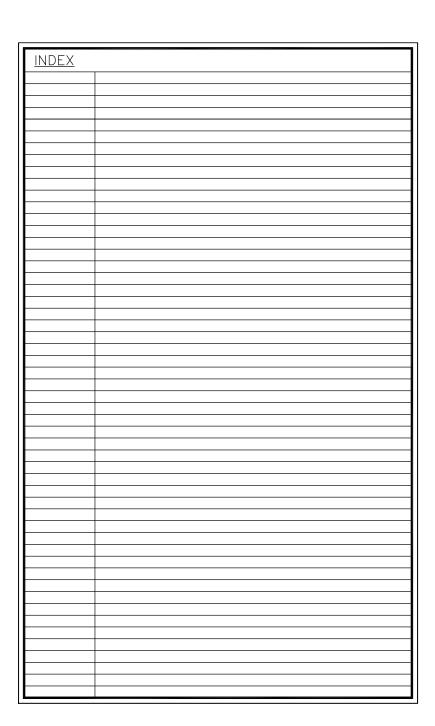
TOWNSEND-RALE

RALEIGH- LOT 00.0020 HONEYCUTT HILLS SF

(MODEL# 3501) ELEVATION 1 - GL



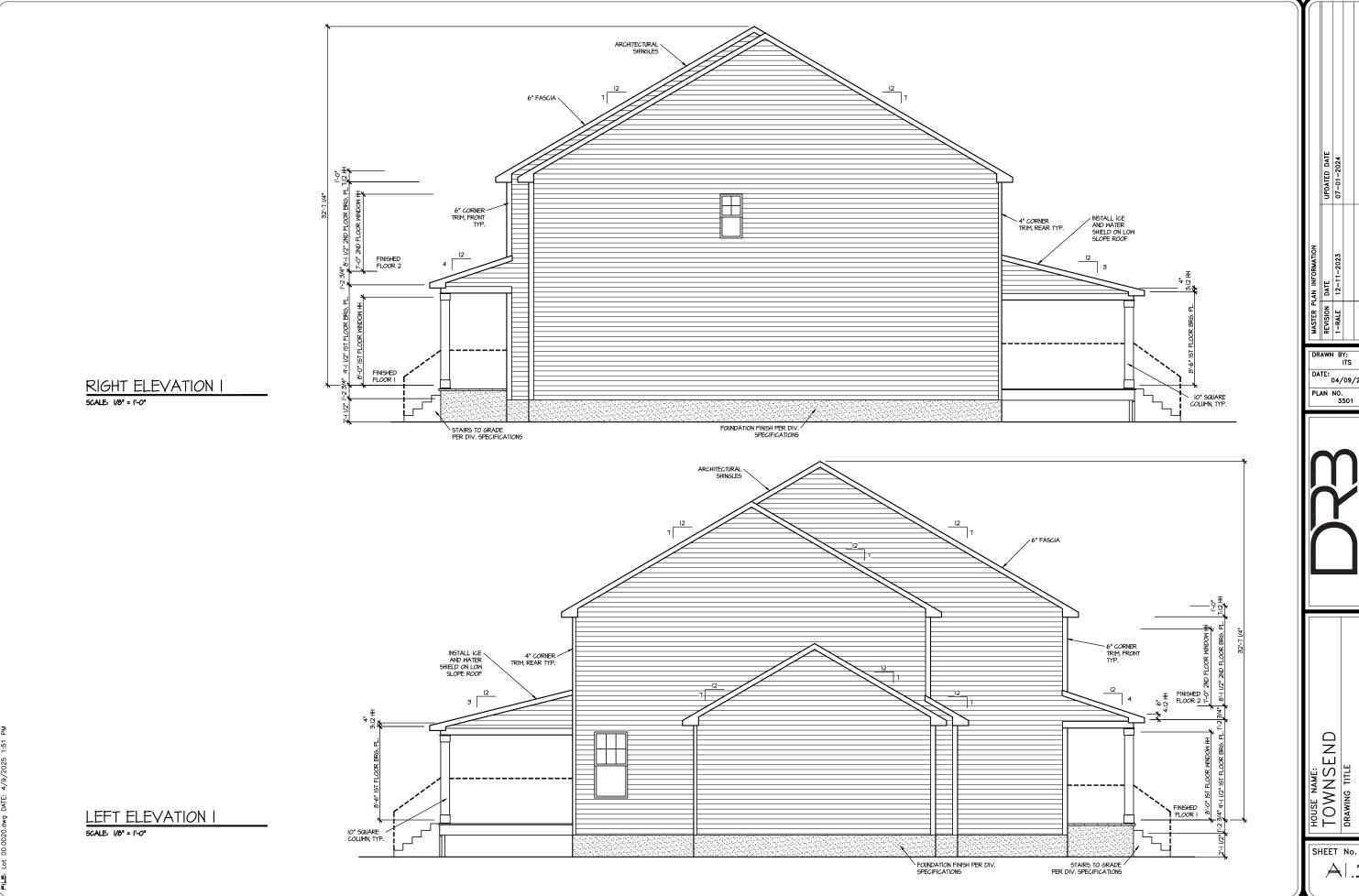


AREA CALCULATIONS ELEVATION 1 FIRST FLOOR GARAGE FRONT PORCH - ELEVATION 1 SECOND FLOOR		HEATED 1588 SF 1913 SF	COVERED / UNHEATED 439 SF 116 SF	UNCOVERED
OPTIONS				
REAR COVERED PORCH			462 SF	
3RD CAR GARAGE			264 SF	
	TOTAL	3501 SF	1281 SF	

380 Shelby Meadow Lane

LOT	CDECIEIC	
LUI	<u>SPECIFIC</u>	
1	LOT 00.0020	
	201 00.0020	TOWNSEND R1 ELEVATION 1
		TOWNSEND RI ELEVATION I
2	ADDRESS	380 SHELBY MEADOW LANE ANGIER, NC 27501
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DATE: 04/09/2025 PLAN NO. 3501



ELEVATIONS <u>0</u> ∓ ∓

UPPER ROOF VENTILATION CALCULATIONS:

ROOF AREA = 2(0) 50. FT.

OUTPAIL REGURED VENTILATION.

1 150.5 + 4(0) 150. FT.

1 50.50. N 107 THRD = 2 50. - 56.0 50. FT. () TO 300)

NET FREE AREA OF VENTED 50FFFF = 5.1 50. IN / LINEAR FT.

NET FREE AREA OF RIDGE VENTE = 10 50. IN / LINEAR FT. LOYER VENTING. (BOTTOM 2/3 RDG)

100 LINEAR PEET OF SOFFIT X 5.1 50. IN = 346 50. FT.
100 LINEAR PEET OF SOFFIT X 5.1 50. IN = 5.0 50. FT.
100 LINEAR PEET OF RIDGE X ID 50. IN = 5.0 50. FT.
10.5 50. FL. IEDHYLEH SOF. 4006

101 3020 ALLOYED

TOTAL ROOF VENTILATION: 846 50. FT. > 1.0 50. FT. (Rod)

INSTALL ICE / WATER SHIELD ON LOW SLOPE ROOF 16 LF RIDGE VENT 7:12 5LOPE APPROX. LOCATION OF 12' X 8' 12" RAISED TRAY CEILING AT OWNERS SUITE 8 LF RIDGE VENT 16 LF RIDGE VENT 7:12 5LOPE 7:12 5LOPE

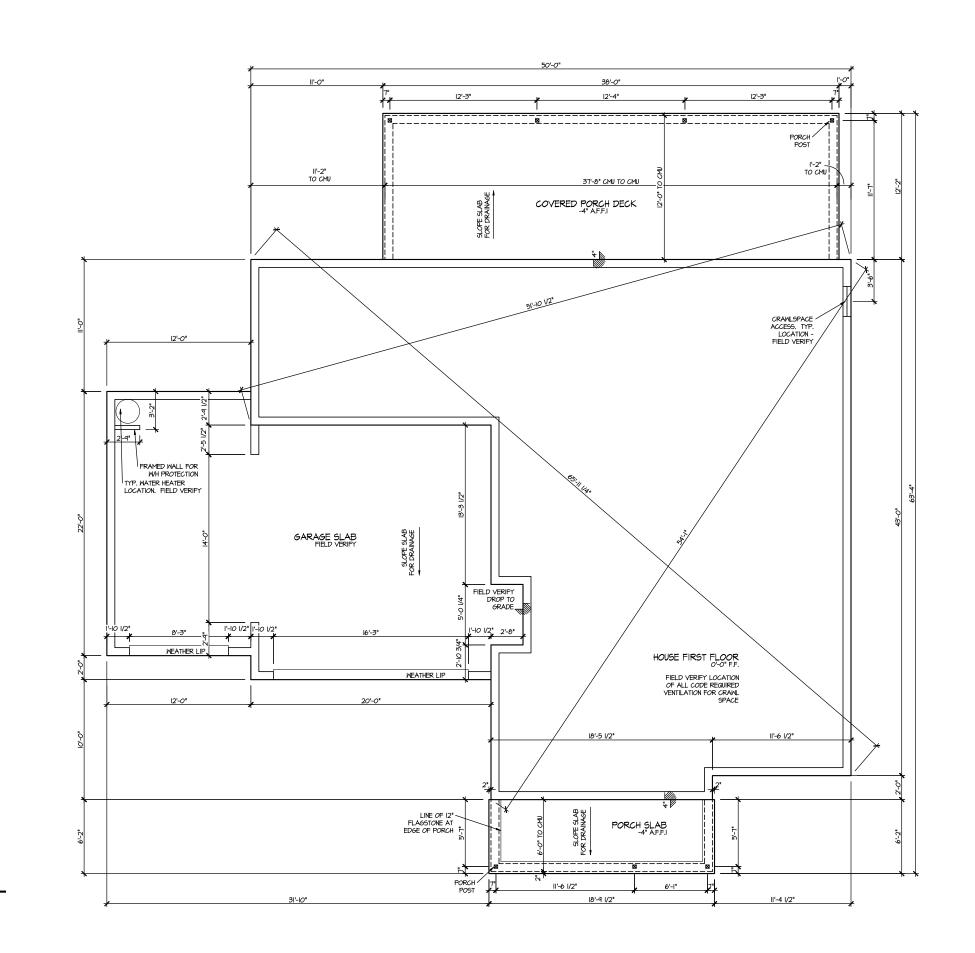
ROOF PLAN ELEV. I SCALE: 1/8" = 1'-0"

HOUSE NAME:
TOWNSEND
DRAWING TITLE

DRAWN BY:

DATE: 04/09/2025 PLAN NO. 3501

SHEET No.



DATE: 04/09/2025 PLAN NO. 3501

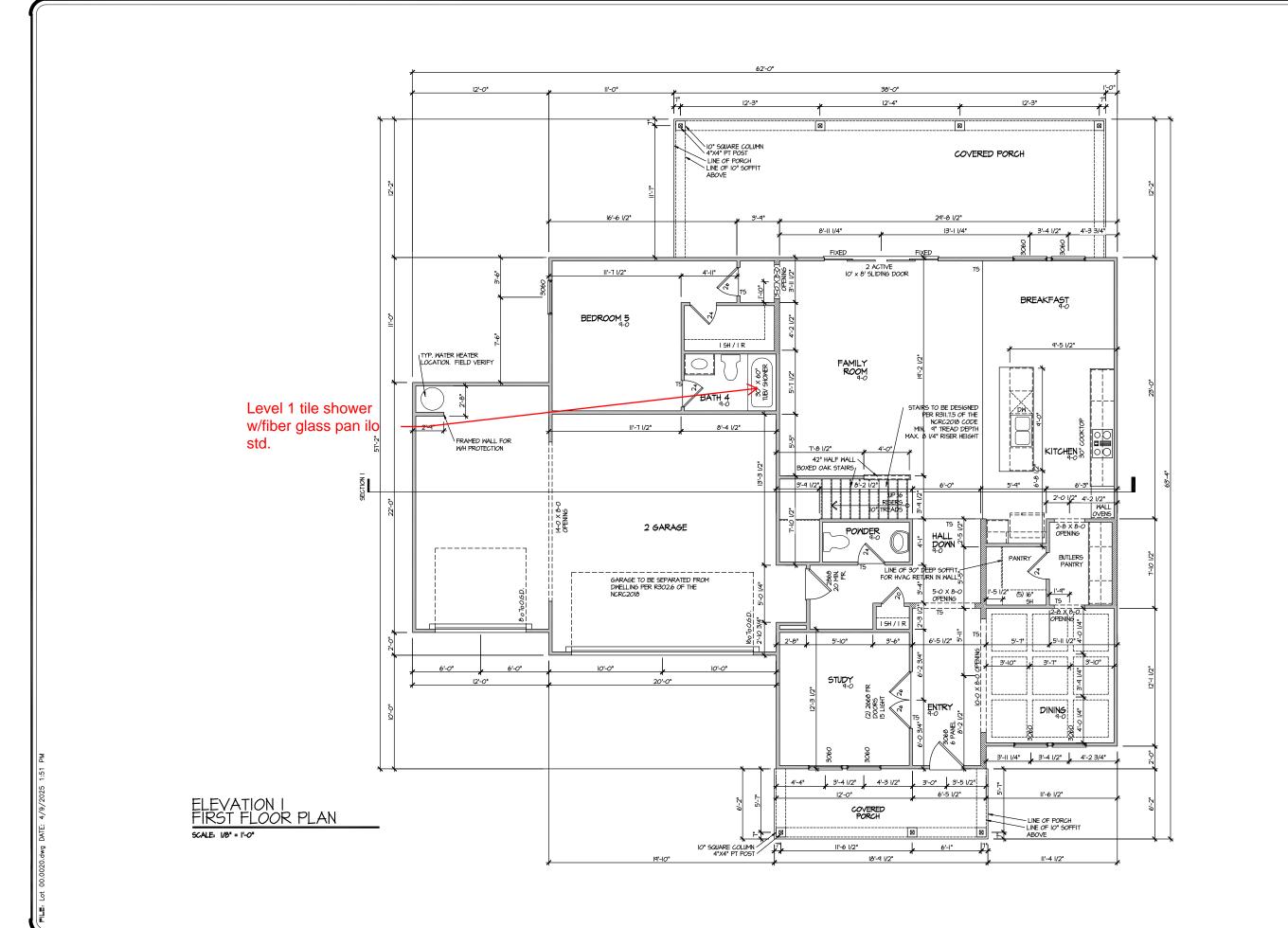
DRAWN BY:

のでみて国 HOUSE NAME:
TOWNSEND
DRAWING TITLE
CRAML SPACE

SHEET No. A2.1

ELEVATION I CRAWL SPACE PLAN

SCALE: 1/8" = 1'-0"

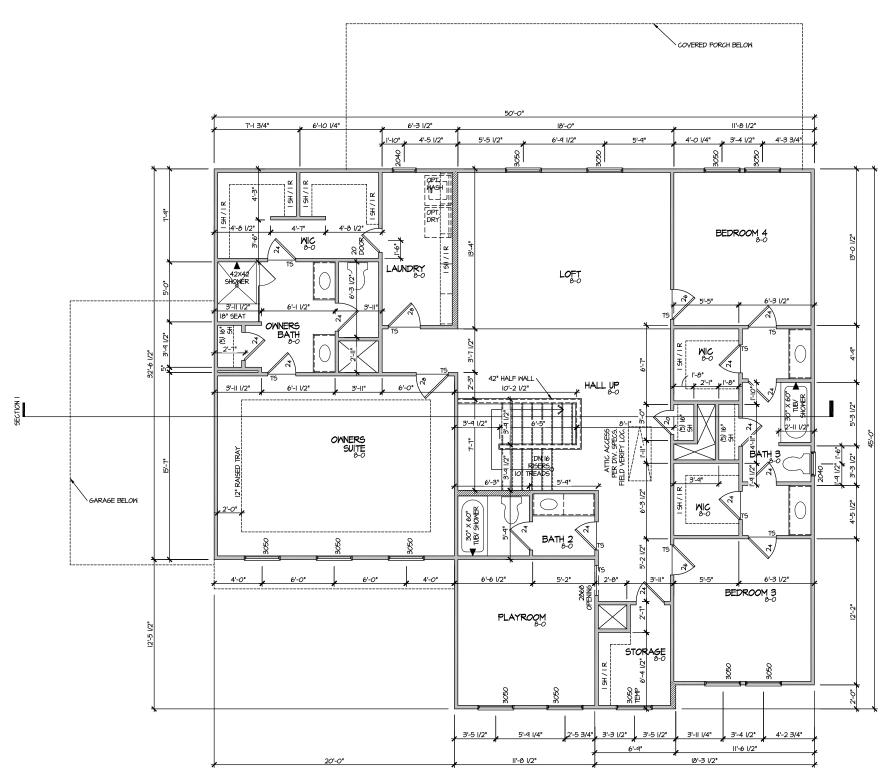


DRAWN BY: ITS DATE: 04/09/2025 PLAN NO. 3501



HOUSE NAME:
TOWNSEND
DRAWING TITLE

SHEET No.



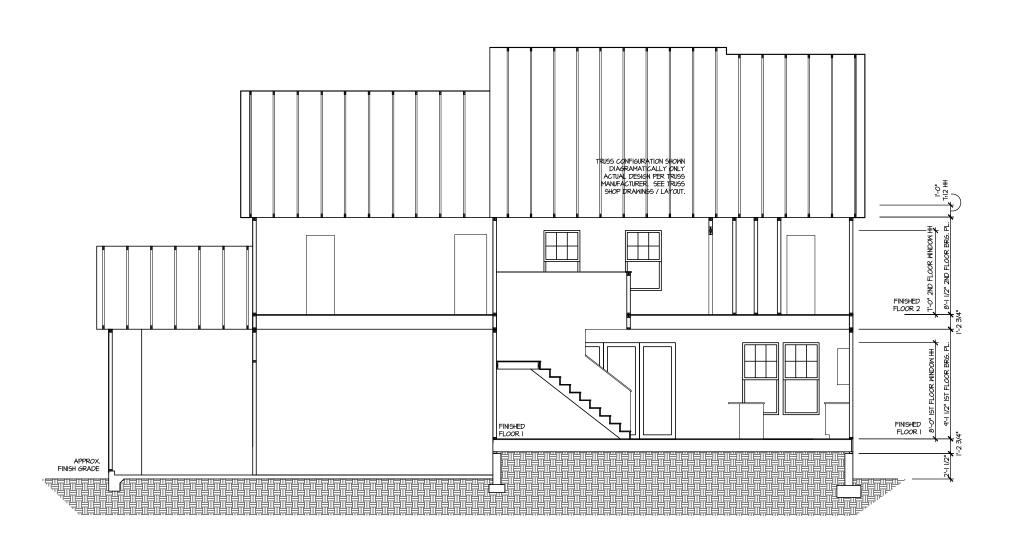
ELEVATION I SECOND FLOOR PLAN SCALE: 1/8" = 1'-0"

DRAWN BY: DATE: 04/09/2025 PLAN NO. 3501

HOUSE NAME:
TOWNSEND
DRAWING TITLE
SECOND FLOOF

SHEET No.

A3.2



SECTION 1 SCALE: 1/8" = 1'-0"

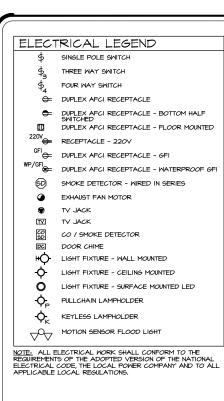
HOUSE NAME:
TOWNSEND
DRAWING TITLE
BUILDING SECTI

SECTION

DRAWN BY: DATE: 04/09/2025 PLAN NO. 3501

SHEET No.

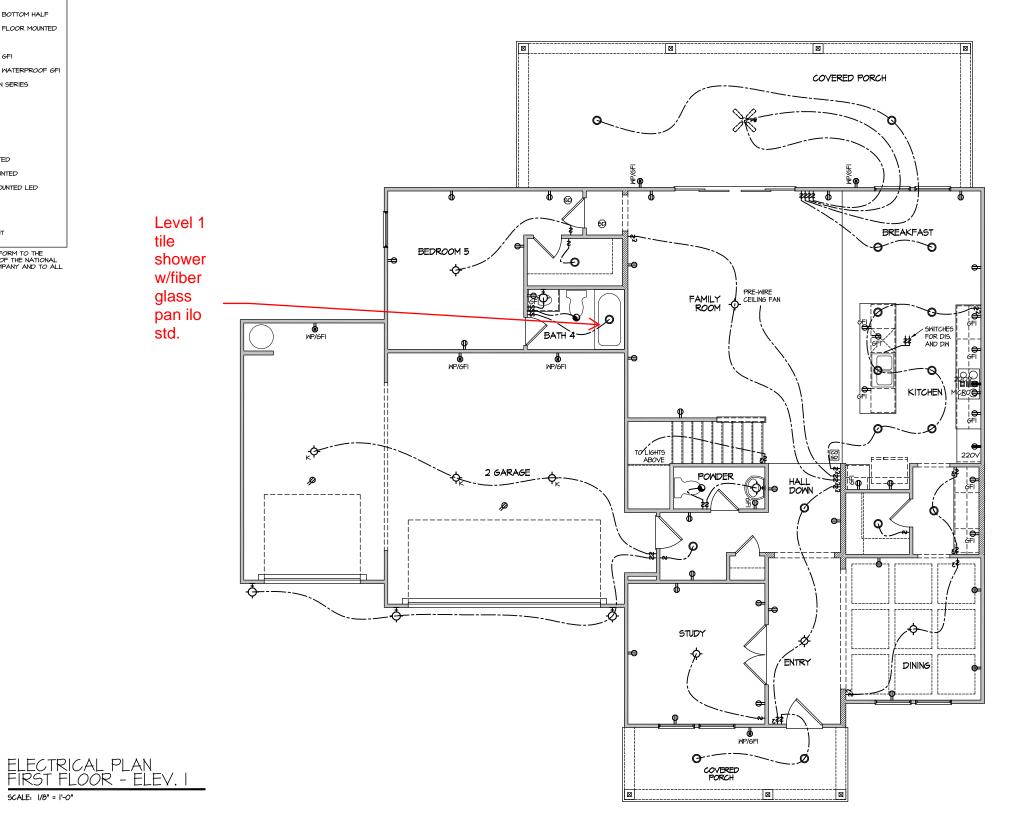
A4.1



tile

std.

SCALE: 1/8" = 1'-0"



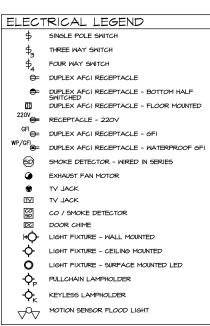
ᇳ HOUSE NAME:
TOWNSEND
DRAWING TITLE

SHEET No.

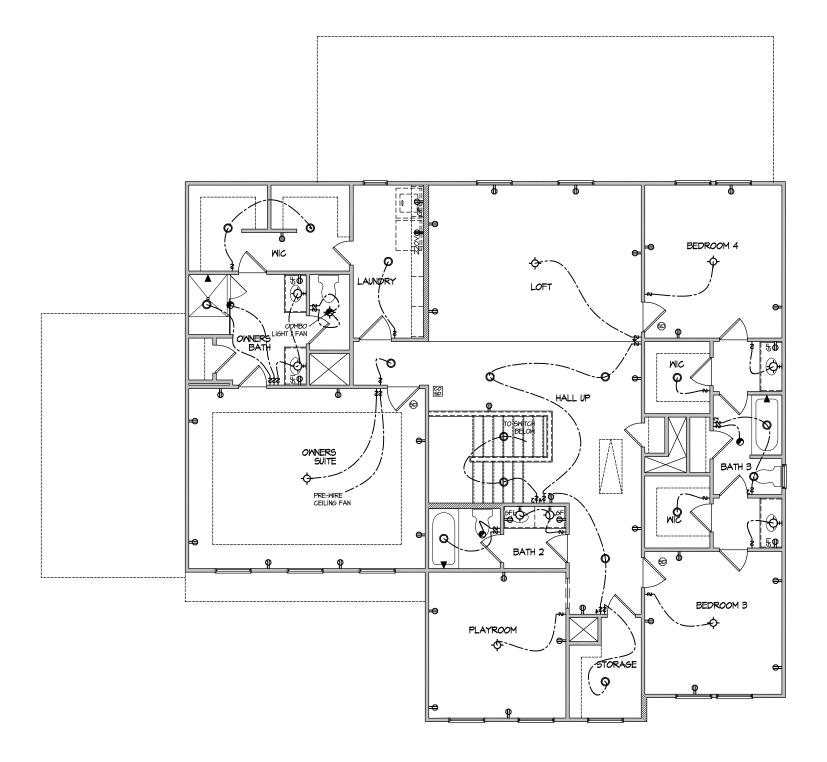
DRAWN BY:

PLAN NO. 3501

DATE: 04/09/2025



NOTE: ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE ADOPTED VERSION OF THE NATIONAL ELECTRICAL CODE, THE LOCAL POWER COMPANY AND TO ALL APPLICABLE LOCAL REGULATIONS.



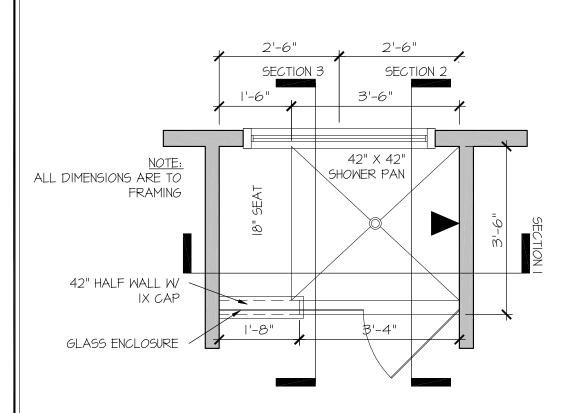
ELECTRICAL PLAN SECOND FLOOR - ELEV. | SCALE: 1/6" = 1'-0" HOUSE NAME:
TOWNSEND
DRAWING TITLE
SECOND FLOOR

ᇳ

DRAWN BY: ITS DATE: 04/09/2025 PLAN NO. 3501

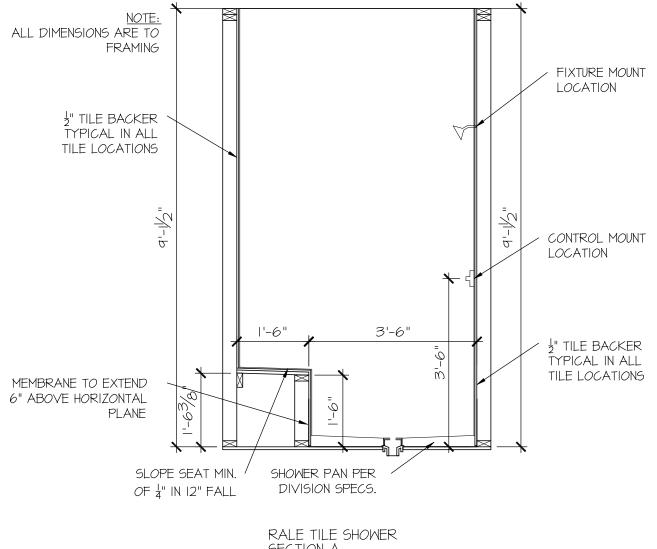
SHEET No.

:: Lot 00:0020:0Wg DAIE: 4/8/2023 1:31 FM



RALE TILE SHOWER 42" X 42" W 18" SEAT

SCALE: 1/2" = 1'-0"



SECTION A

SCALE: 1/2" = 1'-0"

CONSULTANT LOGO

DRAWN BY: L. BEAVERS DATE: 9/1/22 PLAN NO.

11 X 17 SCALE

24 X 36 SCALE



DETAIL SHOWER RALE

SHEET No.



SEAL

DRAWN BY:
L. BEAVERS
DATE: 9/1/22

PLAN NO.

24 X 36 SCALE

~ "

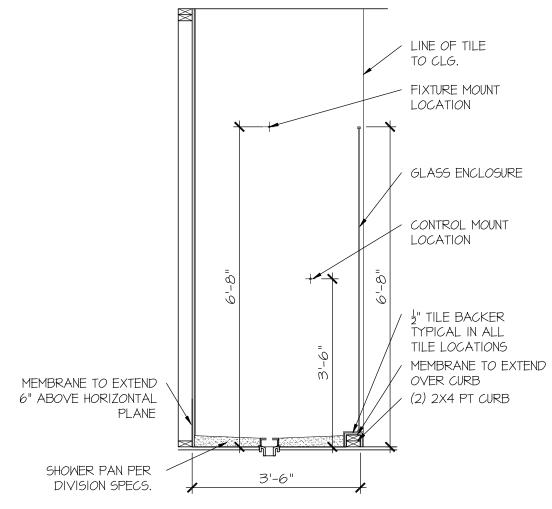


E ILE SHOWER DETAIL

OUSE NAME:

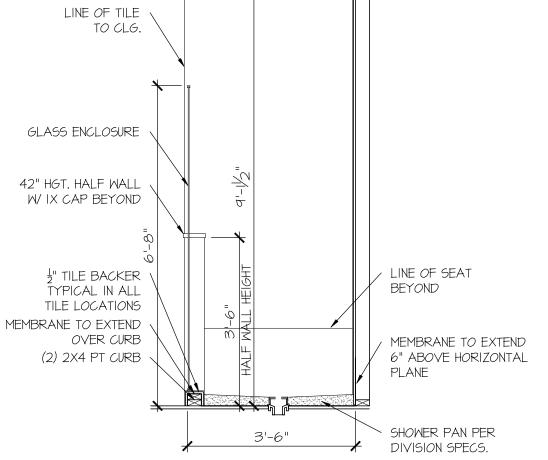
SHEET No.

P||.2



SCALE: 1/2" = 1'-0"





SCALE: 1/2" = 1'-0"

FOOTING DESIGN - 2,000 PSF ALLOWABLE SOIL BEARING PRESSURE IS ASSUMED, BUILDER/CONTRACTOR MUST VERIEY.

FASTEN 2x4/6 SILL PLATES TO FND WITH A MINIMUM OF 2 ANCHORS

PER PLATE, 12" MAX. FROM PLATE ENDS - UTILIZING:

(CONC), 15" MIN, EMBEDMENT (CMU)

SIMPSON MASA ANCHOR STRAPS @ 6'-0" O.C. (CONC) * SIMPSON MAB23 ANCHOR STRAPS @ 2'-8" O.C. (CMU)

(REFER TO DETAILS FOR 10' TALL WALL ANCHOR REQUIREMENTS) ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT W CONCRETE OR CMU SHALL BE PRESERVATIVE TREATED SOUTHERN PINE #2.

BUILDER TO VERIFY CORROSION-RESISTANCE COMPATIBILITY OF HARDWARE & FASTENERS IN CONTACT w/ PRESERVATIVE-TREATED WOOD. CONTACT LUMBER & HARDWARE SUPPLIERS TO COORD.

BASEMENT INTERIOR BEARING WALLS & EXTERIOR WALK-OUT BASEMENT WALLS SHALL BE 2x6 @ 16" O.C. SPF OR SYP, "STUD" GRADE OR BETTER

CONCRETE DESIGN BASED ON ACI 318. CONCRETE SHALL ATTAIN THE FOLLOWING MIN. COMPRESSIVE STRENGTHS IN 28 DAYS, U.N.O.;

4,000 psi: FOUNDATION WALLS 2500 psi: FOOTINGS & INTERIOR SLABS ON GRADE GARAGE & EXTERIOR SLABS ON GRADE

60,000 psi

BASEMENT FOUNDATION WALL DESIGN BASED ON: . 9' OR 10' HEIGHT (AS NOTED ON PLANS)

- TALLER WALLS MUST BE ENGINEERED NOMINAL WIDTH (9 1/5" FOR 10" THICK WALL).

BASEMENT WALL DESIGN IS BASED ON 60 PCF BACKFILL SOIL TYPE CLASSIFICATIONS (SC, ML-CL, OR CL).

BASEMENT WALLS SHALL BE BRACED, PRIOR TO BACKFILLING, BY ADEQUATE TEMPORARY BRACING OR INSTALL IST FLOOR DECK.

PROVIDE (2) #5 BARS AROUND ALL SIDES OF OPENINGS IN CONCRETE BSMT, FND, WALL MITH 2" CLEAR, REINFORCEMENT SHALL EXTEND 12" PAST CORNER OF OPENING IN ALL DIRECTIONS,

. FOR OPENINGS UP TO 36" PROVIDE MINIMUM IO" CONCRETE DEPTH OVER OPENING OR (3)2x10 W (2)2x6 JACK STUDS, U.N.C

• LARGER OPENINGS SHALL BE PER PLAN.

ALL CONCRETE EXPOSED TO THE WEATHER SHALL NOT HAVE LESS THAN 5% OR MORE THAN 7% AIR ENTRAINMENT

ALL FOOTINGS SHALL BEAR AT LEAST 12" BELOW FINISH GRADE.

• FOOTINGS AND SLABS ON GRADE SHALL BEAR ON VIRGIN SOIL OR

PROVIDE CONTROL JOINTS AT ALL INSIDE CORNERS OF SLAB EDGES, AND OTHER LOCATIONS WHERE SLAB CRACKS ARE LIKELY

• JOINTS SHALL BE LOCATED @ 10'-0" O.C. (RECOMMENDED) OR 15'-0" O.C. (MAXIMUM)

• JOINT GRID PATTERN SHALL BE AS CLOSE TO SQUARES AS POSSIBLE (I:I RATIO), WITH A MAXIMUM OF I:1.5 RATIO

· CONTROL JOINTS SHALL NOT BE INSTALLED IN STRUCTURAL

CONCRETE MASONRY UNITS (CMU) SHALL BE ASTM C90 WITH A MIN. COMPRESSIVE STRENGTH OF 1900 psi (F/m=1500 psi). MORTAR SHALL BE ASTM C270, TYPE S. CMU DESIGN PER ACI 530 \$ 530.I.

CMU FOUNDATION WALLS SHALL HAVE 'DUR-O-WALL' HORIZONTAL JOINT REINFORCEMENT (OR EQUAL) - 9 GA. MINIMUM @ 16" O.C.

PROVIDE 2x8 x 16" LONG P.T. PLATE ON TOP OF ALL CRAWL SPACE PIERS. ALL PIERS SHALL BE GROUTED SOLID.

PROVIDE 2x6 P.T. PLATE ON INTERIOR CRAWL SPACE WALLS, FASTENED PER ANCHORAGE SPECIFICATION NOTED ABOVE.

DIMENSIONS BY OTHERS, BUILDER TO VERIFY.

DESCRIPTION OF BLDG, ELEMENT 3"x0.131" NAILS

IOIST TO SOLE PLATE

20UBLE STUD

OUBLE TOP PLATE

NTERSECTING WALLS

SOLE PLATE TO JOIST/BLK'G STUD TO SOLE PLATE

TOP OR SOLE PLATE TO STUD

BLK'G. BTWN. JOISTS TO TOP PL.

OP PLATE LAP @ CORNERS &

(ONLY ACCEPTABLE WHERE * ARE SHOWN)

BUILDER TO VERIFY THAT MODEL HAS BEEN ADEQUATELY TREATED BY A LICENSED AND BONDED PEST CONTROL COMPANY FOR SUBTERRANEAN TERMITES. METHOD AND TYPE OF TREATMENT TO BE DETERMINED BY PEST CONTROL COMPANY.

CONNECTION SPECIFICATIONS (TYP. U.N.O.)

OUBLE TOP PLATE LAP SPLICE (4) NAILS IN LAPPED AREA

3) TOENAILS (3) NAILS @ 4" 0.0 (2) TOENAILS

OFNAILS @ 8"

(3) TOENAILS

(2) NAILS

NAILS @ 24" 04

2/4"x0.113 IS AN ACCEPTABLE ALTERNATIVE TO A 3"x0.120", SAME SPACING OR NUMBER OF NAILS.

GENERAL STRUCTURAL NOTES

DESIGN IS BASED ON 2018 NORTH CAROLINA STATE BUILDING CODI RESIDENTIAL CODE.

WOOD FRAME ENGINEERING IS BASED ON NDS. "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" - LATEST EDITION.

DESIGN LOADS:

DEAD = 7 PSF T.C., 10 PSF B.C. LOAD DURATION FACTOR = 1.25

FLOOR LIVE = 40 PSF (30 PSF @ SLEEPING AREAS) DEAD = 10 PSF (I-JOISTS & SOLID SAWN) IO PSE T.C., 5 PSE B.C. (TRUSSES)

LATERAL 120 MPH, EXPOSURE B. SEISMIC A/B.

2,000 PSF ASSUMED ALLOWABLE BEARING PRESSURE (TO BE VERIFIED BY BUILDER)

GENERAL FRAMING

ALL TYP. NAIL FASTENER REQUIREMENTS ARE NOTED IN STANDARD CONNECTIONS TABLE OR ON PLANS. ALL NAILS SPECIFIED ARE MIN DIAMETER AND LENGTH REQUIRED FOR CONNECTION ALL HANGER NAILS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS FOR MAX CHARTED CAPACITY, NOTE: HANGERS USE COMMON NAIL DIAMETERS NOT TYPICAL FRAMING GUN NAILS.

REFER TO FASTENING SCHEDULE TABLE R602.3(I) FOR ALL CONNECTIONS, TYP. U.N.O.

EXT. & INT. BRG WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) • 16" O.C. SPF OR SYP "STUD" GRADE LUMBER, OR BETTER, U.N.O. ♦ WALLS OVER 12' TALL SHALL BE PER PLAN.

ALL HEADERS BEAMS & OTHER STRUCTURAL MEMBERS SHALL BE SPRUCE-PINE-FIR #2 (SPF) OR SOUTHERN PINE #2 (SYP) LUMBER, OR BETTER (KII N-DRIED). ALL HEADERS HAVE BEEN DESIGNED BASED ON CALCULATED LOADS & SIZED ACCORDINGLY, CODE TABLES HAVE NOT BEEN USED.

ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 2x 'STUD' GRADE MEMBERS SPACED ● 16" O.C. (MAX., U.N.O.)

• HEADERS IN NON-LOAD BEARING WALLS SHALL BE:

(1)2x4/6 FLAT @ OPENINGS UP TO 4', (2)2x4/6 FLAT UP TO 8'.

ALL FRAMING LUMBER SHALL BE DRIED TO 15% MC (KD-15). ENGINEERED LUMBER BEAMS TO MEET OR EXCEED THE FOLLOWING:

'LSL' - Fb=2325 psi; Fv=310 psi; E=1.55x10^6 psi

 'LVL' - Fb=2600 psi: Fv=285 psi: E=2.0xl0^6 psi - FB=2900 PSI; FV=290 PSI; E=2.0XI0^6 PSI

M+K SHALL BE FULLY INDEMNIFIED FOR ANY AND ALL ISSUES RESULTING FROM OR RELATED TO ANY BUILDING COMPONENT IF THI OWNER DOES NOT SUBMIT THE COMPONENT SHOP DRAWINGS TO MH FOR STRUCTURAL REVIEW PRIOR TO FABRICATION DELIVERY, OR INSTALL ATION

FOR 2 & 3 PLY BEAMS OF EQUAL WIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF 3"x0.120" NAILS @ 6" O/C OR 2 ROWS ¼"x3½" SIMPSON SDS SCREWS (OR 31/3" TRUSSLOK SCREWS) @ 16" O/C. USE A MINIMUM OF 3 ROWS FOR BEAM DEPTHS OF 14" OR GREATER APPLY FASTENING AT BOTH FACES FOR 3-PLY CONDITION. LOCATE TOP & BOTTOM NAILS/SCREWS 2" FROM EDGE. SOLID 3½" OR 5½" BEAMS ARE ACCEPTABLE, USE 2 ROWS OF NAILS FOR 2x6 \$ 2x8 MEMBERS

FOR 4 PLY BEAMS OF EQUAL WIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF 1/4"x6" SIMPSON SDS SCREWS (OR 6 3/4" TRUSSLOK SCREWS) @ 16" O/C. LISE A MINIMUM OF 4 ROWS FOR BEAM DEPTHS OF 14" OR GREATER. APPLY FASTENING AT BOTH FACES (ONE SIDE ONLY FOR TRUSSLOK SCREWS). LOCATE TOP AND BOTTOM SCREWS 2" FROM EDGE, A SOLID 7" BEAM IS ACCEPTABLE.

ALL HEADERS SHALL BE SUPPORTED BY (1)2x JACK STUD & (1)2x - THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE

NUMBER OF JACK STUDS REQUIRED, U.N.O., ALL MULTI-PLY STUDS TO BE FASTENED TOGETHER W/ 3"X0.131" NAILS @ 24" O.C. (MIN.), EACH PLY.

PROVIDE SOLID BLOCKING IN FLOOR SYSTEM UNDER ALL POSTS CONTINUOUS TO FND /BEARING. BLOCKING TO MATCH POST ABOVE

FASTEN 2x WOOD PLATES TO TOP FLANGE OF STEEL BEAMS WITH P.A.F.'s ('HILTI' X-CF PINS OR EQUAL) • 16" O.C. STAGGERED, OR 1/2" DIA, BOLTS @ 48" O.C. STAGGERED.

3"x0120" NAII S

(3) TOENAILS*

(3) TOENAILS*

NAILS @ 16" O.C.

NAILS 0 16" 0.0

(3) NAILS @ 4" o.c.

OFNAILS @ 6" OC

(II) NAILS IN LAPPED AREA (2) NAILS

ALL EXTERIOR 4x4 WOOD POSTS SHALL HAVE SIMPSON BCS2-2/4 CAP & ABW44Z BASE, U.N.O.

FLOOR FRAMING

I-JOISTS/TRUSSES SHALL BE DESIGNED BY MANUF. TO MEET OR EXCEED L/480 LIVE LOAD DEFLECTION CRITERIA. (EXCLUDES MARBLE FLOORS - CONTACT MEK FOR MARBLE FLOOR DESIGNS)

• AT I-JOIST FLOORS, PROVIDE I 1/8" MIN. OSB RIM BOARD. * METAL HANGERS SHALL BE SPECIFIED BY MANUFACTURER, U.N.O.

FLOOR SHEATHING SHALL BE 23/32" A.P.A. RATED 'STURD-I-FLOOR 24" O.C. EXPOSURE I (OR APPROVED EQUAL) WITH TONGLE AND

GROOVE EDGES. FASTEN TO FRAMING MEMBERS W GLUE AND - 2 1 × 0.131" NAILS @ 6"0.c. @ PANEL EDGES \$ @ 12"0.c. FIELD.

- 2 3 × 0.120" NAILS • 4" O.C. • PANEL EDGES \$ • 8" O.C. FIELD.

- 2 3" x 0.113" NAILS @ 3" O.C. @ PANEL EDGES & @ 6" O.C. IN FIELD #6 x 2" MIN. SCREMS @ 6" O.C. @ PANEL EDGES \$ @ 12" O.C. FIELD

ROOF FRAMING

* BAY WINDOWS & SHED ROOFS (UP TO 6' SPAN) CAN BE 2x4 OR 2x6 RAFTERS & CEILING JOISTS @ 16/24" O.C.

FASTEN FACH ROOF TRUSS TO TOP PLATE W/ SIMPSON H2.5T CLIP (OR APPROVED EQUAL) • ALL BEARING POINTS. PROVIDE (2) H2.5T CLIPS AT 2-PLY GIRDER TRUSSES (3) H25T CLIPS AT 3-PLY GIRDER TRUSSES & ROOF BEAMS - AT ALL BEARING POINTS

METAL HANGERS SHALL BE SPECIFIED BY THE MANUFACTURER, U.N.C

• ERECT AND INSTALL ROOF TRUSSES PER WTCA & TPI'S BCSI I-08 "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING & BRACING OF METAL PLATE CONNECTED WOOD TRUSSES."

SUPPORT PORCH & SHORT SPAN ROOF TRUSSES (MAX 7' SPAN) W 2x4 LEDGER FASTENED TO:

- RIM BOARD w/ (2) 3"x0.131" NAILS @ 16" O.C. MAX. (1-JOISTS) - TRUSS VERTICALS W (3) 3"x0.131" NAILS • 19.2" O.C. MAX. (FLOOR TRUSSES)

* ROOF SHEATHING SHALL BE 1/16" A.P.A. RATED SHEATHING 24/16 EXPOSURE I (OR APPROVED EQUAL). FASTEN TO FRAMING MEMBERS

- W/ 2 ½" x 0.131" NAILS • 6"o.c. • PANEL EDGES \$ • 12" O.C. FIELD. ' × 0.120" NAILS ● 4"o.c. ● PANEL EDGES \$ ● 8" O.C. FIELD.

- W 2 3 × 0.113" NAILS • 3"o.c. • PANEL EDGES \$ • 6" O.C. FIELD.

HOLD-DOWN SCHEDULE

SYMBOL	SPECIFICATION
► HD-I	SIMPSON HTT4 HOLD-DOWN * (%" DIA. ANCHOR)
► HD-2	SIMPSON MSTC66 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM UN.O.) -OR- MSTC66B3 ALTERNATE
▶ HD-3	SIMPSON STHDI4/STHDI4RJ

* <u>UTILIZE THE SSTB24 ANCHOR BOLT</u> • ALL MONOSLAB & INTERIOR RAISED SLAB (I.E. THICKENED SLABS, FOOTINGS) CONDITIONS, MINIMUM 24" MIN. FOOTING THICKNESS REQUIRED

EPOXY-SET ALTERNATE FOR MONOSLAB & INTERIOR RAISED SLAB CONDITIONS ONLY: UTILIZE SIMPSON 'SET' EPOXY SYSTEM TO EAS THREADED ROD INTO CONCRETE FOUNDATION, PROVIDE 10" (FOR 5/8" DIA.) OR <u>15" (FOR 1/8" DIA.) MIN, EMBEDMENT INTO CONCRETE,</u> NSTALL PER MANUF, INSTRUCTIONS, MINIMUM 16" FOOTING THICKNESS REQ'D. DO NOT LOCATE ANCHORS WITHIN I 3/4" OF EDGE OF CONCRETE.

LEGEND

• IIIIII INTERIOR BEARING WALL

□□□□□□ BEARING WALL ABOVE

• ---- BEAM / HEADER

• = = INDICATES SHEAR WALL & EXTENT

EXTENT OF OVERFRAMING

JL METAL HANGER

INDICATES POST ABOVE, PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

REFER TO SCHEDULE.

NON-BEARING HEADER SCHEDULE

SPAN	2x4 NON-BEARING PARTITION WALL	2x6 NON-BEARING PARTITION WALL
UP TO 3'-0"	(I)2x4 FLAT	(I)2x6 FLAT
UP TO 6'-0"	(2)2x4	(3)2x4
UP TO 8'-0"	(2)2x6	(3)2x6
VP TO 12'-0"	(2)2x8	(3)2x8

• ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 2x 'STUD' GRADE MEMBERS SPACED @ 24" O.C. (MAX.)

LATERAL BRACING & SHEAR MALL SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM: 20 MPH WIND IN 2018 NCSBC:RC

(120 MPH WIND SPEED IN ASCE 7-10 WIND MAP PER IRC R30(211) EXP. B. RISK CAT. 2 & SEISMIC CAT. A/B

THE DESIGN WAS COMPLETED PER 2015 IBC (SECTION 1609) & ASCE 7-10, AS PERMITTED BY R30113 OF THE 2018 NOSBORO OR THE SIMPLIFIED PRESCRIPTIVE PROCEDURE IN ACCORDANCE WITH THE 2015 IRC IF THE PARAMETERS OF SECTION R602.12 COMPLY CCORDINGLY, THIS MODEL, AS DOCUMENTED AND DETAILED HEREWITHIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES.

DESIGN WIND UPLIFT LOADS HAVE BEEN CALCULATED UTILIZING ASCE 7-10 (ACCEPTED ENGINEERING PRACTICE) AS ALLOWED PER 2018 NCSBC:RC SECTION R802.II.I. THIS MODEL HAS BEEN DETAILED WHERE REQUIRED & ENGINEERED TO RESIST THE WIND UPLIFT LOAD PATH PER SECTIONS R602.3.5 R802.II.

EXT. WALL SHEATHING SPECIFICATION

7/16" OSB OR 15/32" PLYWOOD: FASTEN SHEATHING W/ 2 ¾"x0.II3" NAILS @ 6" O.C. AT EDGES \$ @ 12" O.C. IN THE PANEL FIELD. TYP, U.N.O.

HORIZONTAL BLOCKING OF EXT. WALL/SHEAR WALL PANEL EDGES IS NOT REQUIRED BY THIS DESIGN EXCEPT FOR THOSE AREAS SPECIFICALLY NOTED.

ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED AND ARE CONSIDERED SHEAR WALLS.

ALT. STAPLE CONNECTION SPEC: 1 1/2" 16 GA STAPLES (1/6" CROWN) @ 3" O.C. AT EDGES \$ @ 6" O.C IN FIELD

BLOCKED PANEL EDGES

AT DESIGNATED AREAS - FASTEN SHEATHING w/ 2 3/6" × 0.113" NAILS ● 6" O.C. AT ALL PANEL EDGES AND 12" O.C. IN THE PANEL FIELD OR 1 3/1 16 GA STAPLES (1/6" CROWN) ● 3" O.C. AT EDGES & ● 6 O.C. IN FIELD, ALL SHEATHING PANELS SHALL BE ORIENTED AND INSTALLED FULL HEIGHT OF SHEAR WALL OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES & EDGE FASTENING.

3" O.C. EDGE NAILING

AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING W 8d NAILS @ 3" O.C. NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC. ALL SHEATHING PANELS SHALL BE ORIENTED AND INSTALLED FULL HEIGHT SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. EDGE FASTENING.

SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING, IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN, IT WILL BE SPECIFICALLY NOTED ON PLAN.

* DESIGN ASSUMES 16" O.C MAX. STUD SPACING, U.N.O. * ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.

PRE-MANUFACTURED PANELIZED WALLS:
FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED W/ OSB OR PLYWOOD W/ 3" x 0.120" NAILS @ 4" O.C. (THRU ONE SIDE ONLY)

INDICATES EXTENT OF INT. OSB SHEARWALL
OR 3" O.C. OSB SHEARWALL. ▶ INDICATES HOLDOWN BELOW

MEANS & METHODS NOTES

THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FINISHED AND ALL PLAN DETAIL AND NOTE SPECIFICATIONS HAVE BEEN COMPLETED. IT IS CONTRACTOR'S SOLE RESPONSIBILITY DETERMINE THE ERECTION PROCEDURES SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING REQUIRED TO STABILIZE AND PROTECT EXISTING AND ADJACENT STRUCTURES AND SYSTEMS DURING COURSE OF DEMOLITION AND CONSTRUCTION OF THE PROJECT.

STRUCTURAL DESIGN AND SPECIFICATIONS ASSUME THAT ALL SUPPORTING AND NON-SUPPORTING ELEMEN IN CONTACT WITH FLOOR FRAMING ARE LEVEL, INCLUDING, BUT NOT LIMITED TO: FOUNDATIONS, SLABS GRADE, BEAMS, WALLS, AND NON-BEARING ELEMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LEVELNESS AND MAKE ADJUSTMENTS AS NECESSARY, INCLUDING CONSIDERATION OF THOSE AREAS THAT MAY BE WITHIN CONTRACTUAL, INDUSTRY OR WARRANTY TOLERANCES.

ADDITIONAL NOTES FOR TRUSS & I-JOIST MANUFACTURER

ROOF TRUSS, FLOOR TRUSS AND ENGINEERED JOISTS SHALL BE DESIGNED TO MEET THE DIFFERENTIAL DEFLECTION CRITERIA BELOW, UNLESS NOTED OTHERWISE ON PLAN.

TRUGGES/ MIGTS SHALL BE DESIGNED SO THAT DIFFERENTIAL DEFLECTION BETWEEN ADJACENT PARALLEL TRUSSES/JOISTS OR GIRDER TRUSSES/FLUS-BEAMS DO NOT EXCEED THE FOLLOWING:

A ROOF TRUSSES I/4" DEAD LOAD

FLOOR TRUSSES, ATTIC TRUSSES, & I-JOISTS: I/8" DEAD LOAD

FLOOR TRUSSES & ATTIC TRUSSES ADJACENT TO FLOOR FRAMING BY OTHERS: LIMIT ABSOLUTE TRUSS DEFLECTION TO 3/16" DEAD LOAD. (NOT DIFFERENTIAL DEFLECTION)

YENEER LINTEL SCHEDULE STEEL ANGLE SIZE

3'-0" 20 FT, MAX L3"x3"x/4" 3 FT. MAX L3"x3"x/4" I2 FT. MAX L4"x3"x/4" 20 FT, MAX L5"x3½"x%" 3 FT. MAX L4"x4"x/4" * 12 FT. MAX L5"x3K"x%." I6 FT. MAX L6"x31/2"x3/5" 9'-6" I2 FT, MAX L6"x3½"x%" 2 FT. MAX L7"x4"x/5" ** 16'-0" 3 FT, MAX

SHALL SUPPORT 2 %" - 3 ½" VENEER w/ 40 psf MAXIMUM WEIGHT. 16' SHALL HAVE 4" MIN. BEARING

16' SHALL NOT BE FASTENED BACK TO HEADER.

16' SHALL BE FASTENED BACK TO WOOD HEADER IN WALL \$48"0.0 n/½" DIA. x 3 ½" LONG LAG SCRENG IN 2" LONG VERTICALLY SLOTTED HOLES

16' SHALL HAVE 8" MIN. BEARING

AX. VENEER HT. APPLIES TO ANY PORTION OF BRICK OVER THE OPENING. ALL LINTELS SHALL BE LONG LEG VERTICAL. NHEN SUPPORTING VENEER < 3° WIDE THE EXTERIOR TOE OF THE

HORIZONTAL LEG MAY BE CUT IN THE FIELD TO BE 3 ½" WIDE OVER THE BEARING LENGTH ONLY. THIS IS TO ALLOW FOR MORTAR JOINT

FINISHING.
SEE STRUCTURAL PLANS FOR ANY LINTEL CONDITION NOT
EXCOMPASSED BY THE ABOVE PARAMETERS. FOR ANY LINTEL
FASTENED BACK TO BEAM, FASTENERS SHALL MAINTAIN A 2½*
(MINIMAN) CLEAR DISTANCE FROM BOTTOM OF BEAM. " FOR QUEEN VENEER USE L4x3%". I" FOR 3½" VENEER ONLY, SEE PLAN FOR VENEER SUPPORT IF VENEER < 3½" THICK.

> rawn bv: SD2.I REFERS TO SD2.IA FOR sue date: 04-17-2

LVL/PSL/LSL BEAMS OR SD2.IB FOR FLITCH BEAMS OR SD2.IC FOR STEEL BEAMS

ENGINEERED BEAM MATERIAL SCHEDULE

NUMBER	LVL OPTION	PSL OPTION	LSL OPTION	FLITCH OPTION	STEEL OPTION
001	(2)134"×944" - H	3½"x9¼" - H	(2)13%"x915" - F	(2)2xl0 + (I) ¼"xll¼" STEEL FLITCH PLATE - H	N/A
002	(2)134"×14" - F	3½"x14" - F	(3)19/4"×14" - F	(2)2xl2 + (l) %"xll以" STEEL FLITCH PLATES - F	MI2xI4
003	(3)194"x18" - FT	5¼"xi8" - FT	N/A	(3)2xl2 + (2) %"xllk" STEEL FLITCH PLATES - F	WI2x26 - F
004	N/A	N/A	N/A	N/A	N/A
005	(2)1 ³ 4"×14" - F	3½"xl4" - F	(2)194"×14" - F	(2)2xl0 + (l)从"xll以" STEEL FLITCH PLATE - F	N/A
006	(2)13/4"×14" - F	3½"x14" - F	N/A	(2)2xl2 + (l) %"xll以" STEEL FLITCH PLATES - F	N/A
001	(3)13/4"×14" - F	5¼"xl4" - F	(4)1¾"x 4" - F	(3)2xl2 + (2) ¼"xll¼" STEEL FLITCH PLATES - F	WI2xI4 - F
800	(2)1%"x14" - F	3½"x 4" - F	(3)13/4"×14" - F	(2)2xl2 + (I) %"xll"," STEEL FLITCH PLATES - F	WI2xI4 - F
009	(2)134"x14" - F	3½"xi4" - F	N/A	N/A	N/A
010	(2)13/4"×9/4" - H	3½"×9¼" - H	(2)134"×9½" - H	(2)2x10 + (1) ¼"x11¼" STEEL FLITCH PLATE - H	N/A
OII	(2)134"×944" - H	3½"x9¼" - H	(2)134"×91/2" - H	(2)2xl0 + (l)从"xll以" 5TEEL FLITCH PLATE - H	N/A
012	(2)13/4"×14" - H	3½"x14" - H	N/A	NA	N/A
013	(3)134"×944" - H	3½"×1¼" - H	N/A	NA	N/A
014	(3)13/4"x16" - FB	5¼"xl6" - FB	N/A	N/A	N/A
015	(2)13/4"×14" - F	3½"x14" - F	(2)1 ³ / ₄ "x14" - F	NA	N/A
016	(3)1¾"x18" - FT	51/4"×18" - FT	N/A	N/A	N/A
017	(2)13/4"×14" - F	3½"xi4" - F	(2)13/4"×14" - F	N/A	N/A
018	(3)1¾"x1¼" - D	54"xIK" - D	(3)134"x114" - D	N/A	N/A
PIO	(4)19⁄4"×14" - F	7"x 4" - F	N/A	N/A	N/A
020	(2)13/4"×14" - F	3½"x14" - F	(2)19/4"×14" - F	N/A	N/A

" INDICATES FLUSH BEAM

- "FT" INDICATES FLUSH TOP BEAM - "FB" INDICATES FLUSH BOTTOM BEAM

"D" INDICATES DROPPED BEAM - "H" INDICATES DROPPED OPENING HEADER

REFER TO DETAIL D/SD2.0 FOR TYPICAL FLITCH BEAM CONNECTIONS
REFER TO DETAIL D/SD2.0 FOR TYPICAL STEEL BEAM CONNECTIONS

FOR FLUSH TOP BEAMS PROVIDE 2X STACKED PLATES BENEATH BEAM AS REQ'D. FASTEN

FOR FLUSH BOTTOM BEAMS PROVIDE 2x STACKED PLATES ATOP BEAM AS REQ'D, FASTEN PLATES IN SUCCESSION w/ (2) 3"x0.120" NAILS @ 8" O.C.

ERN+KUI STRUCTURAL ENGINEE

4/17/2

CAR

ROFESSIO

FNGINE

SEPH T. P

五 ŽΪ

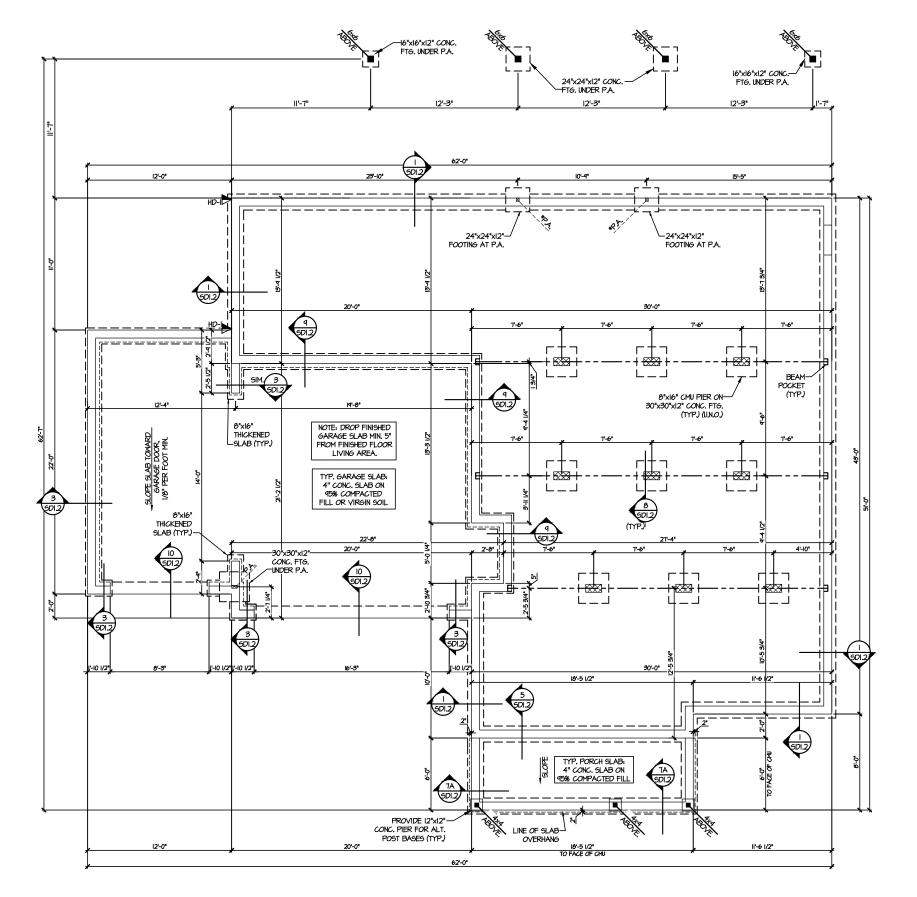
V I&K project numbe

126-2304

FVISIONS initial:

 $\sum_{i=1}^{n}$ \Box

YCUTT Z Z LOT



4/17/25 H CAR

Y

M&K project number: 126-2304

drawn by: issue date: 04-17-25

LEGEND

== INDICATES SHEAR WALL & EXTENT

* INDICATES POST ABOVE, PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

• IIIIII INTERIOR BEARING WALL

• EXTENT OF OVERFRAMING

INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

REFER TO SO.O FOR

TYPICAL STRUCTURAL NOTES & SCHEDULES

JL METAL HANGER

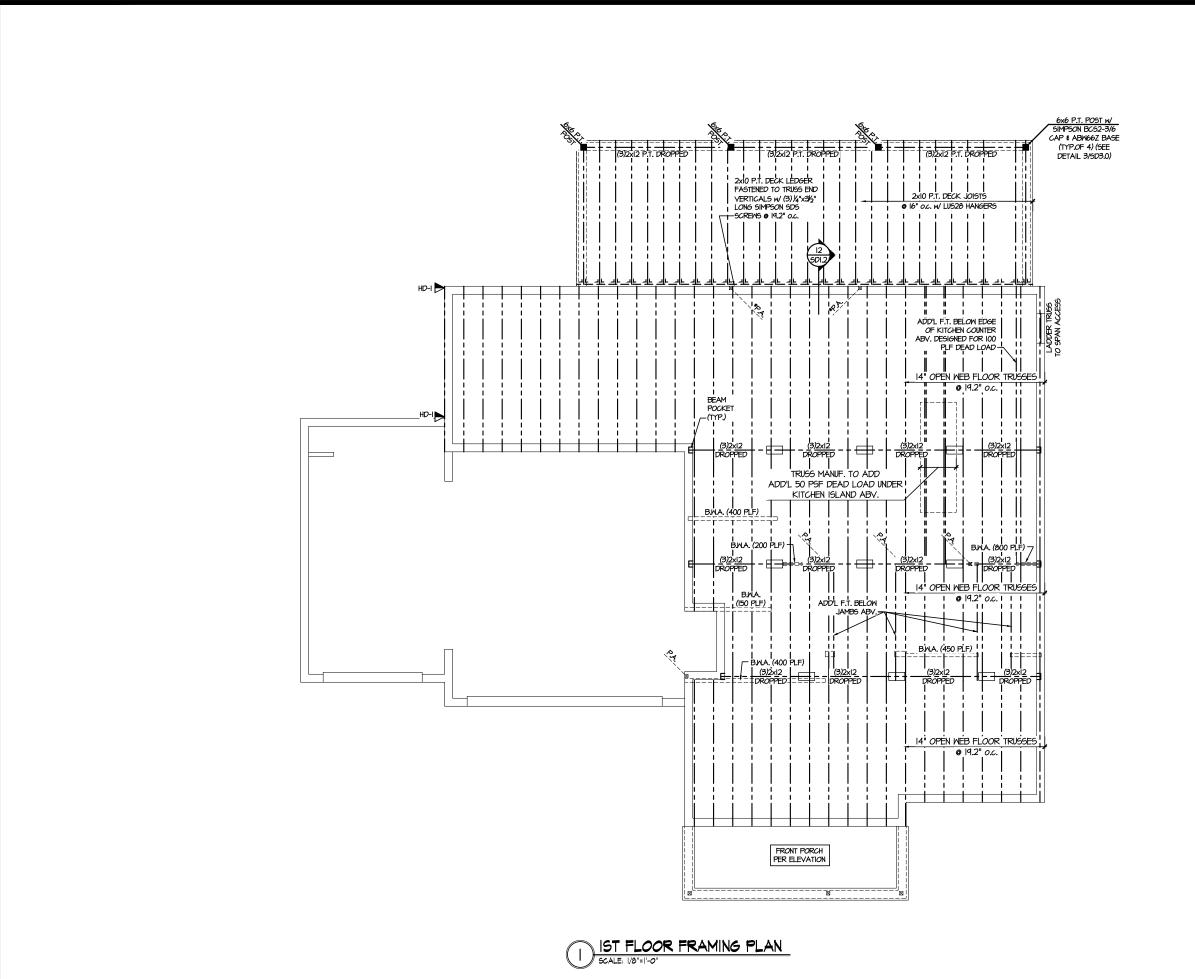
● □===□ BEARING WALL ABOVE • BEAM / HEADER

OUNDATION

HONEYCUTT HILLS Lot 20 - Townsend 1 Raleigh, nc

S1.

CRAWL SPACE FOUNDATION PLAN SCALE: 1/0"=1'-0"



4/17/25 H CAR



M&K project number: 126-2304

drawn by: issue date: 04-17-25

REVISIONS

initial:

HONEYCUTT HILL Lot 20 - Townsend 1 Raleigh, nc

OOR

• IIIIII INTERIOR BEARING WALL ● □===□ BEARING WALL ABOVE

• ---- BEAM / HEADER

• = = INDICATES SHEAR WALL & EXTENT

EXTENT OF OVERFRAMING

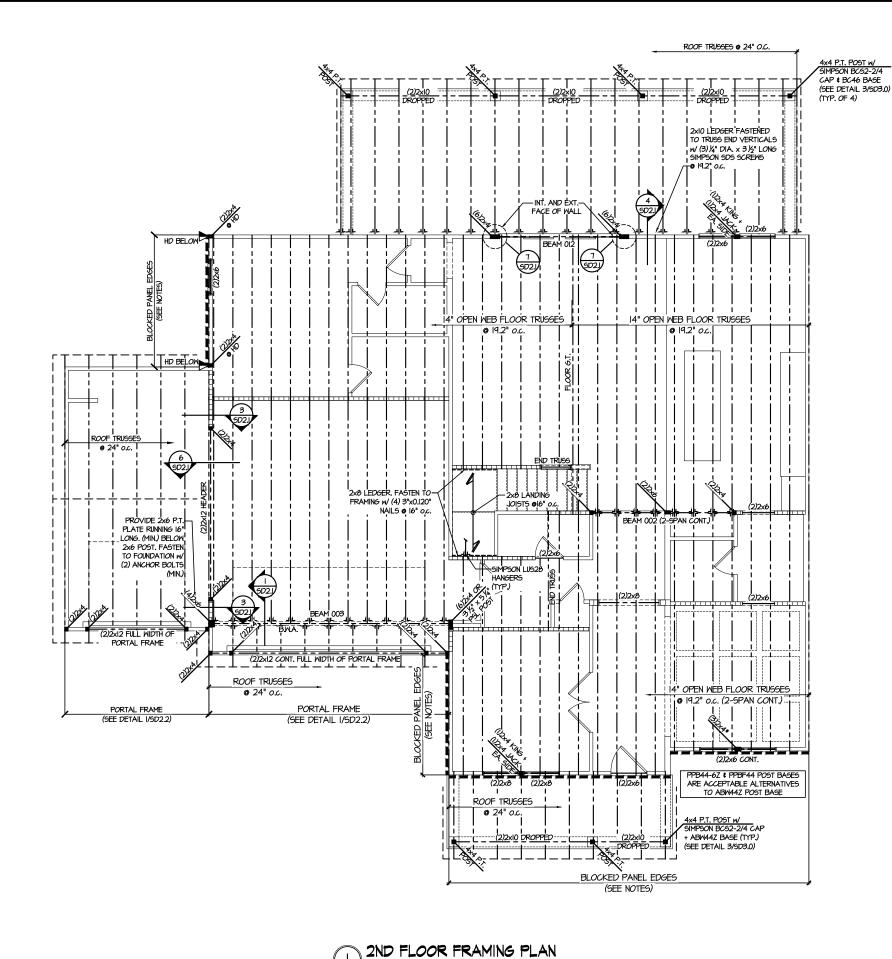
JL METAL HANGER

* INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

LEGEND

INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES \$ SCHEDULES



H CAR SEPH T. R

SD2.I REFERS TO SD2.IA FOR LVL/PSL/LSL BEAMS OR SD2.IB FOR FLITCH BEAMS OR SD2.IC FOR STEEL BEAMS

REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES # SCHEDULES

LEGEND

- INTERIOR BEARING WALL
- □===□ BEARING WALL ABOVE
- ---- BEAM / HEADER
- = = INDICATES SHEAR WALL & EXTENT
- EXTENT OF OVERFRAMING
- JL METAL HANGER
- * INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- INDICATES HOLD-DOWN OR STRAP.
 REFER TO SCHEDULE.

ENGINEERED BEAM MATERIAL SCHEDULE

BEAM NUMBER	LVL OPTION	PSL OPTION	LSL OPTION	FLITCH OPTION	STEEL OPTION
001	(2)134"×914" - H	3½"x9¼" - H	(2)13%"x915" - F	(2)2xl0 + (I) ¼"xll¼" STEEL FLITCH PLATE - H	N/A
002	(2)134"×14" - F	3½"x 4" - F	(3)194"×14" - F	(2)2xl2 + (l) %"xll以" STEEL FLITCH PLATES - F	WI2xI4
003	(3)194"x18" - FT	5¼"xi8" - FT	N/A	(3)2xl2 + (2) %"xll" STEEL FLITCH PLATES - F	WI2x26 - F
004	N/A	N/A	N/A	N/A	WA
005	(2)134"×14" - F	3½"x 4" - F	(2)194"×14" - F	(2)2xl0 + (l)从"xll以" STEEL FLITCH PLATE - F	WA
006	(2)134"×14" - F	3½"x 4" - F	N/A	(2)2xl2 + (l) %"xll以" STEEL FLITCH PLATES - F	N/A
001	(3)13/4"×14" - F	5¼"xl4" - F	(4)13/4"×14" - F	(3)2x12 + (2) ¼"xII¼" STEEL FLITCH PLATES - F	WI2xI4 - F
900	(2)1%"×14" - F	3½"x 4" - F	(3)194"×14" - F	(2)2xl2 + (l) %"xll以" STEEL FLITCH PLATES - F	WI2xI4 - F
P00	(2)134"×14" - F	3½"xi4" - F	N/A	N/A	N/A
010	(2)13/4"×9/4" - H	3½"×9¼" - H	(2)154"×9½" - H	(2)2x10 + (1) ¼"x11¼" STEEL FLITCH PLATE - H	N/A
OII	(2)134"×94" - H	3½"x4¼" - H	(2)1¾"x9½" - H	(2)2xl0 + (1) ¼"xll¼" STEEL FLITCH PLATE - H	WA
012	(2)194"×14" - H	3½"x14" - H	N/A	₩A	WA
013	(3)134"×94" - H	3½"×7¼" - H	N/A	NA	WA
014	(3)1¾"x16" - FB	5¼"x16" - FB	N/A	NA	N/A
015	(2)134"x14" - F	3½"x14" - F	(2)13/4"×14" - F	N/A	N/A
016	(3)1¾"x18" - FT	5¼"xl8" - FT	N/A	N/A	N/A
017	(2)134"×14" - F	3½"x14" - F	(2)13/4"×14" - F	N/A	N/A
018	(3) ¾"x ¼" - D	5¼"xII¼" - D	(3)1¾"x1¼" - D	N/A	N/A
014	(4)1¾"×14" - F	7"xl4" - F	N/A	N/A	N/A
020	(2)134"×14" - F	3½"x 4" - F	(2)13/4"×14" - F	N/A	N/A

- BEAM NOTATION: "F" INDICATES FLUSH BEAM

- "P" INDICATES FLUSH BEAM
- "FT" INDICATES FLUSH BOTTOM BEAM
- "P" INDICATES FLUSH BOTTOM BEAM
- "P" INDICATES DROPPED BEAM
- "P" INDICATES DROPPED OPENING HEADER
REFER TO DETAIL D/SD2.0 FOR TYPICAL FLITCH BEAM CONNECTIONS
REFER TO DETAIL D/SD2.0 FOR TYPICAL FLITCH BEAM CONNECTIONS
ROFER T/O DETAIL B/SD2.0 FOR TYPICAL STEEL BEAM CONNECTIONS
FOR FLUSH TOP BEAMS PROVIDE 2% STACKED PLATES BENEATH BEAM AS REQ'D, FASTEN
PLATES IN SUCCESSION W/ (2) 3"XOI.20" NAILS @ 8" O.C.
FOR FLUSH BOTTOM BEAMS PROVIDE 2% STACKED PLATES ATOP BEAM AS REQ'D, FASTEN
PLATES IN GICCESSION W/ (2) 3"XOI.20" NAILS @ 8" O.C. PLATES IN SUCCESSION W/ (2) 3"XO.120" NAILS . 8" O.C.

MULHERN+KULP

4/17/2

Y

M&K project number: 126-2304

rawn by:

issue date: 04-17-25 REVISIONS

initial:

PLANS FRAMING

HONEYCUTT HILL Lot 20 - Townsend 1 Raleigh, nc OOR

S3.

4/17/25 SEPH T. R

Y

M&K project number: 126-23047

drawn by: issue date: 04-17-25

REVISIONS:

initial:

FRAMING PLANS

REFER TO SO.O FOR

TYPICAL STRUCTURAL NOTES & SCHEDULES

LEGEND

• = = INDICATES SHEAR WALL & EXTENT EXTENT OF OVERFRAMING

INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

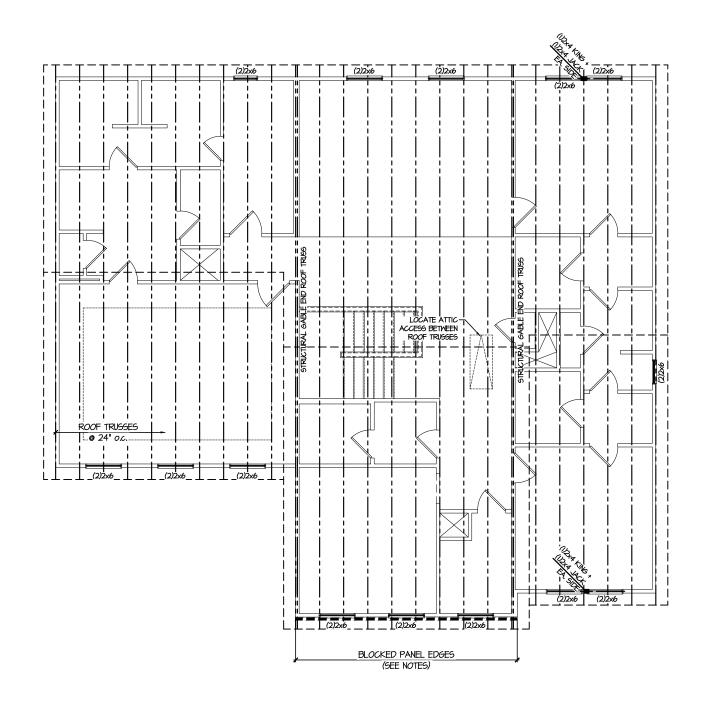
INTERIOR BEARING WALL

 □□□□□ BEARING WALL ABOVE • ---- BEAM / HEADER

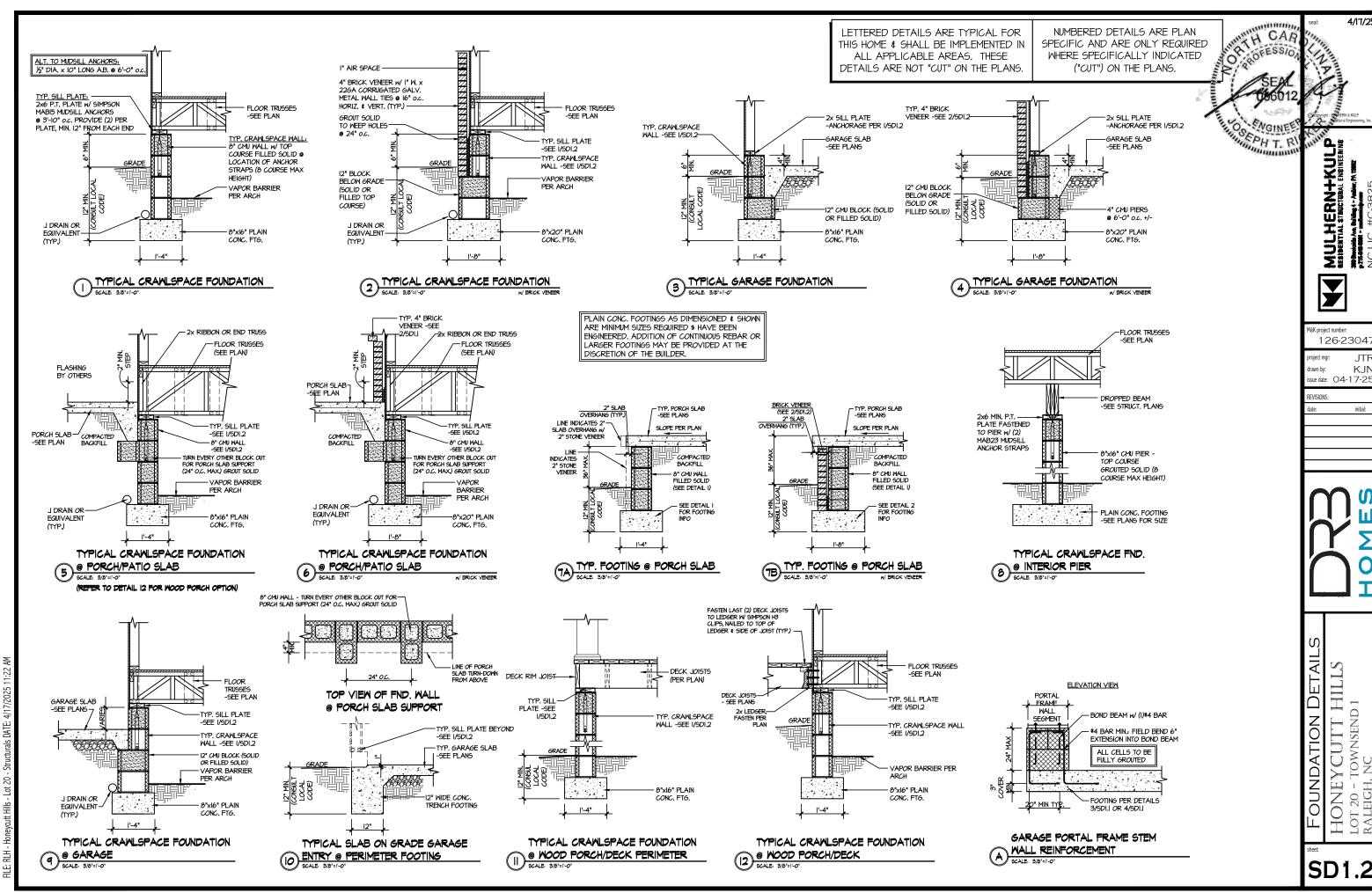
JL METAL HANGER

HONEYCUTT HILL Lot 20 - Townsend 1 raleigh, nc FLOOR

* INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

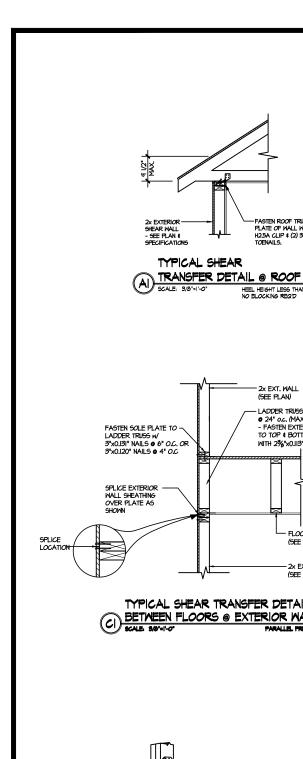


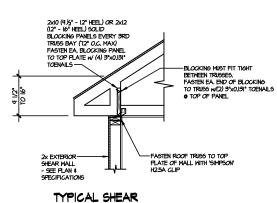




LOT

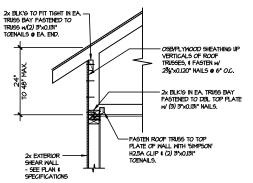
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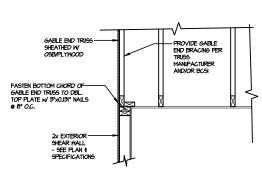
TRANSFER DETAIL @ ROOF HEEL HEIGHT BETWEEN 4½" - I6" BLOCKING REQ'D

-2x EXT, WALL



TYPICAL SHEAR TRANSFER

DETAIL @ RAISED HEEL TRUSS



ENGINE SEPH T. R MULHERN+KU

TH CAR

4/17/2

M&K project number:

łrawn by:

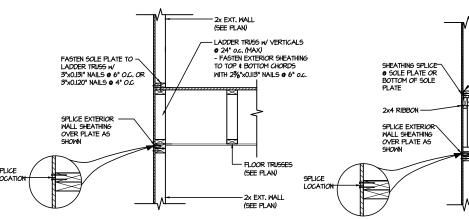
FVISIONS

126-2304

issue date: 04-17-25

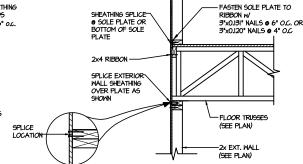
initial:

TYPICAL GABLE END DETAIL SCALE: 9/8'=1'-0'

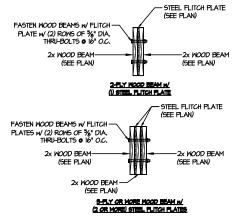


HEEL HEIGHT LESS THAN 9½" NO BLOCKING REQ'D

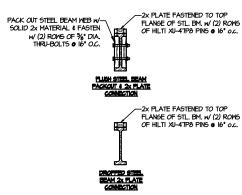
TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ EXTERIOR WALL



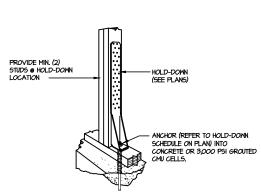
TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ EXTERIOR WALL
SCALE 3/0"-11-0"
FEDERALIZATION



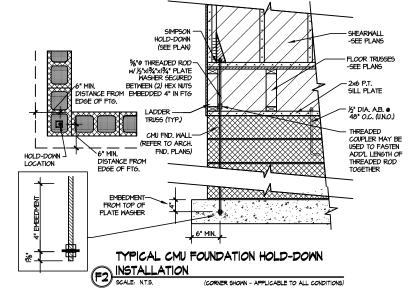
TYPICAL FLITCH BEAM CONNECTION DETAIL

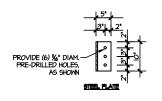


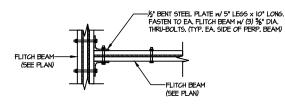
TYPICAL STEEL BEAM CONNECTION DETAIL



TYPICAL HOLD DOWN INSTALLATION SCALE, N.T.S.







TYPICAL FLITCH BEAM TO FLITCH BEAM CONNECTION DETAIL

> LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.

---2x PLATE FASTENED TO TOP FLANGE OF STL. BM. w/ (2) ROWS OF HILTI XU-4TP8 PINS ● 16° o.c.

DETAILS YCUTT F TOWNSEND 1 Ü HONEY LOT 20 - 7 RALEIGH,

EXTERIOR SHEARWALL ABOVE

FASTEN LAST (2) DECK JOISTS-

LEDGER & SIDE OF JOIST (TYP.)

DECK JOISTS W.

(SEE PLANS)

(FASTENED PER PLAN)

TO LEDGER W SIMPSON H3 CLIPS, NAILED TO TOP OF

- 2x EXTERIOR WALL

RIBBON w/ 3"x0.120" NAILS @ 6" O.C.

2x EXTERIOR WALL

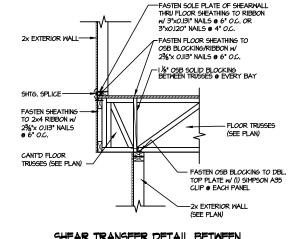
DECK LEDGER CONNECTION DETAIL

- FASTEN SOLE PLATE TO

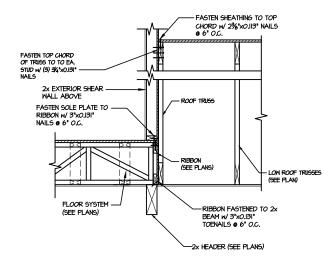
RIBBON FASTENED TO DBI

TOP PLATE w/ 3"XO.120" TOENAILS @ 6" O.C.

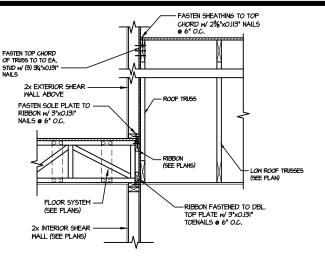
(SEE PLANS)



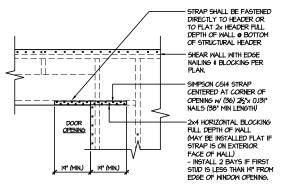
SHEAR TRANSFER DETAIL BETWEEN FLOORS @ CANT'D EXT. WALL



TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL

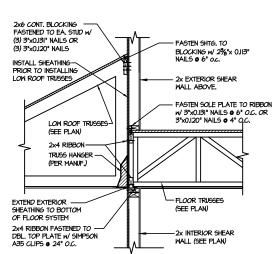


TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL

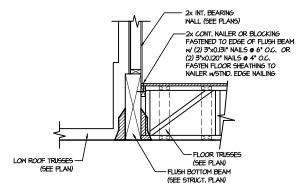


- STRAPS MAY BE INSTALLED ON EXTERIOR OR INTERIOR FACE OF WALL WHEN INSTALLED ON THE EXTERIOR FACE OF THE WALL, STRAPS TO BE INSTALLED ON EXTERIOR FACE OF SHTG. & MAY BE MOVED IS, FROM EDGE TO ALLON FOR DOOR NAILING
- REQUIRED ONLY @ OPENINGS WHERE SPECIFIED ON PLAN

TYPICAL EXT. WALL & INT. SHEARWALL OPENING ELEVATION
SCALE MTS



TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL



SHEAR TRANSFER DETAIL @ SCALE SHEARWALL ABOVE

'AILS YCUTT F TOWNSEND 1 Ü RAMIN HONEY

4/17/2

MULHERN+KU

M&K project number:

łrawn by:

FVISIONS

126-2304

issue date: 04-17-2

initial:

H CAR

OFESSIO

ENGINE

EPH T. R

SD2.1A

LOT 20 - 7 RALEIGH,

EXTERIOR SHEARWALL ABOVE SCALE SAT-11-0"

FASTEN LAST (2) DECK JOISTS-

DECK JOISTS W HANGERS (TYP,

(SEE PLANS) 2x LEDGER

(FASTENED PER PLAN

TO LEDGER W/ SIMPSON H3

CLIPS NAILED TO TOP OF

- 2x Exterior Wall (SEE Plans)

NAILS @ 6" O.C.

TOENAILS @ 6" O.C.

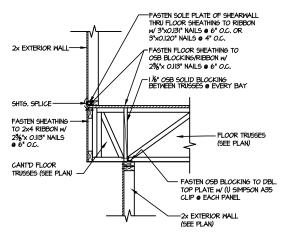
(SEE PLANS)

DECK LEDGER CONNECTION DETAIL

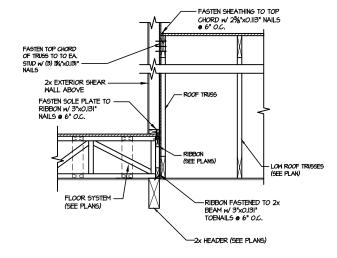
FASTEN SOLE PLATE TO RIBBON w/ 3"x0.120"

-RIBBON FASTENED TO DBL. TOP PLATE w/ 3"XO.120"

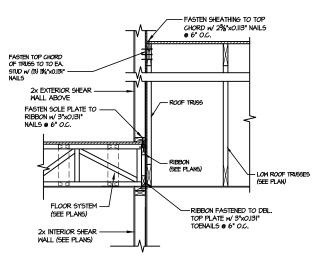
FLOOR TRUSSES -SEE PLAN



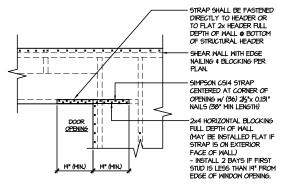
SHEAR TRANSFER DETAIL BETWEEN (2) FLOORS @ CANT'D EXT. WALL



TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL

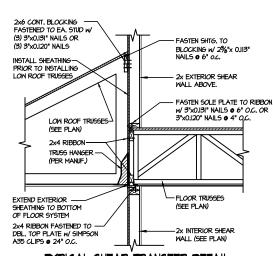


TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR MALL

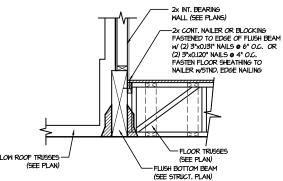


- STRAPS MAY BE INSTALLED ON EXTERIOR OR INTERIOR FACE OF WALL WHEN INSTALLED ON THE EXTERIOR FACE OF THE WALL, STRAPS TO BE
- INSTALLED ON EXTERIOR FACE OF SHTG. € MAY BE MOVED 1½° FROM EDGE TO ALLOW FOR DOOR NAILING REQUIRED ONLY ● OPENINGS WHERE SPECIFIED ON PLAN

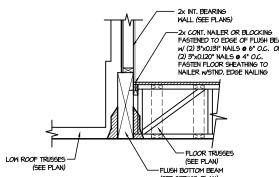
TYPICAL EXT. WALL & INT. SHEARWALL OPENING ELEVATION
SCALE MISS



TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL



SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE



S AIL YCUTT F TOWNSEND 1 HONE LOT 20 - 7 RALEIGH,

4/17/2

ERN+KUI STAUCTURAL ENGINEEL

Z

M&K project number: 126-2304

rawn by: issue date: 04-17-25

FVISIONS

initial:

TH CAR

OFESS/O

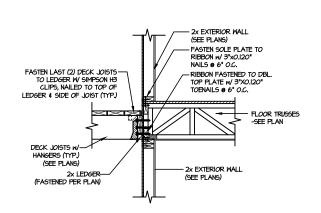
ENGINE

EPH T. R

SD2.1B

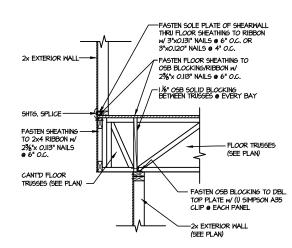
Ü

SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE

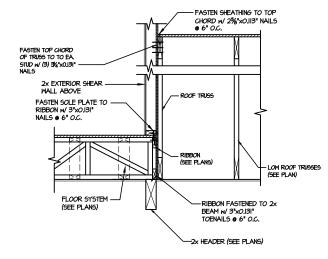


DECK LEDGER CONNECTION DETAIL

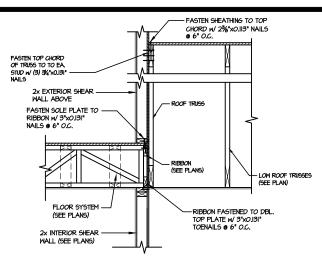
SCALE: 8/4"=1"-0



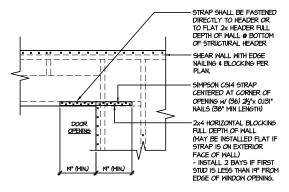
SHEAR TRANSFER DETAIL BETWEEN FLOORS @ CANT'D EXT. WALL



TYPICAL SHEAR TRANSFER DETAIL 6 BETWEEN FLOORS @ INTERIOR WALL

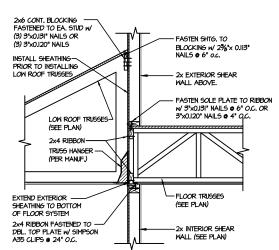


TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL

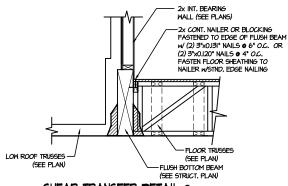


- STRAPS MAY BE INSTALLED ON EXTERIOR OR INTERIOR FACE OF WALL MEN INSTALLED ON THE EXTERIOR FACE OF THE WALL, STRAPS TO BE
 INSTALLED ON EXTERIOR FACE OF SHTG. & MAY BE MOVED IS, FROM
 EDGE TO ALLOM FOR DOOR MAILING
 REQUIRED ONLY @ OPENINGS WHERE SPECIFIED ON PLAN

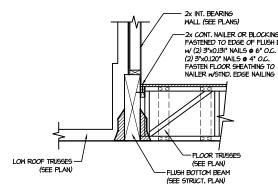
TYPICAL EXT. WALL & INT. SHEARMALL OPENING ELEVATION SCALE NTS



TYPICAL SHEAR TRANSFER DETAIL 4 BETWEEN FLOORS @ INTERIOR WALL



SHEAR TRANSFER DETAIL @ SCALE SHEARWALL ABOVE



4/17/2

ERN+KUI STAUCTURAL ENGINEEL

MUCH RESPONTALS

M&K project number:

rawn by:

FVISIONS

126-2304

ssue date: 04-17-2

initial:

TH CAR

OFESS/O

ENGINE

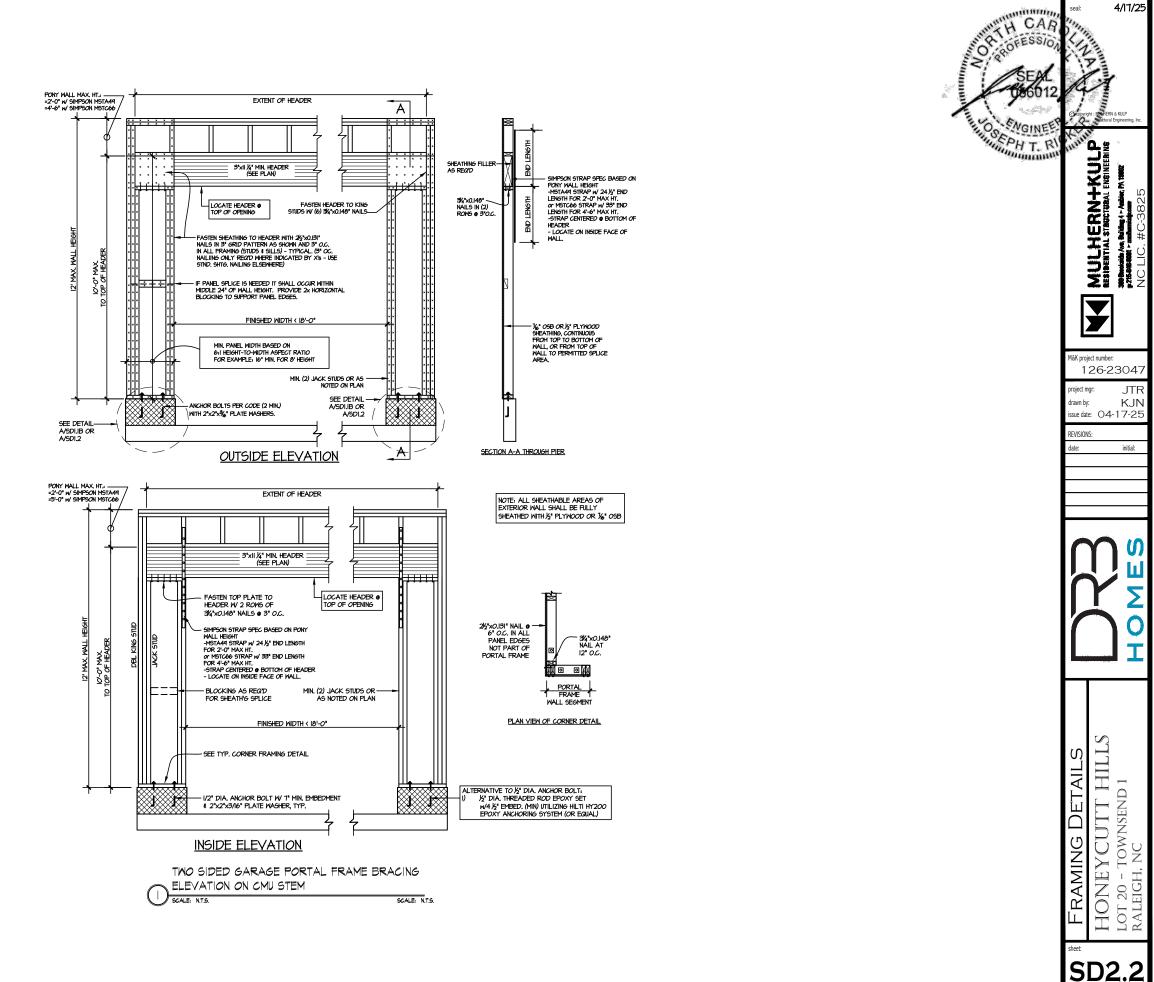
SEPH T. R

HONE

SD2.1C

S AIL YCUTT F TOWNSEND 1 Ü

LOT 20 - 7 RALEIGH,



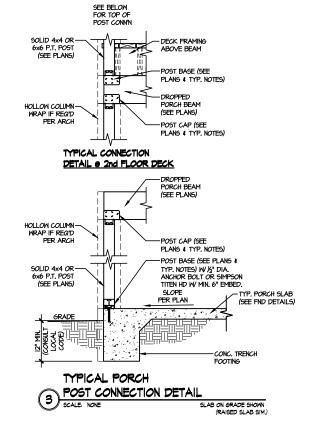
Irawn by:

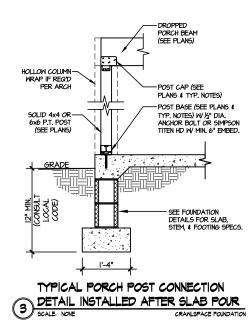
issue date: 04-17-25 REVISIONS

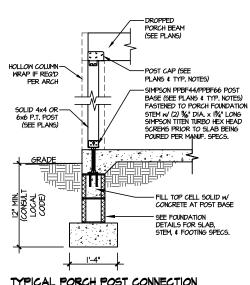
initial:

HONEYCUTT HILL LOT 20 - TOWNSEND 1 RALEIGH, NC FRAMING DETAILS LOT 20 - 1 RALEIGH,

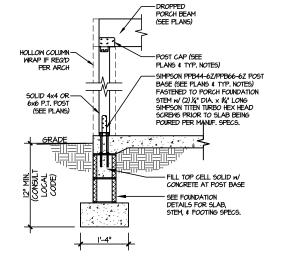
SD3.0

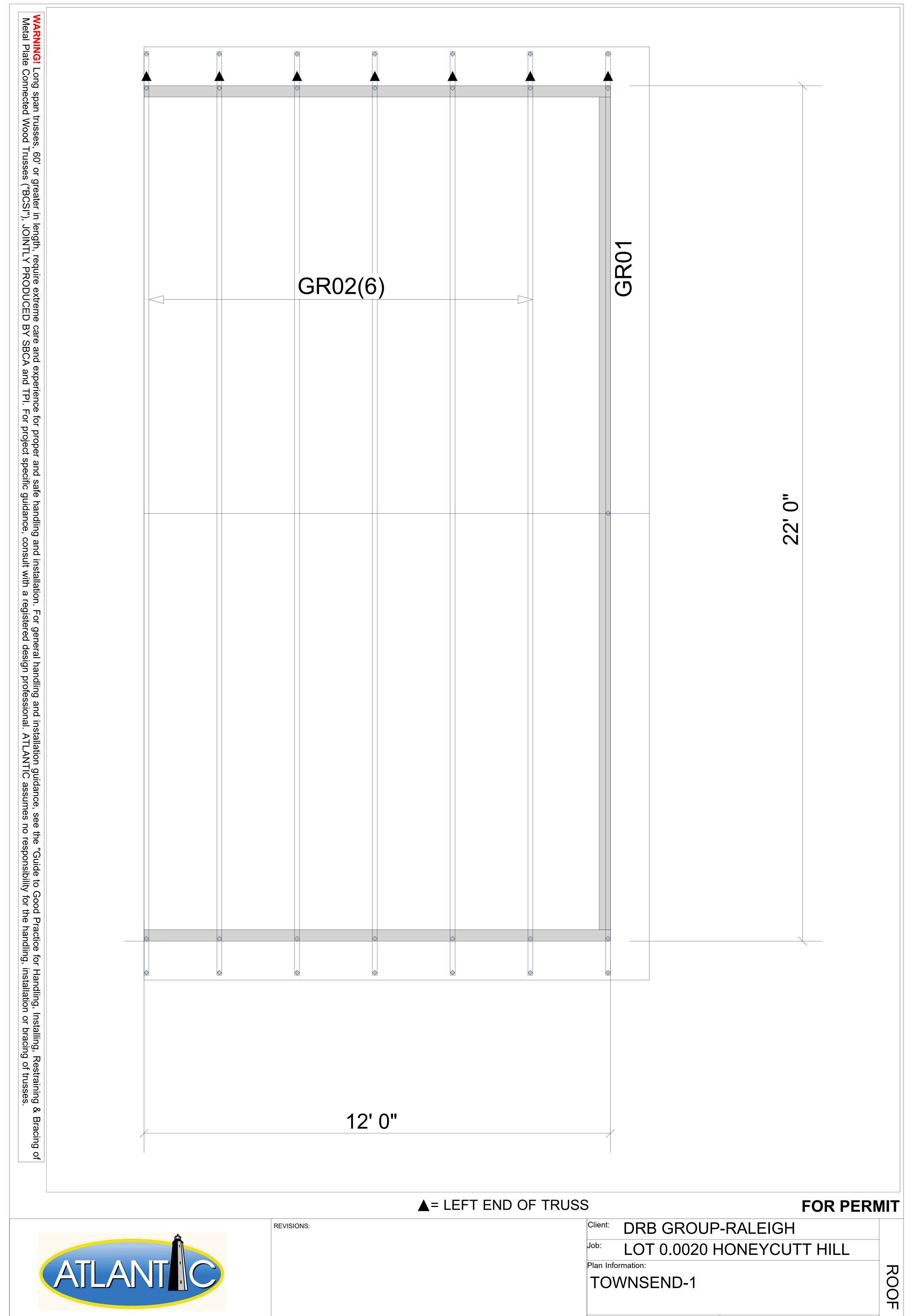












Date: 04/09/25

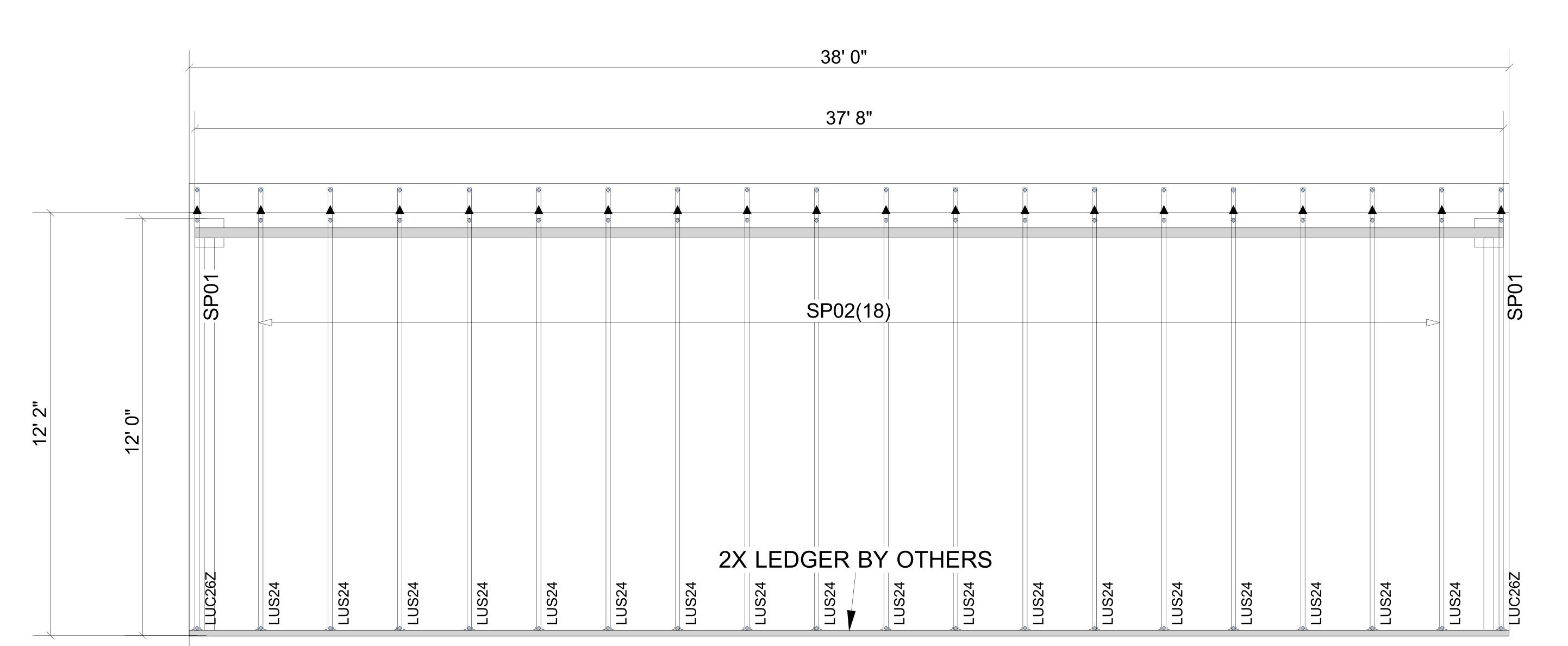
25-3337-R01 Phone:

Sales Rep: KYLE GIBSON

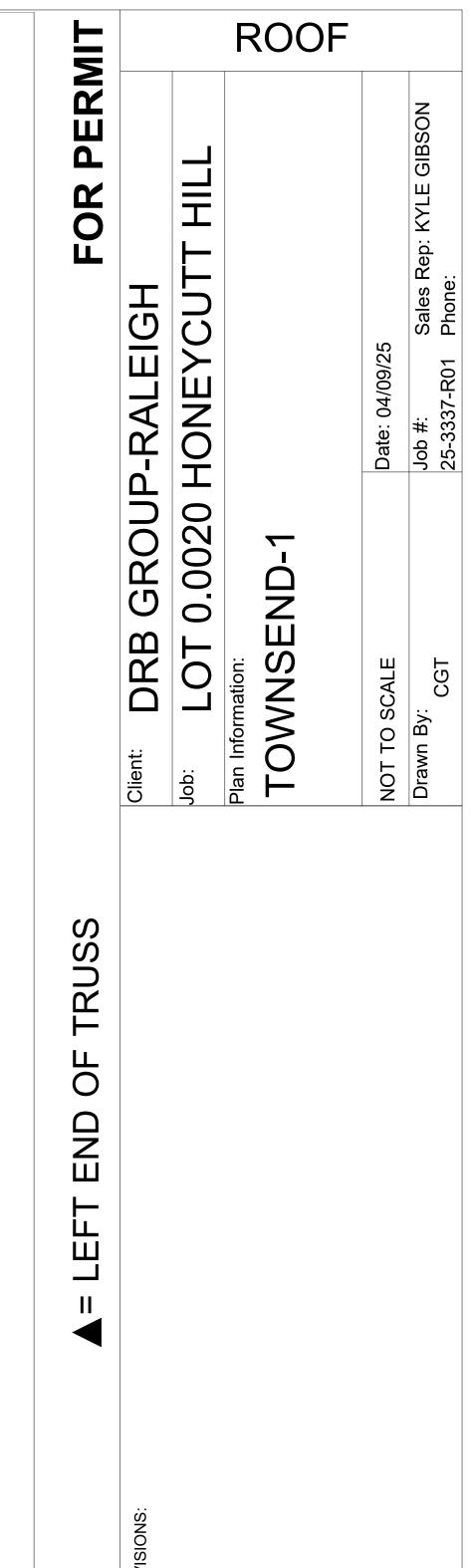
NOT TO SCALE

Drawn By:

Moncks Corner/Easley, SC (800) 475-3999 Sparta, NC (336) 372-2226

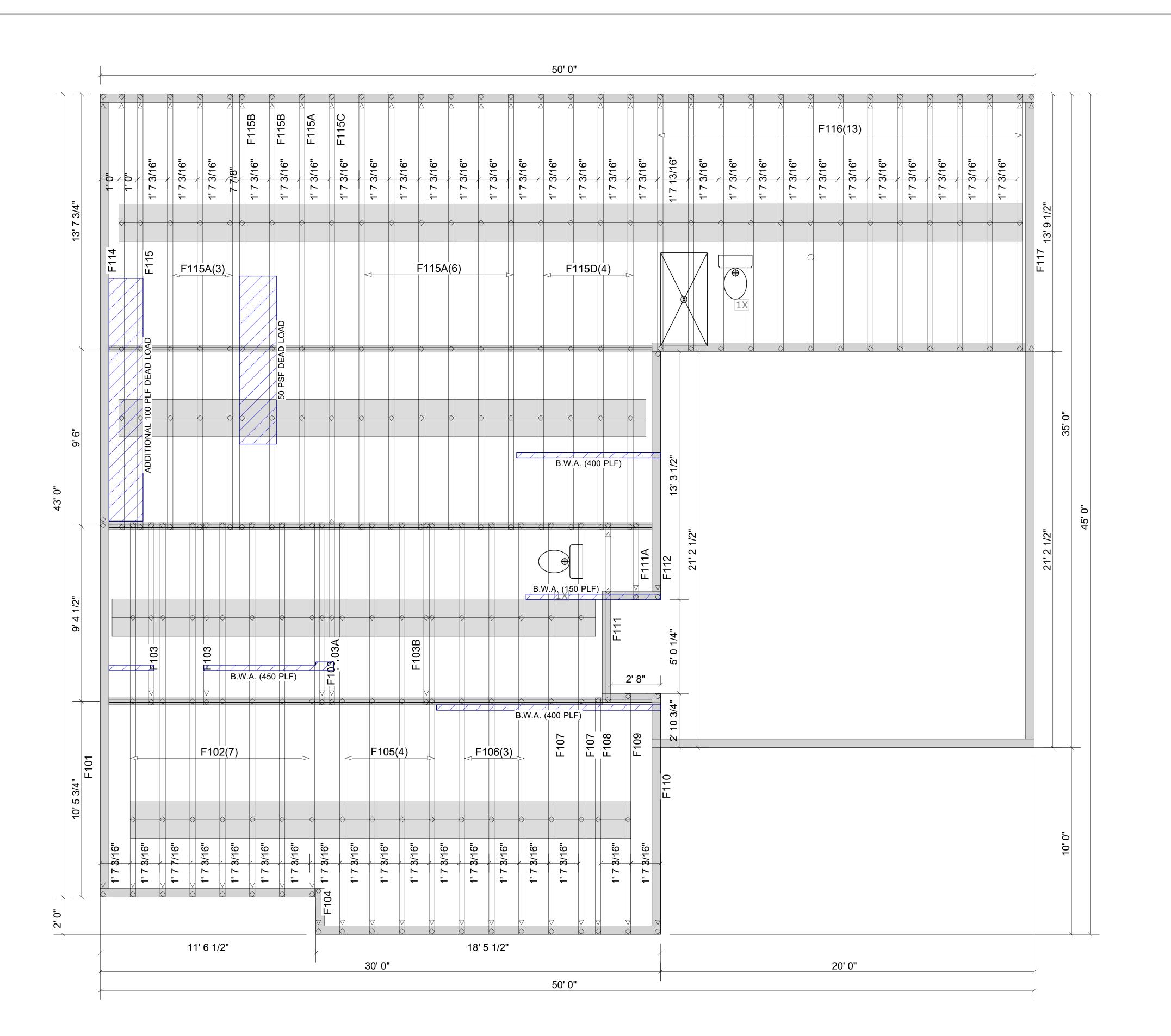


Truss Connector Total List				
Manuf	Product	Qty		
Simpson	LUC26Z	2		
Simpson	LUS24	18		





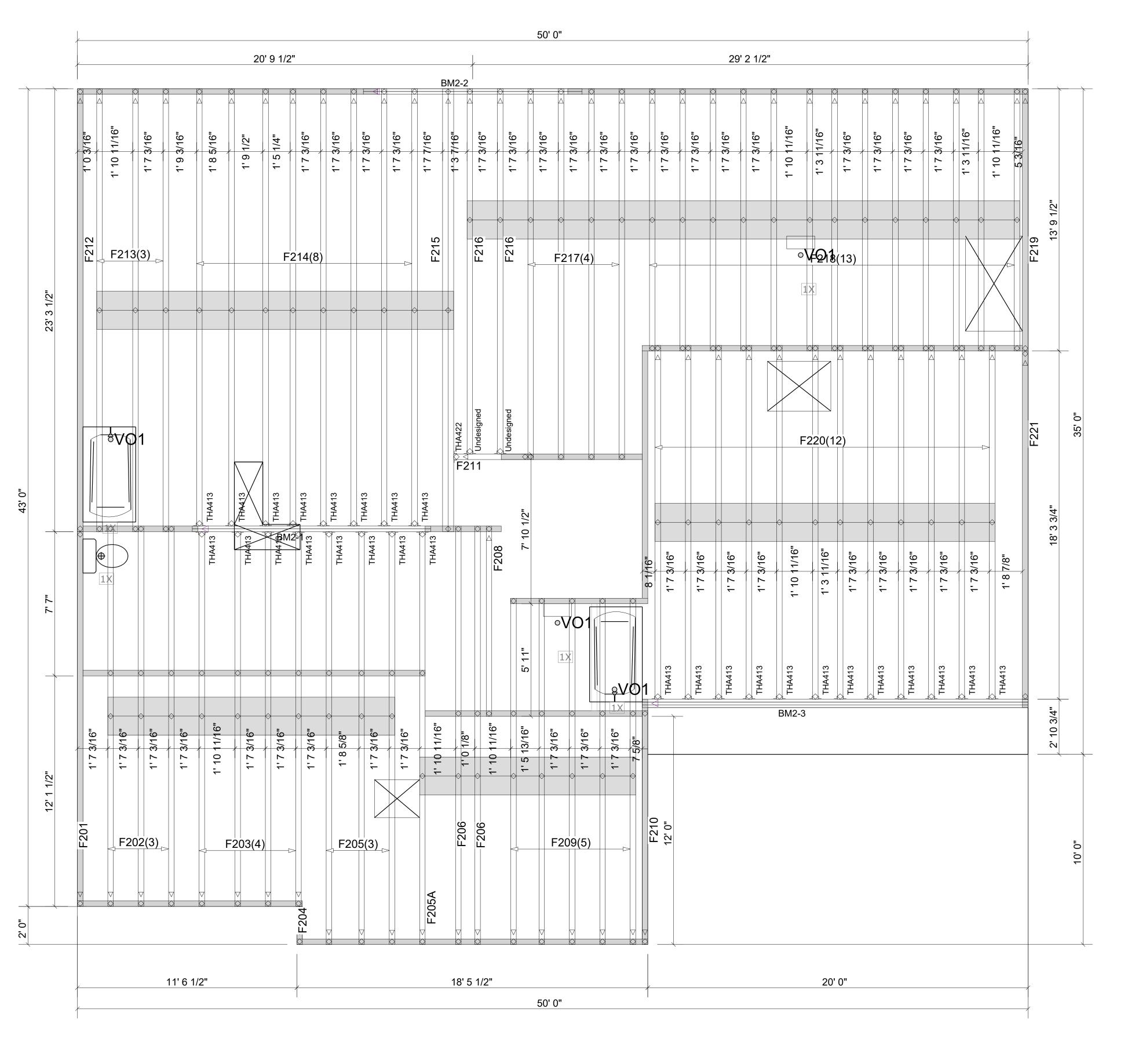
WARNING! Long span trusses, 60' or greater in length, require extreme care and experience for proper and safe handling and installation guidance, see the "Guide to Good Practice for Handling, Installing, Restraining & Bracing of Metal Plate Connected Wood Trusses ("BCSI"), JOINTLY PRODUCED BY SBCA and TPI. For project specific guidance, consult with a registered design professional. ATLANTIC assumes no responsibility for the handling, installation or bracing of trusses.



FLOOR FOR PERMIT GROUP-RALEIGH 0.0020 HONEYCUTT Date: 04/09/25 Job #: \$25-3337-F01 F TOWNSEND NOT TO SCALE

Drawn By: OF END LEFT

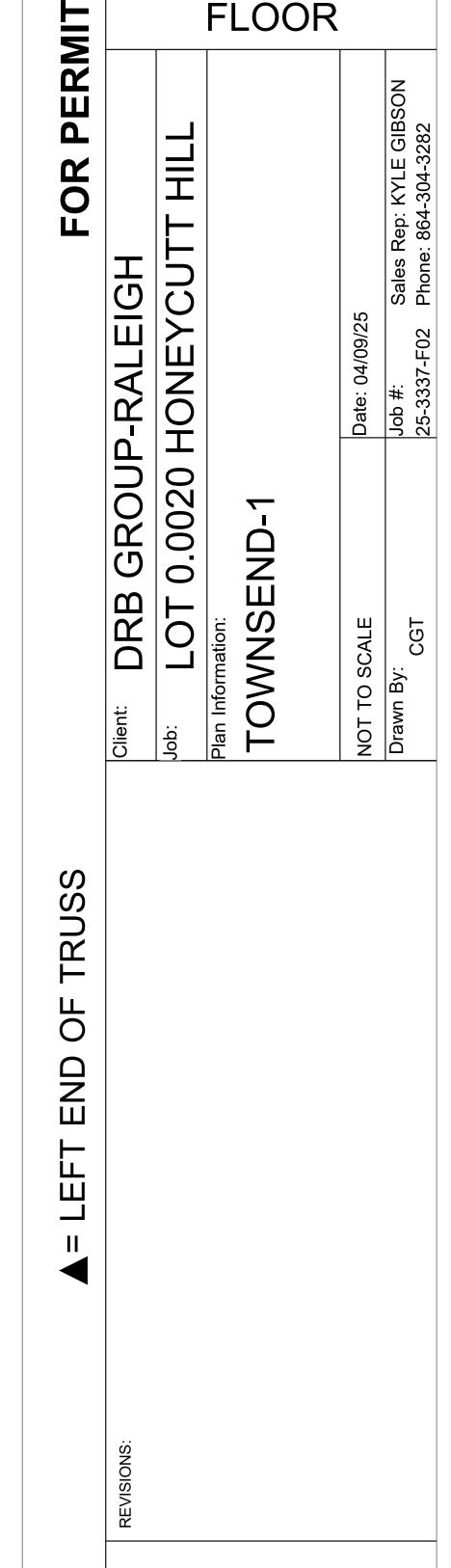




		Products		
PlotID	Length	Product	Plies	Net Qty
BM2-1	14' 0"	1-3/4" x 14" VERSA-LAM® 2.0 3100 SP	2	2
BM2-2	12' 0"	1-3/4" x 14" VERSA-LAM® 2.0 3100 SP	2	2
BM2-3	22' 0"	1-3/4" x 18" VERSA-LAM® 2.0 3100 SP	3	3

	Connector Summary		
Qty	Manuf	Product	Flange

Truss Connector Total List			
Manuf	Product	Qty	
Simpson	THA413	28	
	THA422	1	



FLOOR



