

TOWNSEND-RALE

RALEIGH- LOT 00.0020 HONEYCUTT HILLS SF

(MODEL# 3501)

ELEVATION 1 - GL

The logo for DRB HOMES. The letters "DRB" are in a large, bold, black sans-serif font. Below them, the word "HOMES" is in a smaller, blue, sans-serif font.

380 Shelby Meadow Lane

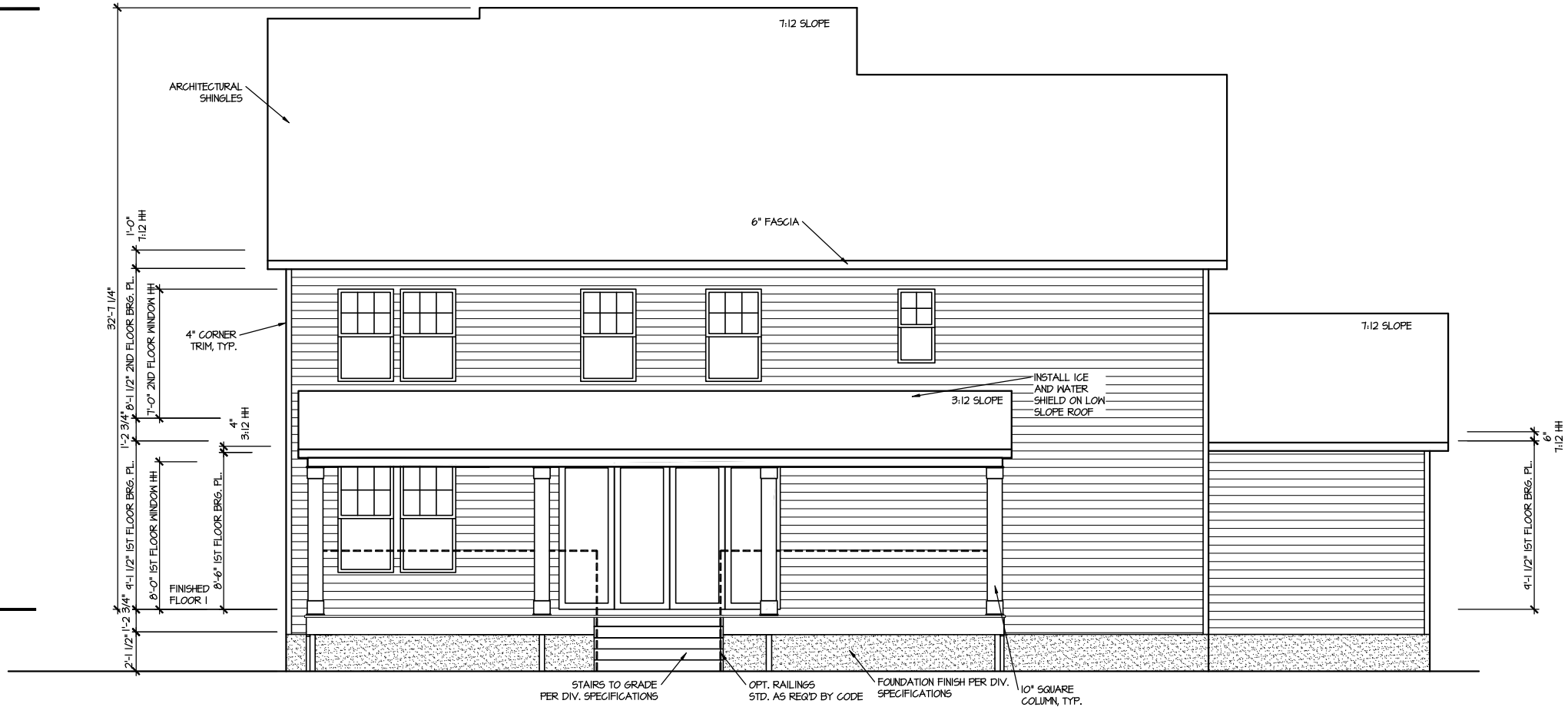
[illegible][illegible][illegible]

FILE: Lot_00.0020.dwg DATE: 4/9/2025 1:51 PM

FRONT ELEVATION I
SCALE: 1/8" = 1'-0"



REAR ELEVATION I
SCALE: 1/8" = 1'-0"



MASTER PLAN INFORMATION

REVISION	DATE	UPDATED DATE
1-RALE	12-11-2023	07-01-2024

DRAWN BY: ITS

DATE: 04/09/2025

PLAN NO. 3501

DRB
HOMES

HOUSE NAME:
TOWNSEND
DRAWING TITLE
FRONT & REAR ELEVATIONS

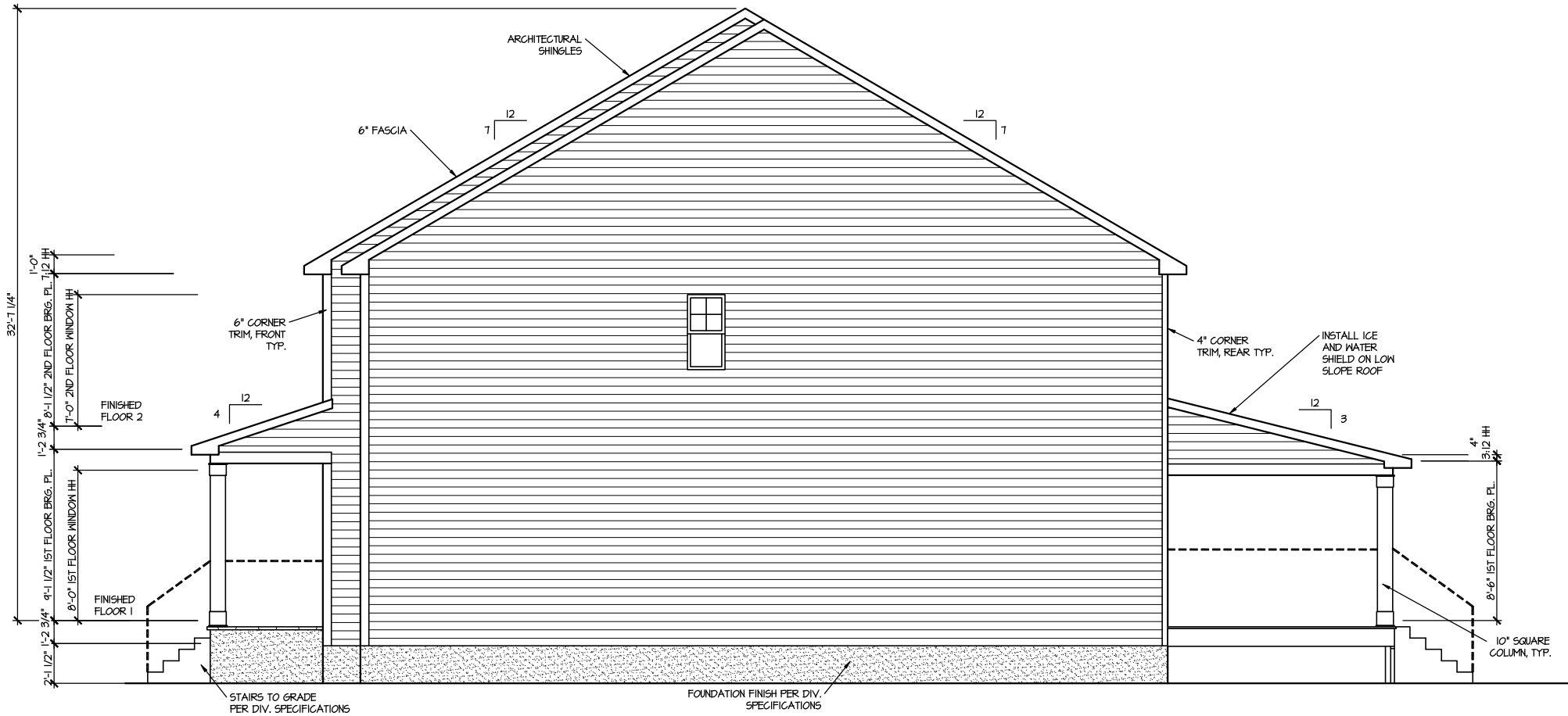
SHEET No.

A.1

FILE: Lot_00.0020.dwg DATE: 4/9/2025 1:51 PM

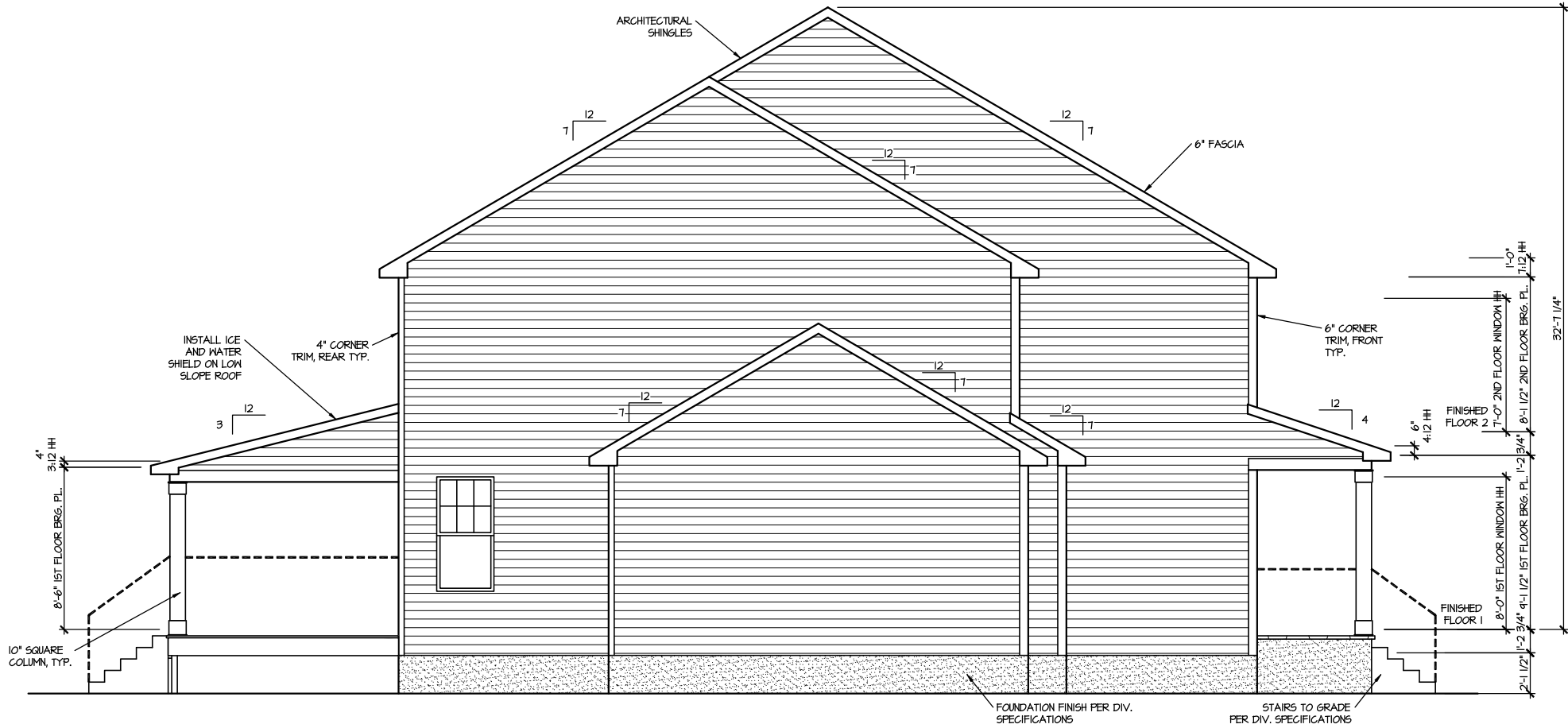
RIGHT ELEVATION I

SCALE: 1/8" = 1'-0"



LEFT ELEVATION I

SCALE: 1/8" = 1'-0"



MASTER PLAN INFORMATION

REVISION	DATE	UPDATED DATE
1-RALE	12-11-2023	07-01-2024

DRAWN BY: ITS

DATE: 04/09/2025

PLAN NO. 3501

DRB
HOMES

HOUSE NAME:
TOWNSEND

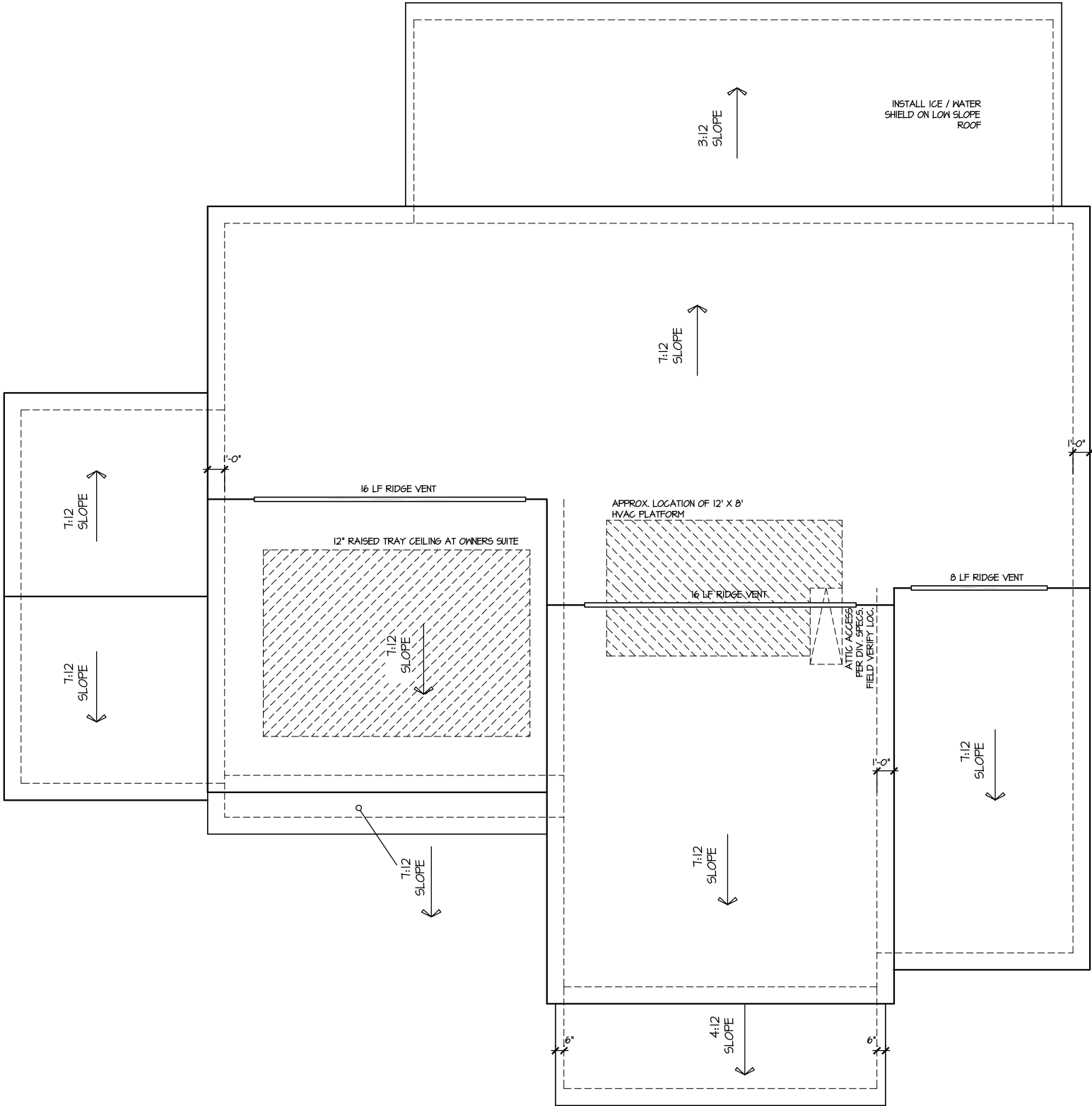
DRAWING TITLE

RIGHT & LEFT ELEVATIONS

SHEET No.

A1.2

UPPER ROOF VENTILATION CALCULATIONS:
ROOF AREA = 2101 SQ. FT.
OVERALL REQUIRED VENTILATION:
1 TO 150 = 14.01 SQ. FT.
1 TO 300 = 1.00 SQ. FT.
50-80% IN TOP THIRD = 350 - 560 SQ. FT. (1 TO 300)
NET FREE AREA OF VENTED SOFFIT = 5.1 SQ. IN. / LINEAR FT.
NET FREE AREA OF RIDGE VENT = 18 SQ. IN. / LINEAR FT.
LOWER VENTING (BOTTOM 2/3 ROOF):
100 LINEAR FEET OF SOFFIT X 5.1 SQ. IN. = 346 SQ. FT.
UPPER VENTING (TOP 1/3 ROOF):
40 LINEAR FEET OF RIDGE X 18 SQ. IN. = 50 SQ. FT.
5.0 SQ. FT. BETWEEN 50% - 80%
(1 TO 300 ALLOWED)
TOTAL ROOF VENTILATION: 846 SQ. FT. > 1,000 SQ. FT. (REQ'D)



ROOF PLAN ELEV. 1
SCALE: 1/8" = 1'-0"

MASTER PLAN INFORMATION			UPDATED DATE
REVISION	DATE		
1-RALE	12-11-2023		07-01-2024

DRAWN BY:	ITS
DATE:	04/09/2025
PLAN NO.	3501

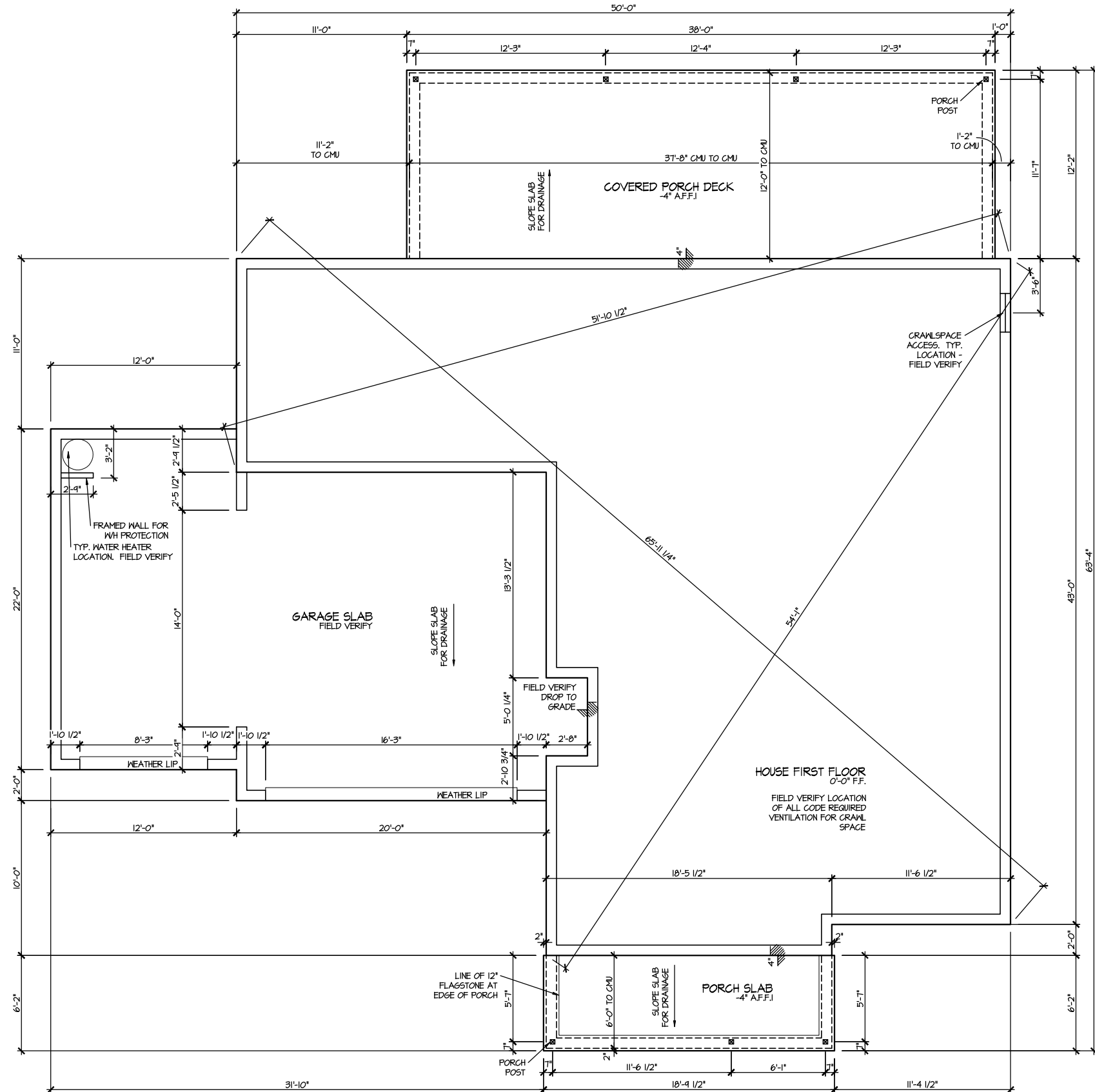


HOUSE NAME:	TOWNSEND
DRAWING TITLE	ROOF PLAN

FILE: Lot_00.0020.dwg DATE: 4/9/2025 1:51 PM

ELEVATION I CRAWL SPACE PLAN

SCALE: 1/8" = 1'-0"



MASTER PLAN INFORMATION			
REVISION	DATE	UPDATED DATE	
1-RALE	12-11-2023	07-01-2024	

DRAWN BY:	ITS
DATE:	04/09/2025
PLAN NO.	3501

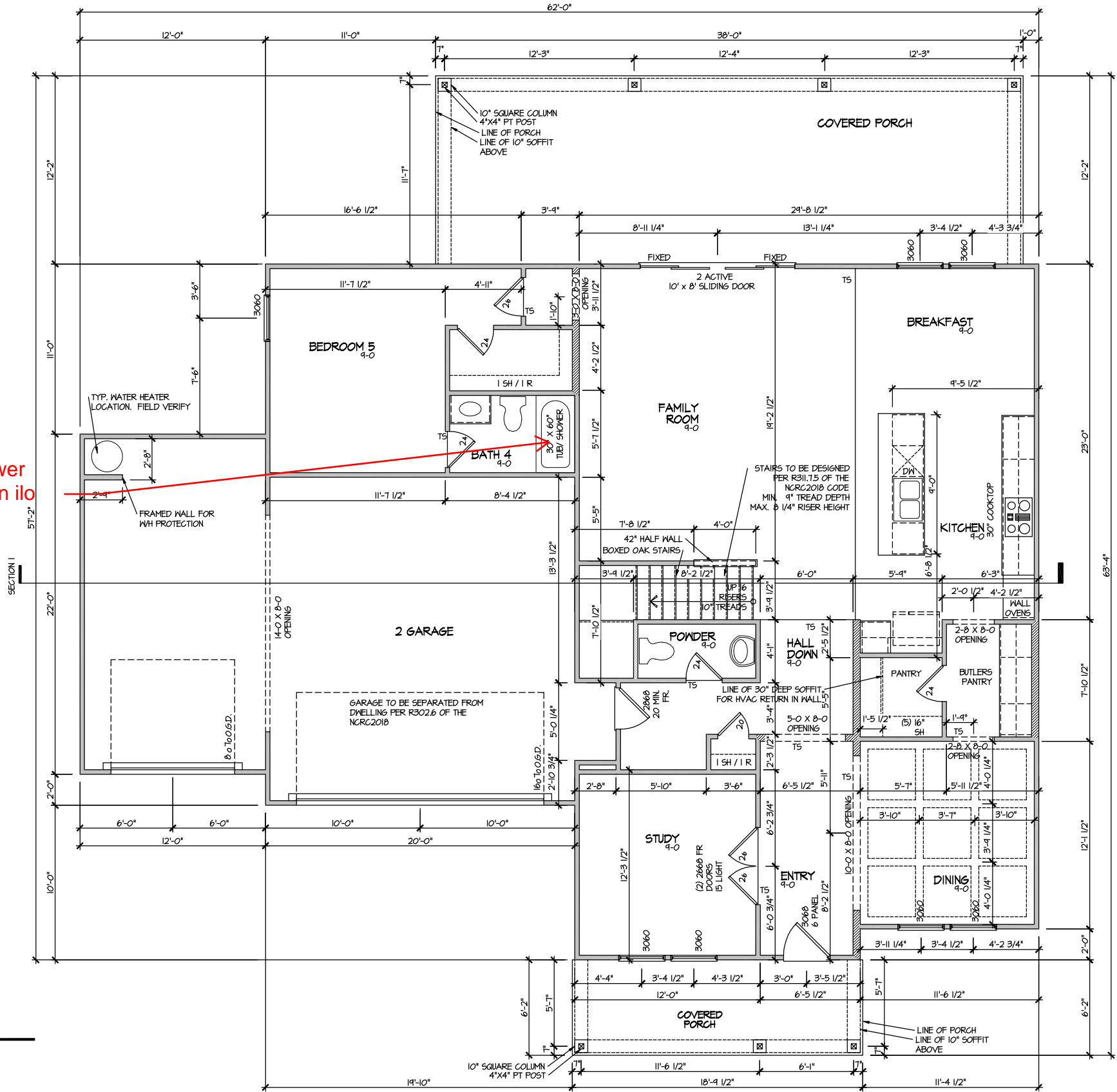


HOUSE NAME:	TOWNSEND
DRAWING TITLE	CRAWL SPACE PLAN

SHEET No.	A2.1
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ELEVATION I
FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

Level 1 tile shower
w/fiber glass pan ilo
std.



MASTER PLAN INFORMATION			UPDATED DATE
REVISION	DATE	1-RALE	07-01-2024
1-RALE	12-11-2023		

DRAWN BY:	ITS
DATE:	04/09/2025
PLAN NO.	3501

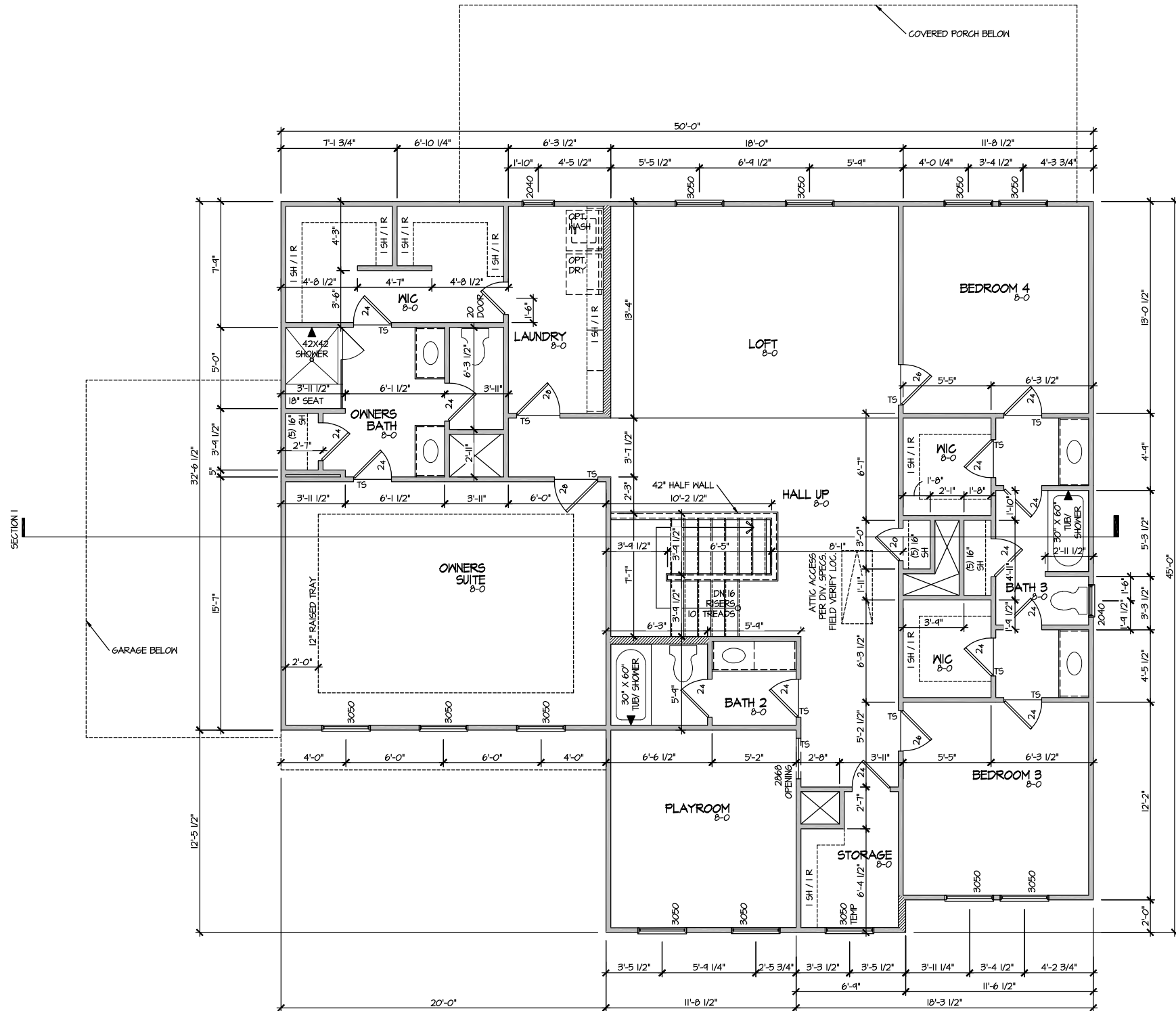


HOUSE NAME:	TOWNSEND
DRAWING TITLE	FIRST FLOOR PLAN

SHEET No.	A3.1
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ELEVATION I
SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



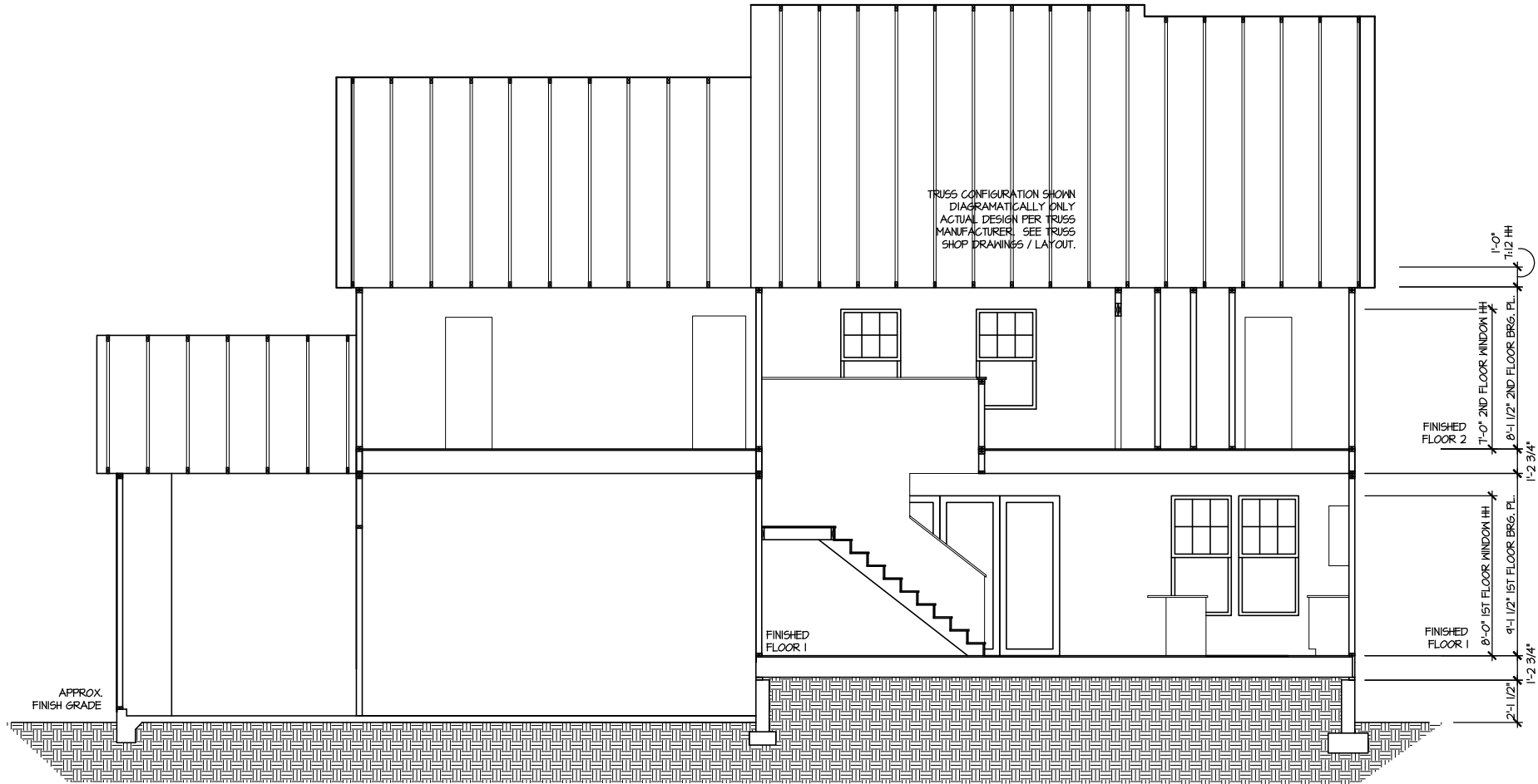
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REVISION	DATE	UPDATED DATE
1-RALE	12-11-2023	07-01-2024

DRAWN BY:	ITS
DATE:	04/09/2025
PLAN NO.	3501

DRB
HOMES

HOUSE NAME:
TOWNSEND
DRAWING TITLE
SECOND FLOOR PLAN

SHEET No.
A3.2



SECTION I

SCALE: 1/8" = 1'-0"

MASTER PLAN INFORMATION

REVISION	DATE	UPDATED DATE
1-RALE	12-11-2023	07-01-2024

DRAWN BY:
ITS

DATE: 04/09/2025

PLAN NO.
3501

DRB
HOMES

HOUSE NAME:
TOWNSEND

DRAWING TITLE
BUILDING SECTION

SHEET No.

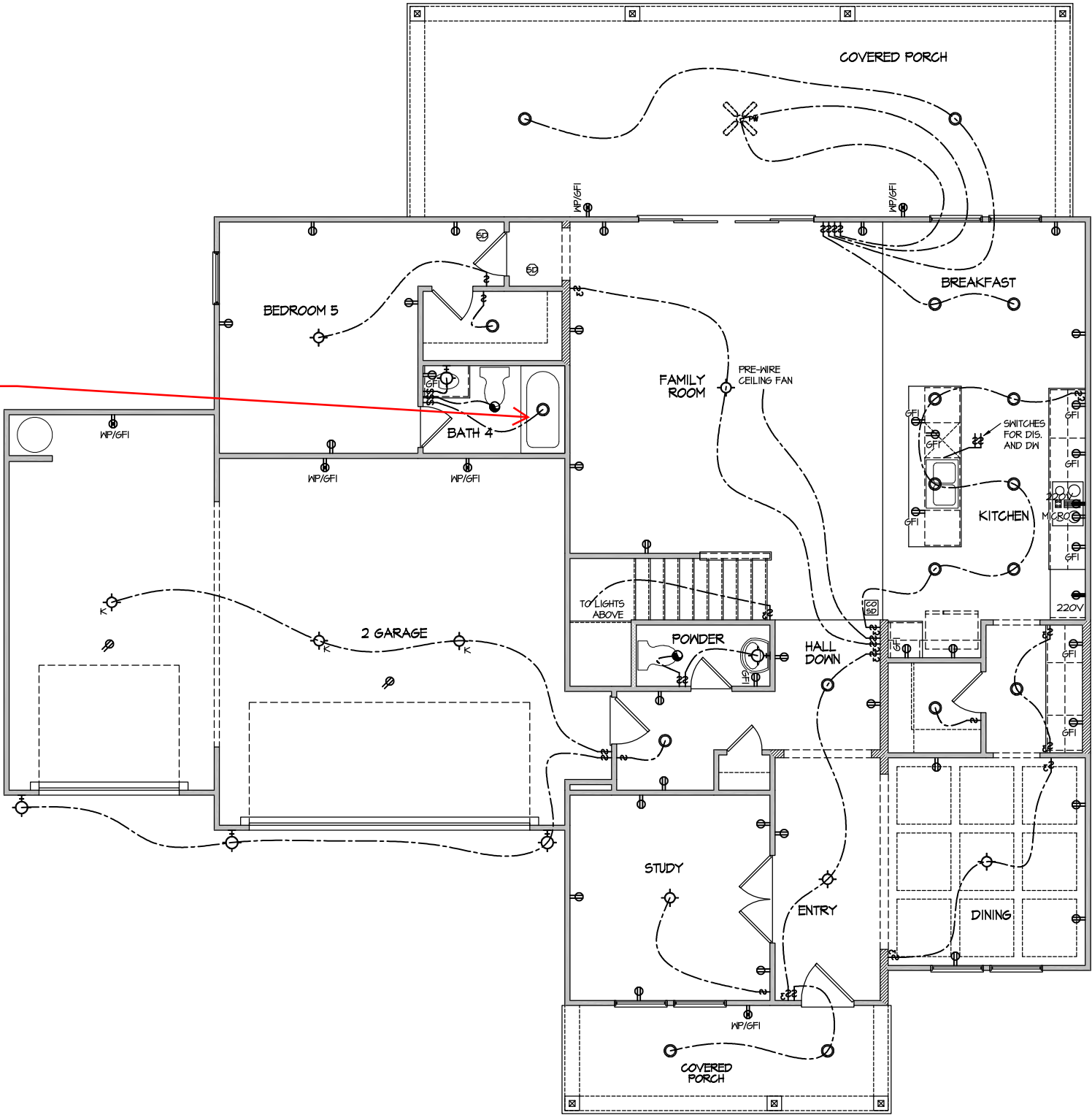
A4.1

ELECTRICAL LEGEND

- Ⓢ SINGLE POLE SWITCH
- Ⓢ₃ THREE WAY SWITCH
- Ⓢ₄ FOUR WAY SWITCH
- ⓈⓈ DUPLEX AFCI RECEPTACLE
- ⓈⓈ₃ DUPLEX AFCI RECEPTACLE - BOTTOM HALF SWITCHED
- ⓈⓈ₄ DUPLEX AFCI RECEPTACLE - FLOOR MOUNTED
- 220V Ⓢ RECEPTACLE - 220V
- GFI Ⓢ DUPLEX AFCI RECEPTACLE - GFI
- WP/GFI Ⓢ DUPLEX AFCI RECEPTACLE - WATERPROOF GFI
- ⓈⓈ SMOKE DETECTOR - WIRED IN SERIES
- ⓈⓈ EXHAUST FAN MOTOR
- Ⓢ TV JACK
- Ⓢ TV JACK
- Ⓢ CO / SMOKE DETECTOR
- Ⓢ DOOR CHIME
- Ⓢ LIGHT FIXTURE - WALL MOUNTED
- Ⓢ LIGHT FIXTURE - CEILING MOUNTED
- Ⓢ LIGHT FIXTURE - SURFACE MOUNTED LED
- Ⓢ FULLCHAIN LAMPHOLDER
- Ⓢ KEYLESS LAMPHOLDER
- Ⓢ MOTION SENSOR FLOOD LIGHT

NOTE: ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE ADOPTED VERSION OF THE NATIONAL ELECTRICAL CODE, THE LOCAL POWER COMPANY AND TO ALL APPLICABLE LOCAL REGULATIONS.

Level 1
tile
shower
w/fiber
glass
pan ilo
std.



ELECTRICAL PLAN
FIRST FLOOR - ELEV. 1

SCALE: 1/8" = 1'-0"

FILE: Lot_00.0020.dwg DATE: 4/9/2025 1:51 PM

MASTER PLAN INFORMATION		
REVISION	DATE	UPDATED DATE
1-RALE	12-11-2023	07-01-2024

DRAWN BY:	ITS
DATE:	04/09/2025
PLAN NO.	3501

DRB
HOMES

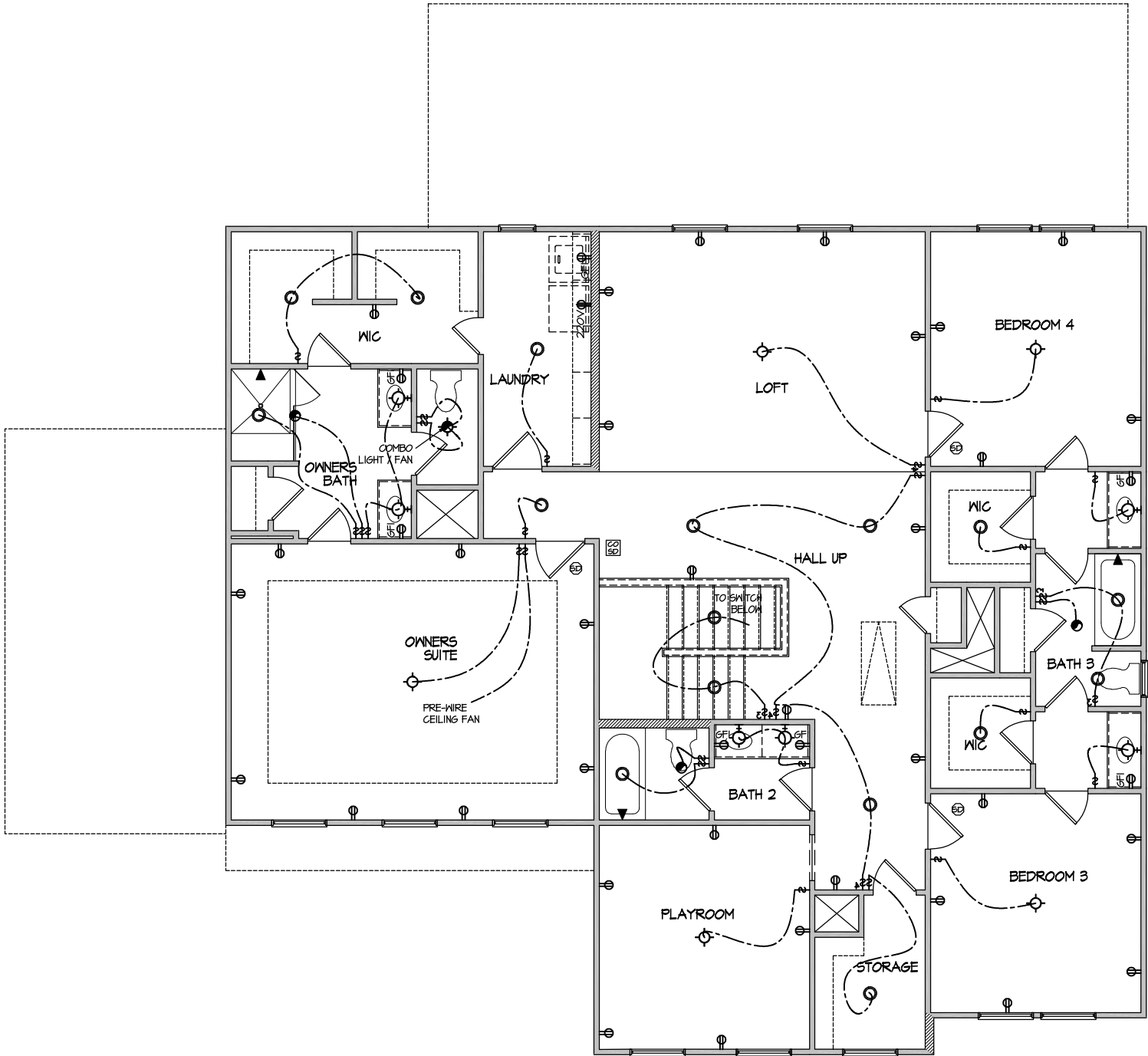
HOUSE NAME:	TOWNSEND
DRAWING TITLE	FIRST FLOOR ELECTRICAL

SHEET No.
11

ELECTRICAL LEGEND

- Ⓢ SINGLE POLE SWITCH
- Ⓢ₃ THREE WAY SWITCH
- Ⓢ₄ FOUR WAY SWITCH
- Ⓢ- DUPLEX AFCI RECEPTACLE
- Ⓢ- DUPLEX AFCI RECEPTACLE - BOTTOM HALF SWITCHED
- Ⓢ- DUPLEX AFCI RECEPTACLE - FLOOR MOUNTED
- 220V Ⓢ RECEPTACLE - 220V
- Ⓢ- DUPLEX AFCI RECEPTACLE - GFI
- WP/GFI Ⓢ- DUPLEX AFCI RECEPTACLE - WATERPROOF GFI
- Ⓢ- SMOKE DETECTOR - WIRED IN SERIES
- Ⓢ- EXHAUST FAN MOTOR
- Ⓢ- TV JACK
- Ⓢ- TV JACK
- Ⓢ- CO / SMOKE DETECTOR
- Ⓢ- DOOR CHIME
- Ⓢ- LIGHT FIXTURE - WALL MOUNTED
- Ⓢ- LIGHT FIXTURE - CEILING MOUNTED
- Ⓢ- LIGHT FIXTURE - SURFACE MOUNTED LED
- Ⓢ- P FULLCHAIN LAMPHOLDER
- Ⓢ- K KEYLESS LAMPHOLDER
- Ⓢ- MOTION SENSOR FLOOD LIGHT

NOTE: ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE ADOPTED VERSION OF THE NATIONAL ELECTRICAL CODE, THE LOCAL POWER COMPANY AND TO ALL APPLICABLE LOCAL REGULATIONS.



ELECTRICAL PLAN
SECOND FLOOR - ELEV. 1

SCALE: 1/8" = 1'-0"

FILE: Lot_00.0020.dwg DATE: 4/9/2025 1:51 PM

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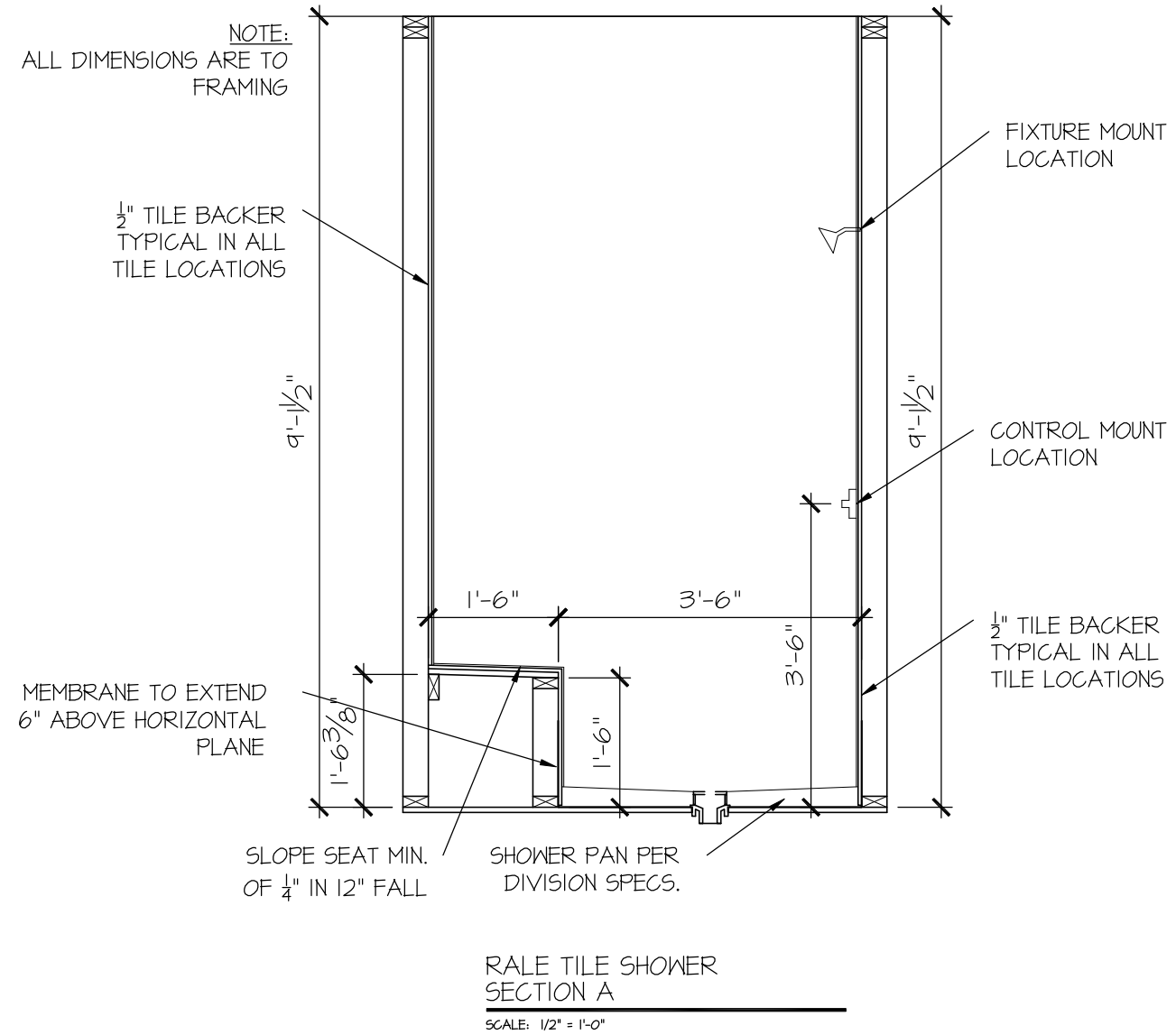
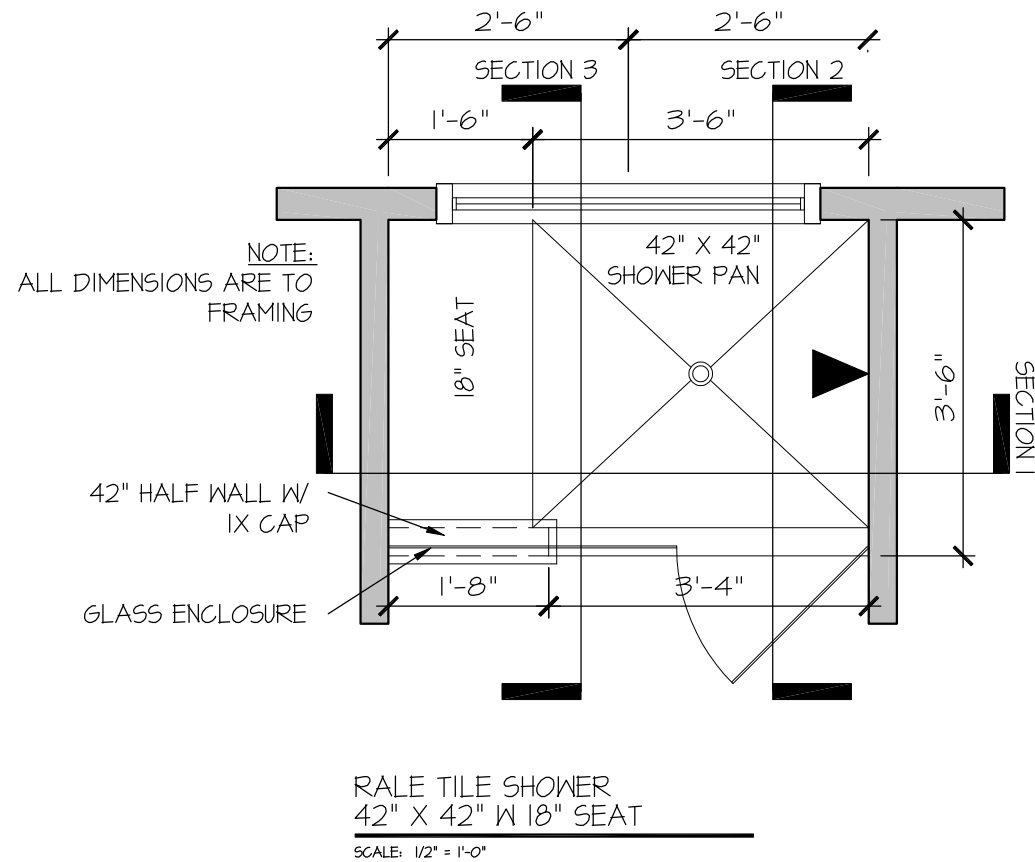
DRAWN BY:	ITS
DATE:	04/09/2025
PLAN NO.	3501



HOUSE NAME:	TOWNSEND
DRAWING TITLE	SECOND FLOOR ELECTRICAL

SHEET No.	1.2
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FILE: RALE TILE SHOWER DETAIL 8-2022.dwg DATE: 09-19-2022



CONSULTANT LOGO

SEAL

DRAWN BY:
L. BEAVERS
DATE: 9/1/22
PLAN NO.
11 X 17 SCALE
24 X 36 SCALE

DRB
HOMES

HOUSE NAME:

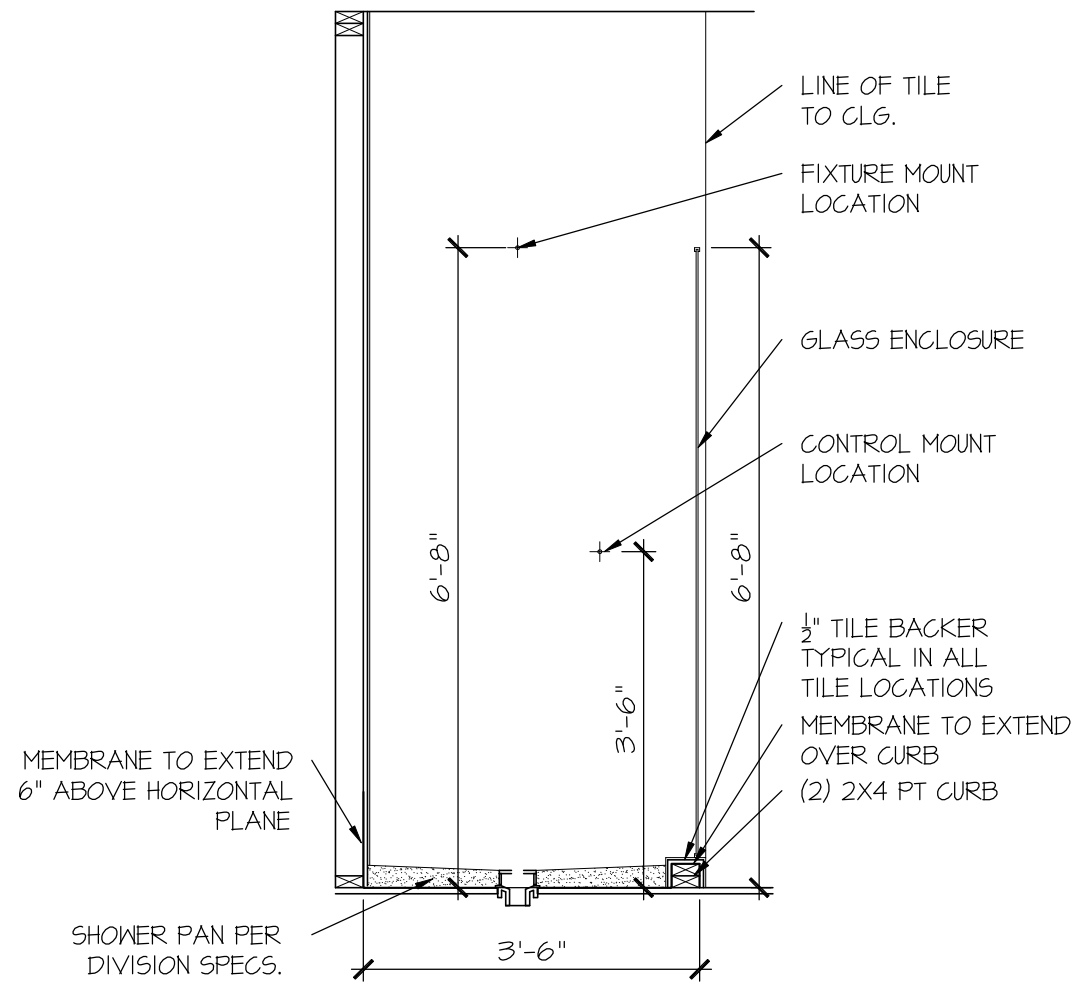
DRAWING TITLE

RALE TILE SHOWER DETAIL

SHEET No.

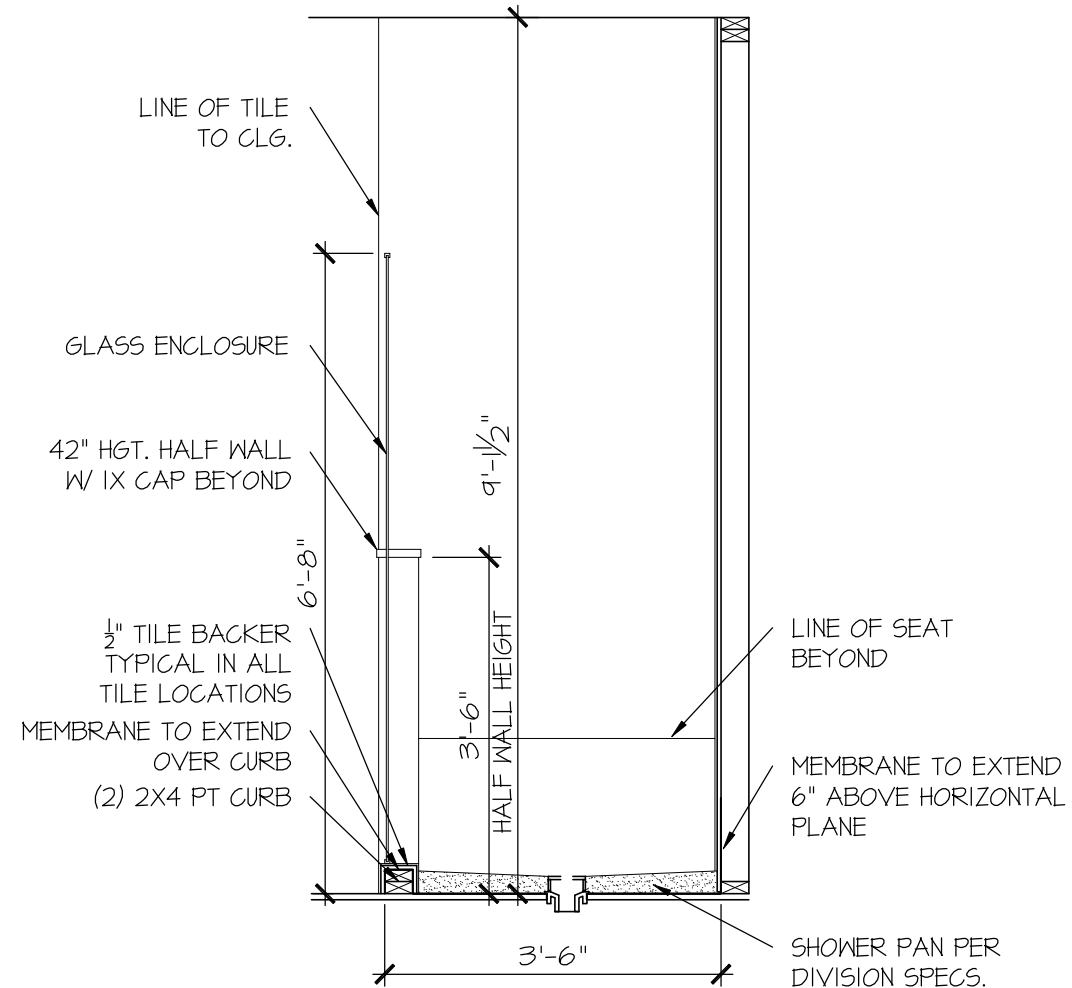
0111

FILE: RALE TILE SHOWER DETAIL 8-2022.dwg DATE: 09-19-2022



RALE TILE SHOWER
SECTION B

SCALE: 1/2" = 1'-0"



RALE TILE SHOWER
SECTION C

SCALE: 1/2" = 1'-0"

CONSULTANT LOGO

SEAL

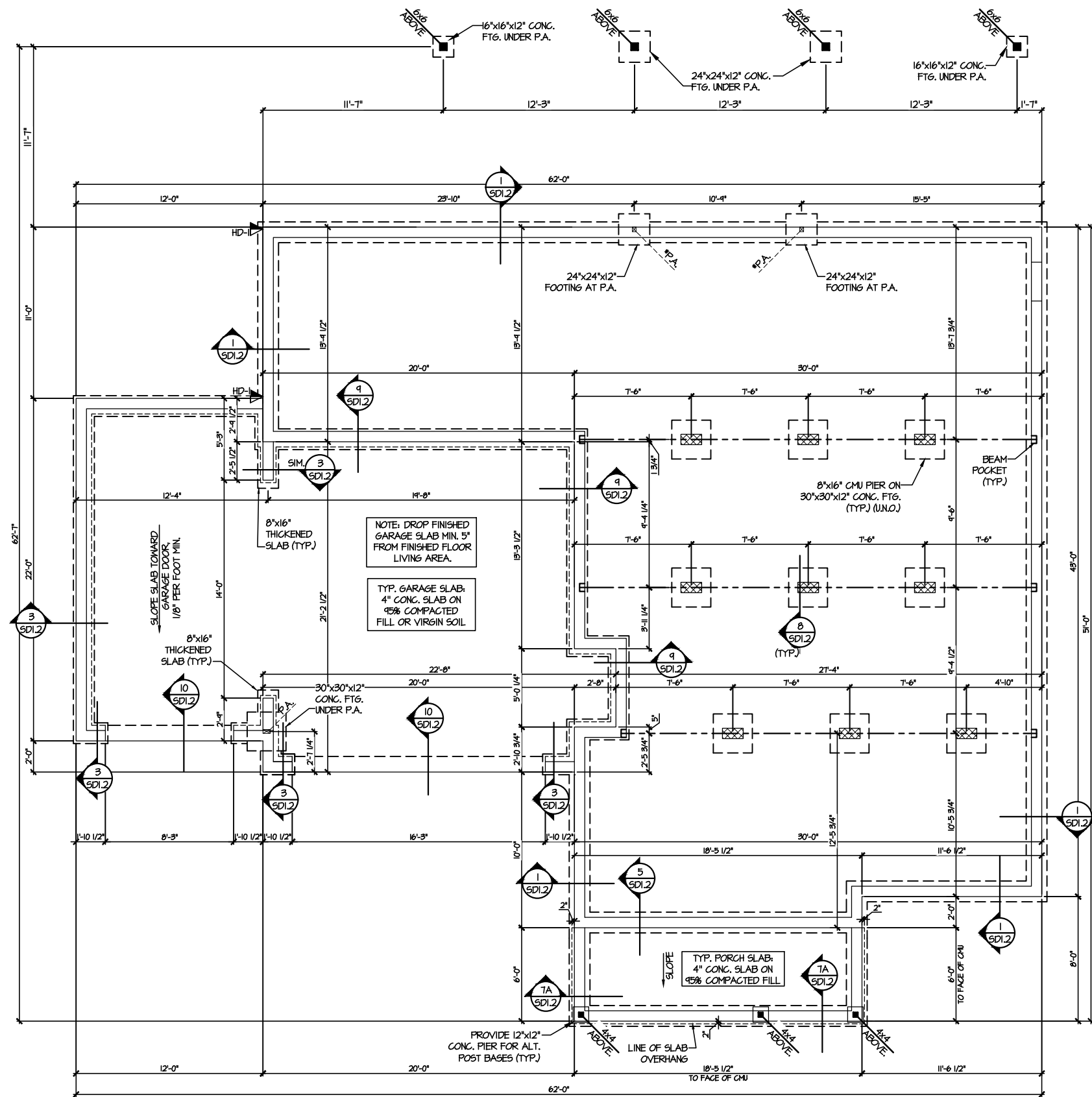
DRAWN BY:
L. BEAVERS
DATE: 9/1/22
PLAN NO.
11 X 17 SCALE
24 X 36 SCALE

DRB
HOMES

HOUSE NAME:
DRAWING TITLE
RALE TILE SHOWER DETAIL

SHEET No.

01.12

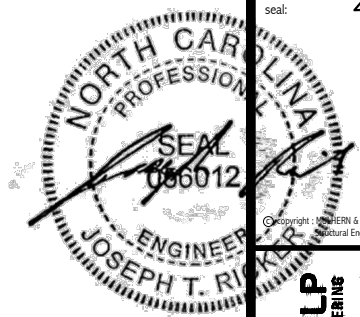


1 CRAWL SPACE FOUNDATION PLAN
SCALE: 1/8"=1'-0"

LEGEND

- INTERIOR BEARING WALL
- BEARING WALL ABOVE
- BEAM / HEADER
- INDICATES SHEAR WALL & EXTENT
- EXTENT OF OVERFRAMING
- J.L. METAL HANGER
- INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

**REFER TO 50.0 FOR
TYPICAL STRUCTURAL NOTES
& SCHEDULES**



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NC LIC. #C-3825

M&K project number:
126-23047

project mgr: JTR
drawn by: KJN
issue date: 04-17-25

REVISIONS:

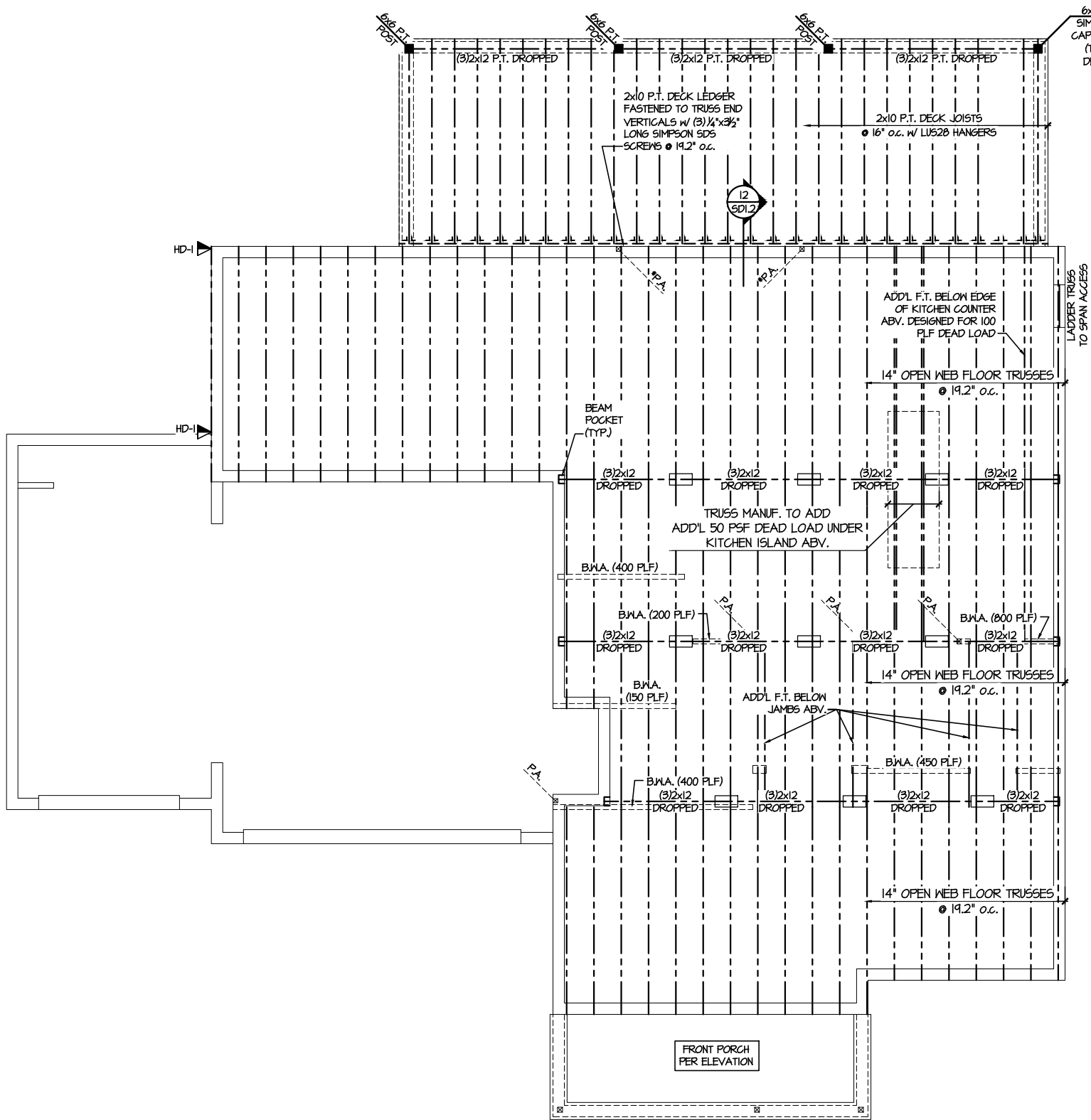
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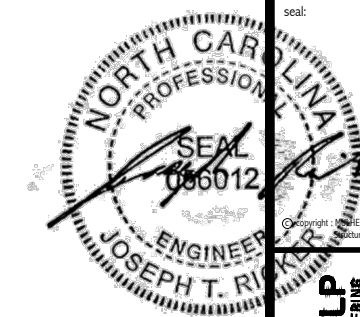
FOUNDATION PLANS
HONEYCUTT HILLS
LOT 20 - TOWNSEND I
RALEIGH, NC

sheet:
S1.0

FILE: RLH - Honeycutt Hills - Lot 20 - Structural DATE: 4/17/2025 11:22 AM



1 1ST FLOOR FRAMING PLAN
SCALE: 1/8"=1'-0"



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NC LIC. #C-3825

M&K project number:
126-23047
project mgr: JTR
drawn by: KJN
issue date: 04-17-25

REVISIONS:	
date:	initial:

DRB
HOMES

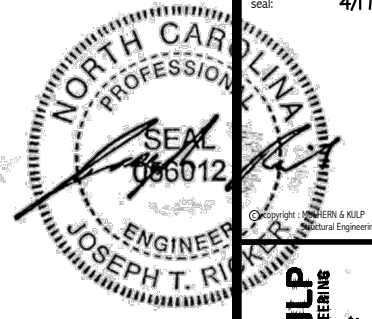
FLOOR FRAMING PLANS
HONEYCUTT HILLS
LOT 20 - TOWNSEND I
RALEIGH, NC

sheet:
S2.0

LEGEND

- INTERIOR BEARING WALL
- BEARING WALL ABOVE
- BEAM / HEADER
- INDICATES SHEAR WALL & EXTENT
- EXTENT OF OVERFRAMING
- 1L METAL HANGER
- INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

**REFER TO SO.0 FOR
TYPICAL STRUCTURAL NOTES
& SCHEDULES**



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INC LIC. #C-3825



project number:
126-23047

ct mgr: JTR
n by: KJN
date: 04-17-25

initial:

100

Model



1

1

S

II

1

INTRODUCTION

JUNES

ICPC

THE

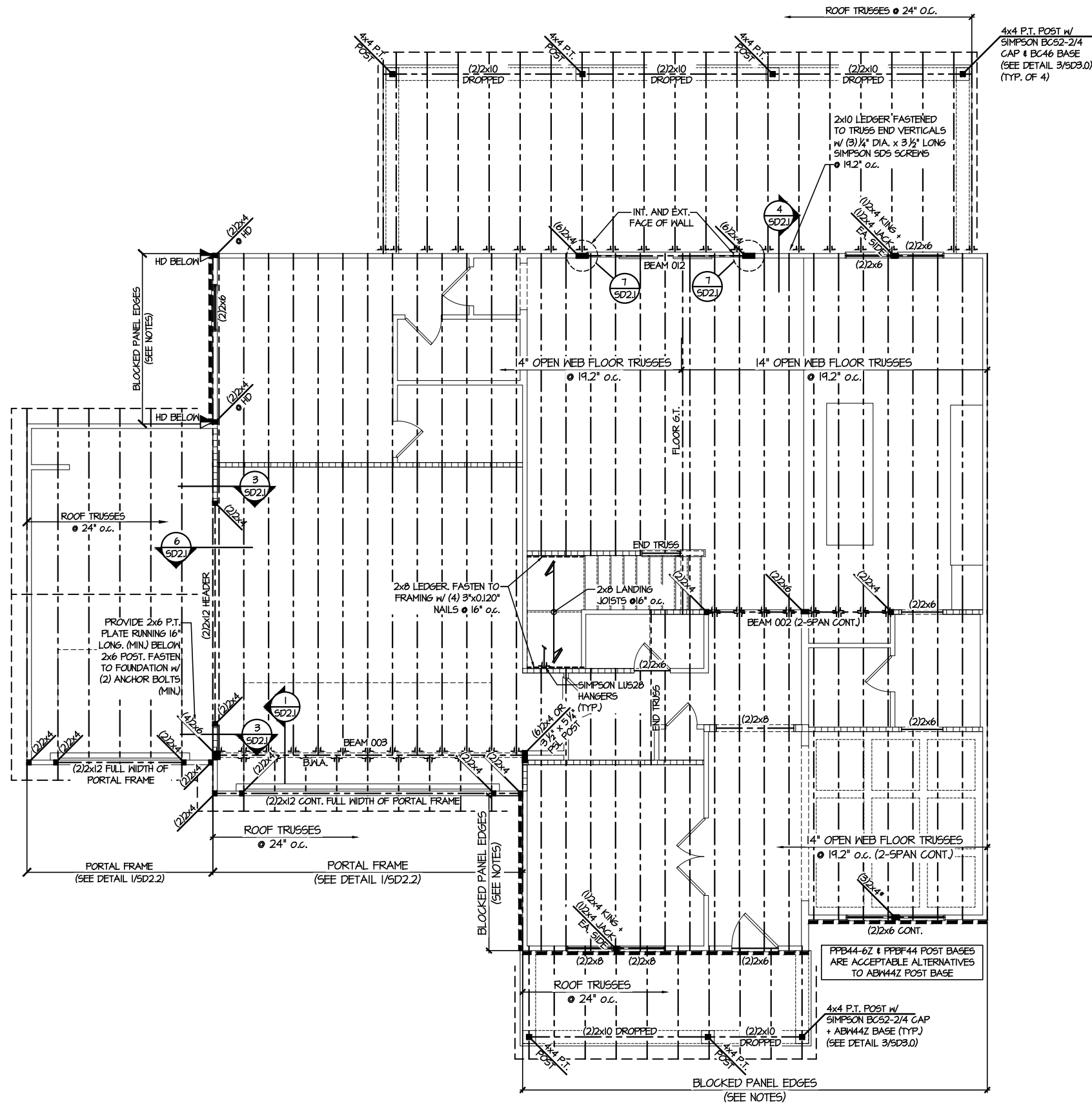
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LOCALIZATION

F L R

Fe
28

53.01

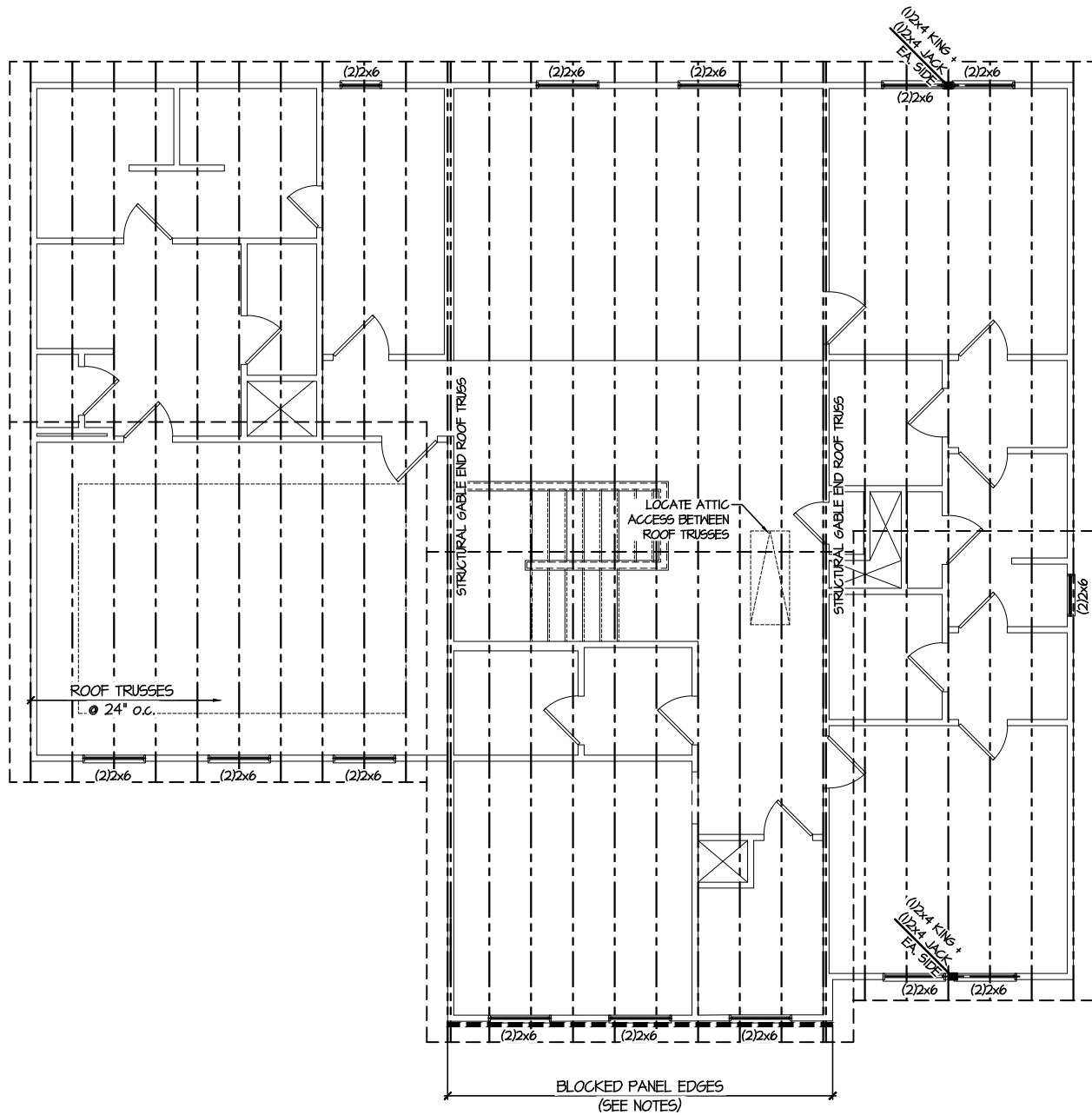


2ND FLOOR FRAMING PLAN

SCALE: 1/8"=1'-0"

ENGINEERED BEAM MATERIAL SCHEDULE					
BEAM NUMBER	LVL OPTION	PSL OPTION	LSL OPTION	FLITCH OPTION	STEEL OPTION
001	(2)3/4"x4" - H	3 1/2"x4" - H	(2)3/4"x4" - F	(2)2x10 + (1) 1/2"x11/2" STEEL FLITCH PLATE - H	N/A
002	(2)3/4"x14" - F	3 1/2"x14" - F	(3)3/4"x14" - F	(2)2x12 + (1) 3/8"x11/2" STEEL FLITCH PLATES - F	W12x14
003	(3)3/4"x10" - FT	5 1/4"x10" - FT	N/A	(3)2x12 + (2) 3/8"x11/2" STEEL FLITCH PLATES - F	W12x26 - F
004	N/A	N/A	N/A	N/A	N/A
005	(2)3/4"x14" - F	3 1/2"x14" - F	(2)3/4"x14" - F	(2)2x10 + (1) 1/2"x11/2" STEEL FLITCH PLATE - F	N/A
006	(2)3/4"x14" - F	3 1/2"x14" - F	N/A	(2)2x12 + (1) 3/8"x11/2" STEEL FLITCH PLATES - F	N/A
007	(3)3/4"x14" - F	5 1/4"x14" - F	(4)3/4"x14" - F	(3)2x12 + (2) 1/2"x11/2" STEEL FLITCH PLATES - F	W12x14 - F
008	(2)3/4"x14" - F	3 1/2"x14" - F	(3)3/4"x14" - F	(2)2x12 + (1) 3/8"x11/2" STEEL FLITCH PLATES - F	W12x14 - F
009	(2)3/4"x14" - F	3 1/2"x14" - F	N/A	N/A	N/A
010	(2)3/4"x4" - H	3 1/2"x4" - H	(2)3/4"x4" - H	(2)2x10 + (1) 1/2"x11/2" STEEL FLITCH PLATE - H	N/A
011	(2)3/4"x4" - H	3 1/2"x4" - H	(2)3/4"x4" - H	(2)2x10 + (1) 1/2"x11/2" STEEL FLITCH PLATE - H	N/A
012	(2)3/4"x14" - H	3 1/2"x14" - H	N/A	N/A	N/A
013	(3)3/4"x4" - H	3 1/2"x1 1/4" - H	N/A	N/A	N/A
014	(3)3/4"x16" - FB	5 1/4"x16" - FB	N/A	N/A	N/A
015	(2)3/4"x14" - F	3 1/2"x14" - F	(2)3/4"x14" - F	N/A	N/A
016	(3)3/4"x10" - FT	5 1/4"x10" - FT	N/A	N/A	N/A
017	(2)3/4"x14" - F	3 1/2"x14" - F	(2)3/4"x14" - F	N/A	N/A
018	(3)3/4"x11/2" - D	5 1/4"x1 1/4" - D	(3)3/4"x1 1/4" - D	N/A	N/A
019	(4)3/4"x14" - F	7"x14" - F	N/A	N/A	N/A
020	(2)3/4"x14" - F	3 1/2"x14" - F	(2)3/4"x14" - F	N/A	N/A

- **BEAM NOTATION:**
 - "F" INDICATES FLUSH BEAM
 - "FT" INDICATES FLUSH TOP BEAM
 - "FB" INDICATES FLUSH BOTTOM BEAM
 - "D" INDICATES DROPPED BEAM
 - "H" INDICATES DROPPED OPENING HEADER
- REFER TO DETAIL D/SD2.0 FOR TYPICAL FLITCH BEAM CONNECTIONS
- REFER TO DETAIL E/SD2.0 FOR TYPICAL STEEL BEAM CONNECTIONS
- FOR FLUSH TOP BEAMS PROVIDE 2x STACKED PLATES BENEATH BEAM AS REQ'D. FASTEN PLATES IN SUCCESSION W/ (2) 3"x0.120" NAILS @ 8" O.C.
- FOR FLUSH BOTTOM BEAMS PROVIDE 2x STACKED PLATES ATOP BEAM AS REQ'D. FASTEN PLATES IN SUCCESSION W/ (2) 3"x0.120" NAILS @ 8" O.C.

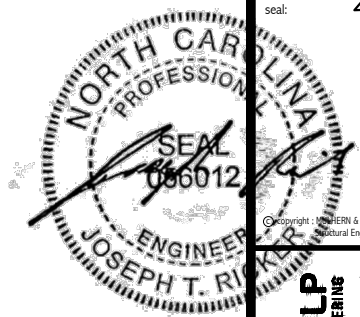


1 ROOF FRAMING PLAN
SCALE: 1/8"=1'-0"

**REFER TO 50.0 FOR
TYPICAL STRUCTURAL NOTES
& SCHEDULES**

LEGEND

- INTERIOR BEARING WALL
- BEARING WALL ABOVE
- BEAM / HEADER
- INDICATES SHEAR WALL & EXTENT
- EXTENT OF OVERFRAMING
- 1L METAL HANGER
- INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.



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M&K project number:
126-23047

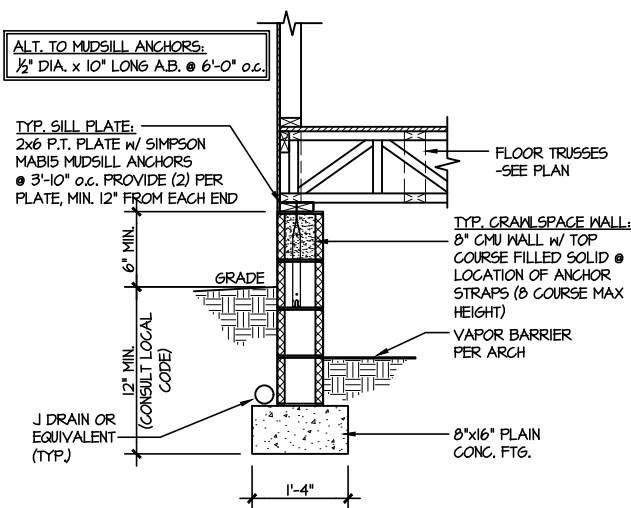
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drawn by: KJN
issue date: 04-17-25

REVISIONS:	
date:	initial:

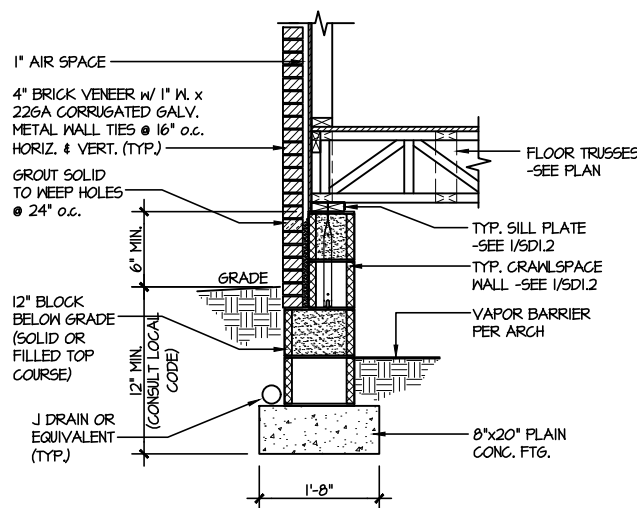


FLOOR FRAMING PLANS
HONEYCUTT HILLS
LOT 20 - TOWNSEND I
RALEIGH, NC

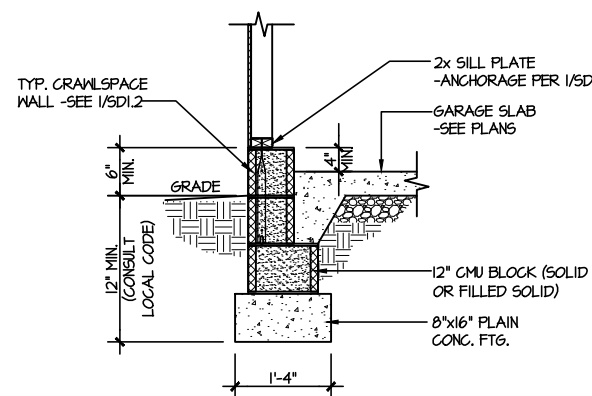
sheet:
S4.0



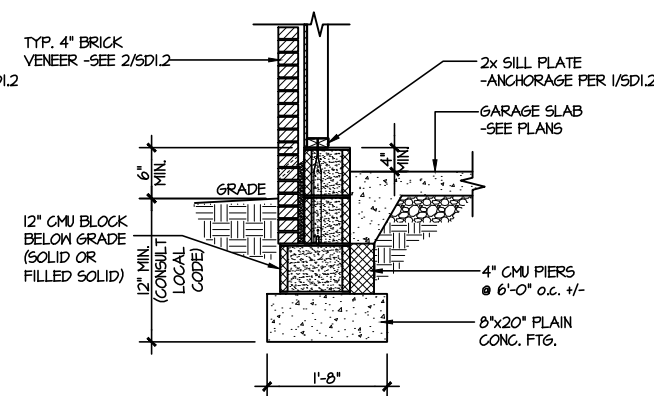
1 TYPICAL CRAWLSPACE FOUNDATION
SCALE: 3/8"=1'-0"



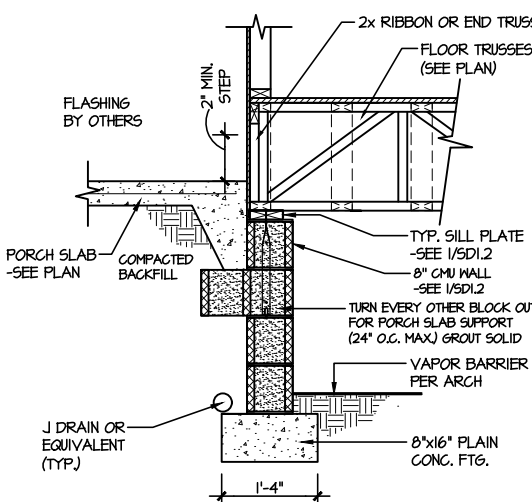
2 TYPICAL CRAWLSPACE FOUNDATION
SCALE: 3/8"=1'-0" w/ BRICK VENEER



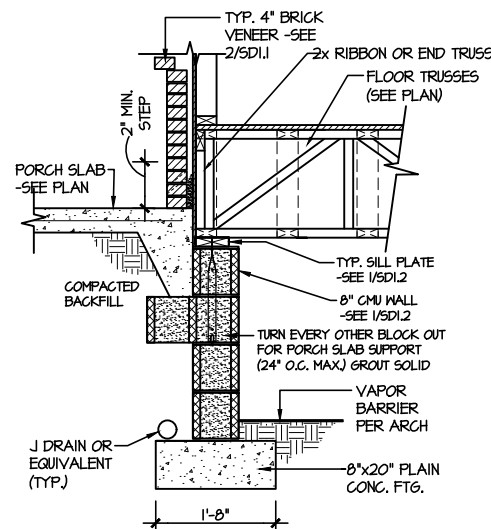
3 TYPICAL GARAGE FOUNDATION
SCALE: 3/8"=1'-0"



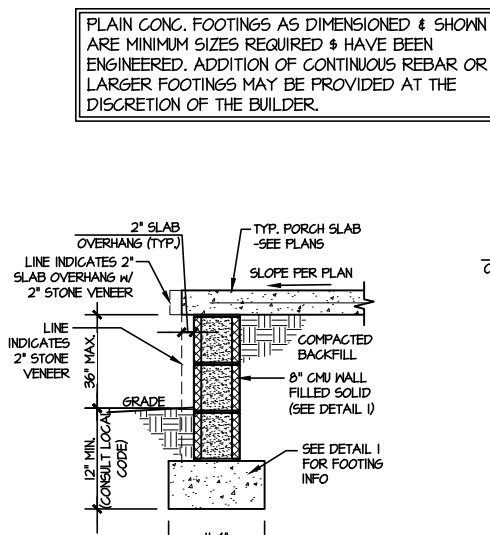
4 TYPICAL GARAGE FOUNDATION
SCALE: 3/8"=1'-0" w/ BRICK VENEER



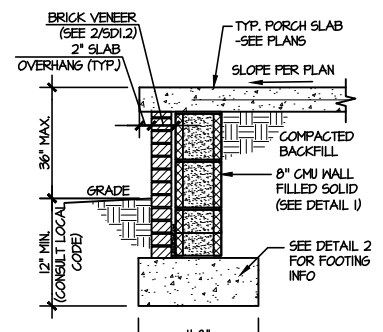
5 TYPICAL CRAWLSPACE FOUNDATION
@ PORCH/PATIO SLAB
SCALE: 3/8"=1'-0"
(REFER TO DETAIL 12 FOR WOOD PORCH OPTION)



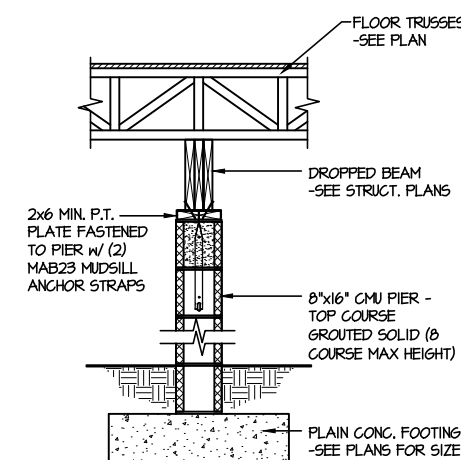
6 TYPICAL CRAWLSPACE FOUNDATION
@ PORCH/PATIO SLAB
SCALE: 3/8"=1'-0" w/ BRICK VENEER



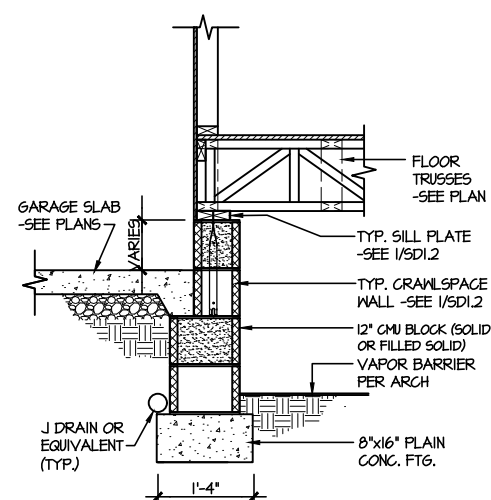
7A TYP. FOOTING @ PORCH SLAB
SCALE: 3/8"=1'-0"



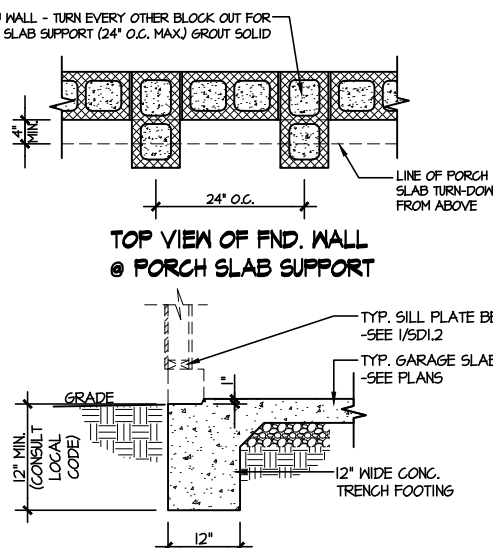
7B TYP. FOOTING @ PORCH SLAB
SCALE: 3/8"=1'-0" w/ BRICK VENEER



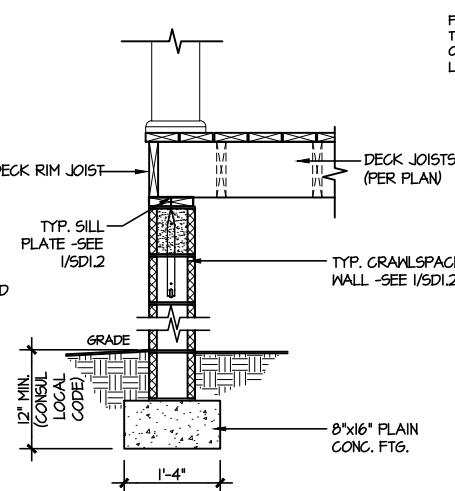
8 TYPICAL CRAWLSPACE FND.
@ INTERIOR PIER
SCALE: 3/8"=1'-0"



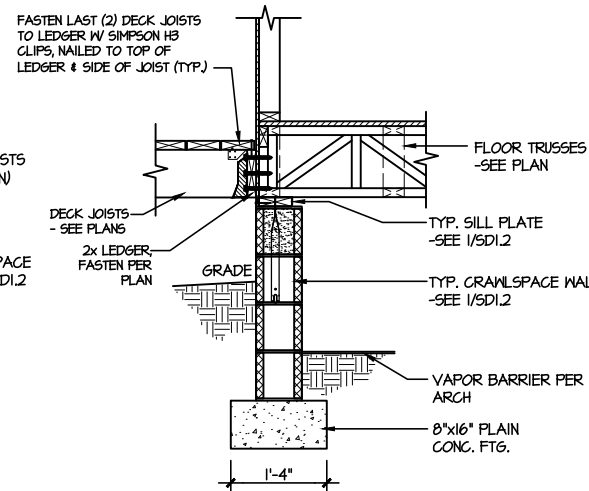
9 TYPICAL CRAWLSPACE FOUNDATION
@ GARAGE
SCALE: 3/8"=1'-0"



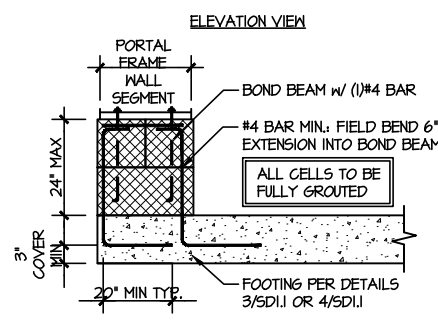
10 TYPICAL SLAB ON GRADE GARAGE
ENTRY @ PERIMETER FOOTING
SCALE: 3/8"=1'-0"



11 TYPICAL CRAWLSPACE FOUNDATION
@ WOOD PORCH/DECK PERIMETER
SCALE: 3/8"=1'-0"



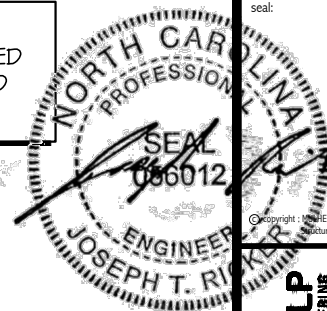
12 TYPICAL CRAWLSPACE FOUNDATION
@ WOOD PORCH/DECK
SCALE: 3/8"=1'-0"



A GARAGE PORTAL FRAME STEM
WALL REINFORCEMENT
SCALE: 3/8"=1'-0"

LETTERED DETAILS ARE TYPICAL FOR
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ALL APPLICABLE AREAS. THESE
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NUMBERED DETAILS ARE PLAN
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WHERE SPECIFICALLY INDICATED
("CUT") ON THE PLANS.



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M&K project number:
126-23047

project mgr: JTR

drawn by: KJN

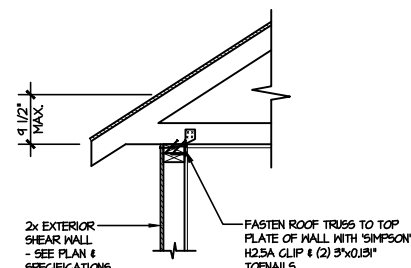
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REVISIONS:
date: initial:

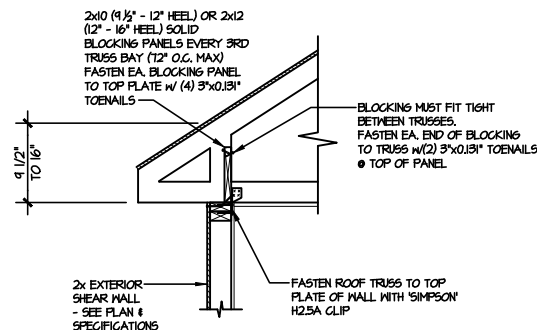
DRB
HOMES

FOUNDATION DETAILS
HONEYCUTT HILLS
LOT 20 - TOWNSEND 1
RALEIGH, NC

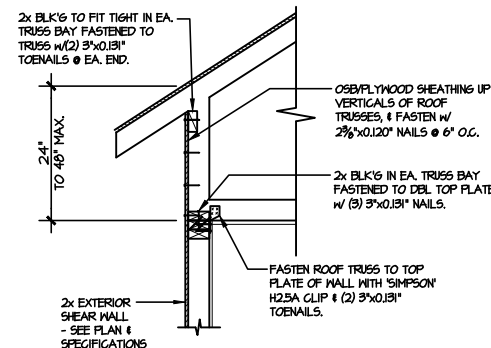
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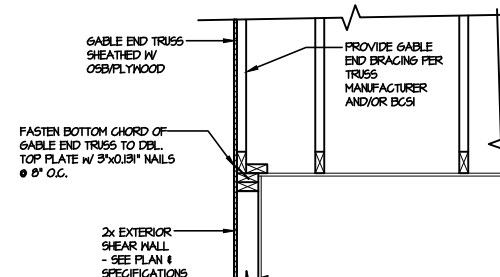
TYPICAL SHEAR TRANSFER DETAIL @ ROOF
(A1) SCALE: 3/8"=1'-0"
 HEEL HEIGHT LESS THAN 1 1/2"
 NO BLOCKING REQ'D



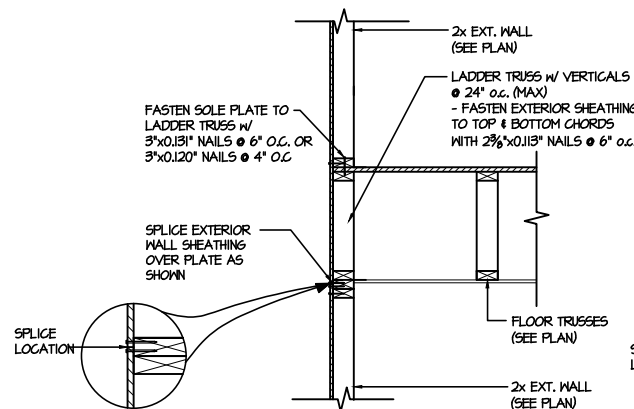
TYPICAL SHEAR TRANSFER DETAIL @ ROOF
(A2) SCALE: 3/8"=1'-0"
 HEEL HEIGHT BETWEEN 1 1/2" - 16"
 BLOCKING REQ'D



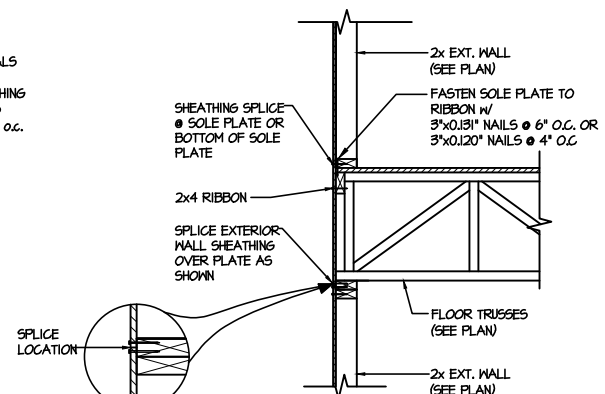
TYPICAL SHEAR TRANSFER DETAIL @ RAISED HEEL TRUSS
(A3) SCALE: 3/8"=1'-0"
 HEEL HEIGHT UP TO 48" MAX.



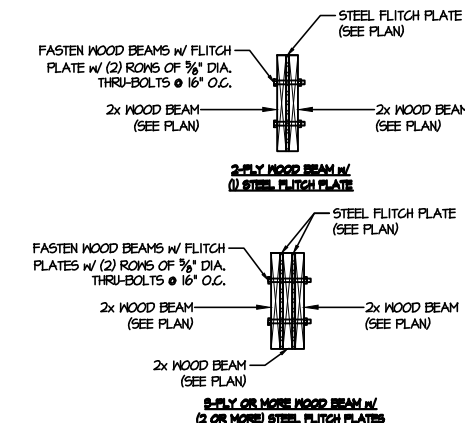
TYPICAL GABLE END DETAIL
(B) SCALE: 3/8"=1'-0"



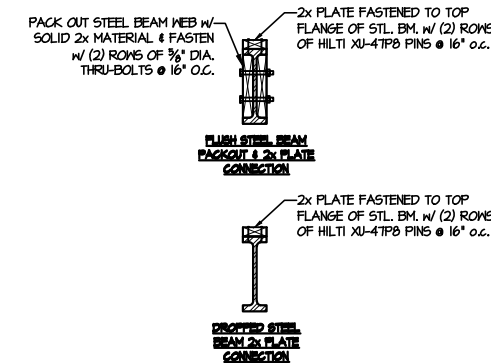
TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ EXTERIOR WALL
(C1) SCALE: 3/8"=1'-0"
 PARALLEL FRMS



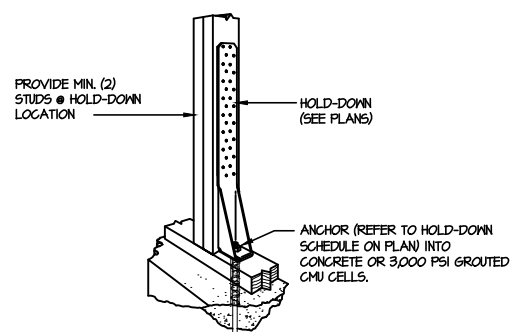
TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ EXTERIOR WALL
(C2) SCALE: 3/8"=1'-0"
 PERPENDICULAR FRMS



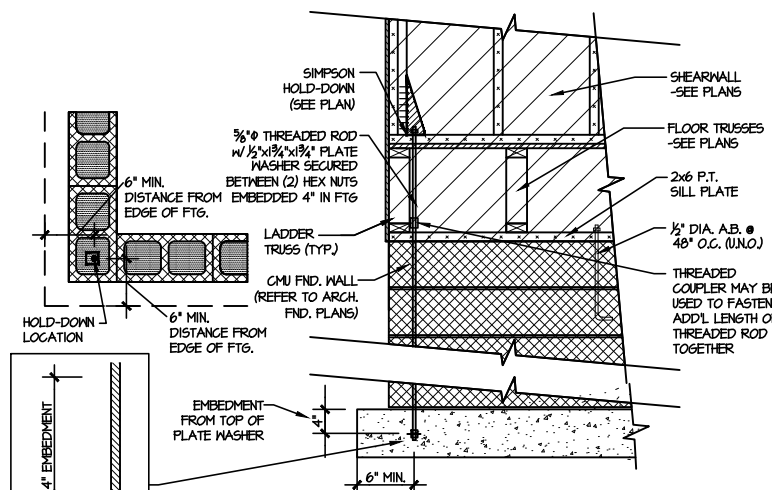
TYPICAL FLITCH BEAM CONNECTION DETAIL
(D) SCALE: 3/4"=1'-0"



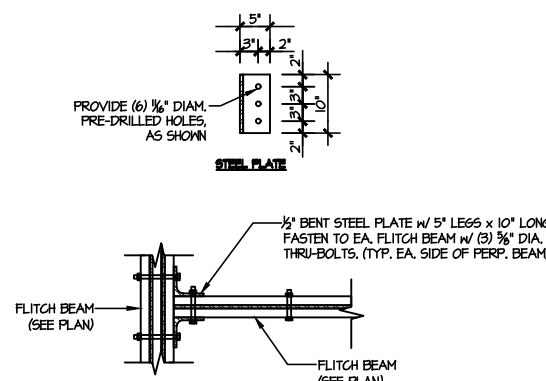
TYPICAL STEEL BEAM CONNECTION DETAIL
(E) SCALE: 3/4"=1'-0"



TYPICAL HOLD DOWN INSTALLATION
(F1) SCALE: N.T.S.



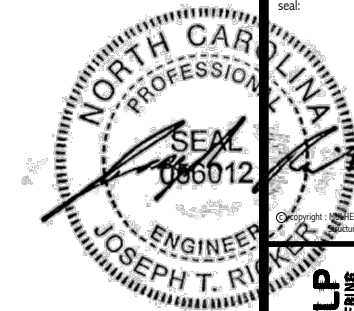
TYPICAL CMU FOUNDATION HOLD-DOWN INSTALLATION
(F2) SCALE: N.T.S.
 (CORNER SHOWN - APPLICABLE TO ALL CONDITIONS)



TYPICAL FLITCH BEAM TO FLITCH BEAM CONNECTION DETAIL
(I) SCALE: 3/4"=1'-0"

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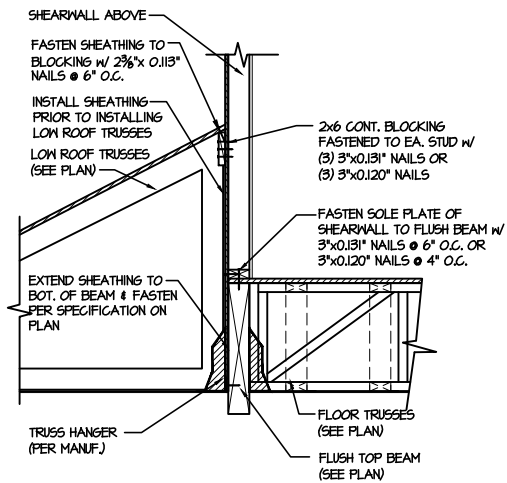
M&K project number:
 126-23047
 project mgr: JTR
 drawn by: KJN
 issue date: 04-17-25

REVISIONS:
 date: initial:

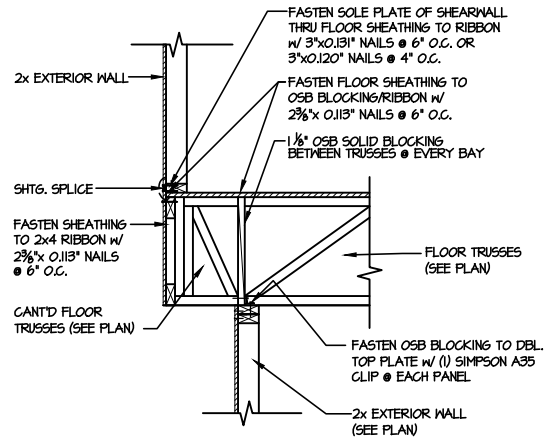
DRB HOMES

FRAMING DETAILS
 HONEYCUTT HILLS
 LOT 20 - TOWNSEND I
 RALEIGH, NC

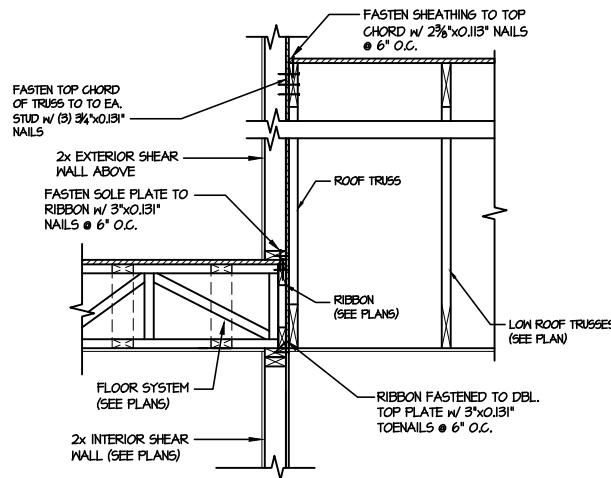
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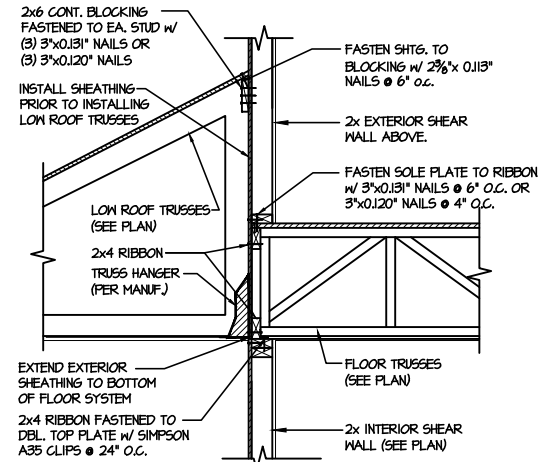
1 SHEAR TRANSFER DETAIL @
EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



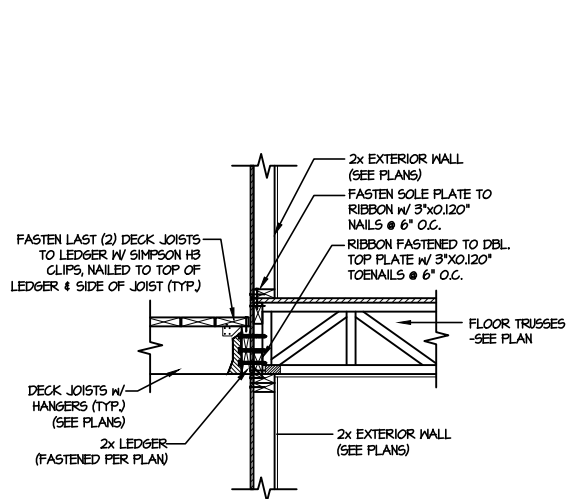
2 SHEAR TRANSFER DETAIL BETWEEN FLOORS @ CANT'D EXT. WALL
SCALE: 3/4"=1'-0"



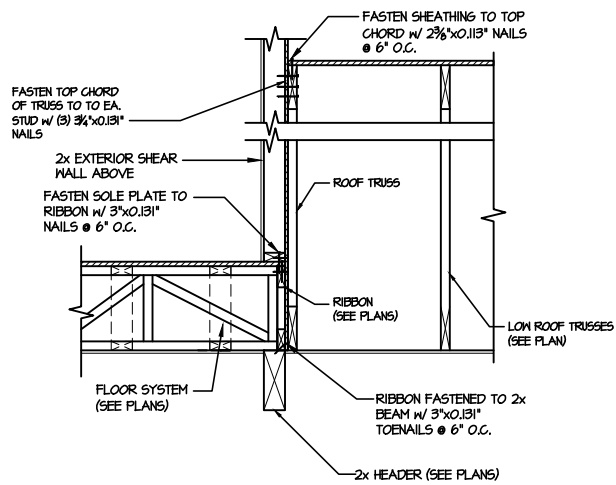
3 TYPICAL SHEAR TRANSFER DETAIL
BETWEEN FLOORS @ INTERIOR WALL
SCALE: 3/4"=1'-0"



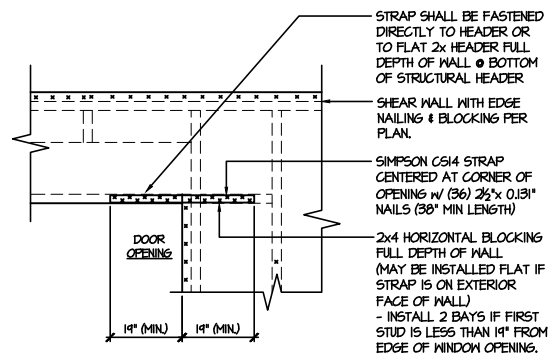
4 TYPICAL SHEAR TRANSFER DETAIL
BETWEEN FLOORS @ INTERIOR WALL
SCALE: 3/4"=1'-0" PERPENDICULAR FRAMING



5 DECK LEDGER CONNECTION DETAIL
SCALE: 3/4"=1'-0"

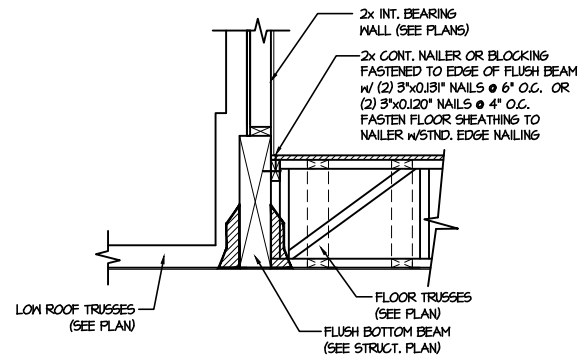


6 TYPICAL SHEAR TRANSFER DETAIL
BETWEEN FLOORS @ INTERIOR WALL
SCALE: 3/4"=1'-0"

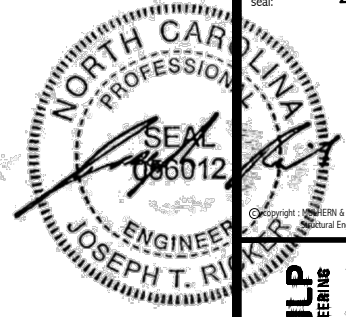


- STRAPS MAY BE INSTALLED ON EXTERIOR OR INTERIOR FACE OF WALL
- WHEN INSTALLED ON THE EXTERIOR FACE OF THE WALL, STRAPS TO BE INSTALLED ON EXTERIOR FACE OF SHEATHING & MAY BE MOVED 1/2" FROM EDGE TO ALLOW FOR DOOR NAILING
- REQUIRED ONLY @ OPENINGS WHERE SPECIFIED ON PLAN

7 TYPICAL EXT. WALL & INT.
SHEARWALL OPENING ELEVATION
SCALE: NTS



8 SHEAR TRANSFER DETAIL @
EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



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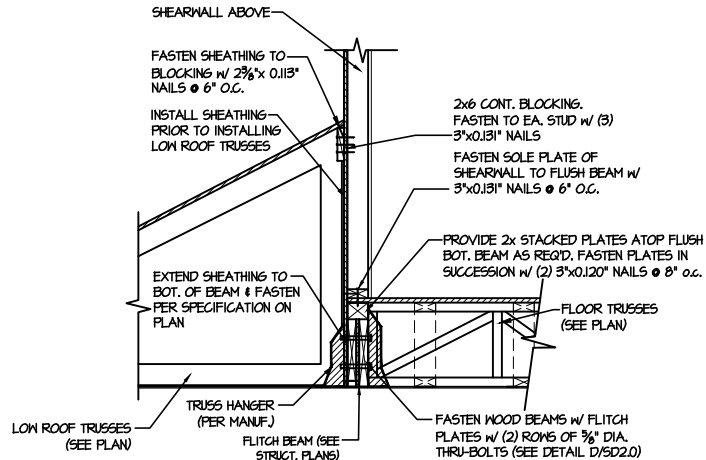
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drawn by: KJN
issue date: 04-17-25

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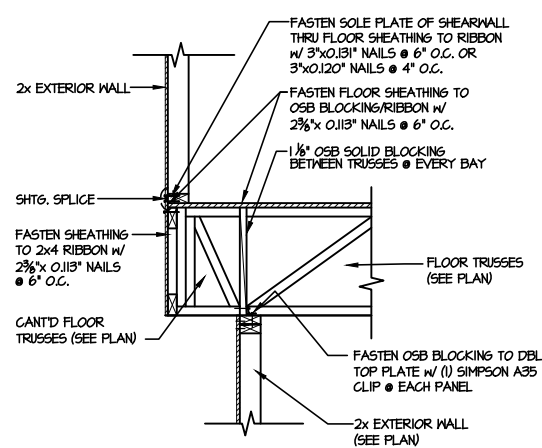
DRB
HOMES

FRAMING DETAILS
HONEYCUTT HILLS
LOT 20 - TOWNSEND I
RALEIGH, NC

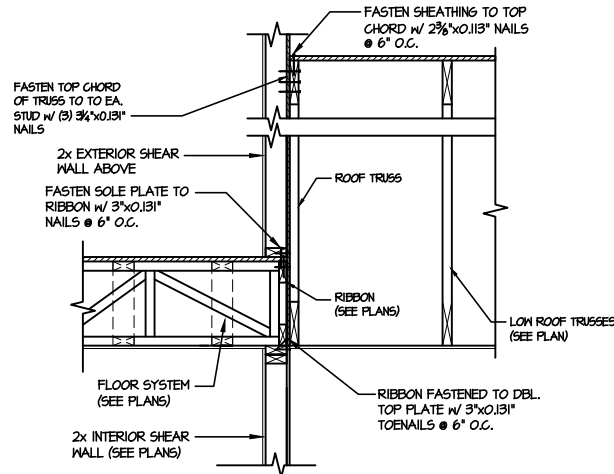
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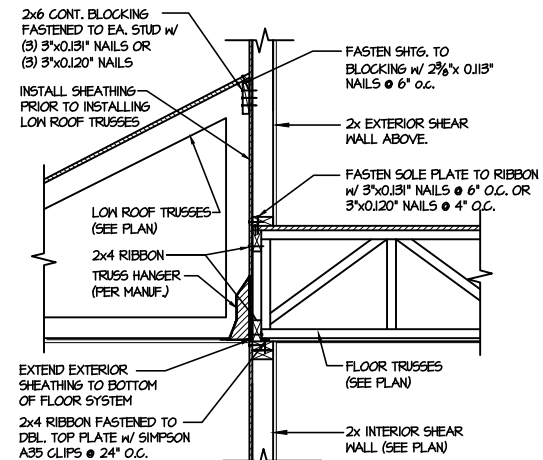
1 SHEAR TRANSFER DETAIL @
EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



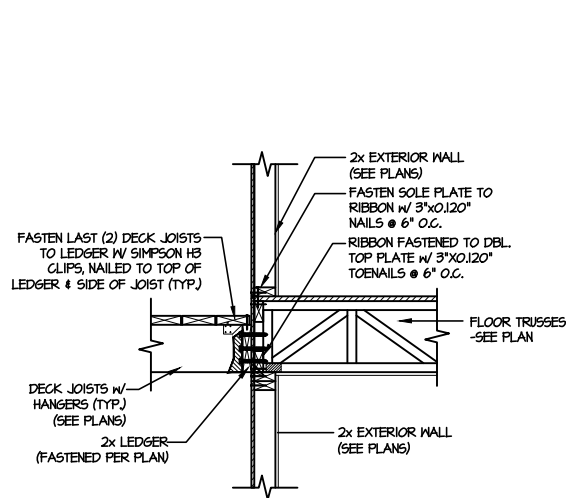
2 SHEAR TRANSFER DETAIL BETWEEN
FLOORS @ CANT'D EXT. WALL
SCALE: 3/4"=1'-0"



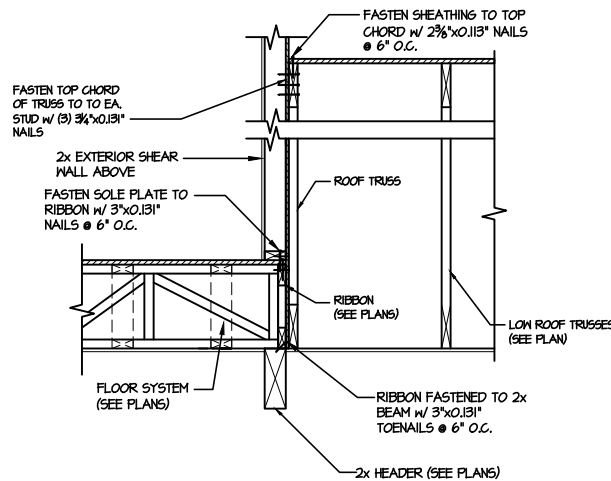
3 TYPICAL SHEAR TRANSFER DETAIL
BETWEEN FLOORS @ INTERIOR WALL
SCALE: 3/4"=1'-0"



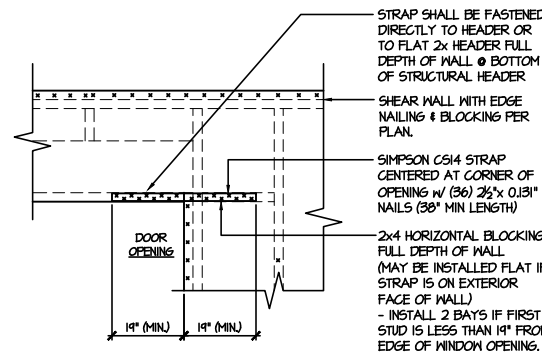
4 TYPICAL SHEAR TRANSFER DETAIL
BETWEEN FLOORS @ INTERIOR WALL
SCALE: 3/4"=1'-0" PERPENDICULAR FRAMING



5 DECK LEDGER CONNECTION DETAIL
SCALE: 3/4"=1'-0"

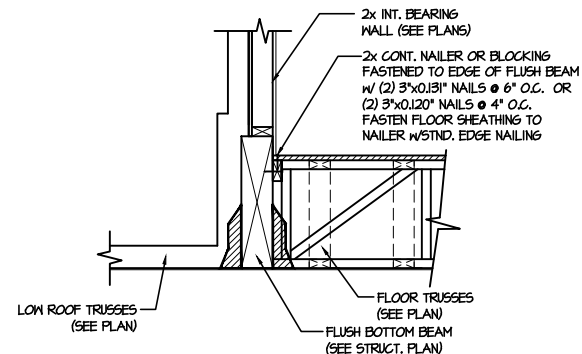


6 TYPICAL SHEAR TRANSFER DETAIL
BETWEEN FLOORS @ INTERIOR WALL
SCALE: 3/4"=1'-0"

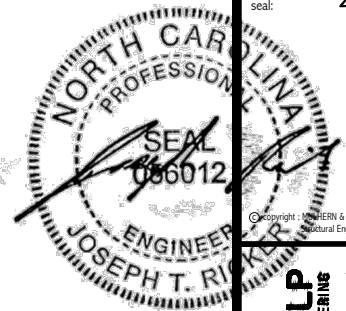


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- REQUIRED ONLY @ OPENINGS WHERE SPECIFIED ON PLAN

7 TYPICAL EXT. WALL & INT.
SHEARWALL OPENING ELEVATION
SCALE: NTS



8 SHEAR TRANSFER DETAIL @
EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



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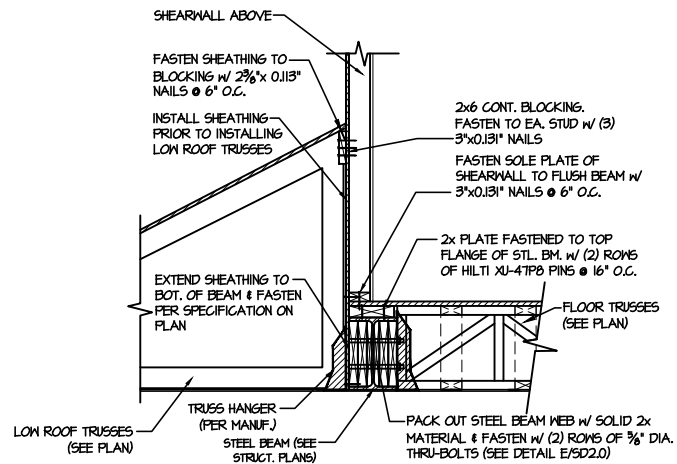
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drawn by: KJN
issue date: 04-17-25

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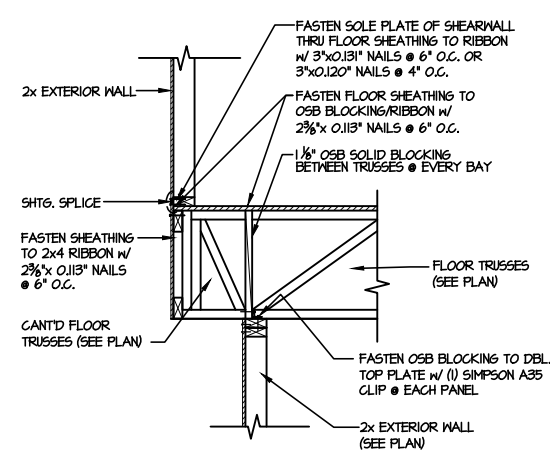
DRB HOMES

FRAMING DETAILS
HONEYCUTT HILLS
LOT 20 - TOWNSEND I
RALEIGH, NC

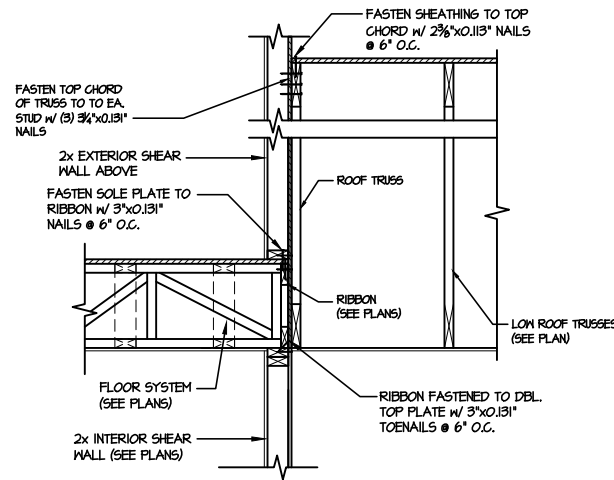
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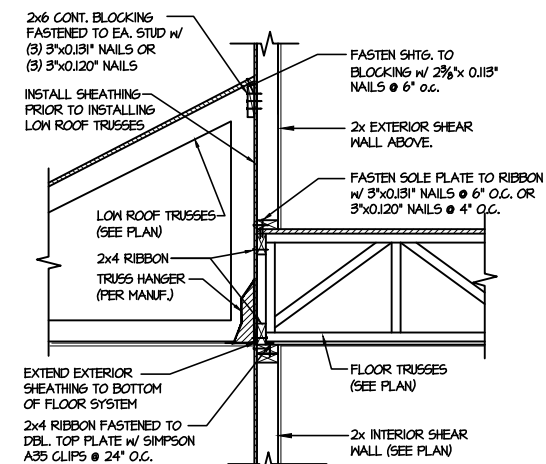
**1 SHEAR TRANSFER DETAIL @
EXTERIOR SHEARWALL ABOVE**
SCALE: 3/4"=1'-0"



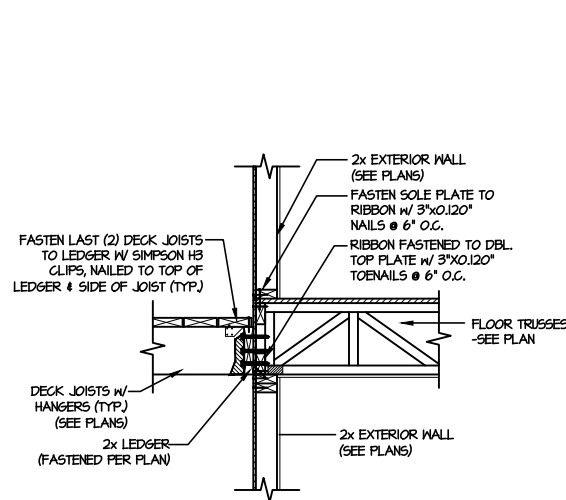
**2 SHEAR TRANSFER DETAIL BETWEEN
FLOORS @ CANT'D EXT. WALL**



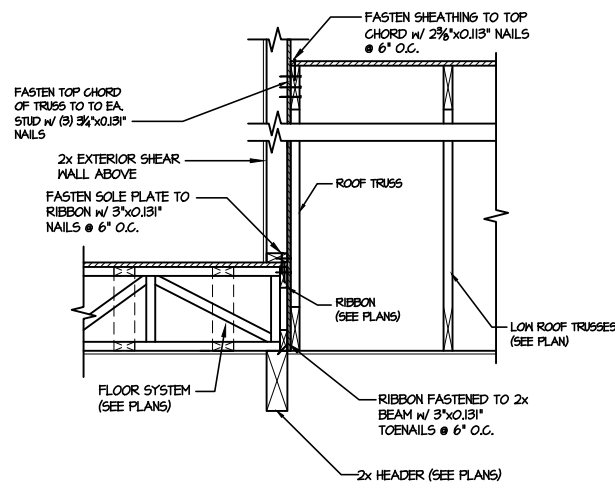
**3 TYPICAL SHEAR TRANSFER DETAIL
BETWEEN FLOORS @ INTERIOR WALL**
SCALE: 3/4"=1'-0"



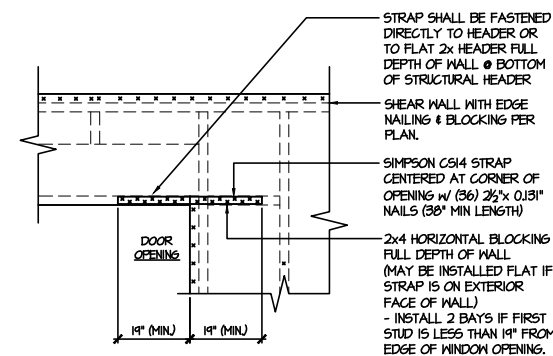
**4 TYPICAL SHEAR TRANSFER DETAIL
BETWEEN FLOORS @ INTERIOR WALL**
SCALE: 3/4"=1'-0" PERPENDICULAR FRAMING



5 DECK LEDGER CONNECTION DETAIL
SCALE: 3/4"=1'-0"

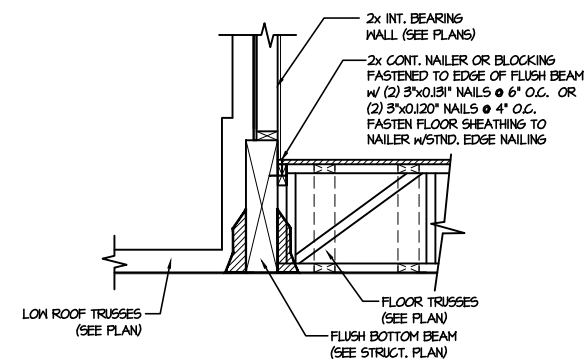


**6 TYPICAL SHEAR TRANSFER DETAIL
BETWEEN FLOORS @ INTERIOR WALL**
SCALE: 3/4"=1'-0"

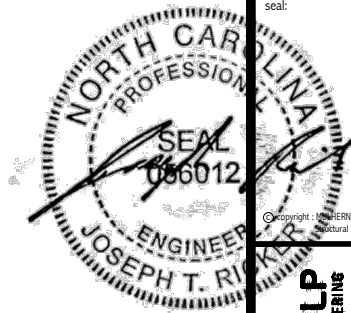


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- REQUIRED ONLY @ OPENINGS WHERE SPECIFIED ON PLAN

**7 TYPICAL EXT. WALL & INT.
SHEARWALL OPENING ELEVATION**
SCALE: NTS



**8 SHEAR TRANSFER DETAIL @
EXTERIOR SHEARWALL ABOVE**
SCALE: 3/4"=1'-0"



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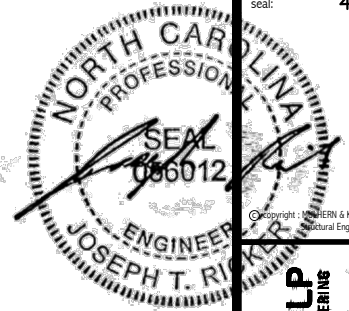
project mgr: JTR
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DRB
HOMES

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HONEYCUTT HILLS
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sheet:
SD2.1C



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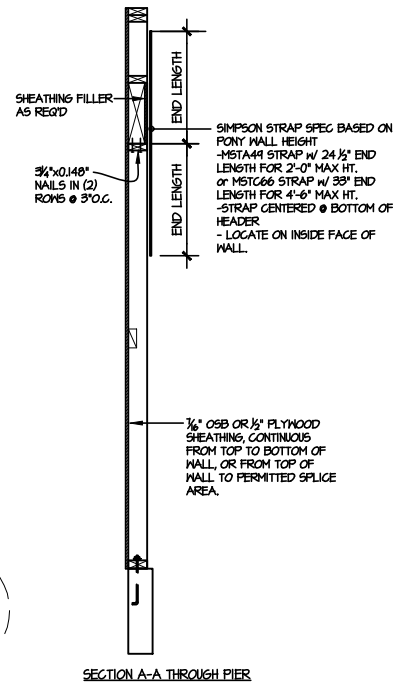
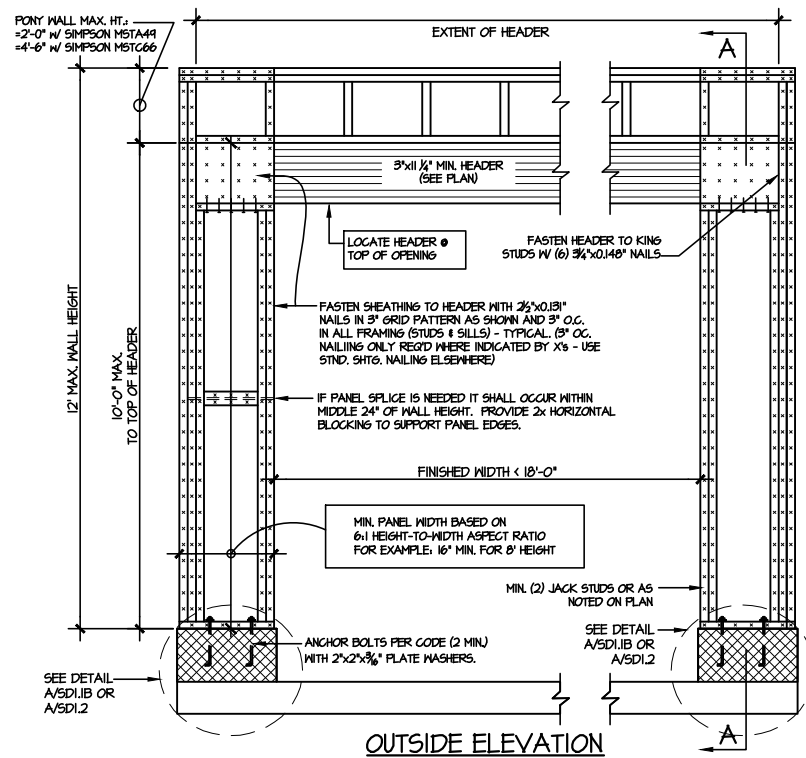


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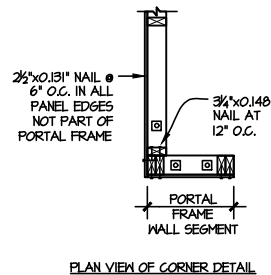
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HOMES

FRAMING DETAILS
HONEYCUTT HILLS
LOT 20 - TOWNSEND I
RALEIGH, NC

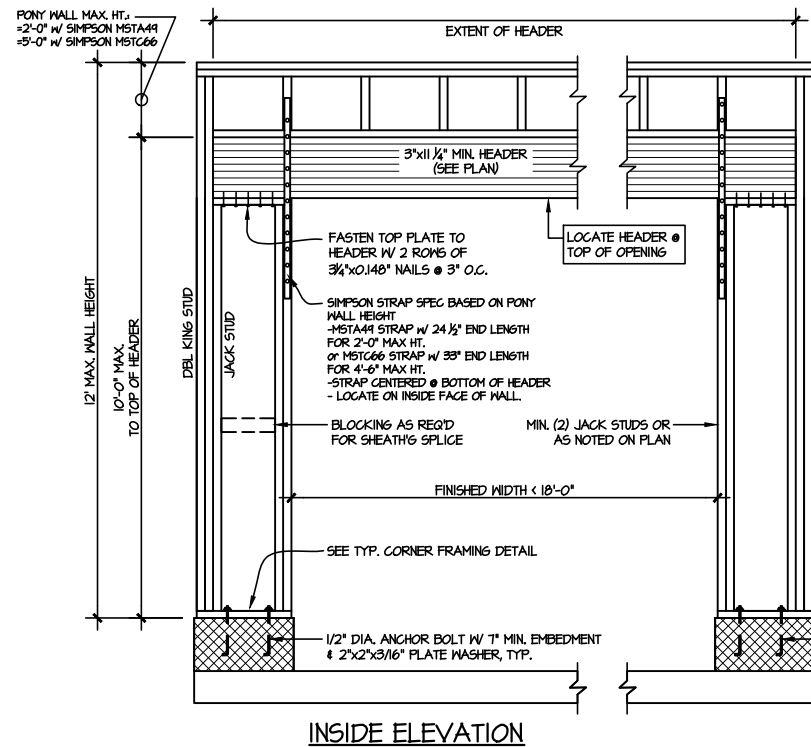
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NOTE: ALL SHEATHABLE AREAS OF EXTERIOR WALL SHALL BE FULLY SHEATHED WITH 1/2" PLYWOOD OR 1/4" OSB

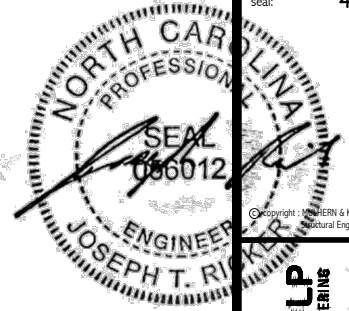
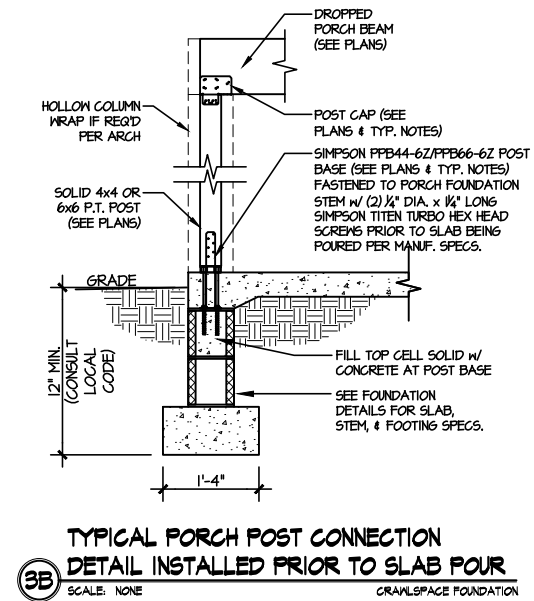
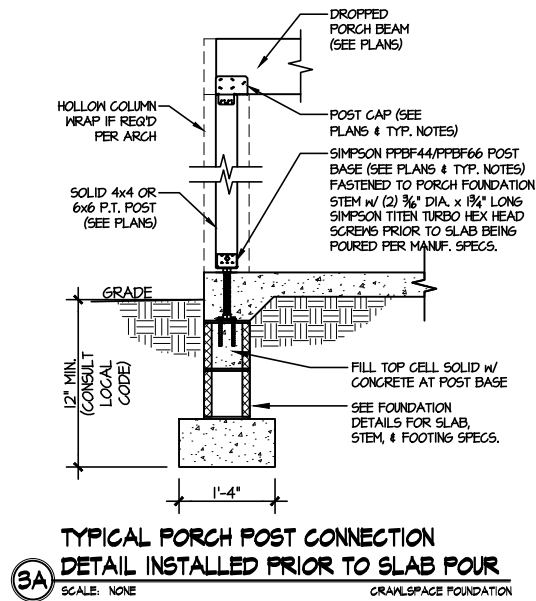
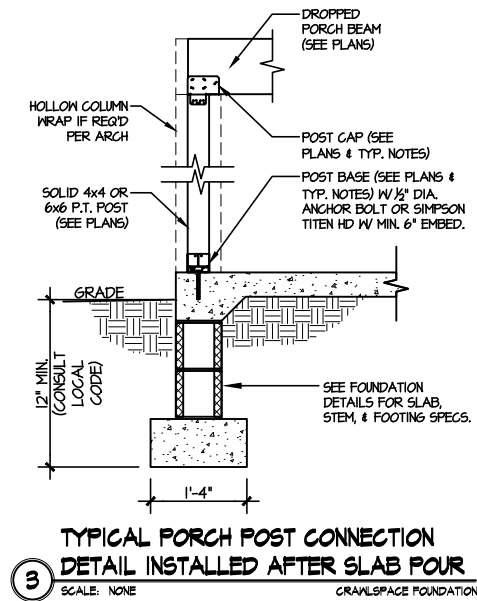
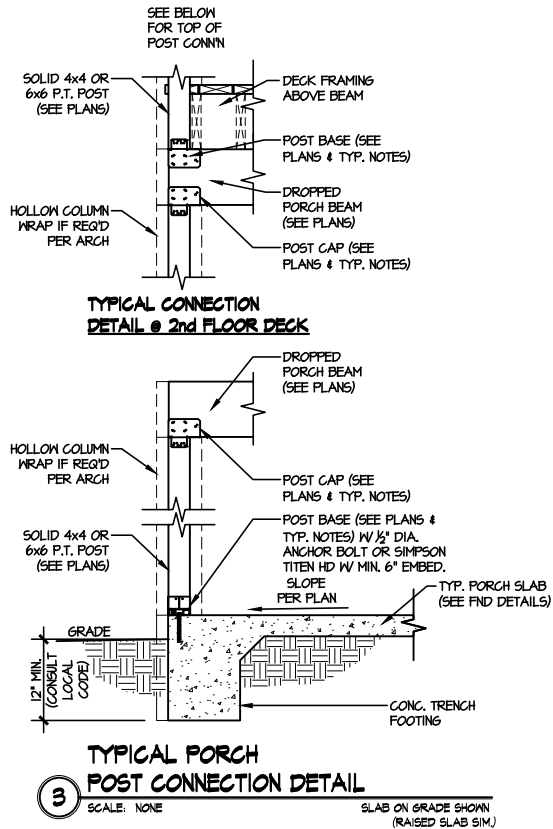


ALTERNATIVE TO 1/2" DIA. ANCHOR BOLT:
1/2" DIA. THREADED ROD EPOXY SET w/ 4 1/2" EMBED. (MIN) UTILIZING HILTI HY200 EPOXY ANCHORING SYSTEM (OR EQUAL)



TWO SIDED GARAGE PORTAL FRAME BRACING
ELEVATION ON CMU STEM

SCALE: N.T.S. SCALE: N.T.S.



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issue date: 04-17-25

REVISIONS:

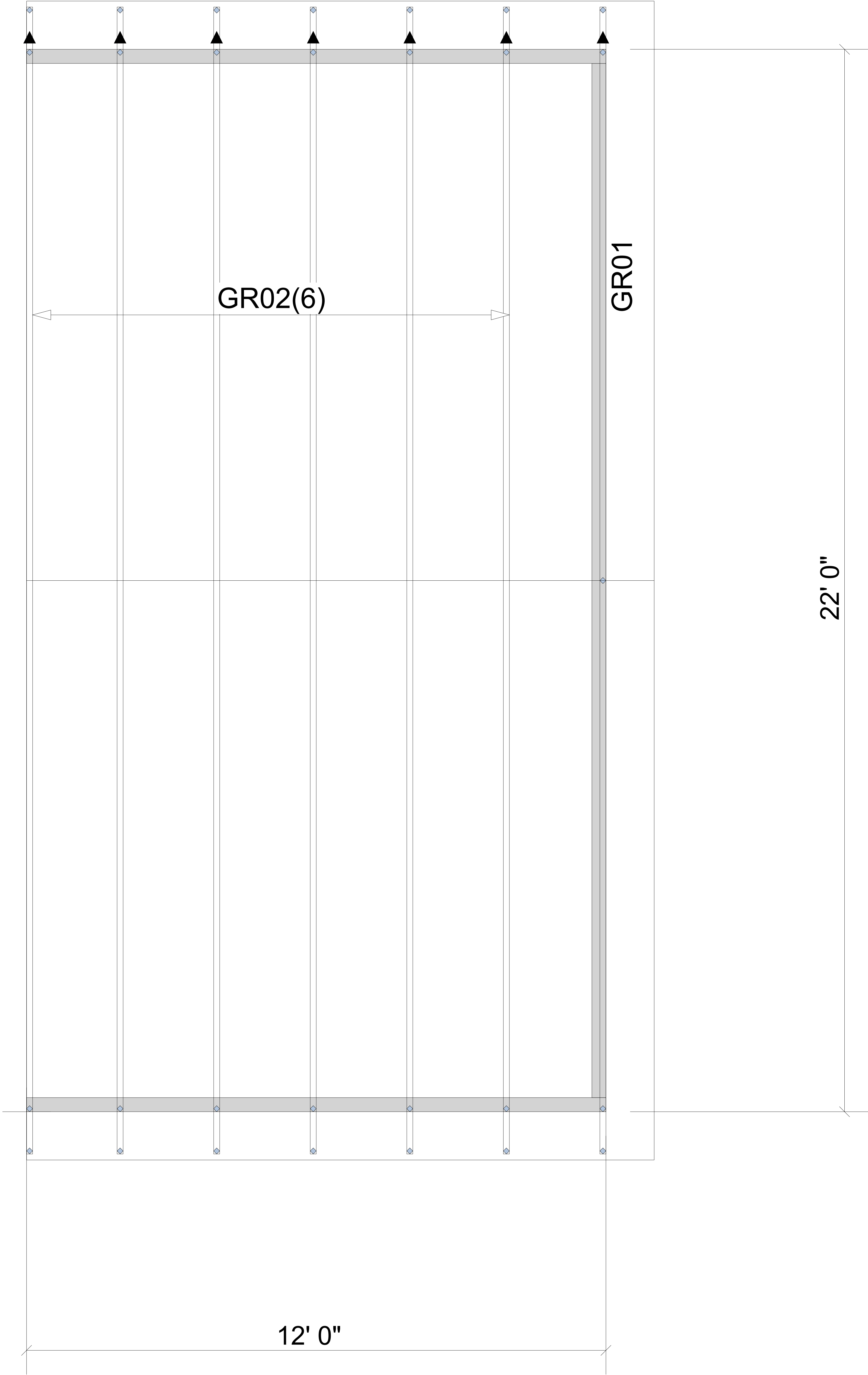
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FRAMING DETAILS
HONEYCUTT HILLS
LOT 20 - TOWNSEND I
RALEIGH, NC

sheet:
SD3.0

WARNING! Long span trusses, 60' or greater in length, require extreme care and experience for proper and safe handling and installation. For general handling and installation guidance, see the "Guide to Good Practice for Handling, Installing, Restraining & Bracing of Metal Plate Connected Wood Trusses ("BCS")", JOINTLY PRODUCED BY SBCA and TPI. For project specific guidance, consult with a registered design professional. ATLANTIC assumes no responsibility for the handling, installation or bracing of trusses.



▲ = LEFT END OF TRUSS

FOR PERMIT

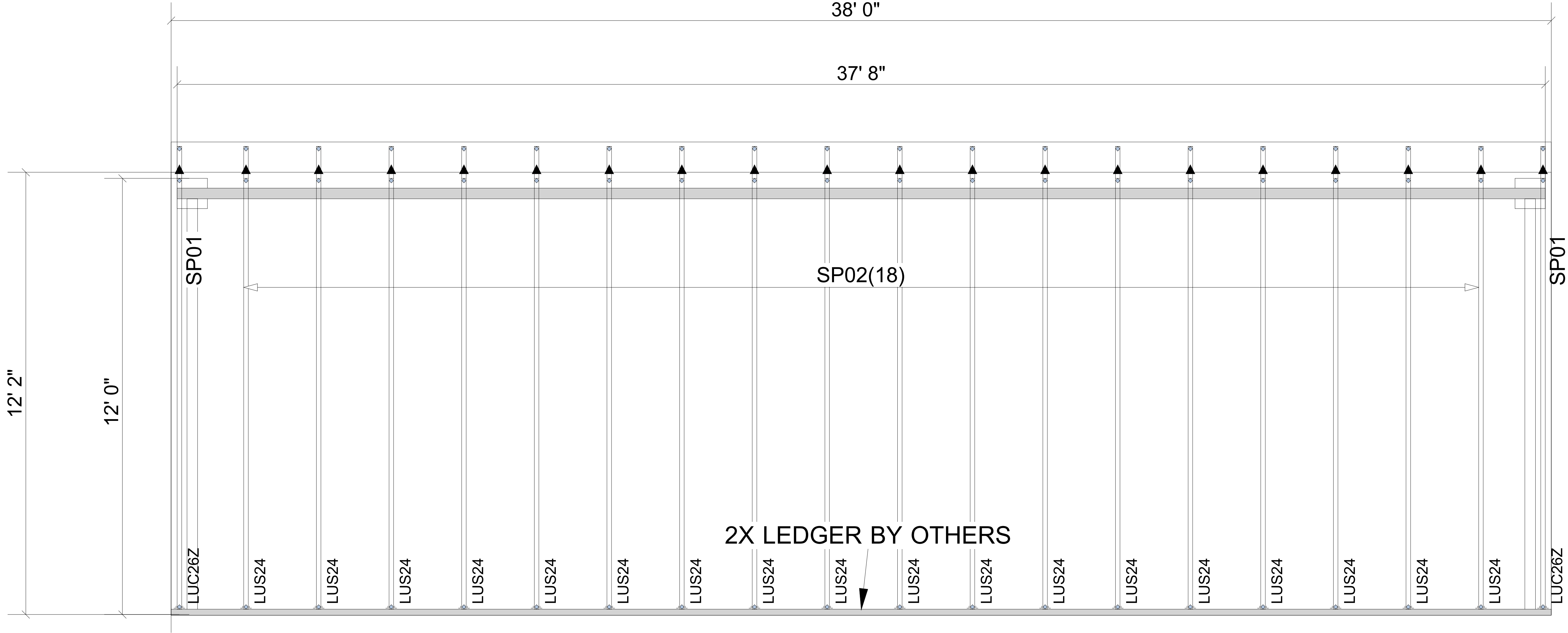


Moncks Corner/Easley, SC (800) 475-3999
Sparta, NC (336) 372-2226

REVISIONS:

Client: DRB GROUP-RALEIGH	
Job: LOT 0.0020 HONEYCUTT HILL	
Plan Information: TOWNSEND-1	
NOT TO SCALE	Date: 04/09/25
Drawn By: CGT	Job #: 25-3337-R01 Sales Rep: KYLE GIBSON Phone:

ROOF



Truss Connector Total List		
Manuf	Product	Qty
Simpson	LUC26Z	2
Simpson	LUS24	18



Moncks Corner/Easley, SC (800) 475-3999
Sparta, NC (336) 372-2226

REVISIONS:

▲ = LEFT END OF TRUSS

FOR PERMIT

Client: DRB GROUP-RALEIGH

Job: LOT 0.0020 HONEYCUTT HILL

Plan Information: TOWNSEND-1

NOT TO SCALE

Drawn By: CGT

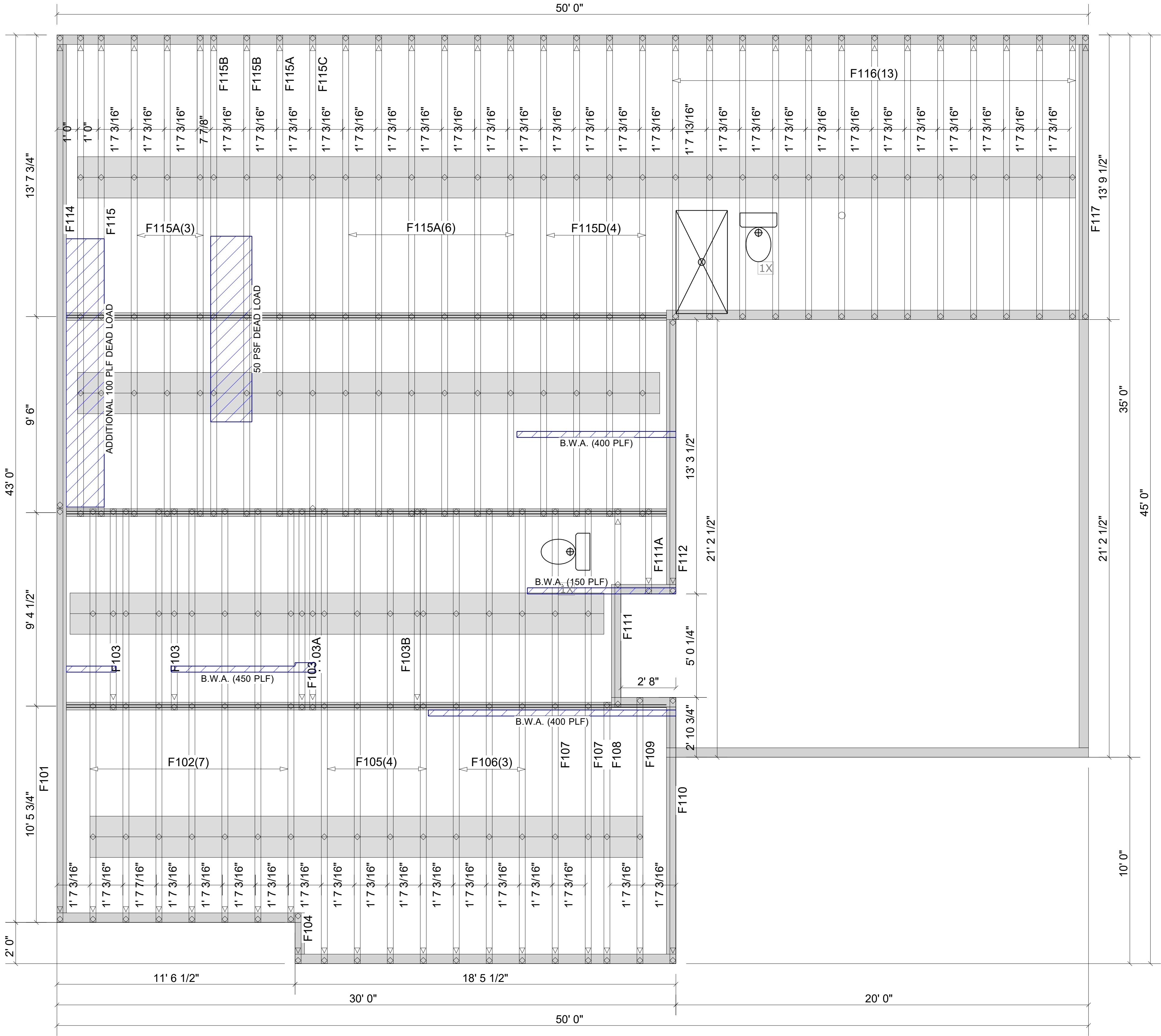
Date: 04/09/25

Job #: 25-3337-R01

Sales Rep: KYLE GIBSON


Phone:

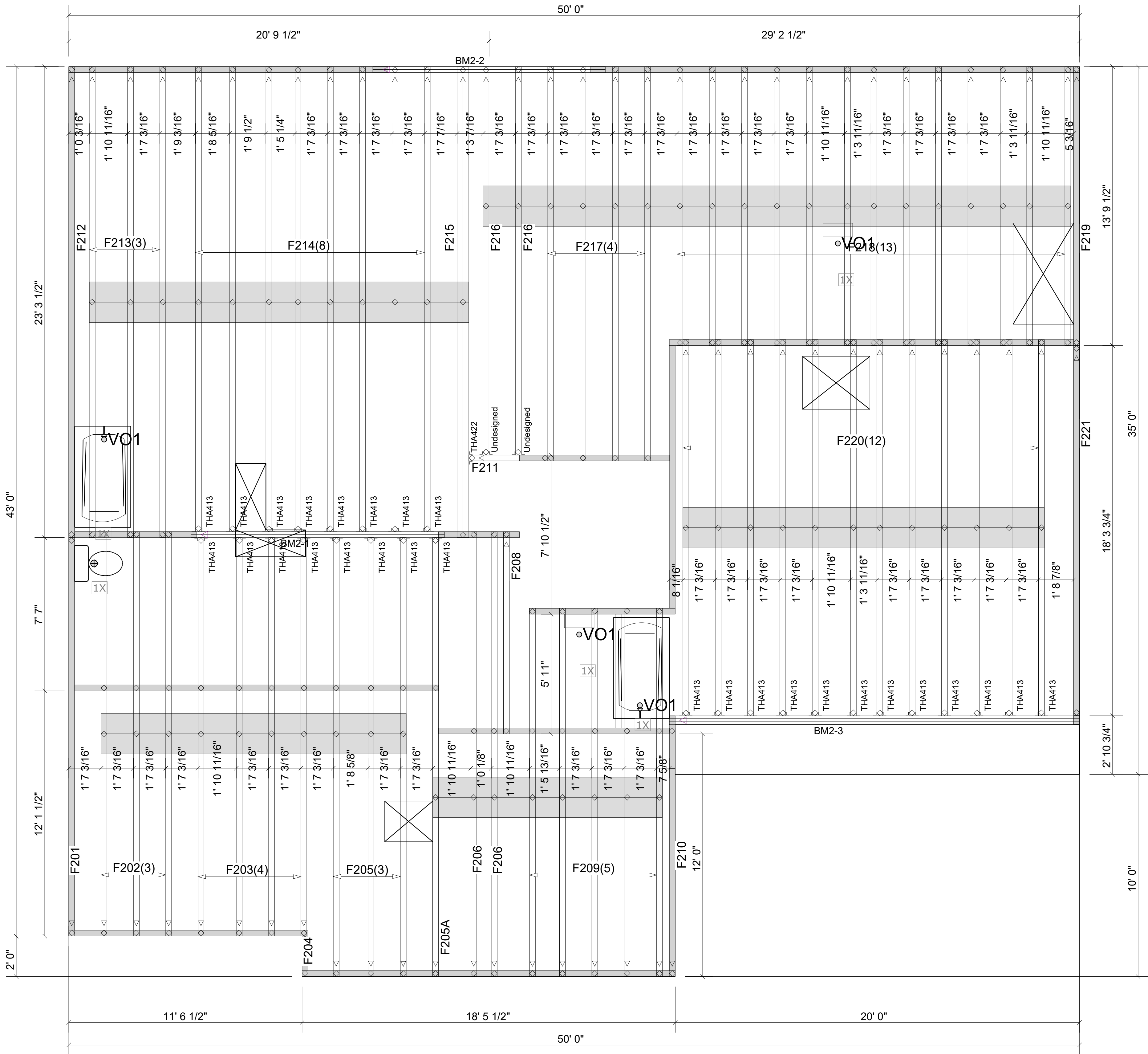
ROOF



▲ = LEFT END OF TRUSS

FOR PERMIT

 Moncks Corner/Easley, SC (800) 475-3999 Sparta, NC (336) 372-2226	REVISIONS:			NOT TO SCALE			Date: 04/09/25
	Client: DRB GROUP-RALEIGH			Job: LOT 0.0020 HONEYCUTT HILL			Job #: 25-3337-F01
	Plan Information:			TOWNSEND-1			Sales Rep: KYLE GIBSON
	FLOOR			FLOOR			Phone: 864-304-3282



Products				
PlotID	Length	Product	Plies	Net Qty
BM2-1	14' 0"	1-3/4" x 14" VERSA-LAM® 2.0 3100 SP	2	2
BM2-2	12' 0"	1-3/4" x 14" VERSA-LAM® 2.0 3100 SP	2	2
BM2-3	22' 0"	1-3/4" x 18" VERSA-LAM® 2.0 3100 SP	3	3

Connector Summary			
Qty	Manuf	Product	Flange

Truss Connector Total List		
Manuf	Product	Qty
Simpson	THA413	28
	THA422	1

▲ = LEFT END OF TRUSS



Moncks Corner/Easley, SC (800) 475-3999
Sparta, NC (336) 372-2226

REVISIONS:

FOR PERMIT

Cilient:	DRB GROUP-RALEIGH
Job:	LOT 0.0020 HONEYCUTT HILL
Plan Information:	
TOWNSEND-1	
NOT TO SCALE	Date: 04/09/25
Drawn By: CGT	Job #: Sales Rep: KYLE GIBSON
	25-3337-F02 Phone: 864-304-3282

FLOOR

