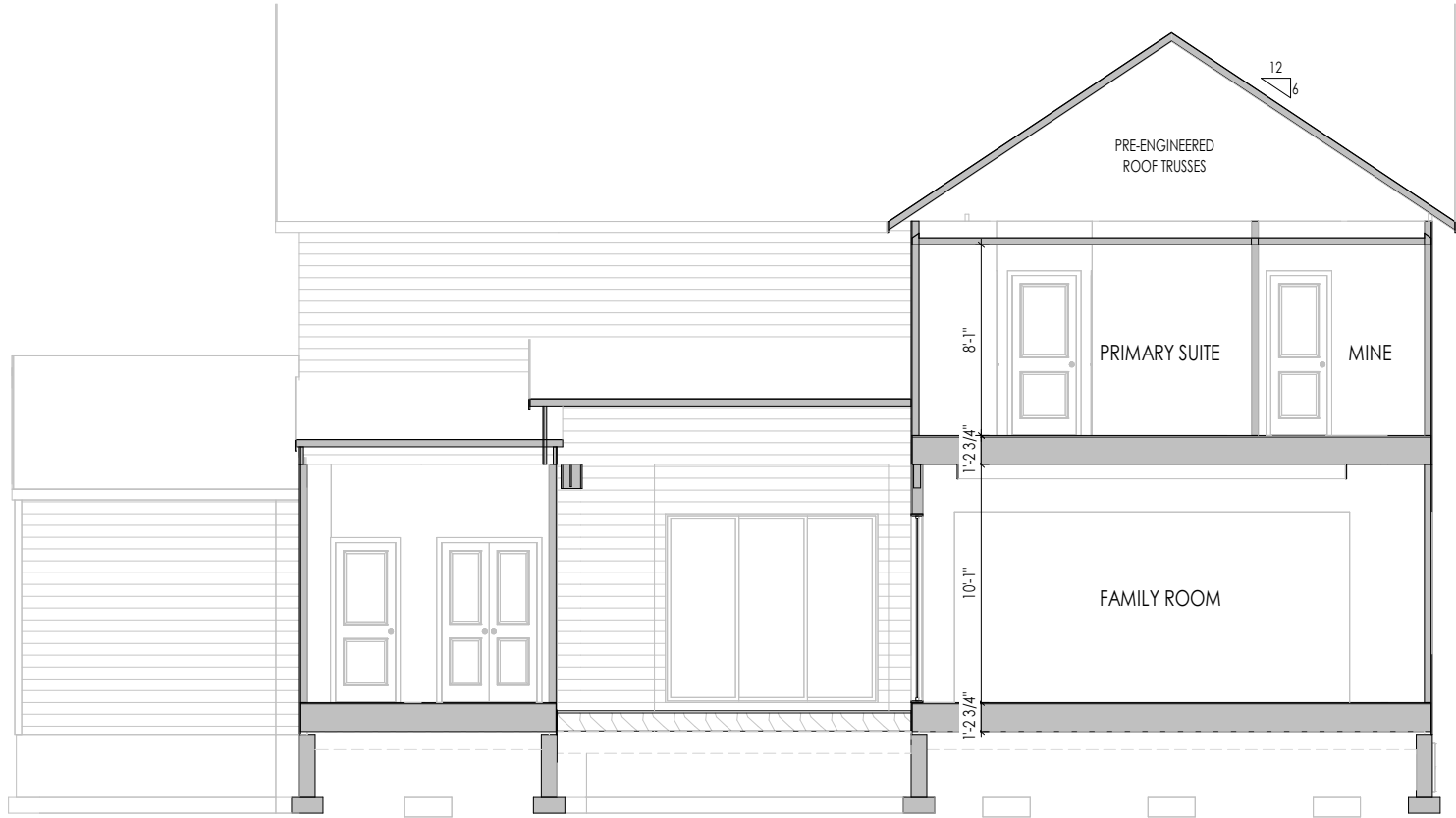
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Second Floor Mechanical Plan  
Elevation "A"

2/18/2025 10:30 AM

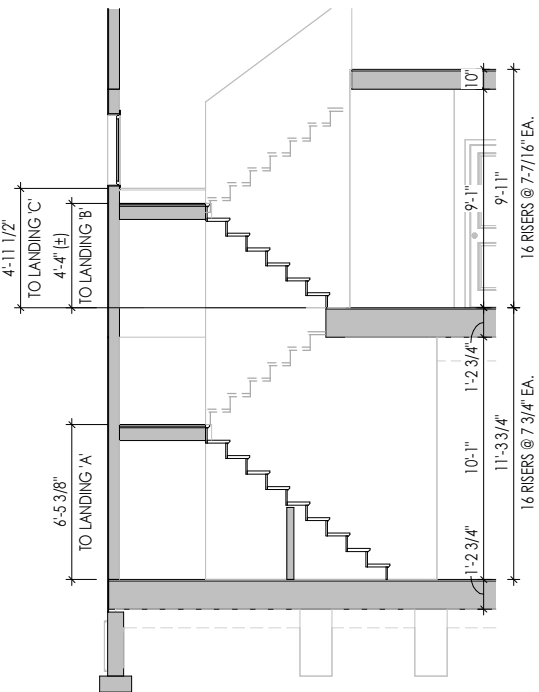


**2nd Floor Stair Detail**  
1/4" = 1'-0"

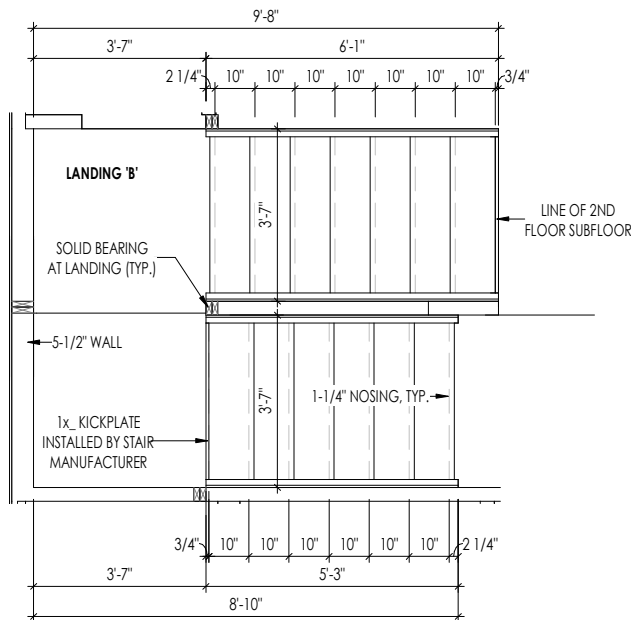




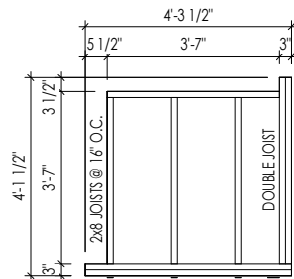
A Building Section Thru Primary Suite  
5.02 1/8" = 1'-0"



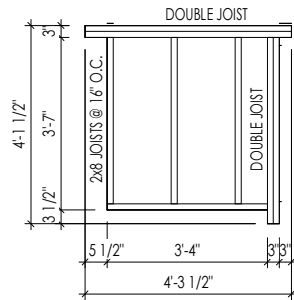
B Stair Section - Opt. 3rd Floor  
5.02 1/8" = 1'-0"



C Opt. 3rd Floor Stair Detail  
5.02 1/4" = 1'-0"



LANDING DETAIL 'C'



LANDING DETAIL 'B'

General Notes:

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.
2. REFER TO SELECTION SHEETS FOR FLOORING MATERIAL PRIOR TO CONSTRUCTING STAIRS TO DETERMINE RISER HEIGHTS

Key Notes:

Space for Architect Seal



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RESIDENCE FOR:  
**MARKET**  
108 GOLDEN LEAF FARMS RD.  
TOBACCO ROAD

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House Name: <b>the KAYLEEN</b>			Contract Drawn By: <b>EWT</b>
Born on Date: <b>05/31/2024</b>			CDs Drawn By: <b>CM</b>
Series: <b>EXECUTIVE</b>			Plan No.: <b>5.02</b>

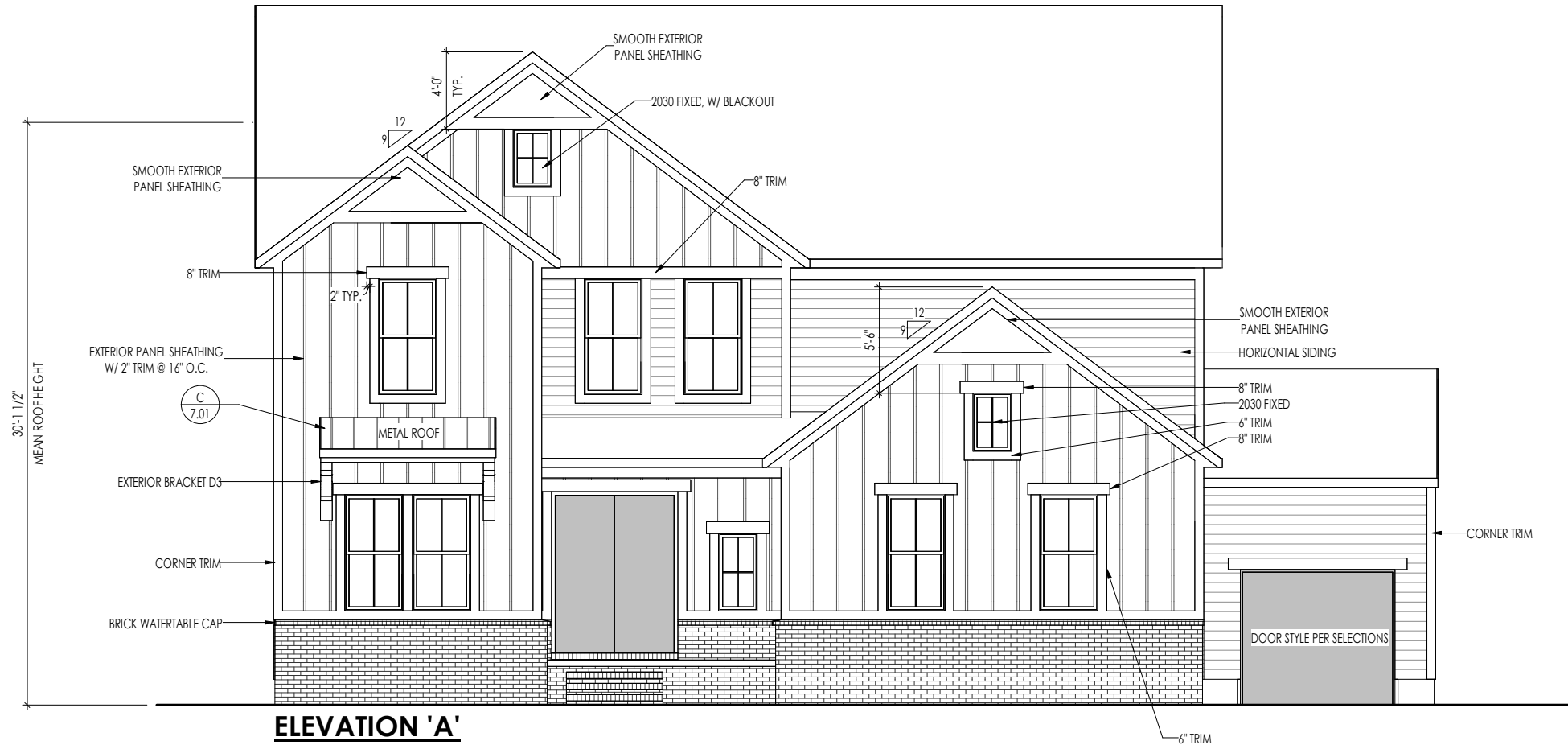


Sheet Information

**5.02**  
Building Section  
Elevation "A"

2/18/2025 6:30:31 AM

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TYPICAL TRIM:
6" FASCIA (ALL SIDES)
8" FRIEZE (FRONT ONLY, UNLESS OTHERWISE NOTED)

- General Notes:
1. REFER TO SHEET ON.1 FOR GENERAL NOTES.
  2. ROOFING MATERIAL PER SELECTIONS.
  3. REFER TO SHEET S-0 FOR LINTEL SCHEDULE.
  4. CONTACT M&K ENGINEERING FOR HEADER SIZE/BRICK SUPPORT IF GRADE DROPS AND THE AMOUNT OF BRICK OVER GARAGE DOOR SHOWN ON CURRENT ELEVATION IS NO LONGER ACCURATE (IF APPLICABLE).
  5. FRONT AND GARAGE DOORS PER SELECTIONS.

Key Notes:

Space for Architect Seal



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RESIDENCE FOR:  
**MARKET**  
108 GOLDEN LEAF FARMS RD.  
TOBACCO ROAD

Job Number: <b>TBRD-0039-00</b>	Drawing Date: <b>2/10/2025</b>	Coord Name: <b>G. PIEPER</b>	Coord Phone: <b>859.578.4355</b>
House Name: <b>the KAYLEEN</b>			Contract Drawn By: <b>EWI</b>
			Series: <b>EXECUTIVE</b>
Born on Date: 05/31/2024			Plan No.:
CDs Drawn By:			CM



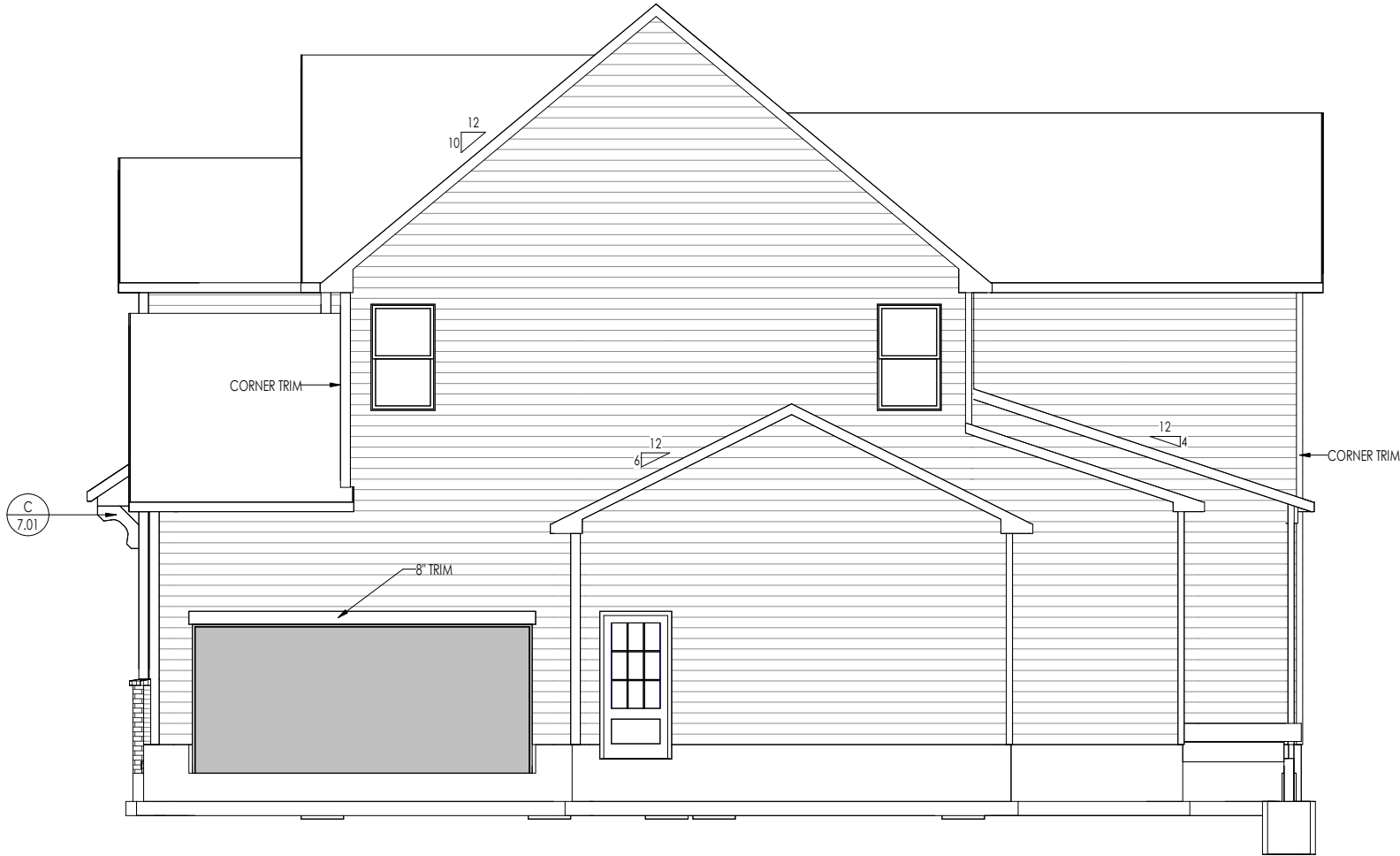
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Sheet Information

**6.01**  
Front Elevation  
Elevation "A"

2/18/2025 6:30:31 AM

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TYPICAL TRIM:

6" FASCIA  
(ALL SIDES)

8" FRIEZE  
(FRONT ONLY, UNLESS OTHERWISE NOTED)

General Notes:

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.
2. ROOFING MATERIAL PER SELECTIONS.
3. REFER TO SHEET S-0 FOR LINTEL SCHEDULE.
4. CONTACT M&K ENGINEERING FOR HEADER SIZE/BRICK SUPPORT IF GRADE DROPS AND THE AMOUNT OF BRICK OVER GARAGE DOOR SHOWN ON CURRENT ELEVATION IS NO LONGER ACCURATE (IF APPLICABLE).
5. FRONT AND GARAGE DOORS PER SELECTIONS.

Key Notes:

Space for Architect Seal



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RESIDENCE FOR:  
**MARKET**  
108 GOLDEN LEAF FARMS RD.  
TOBACCO ROAD

Job Number: <b>TBRD-0039-00</b>	Drawing Date: <b>2/10/2025</b>	Coord Name: <b>G. PIEPER</b>	Coord Phone: <b>859.578.4355</b>
------------------------------------	-----------------------------------	---------------------------------	-------------------------------------

House Name:	Drawing Scale: 1/8" = 1'0"	Contract Drawn By: <b>EWI</b>
-------------	----------------------------	----------------------------------

**the KAYLEEN**

Series:  
**EXECUTIVE**

Born on Date:	05/31/2024	CDs Drawn By:	CM
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Sheet Information

**6.02**  
Garage Side Elevation  
Elevation "A"

2/18/2025 6:30:31 AM

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TYPICAL TRIM:
6" FASCIA (ALL SIDES)
8" FRIEZE (FRONT ONLY, UNLESS OTHERWISE NOTED)

General Notes:

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.
2. ROOFING MATERIAL PER SELECTIONS.
3. REFER TO SHEET S-0 FOR LINTEL SCHEDULE.
4. FRONT AND GARAGE DOOR PER SELECTIONS.

Key Notes:

Space for Architect Seal



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RESIDENCE FOR:  
**MARKET**  
108 GOLDEN LEAF FARMS RD.  
TOBACCO ROAD

Job Number: <b>TBRD-0039-00</b>	Drawing Date: <b>2/10/2025</b>	Coord Name: <b>G. PIEPER</b>	Coord Phone: <b>859.578.4355</b>
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		Series: <b>EXECUTIVE</b>	
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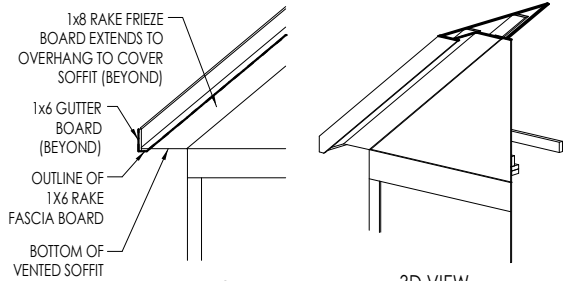
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Rear Elevation  
Elevation "A"

2/18/2025 6:30:31 AM

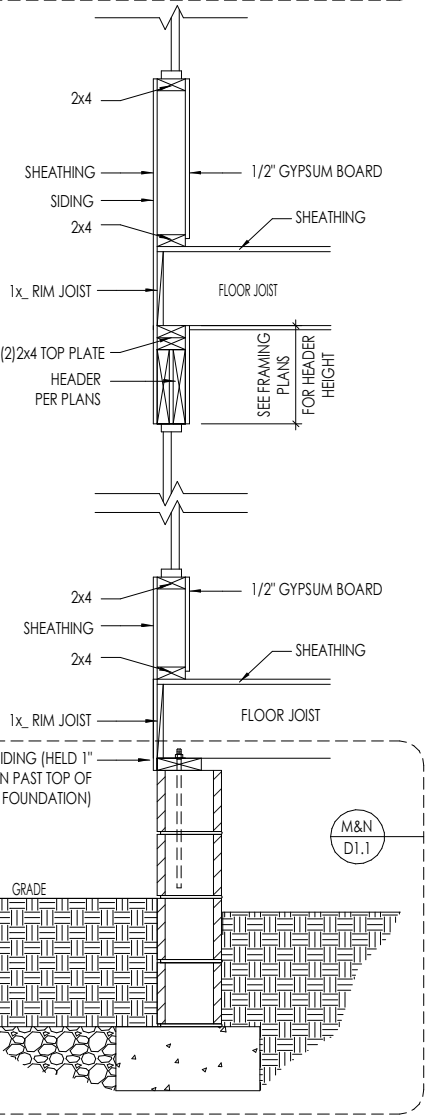
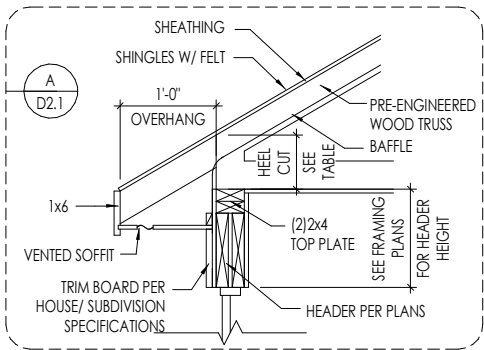




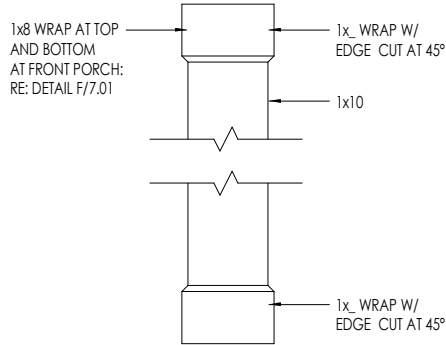
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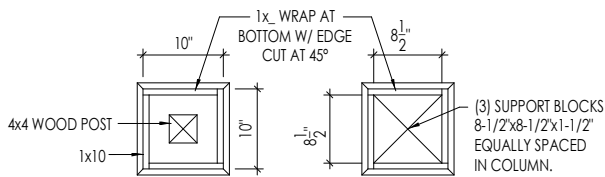
**B**  
7.01  
**RAFTER TAIL DETAIL**  
SCALE: 1/4" = 1'-0"



**A**  
7.01  
**TYPICAL WALL SECTIONS**  
SCALE: 1/2" = 1'-0"

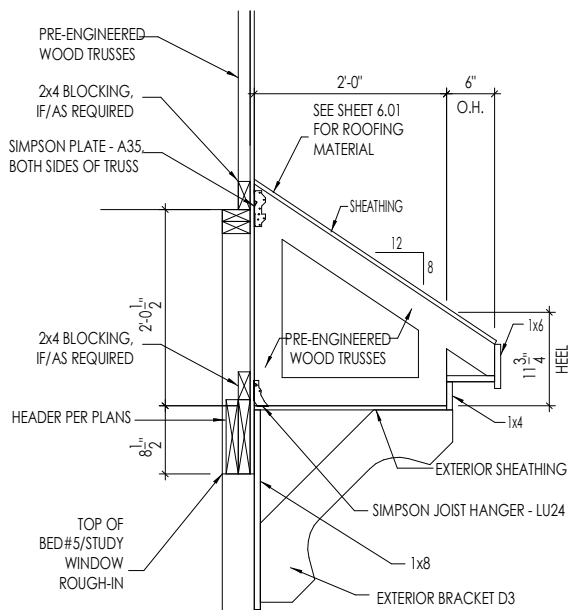


**ELEVATION**



**PLAN BEARING COLUMN**  
**PLAN NON-BEARING COLUMN**

**D**  
7.01  
**10" BOX COLUMN DETAILS**  
SCALE: 1/2" = 1'-0"



**C**  
7.01  
**SHED ROOF FRAMING DETAILS**  
SCALE: 1/2" = 1'-0"

Space for Architect Seal



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03/18/2025 10:33:11 AM

RESIDENCE FOR:  
**MARKET**  
108 GOLDEN LEAF FARMS RD.  
TOBACCO ROAD

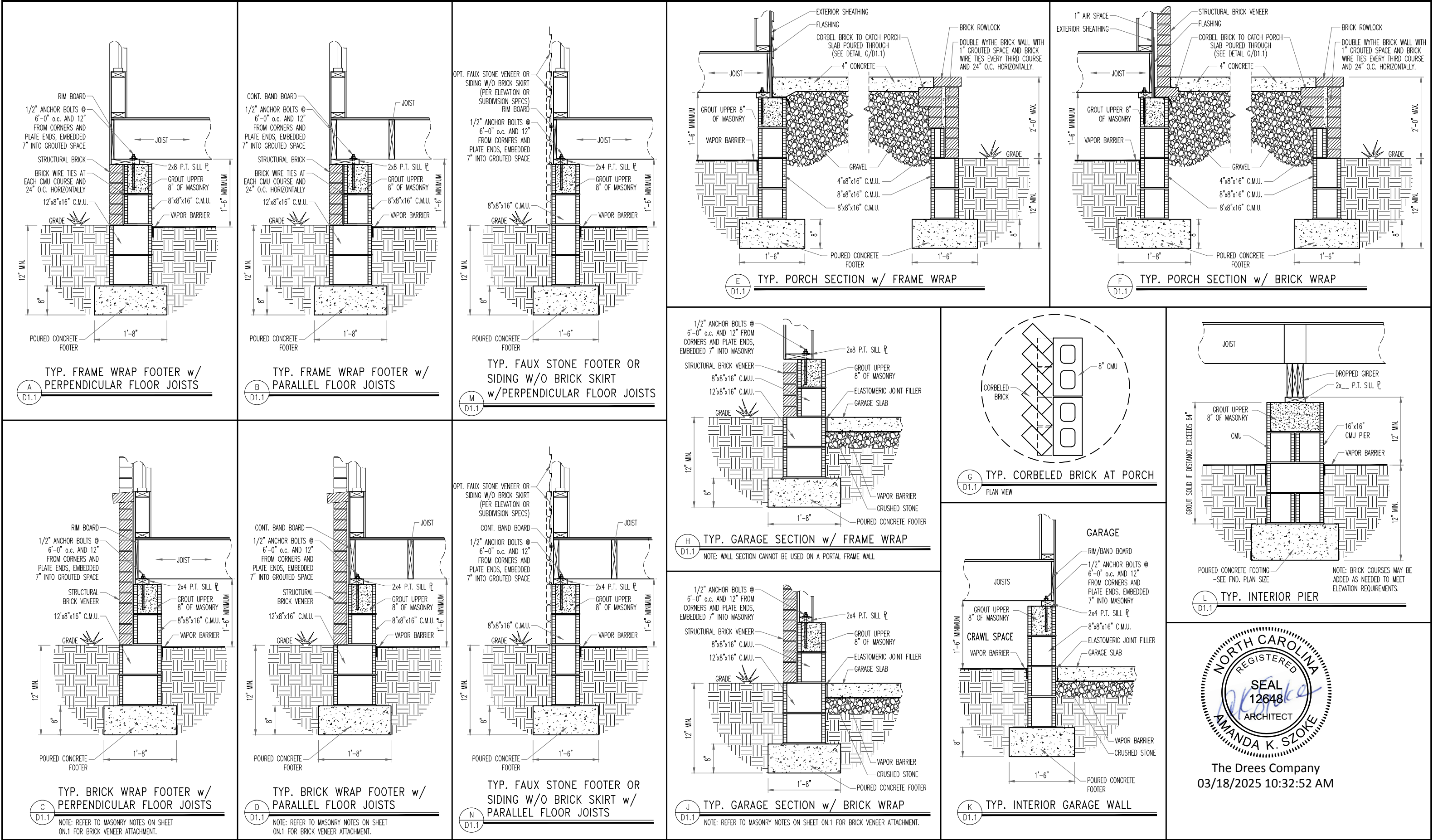
Job Number: <b>TBRD-0039-00</b>	Drawing Date: <b>2/10/2025</b>	Coord Name: <b>G. PIEPER</b>	Coord Phone: <b>859.578.4355</b>
House Name: <b>the KAYLEEN</b>			Contract Drawn By: <b>EWI</b>
Born on Date: <b>05/31/2024</b>			Series: <b>EXECUTIVE</b>
CDs Drawn By: <b>CM</b>			Plan No.:

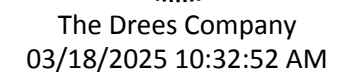
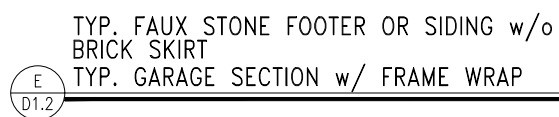


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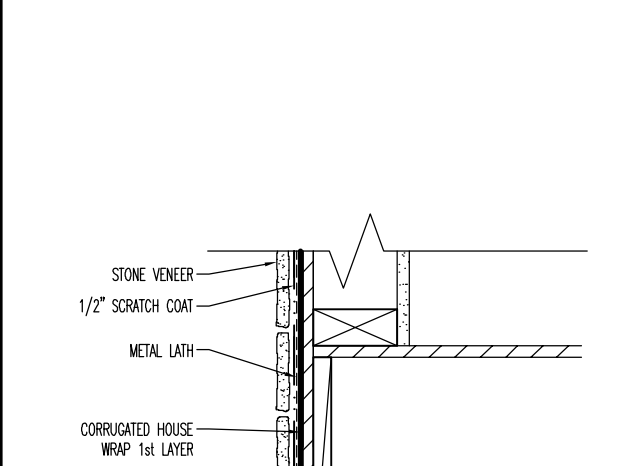
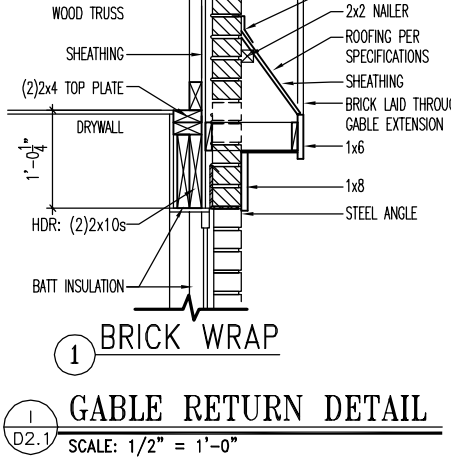
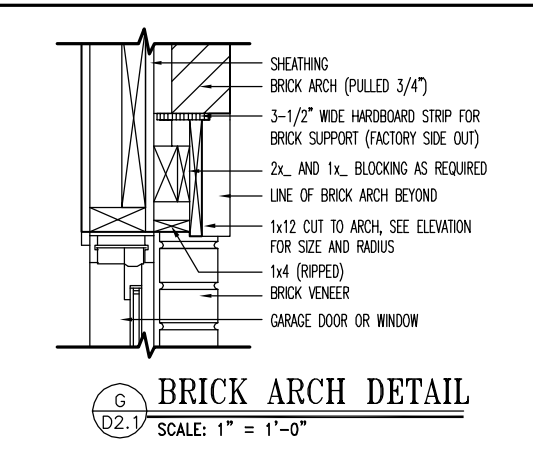
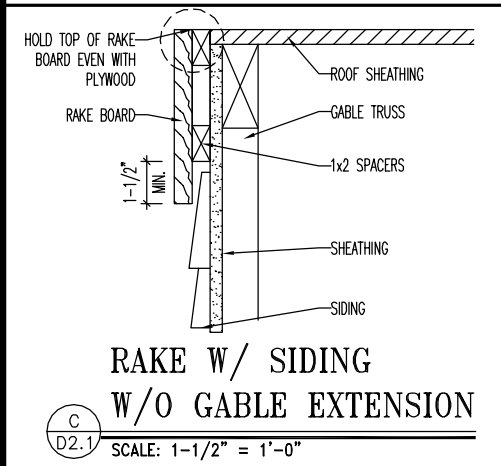
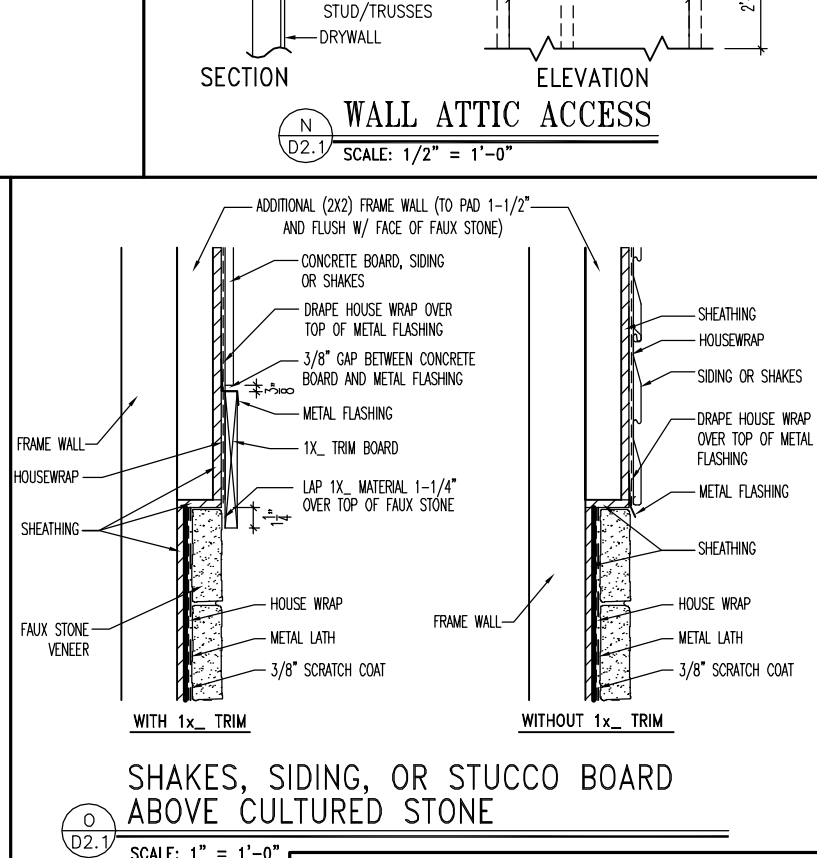
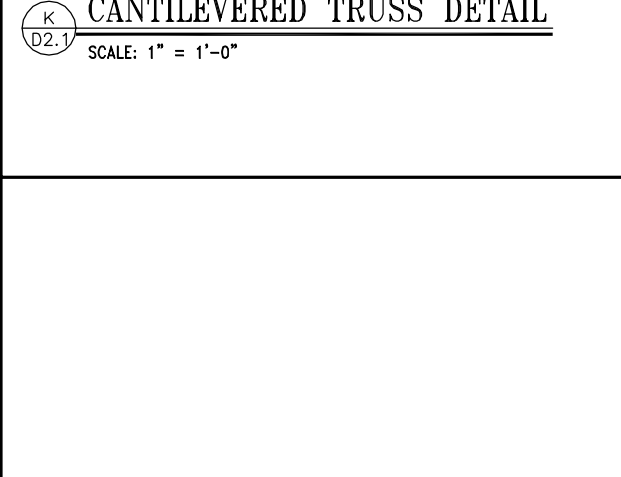
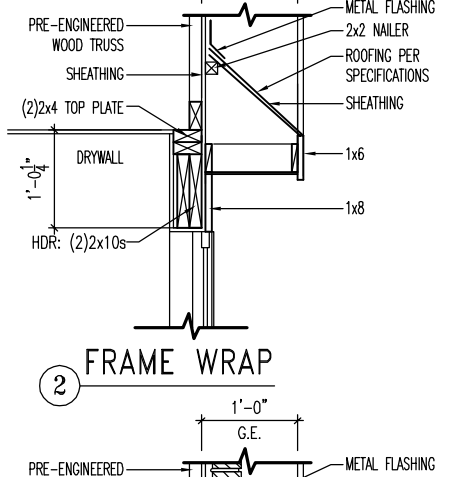
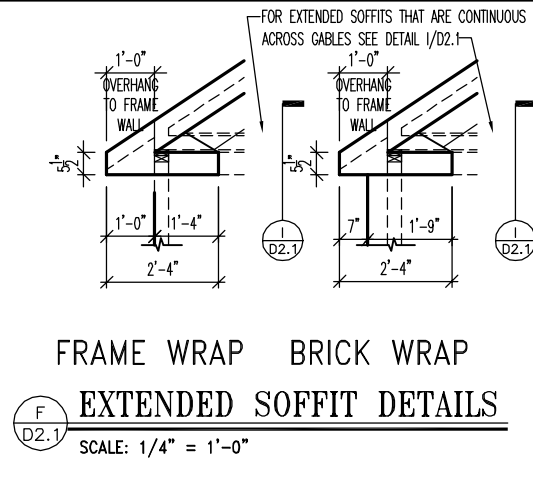
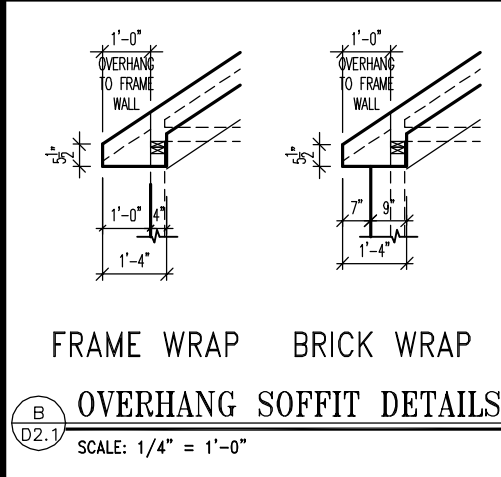
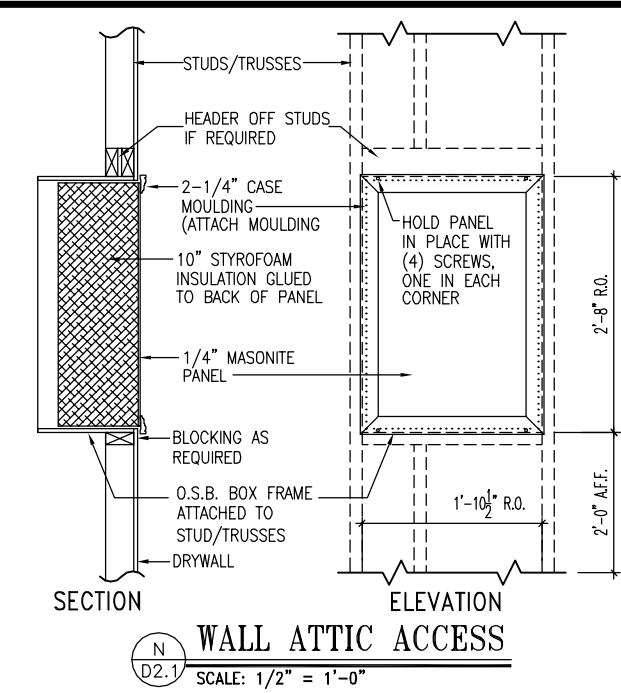
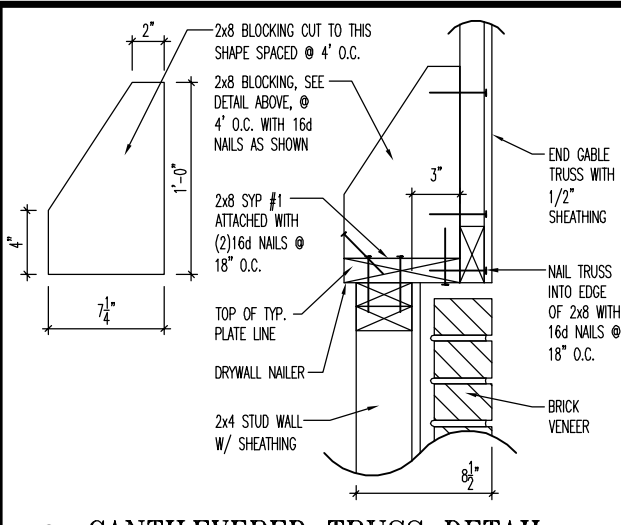
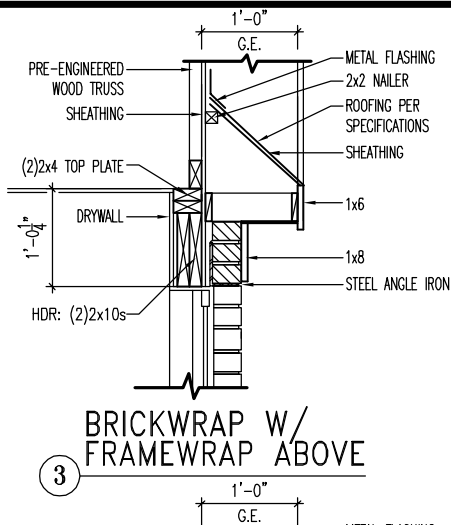
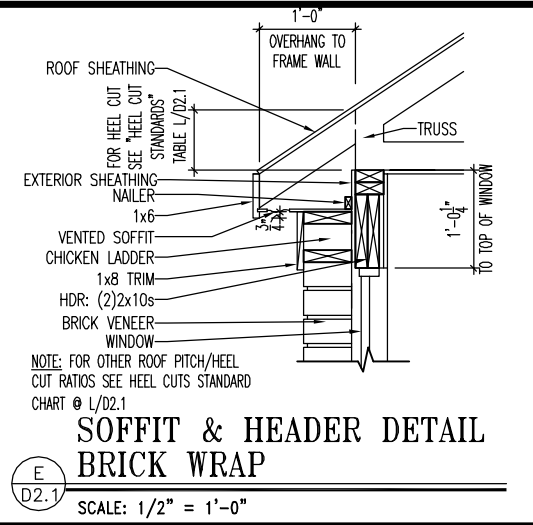
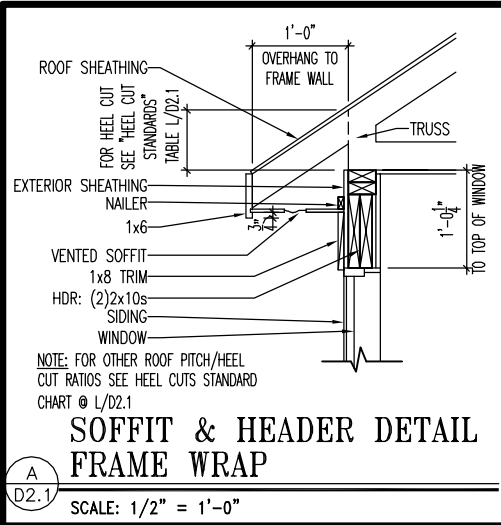
**7.01**  
House Specific Details  
Elevation "A"

2/18/2025 6:30:32 AM

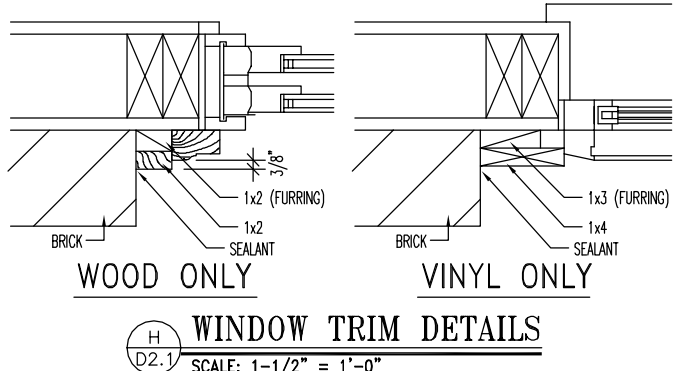








HEEL CUT STANDARDS	
ROOF PITCH	HEEL CUT
4/12	3-3/4"
5/12	4-3/4"
6/12	5-3/4"
7/12	6-3/4"
8/12	7-3/4"
9/12	8-3/4"
10/12	9-3/4"
12/12	11-3/4"
14/12	1'1-3/4"



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03/18/2025 10:32:52 AM



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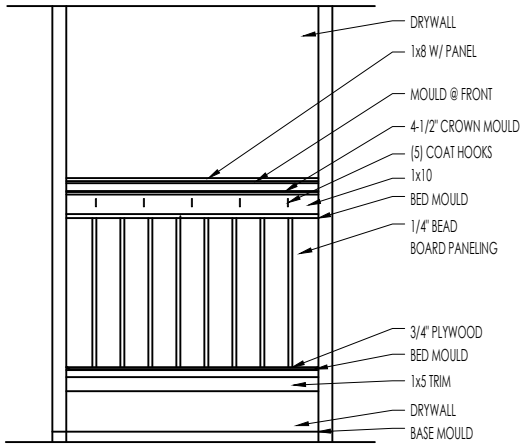
**STD. DETAIL SHEET**  
REGION:  
**RALEIGH**

Std. By: ALL  
Chk. By: ARC  
Std. Date: 10.11.06  
Last Rev: 4/5/10 MSM

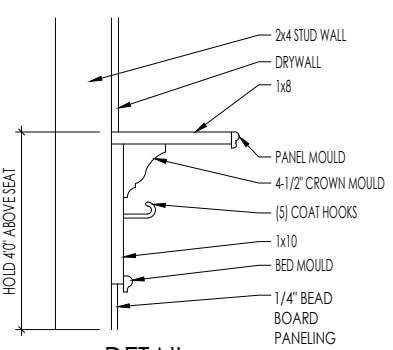
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**FRAMING DETAILS**

**DETAILS MAY NOT APPLY TO CONTRACT**

Sheet No.  
**D2.1**

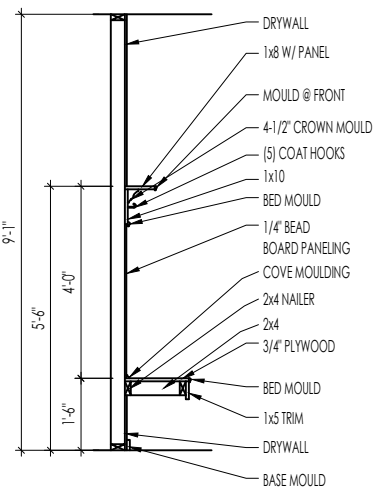


ELEVATION

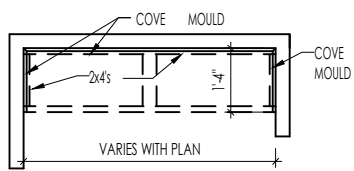


DETAIL

SCALE: 1/2" = 1'-0"



SECTION



PLAN

F  
D2.2

BENCH SEAT DETAILS

SCALE: AS NOTED



The Drees Company  
03/18/2025 10:32:52 AM



STANDARD FRAMING DETAILS  
RALEIGH DIVISION  
SCALE: AS NOTED

SHEET NO.

ARCH

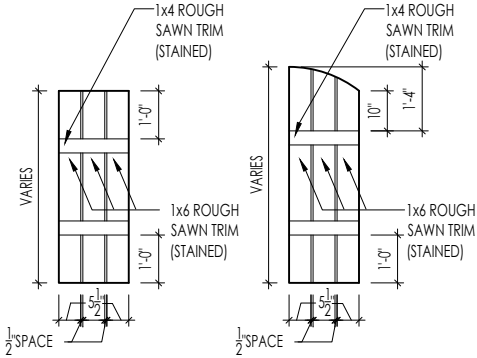
DATE OF DETAIL: 01/27/15

LAST REVISION:

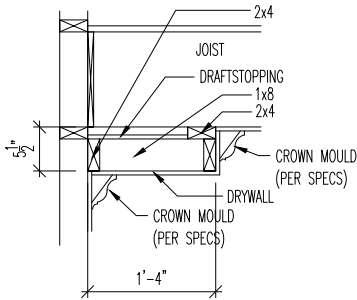
Jan 10, 2023 - 1:47pm

D2.2





M  
D2.4  
SLAT SHUTTER DETAIL  
SCALE: 1/4" = 1'-0"



H  
D2.4  
SINGLE TRAY CEILING DETAIL  
SCALE: 1/2" = 1'-0"



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03/18/2025 10:32:52 AM

STANDARD FRAMING DETAILS  
RALEIGH DIVISION  
SCALE: AS NOTED



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DRAWN BY: ARCH

DATE OF DETAIL: 01/27/15

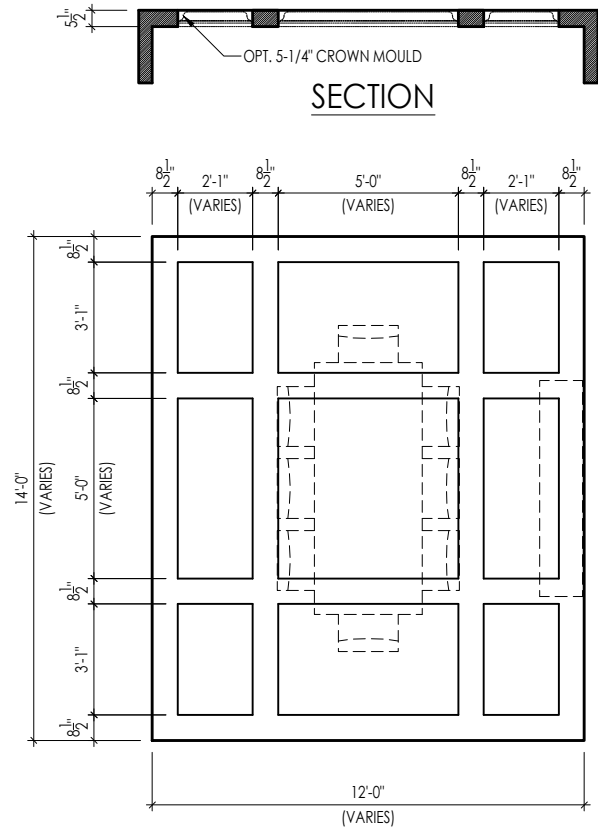
LAST REVISION:

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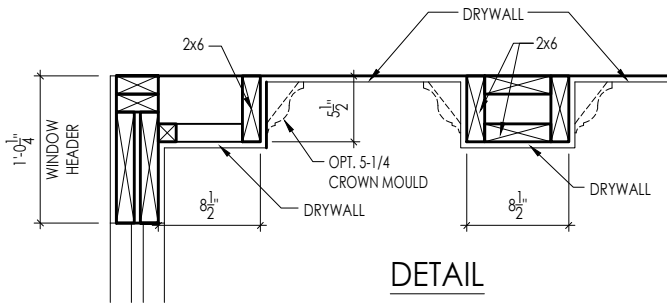
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D2.4



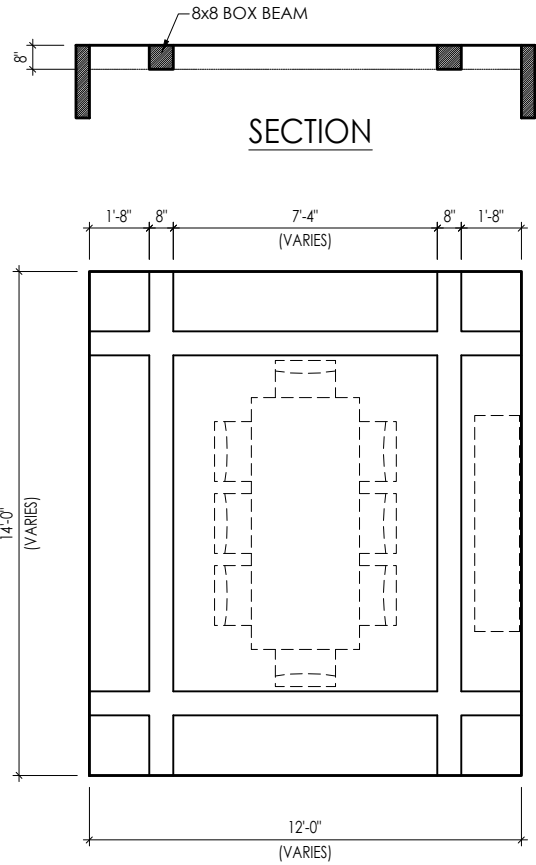


TYPICAL PLAN

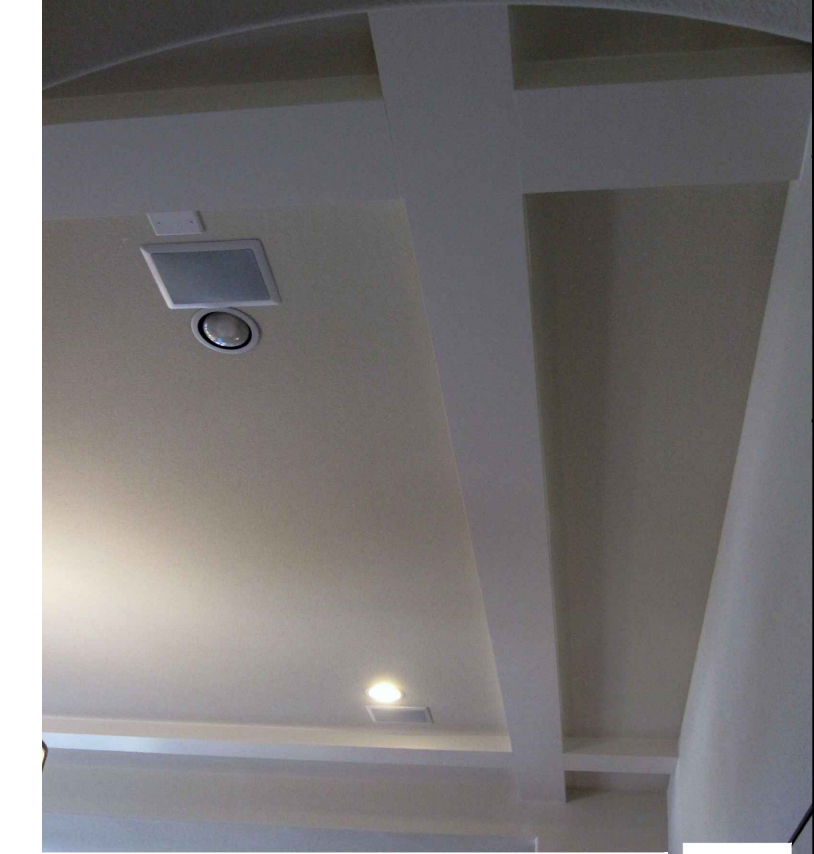


Note: Ceiling treatment details will tray down into space on enclosed rooms located on the 1st floor. On enclosed rooms on the 2nd floor, the ceiling treatment will tray up into the roof truss system. On 2-story spaces, the ceiling treatment will tray down into the space and require an appropriate sized header to capture the ceiling detail return.

01

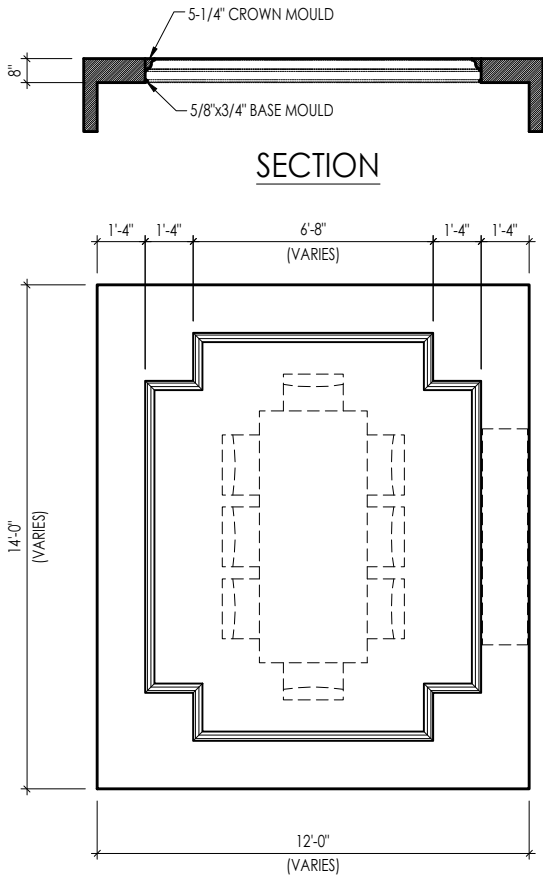


TYPICAL PLAN



Note: Ceiling treatment details will tray down into space on enclosed rooms located on the 1st floor. On enclosed rooms on the 2nd floor, the ceiling treatment will tray up into the roof truss system. On 2-story spaces, the ceiling treatment will tray down into the space and require an appropriate sized header to capture the ceiling detail return.

05

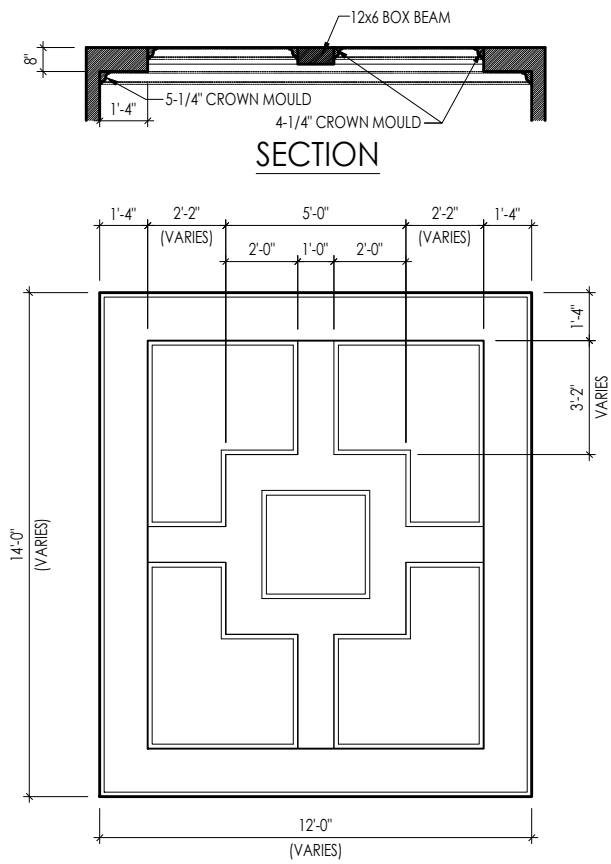


TYPICAL PLAN

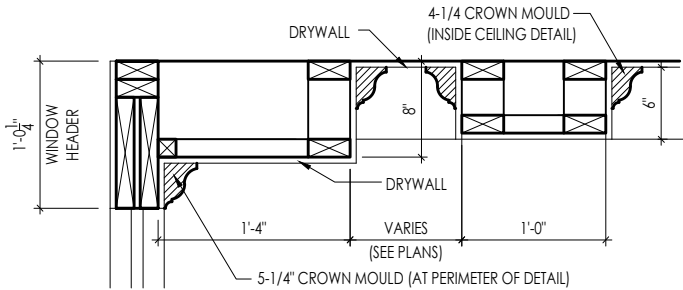


Note: Ceiling treatment details will tray down into space on enclosed rooms located on the 1st floor. On enclosed rooms on the 2nd floor, the ceiling treatment will tray up into the roof truss system. On 2-story spaces, the ceiling treatment will tray down into the space and require an appropriate sized header to capture the ceiling detail return.

04



TYPICAL PLAN



DETAIL

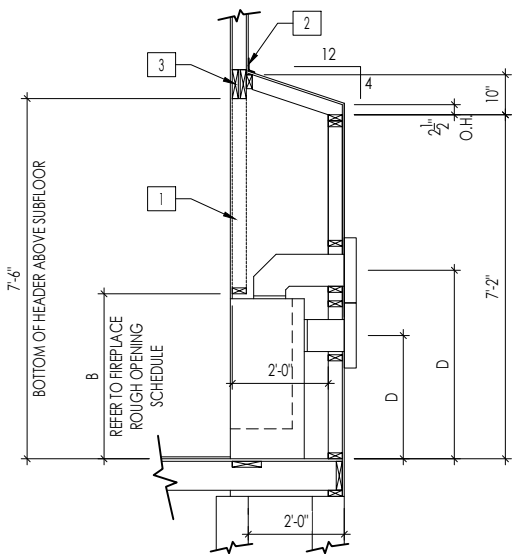


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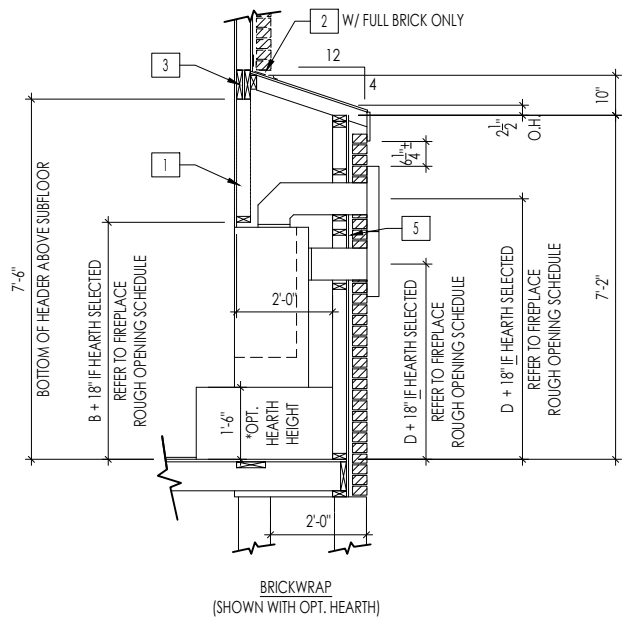
Note: Ceiling treatment details will tray down into space on enclosed rooms located on the 1st floor. On enclosed rooms on the 2nd floor, the ceiling treatment will tray up into the roof truss system. On 2-story spaces, the ceiling treatment will tray down into the space and require an appropriate sized header to capture the ceiling detail return.

15

CEILING TREATMENTS  
SCALE: AS NOTED



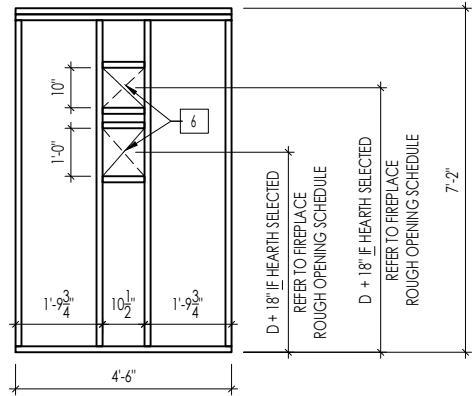
FRAMEWRAP  
(SHOWN WITHOUT OPT. HEARTH)



BRICKWRAP  
(SHOWN WITH OPT. HEARTH)

FIREPLACE DOGHOUSE SECTIONS

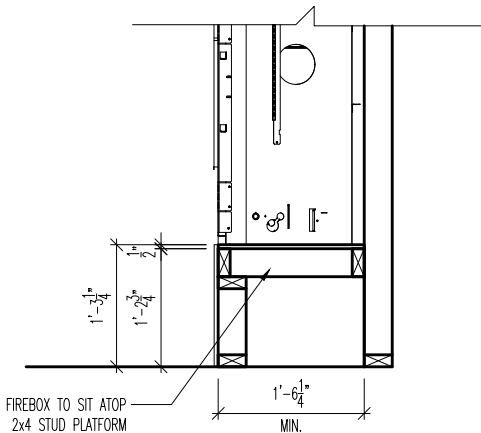
SCALE: 1/4" = 1'-0"



WITH HEARTH

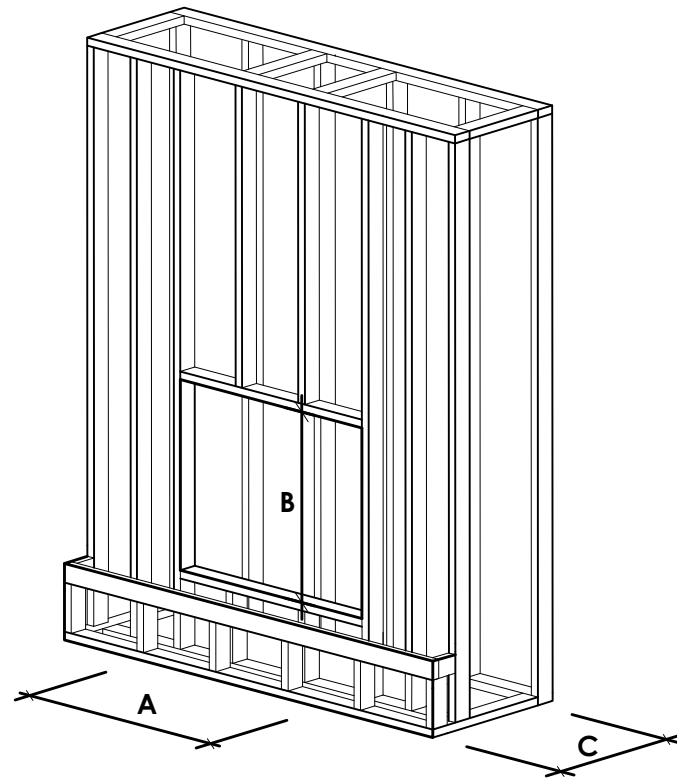
DIRECT VENT REAR WALL FRAMING

SCALE: 1/4" = 1'-0"



RAVE FIREPLACE PLATFORM DETAIL

SCALE: 1/2" = 1'-0"



NOTE:  
PROVIDE OSB SHEATHING WHEN  
STONE VENEER SELECTED

FIREPLACE ROUGH OPENING SCHEDULE

FIREPLACE MANUFACTURER	MODEL	A	B	C	D
		(FIREBOX REQUIRED WIDTH)	(FIREBOX REQUIRED HEIGHT) *ADD 18" W/ OPT. HEARTH	(FIREBOX REQUIRED DEPTH - INTERIOR REAR WALL TO FRONT EXTERIOR WALL)	(VENT CENTERLINE HEIGHT) *ADD 18" W/ OPT. HEARTH
HEAT & GLO	SLIMLINE SL-7	42"	38-1/4"	16-1/4"	TOP 40" SIDE 26-7/8"
	COSMO 42	49"	32-3/4"	17-3/4"	TOP ONLY 47-1/16"
	NOVUS 33	39"	34-7/8"	19-5/8"	TOP 40" SIDE 23-1/2"
HEARTH & HOME	COURTYARD 36	43-3/8"	44-1/8"	18-3/8"	SEE MANUFACTURER'S SPECS
	COURTYARD 42	48-1/2"	34-1/4"	20-1/4"	SEE MANUFACTURER'S SPECS
	LANAI *(NOT IN CINCY/NKY)	57-3/4"	39-1/2"	17-5/8"	SEE MANUFACTURER'S SPECS
	RAVE	49"	32-3/4" *RAISED 15-1/4"	18-1/4"	TOP ONLY 46-1/2"
all dimensions are in inches					

General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.
- VERIFY FIREPLACE MODEL AND HEARTH SELECTION WITH CUSTOMER'S SELECTIONS.

Key Notes

- FUTURE FRAMING FOR F.P. OPENING AFTER INSULATION HAS BEEN INSTALLED IN EXT. WALLS
- FLASHING
- HEADER PER PLAN
- 
- 1" AIRSPACE
- BOX OUT FOR FLUE (REFER TO SELECTIONS FOR FIREPLACE AND OPENING HEIGHT)



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FIREPLACE DETAILS

Std. Drawn By: MRPH

Std. Date: 02.29.20

Date of Last Rev: 7.10.2023

Sheet Description:

FIREPLACE DETAIL

g:\architecture\cincinnati\cintl standard drawings\fireplace\fireplace detail sheets.dwg

SCALE: VARIES

Sheet No.

F-1

# RALEIGH WINDOW SCHEDULE

**\* MEETS EMERGENCY ESCAPE & RESCUE  
OPENING REQUIREMENTS**

[illegible]

Drees Homes

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Sheet Description:

## WINDOW SCHEDULE

•

Sheet No.

SC-01



# MOULDED MILLWORK SCHEDULE

LAST REVISED 11/22/17

[illegible]

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Sheet Description:

## MOULDED MILLWORK SCHEDULE

Sheet No.

SC-02