

G:\Shared drives\PROJECTS\2023\2037 Hernandez (Aspen #1)\Hernandez Residence #22055-01_FLIP.rvt 20/03/2025 11:24:01 pm



A New Custom Barndominium for:

Hernandez Residence

PROJECT ADDRESS:
520 Tree Bark Lane
Cameron, N.C. 28326

LICENSE AGREEMENT

House Plan License Agreement:
This license grants the purchaser a non-exclusive, non-transferable license to construct one home from the plan purchased at the address shown on the plans ONLY. This license to construct a home from these plans is granted to the original purchaser only and may not be transferred, assigned, or sub-licensed to any other party. Any reproduction in whole or in part is prohibited.

BARDO CO BUILDING STANDARDS

Structure
X Post-frame construction with 6x6 wood posts, metal trusses 8'-12" on center
_ Standard all wood, stick frame with 2x6 exterior walls
_ Standard all wood, stick frame with 2x6 exterior walls over basement

Roof pitch
X Gable style, 6/12 standard
_ Gable style, _/12 - (non-standard)
_ Single slope / butterfly roof (non-standard)

Veneer
X Metal R-panel (standard)
_ Masonry wainscot - (non-standard)
_ Specialty metal panel (non-standard)
_ (other non-stn-standard)

Design Specifications – Single Story
X Standard: 10'-6" Eave height, vaulted ceiling living/dining/kitchen with exposed steel trusses, 9'-0" ceilings all other spaces, 6'-8" doors, 5'-0" tall windows
_ Optional: 12'-0" Eave height, vaulted ceiling living/dining/kitchen with exposed steel trusses, 10'-0" ceilings all other spaces, 8'-0" doors, 6'-0" tall windows
_ Client approved upgrades:

Design Specifications – Two Story
_ Standard: 20'-6" High eave height, 10'-6" Low eave height, vaulted ceiling living/dining/kitchen with exposed steel trusses, 9'-0" ceilings all downstairs spaces, 8'-0" ceiling all upstairs spaces, 6'-8" doors, 5'-0" tall windows
_ Optional: 22'-0" High eave height, 12'-0" Eave height, vaulted ceiling living/dining/kitchen with exposed steel trusses, 10'-0" ceilings all downstairs spaces w/ 8'-0" doors, 6'-0" tall windows, 8'-0" ceilings all upstairs spaces w/ 6'-8" doors, 5'-0" tall windows.
_ Client approved upgrades:

Kitchen Standards
X 30" standard range, with over the range microwave, trimmed refrigerator cabinet, 33" sink with ½ HP disposer, dishwasher, 4' x 9" (max.) island
_ Client approved upgrades:

Master Bathroom Standards
X 4' x 6' (max) curved tile shower with one fixture inside glass walls w/glass door, 32" x 60" tub, two vanities, toilet, head-knocker, linen space
_ Client approved upgrades:

Master WIC Standards
X Single and Double Rod & Shelf systems w/one built-in shoe rack as allowed by plan
_ Client approved upgrades:

Secondary Bathroom Standards
X 30" x 60" tub / shower combo, single vanity, toilet, head-knocker
_ Client approved upgrades:

Secondary Closet Standards
X Single and Double Rod & Shelf systems as allowed by plan
_ Client approved upgrades:

Laundry/Bed Room Standards
X Hook-up for washer and dryer, coat closet
_ Client approved upgrades:

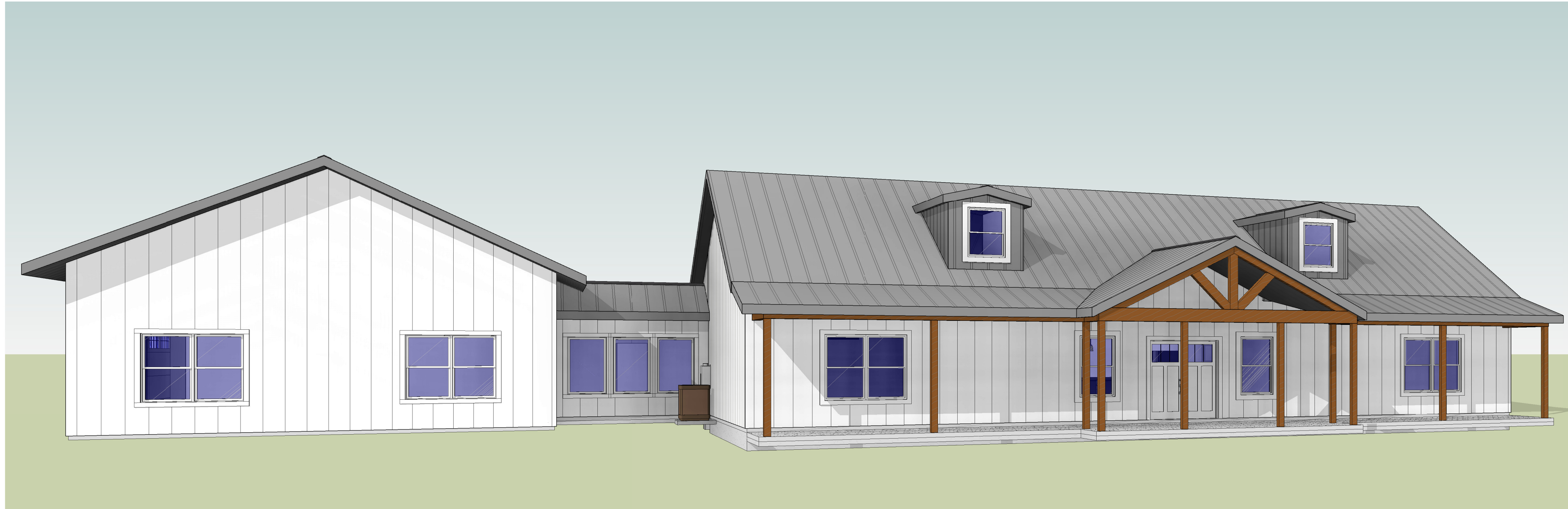
Pantry Standards
X Five (5) fixed, 16"D shelves
_ Client approved upgrades:

Garage/Shop Standards
_ Post-frame construction with 6x6 wood posts, metal trusses 8'-12" on center, gable style roof with 6/12 pitch, 10'-6" Eave height exposed steel trusses. Door size options: 8x8, 9x8, 16x8. Walls and ceilings are unfinished, non-insulated.
X Client approved upgrades:_____Use garage and upper level garage from Maple plan #2

Utility Service Standards
X Gas-fired tankless water heater mounted on exterior of house, inside garage or inside provided mechanical room. If owner requires an electric tankless water heater, by default that unit will be installed in the attic space. (Standard)
_ No charge option – 50 gallon tank gas or electric water heater installed similarly to above
X 200A service w/ electrical panel in laundry room or garage space
X Split-system HVAC with outdoor condenser and indoor air handling unit installed in attic space (most common) or in provided mechanical room if plan allows (Standard)
X Two (2) hose bibbs
_ Client approved upgrades:

Electrical Standards
Front Entry
X Two (2) wall mounted light fixtures flanking front door, One (1) ceiling mounted light fixture, one (1) water-proof GFIC 110V outlet
_ Client approved upgrades:
Rear Patio
X One (1) wall mounted light fixture flanking back door, One (1) pre-wired ceiling fan box with ceiling mounted light fixture, one (1) water-proof GFIC 110V outlet
_ Client approved upgrades:
Living Room
X One (1) ceiling fan centered in space with 4 to 6 recessed LED can lights, 110V outlets dispersed per code, one (1) CAT 6 TV outlet
_ Client approved upgrades:
Dining Room
X One (1) pendant light fixture centered in space, 110V outlets dispersed per code
_ Client approved upgrades:
Kitchen Room
X Two (2) pendant light fixture centered over island, two (2)110V outlets on opposing ends of island, 220V for range, 110V for microwave, 110V for garbage disposer, 110V outlets dispersed per code over cabinets, recessed LED can lights as plan allows, 110V for refrigerator
_ Client approved upgrades:
Laundry Room
X One (1) 220V outlet for dryer, One (1) 110V outlet for washer, additional 110V outlets as per code, recessed LED can lighting as plan allows
_ Client approved upgrades:

Master Bedroom
X One (1) ceiling fan centered in space with 4 to 6 recessed LED can lights, 110V outlets dispersed per code, one (1) CAT 6 TV outlet
_ Client approved upgrades:
Master Bathroom
X One (1) GFIC 110V per vanity, one (1) wall mounted light fixture per vanity (over mirror), vent or vent light, waterproof LED can light in shower and over tub, vent/light in toilet area
_ Client approved upgrades:
Secondary Bedrooms/Office
X One (1) pre-wired ceiling fan box centered in space with ceiling mounted light fixture, 110V outlets dispersed per code, one (1) CAT 6 TV outlet
_ Client approved upgrades:
Secondary Bathrooms
X One (1) GFIC 110V per vanity, one (1) wall mounted light fixture per vanity (over mirror), waterproof LED can light over tub, vent/light in toilet area
_ Client approved upgrades:
Garage/Shop Spaces
X GFIC 110V dispersed as per code, three (3) 1x4 LED fixtures per garage bay, One (1) garage door opener per door w/ keypad metal R-panel (standard)
_ Client approved upgrades:



This illustration is an artist's representation of Stock Plan and may be slightly different than the actual Stock Plan construction document set and builder's specifications, which will always supercede these documents. Author reserves the right to alter, update and improve Stock Plans at their discretion.

WINDOW SCHEDULE								
NUMB	TYPE	DESCRIPTION	WINDOW SIZE		HEAD HEIGHT	COMMENTS	Count	
			WIDTH	HEIGHT				
W1	3050 SH	SINGLE HUNG	3' - 0"	5' - 0"	7' - 0"		4	
W2	2-3050 SH	TWIN SINGLE HUNG	6' - 0"	5' - 0"	7' - 0"		2	
W3	3030 SH	SINGLE HUNG	3' - 0"	3' - 0"	7' - 0"		2	
W4	5020 FX	FIXED	5' - 0"	2' - 0"	7' - 0"		1	
W5	3040 SH	SINGLE HUNG	3' - 0"	4' - 0"	17' - 4"		2	
W6	3050 FX	Fixed Window	3' - 0"	5' - 0"	7' - 0"		3	
W7	2-3050 SH	Twin - Single Hung Window	6' - 0"	5' - 0"	7' - 0"		2	

DOOR SCHEDULE				
NUMB	TYPE	WIDTH	HEIGHT	Comments
				Count
Exterior				
D1	2-2668	5' - 0"	6' - 8"	PAIR SWING
D2	2-3068	6' - 0"	6' - 8"	PAIR SWING
D3	16-0/8-0 OH	16' - 0"	8' - 0"	OVERHEAD GARAGE DOOR
D4	3068	3' - 0"	6' - 8"	SWING
D5	9-0/8-0 OH	9' - 0"	8' - 0"	OVERHEAD GARAGE DOOR
Interior				
D7	3068	3' - 0"	6' - 8"	SWING
D8	2668	2' - 6"	6' - 8"	SWING
D9	2068	2' - 0"	6' - 8"	SWING
D10	2-2068	4' - 0"	6' - 8"	PAIR SWING
D11	3068 POCKET	3' - 0"	6' - 8"	POCKET DOOR
D12	3068 BD	3' - 0"	6' - 8"	BARN DOOR
D13	2868	2' - 8"	6' - 8"	SWING
D14	31080 ARCH	3' - 10"	8' - 0"	SHEET ROCK OPENING ARCH

AREA CALCULATIONS		
1ST FLOOR LIVING		2,639 SF
BREEZEWAY		118 SF
COV'D PATIO		595 SF
COV'D PORCH		595 SF
GARAGE		1,196 SF
TOTAL AREA UNDER ROOF		5,142 SF

AREA CALCULATIONS VERIFIED BY: DD DATE: 10.28.24

ROOFING TAKEOFF	
DESCRIPTION	AREA
Roofing - Metal Roofing	6,370 SF

METAL SIDING TAKEOFF	
DESCRIPTION	AREA
EXTERIOR METAL SIDING	4,065 SF

ISSUED FOR:

PERMITTING AND CONSTRUCTION

DATE: 03-20-25

GENERAL NOTES

- BUILDER IS RESPONSIBLE TO ENSURE THAT ALL SUBCONTRACTORS RECEIVE A FULL SET OF CONSTRUCTION DRAWINGS, PRINTED FULL SIZE AND TO SCALE, TO REVIEW, COORDINATE AND FULLY COMPREHEND THE ENTIRE PROJECT SCOPE WELL IN ADVANCE OF CONSTRUCTION.
- BUILDER SHALL REVIEW ALL DOCUMENTS, VERIFY DIMENSIONS AND COORDINATE FULLY WITH FIELD CONDITIONS; CONFIRMING THAT WORK IS BUILDABLE AS SHOWN HEREIN. COMMENCEMENT OF CONSTRUCTION WITHOUT DOING SO IMPARTS FULL RESPONSIBILITY TO BUILDER. REPORT ANY CONFLICTS OR OMISSIONS TO DESIGNER FOR CLARIFICATION PRIOR TO PERFORMING ANY WORK IN QUESTION.
- DO NOT SCALE DRAWINGS UNDER ANY CIRCUMSTANCES. IN CASE OF CONFLICT, DISCREPANCY OR OMISSION OF DIMENSIONAL INFORMATION, CONTACT DESIGNER FOR CLARIFICATION.
- WALLS ARE DIMENSIONED FROM EXTERIOR FACE OF STUD TO CENTER OF STUD UNLESS NOTED OTHERWISE.
- THESE CONSTRUCTION DRAWINGS AND ANY ASSOCIATED SPECIFICATIONS, CUT SHEETS, EQUIPMENT SPECIFICATIONS, ETC. ARE COMPLEMENTARY. WHAT IS SHOWN OR REFERRED TO ON ANY SHALL BE PROVIDED AS THOUGH SHOWN ON ALL. BUILDER AND SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL CONTRACT DOCUMENTS FULLY. ANY DISCREPANCY REASONABLY DISCOVERABLE WITH DUE DILIGENCE SHALL BE NOTED AS A QUALIFICATION TO THE BUILDER'S BID SUBMISSION. ANY REASONABLY DISCOVERABLE DISCREPANCY NOT INDICATED AS A QUALIFICATION SHALL BE CONSTRUED IN FAVOR OF THE OWNER AT NO ADDITIONAL COST.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED AND CONDITIONED PER MANUFACTURER'S INSTRUCTIONS. IN CASE OF DIFFERENCES BETWEEN THE MANUFACTURER'S INSTRUCTIONS AND THE CONTRACT DOCUMENTS, THE BUILDER SHALL NOTIFY DESIGNER BEFORE PROCEEDING.
- BUILDER AND SUBCONTRACTORS SHALL MAINTAIN A CLEAN AND ORDERLY CONSTRUCTION SITE AT ALL TIMES. ALL REFUSE, DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM CONSTRUCTION OPERATIONS AND WORKERS THEREIN SHALL DISPOSE OF DEBRIS IN ON-SITE TRASH CONTAINERS PROVIDED BY BUILDER, OR REMOVED FROM SITE DAILY. BUILDER SHALL PROVIDE ON-SITE TOILET FACILITIES AND MAINTAIN THROUGHOUT CONSTRUCTION.
- REMOVE TOOLS AND EQUIPMENT FROM CONSTRUCTION SITE UPON COMPLETION OF WORK. EACH SUBCONTRACTOR IS RESPONSIBLE TO LEAVE SITE AND BUILDING AREA IN A CONDITION ACCEPTABLE FOR THE NEXT TRADE TO COMMENCE WORK.
- SUBCONTRACTORS ARE RESPONSIBLE TO REVIEW JOB SITE CONDITIONS PRIOR TO COMMENCEMENT OF THEIR SCOPE OF WORK AND ALERT BUILDER TO ANY CONDITIONS THAT WILL HINDER OR INHIBIT THE FULL AND ACCEPTABLE DELIVERY OF THEIR WORK. FAILURE TO REPORT SUCH UNACCEPTABLE CONDITIONS PUTS THE RESPONSIBILITY OF THE SUBCONTRACTOR TO CORRECT THE CONDITIONS TO THE SATISFACTION OF THE OWNER.
- COMMENCEMENT OF WORK SHALL BE DEEMED AS THE BUILDER'S ACKNOWLEDGEMENT OF ALL WORK TO COMPLETE THE PROJECT IN CONFORMANCE WITH THE CONTRACT DOCUMENTS AND SCHEDULE. IT IS THE RESPONSIBILITY OF THE BUILDER TO COORDINATE ORDERS, SUBMITTALS AND IMPLEMENTATION OF LONG LEAD ITEMS. SUBSTITUTIONS SHALL NOT BE CONSIDERED RESULTING FROM BUILDER'S FAILURE TO MAKE LONG LEAD TIME ORDERS IN A TIMELY FASHION.
- SMOKING ON THE JOB SITE IS PROHIBITED EXCEPT IN DESIGNATED AREA AS DIRECTED BY OWNER AND/OR BUILDER.
- IF A CONTRADICTION OCCURS WITHIN THE CONTRACT DOCUMENTS, THE FOLLOWING ORDER OF THE DOCUMENTS WILL BE USED; ITEM 2 HAS PRECEDENCE OVER ITEM 1:
 - SMALL SCALE PLANS
 - ENLARGED PLANS
 - ELEVATIONS
 - DETAILS
 - SPECIFICATIONS

Revisions

A New Custom Home for
Hernandez Residence
PROJECT ADDRESS:
520 Tree Bark Lane
Cameron, N.C. 28326

The Aspen Plan #22055-01

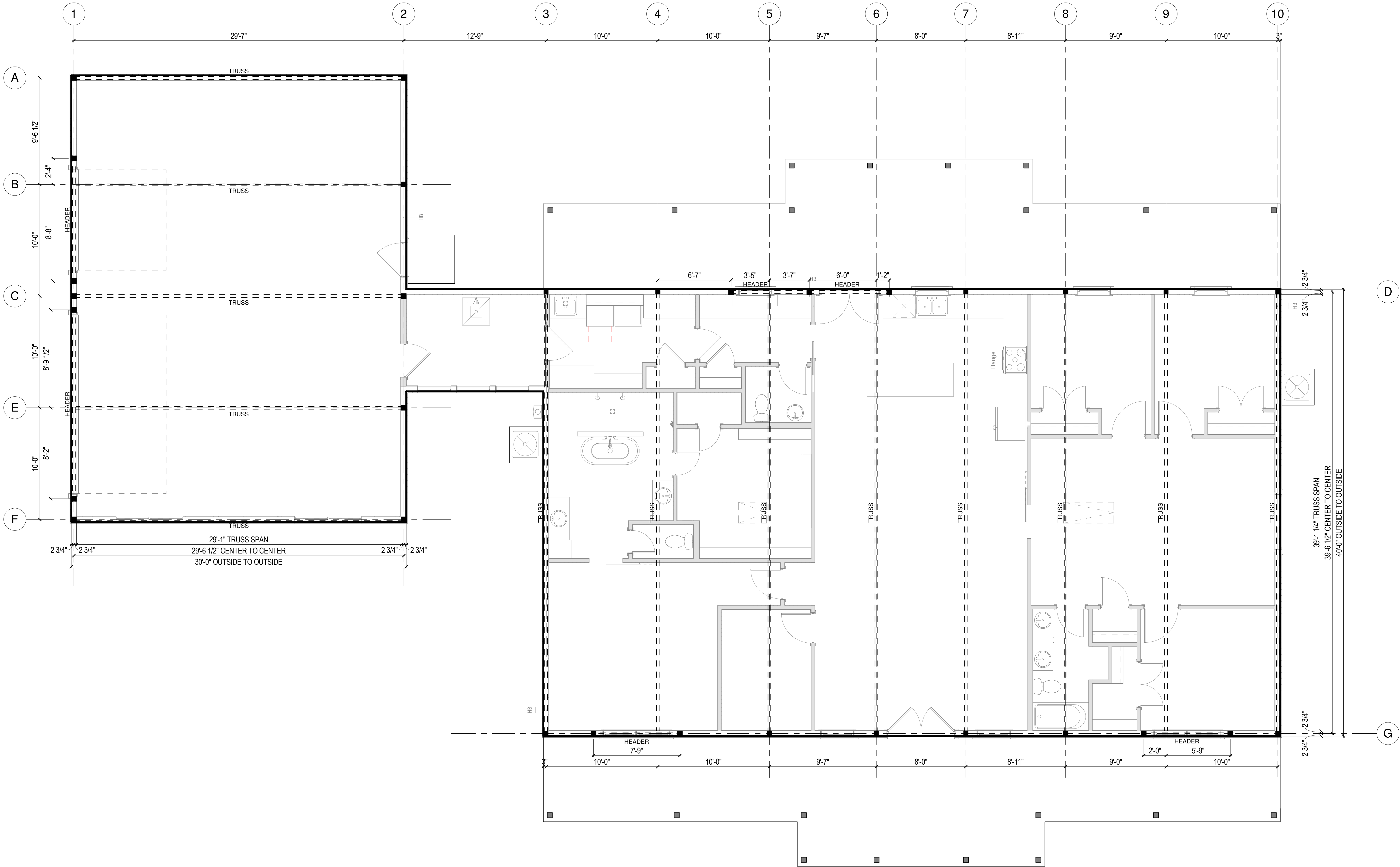
The license grants the purchaser a non-exclusive, non-transferable license to construct one home from the plan purchased at the Address shown. Any reproduction in whole or in part is prohibited.

COVER SHEET

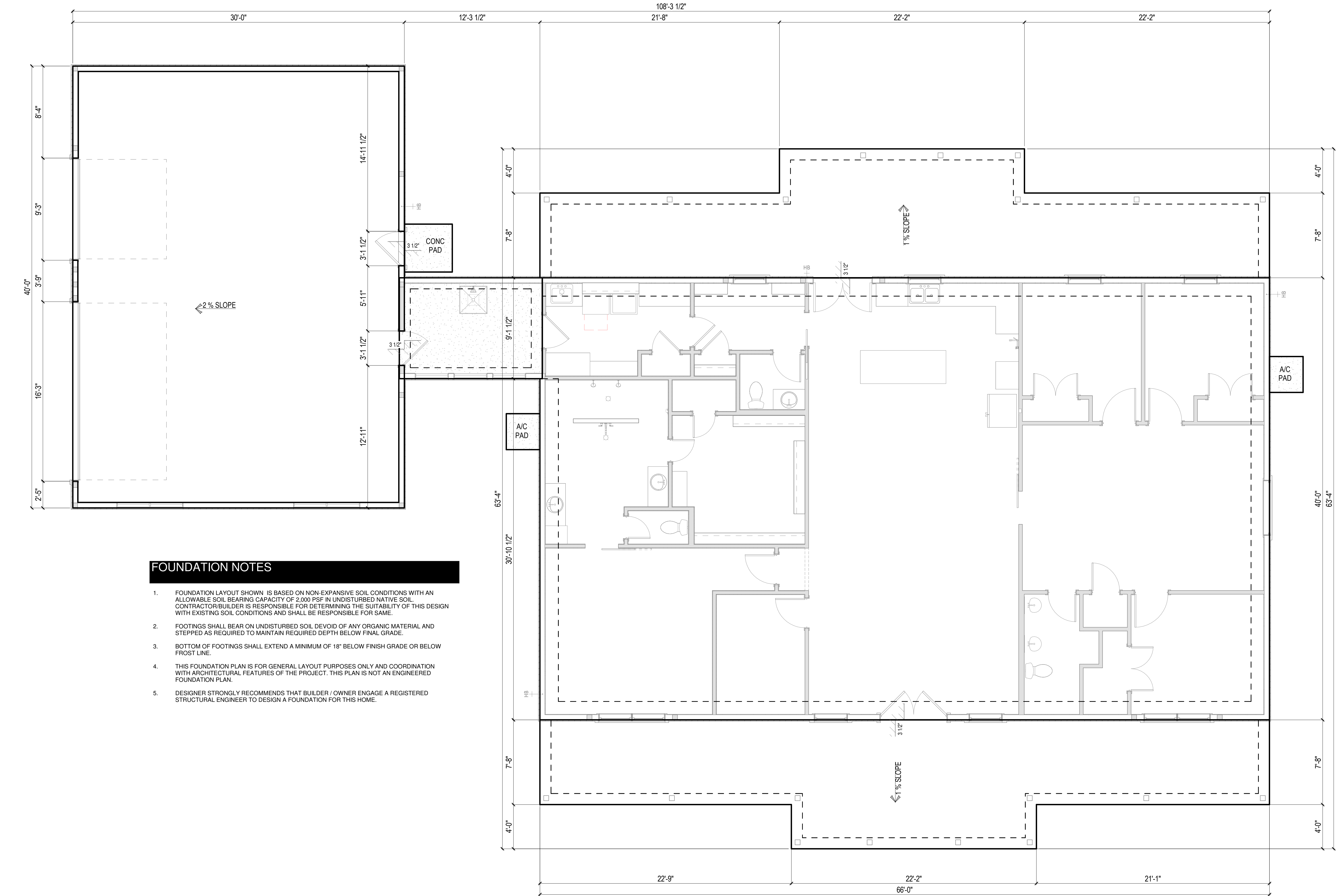


SHEET NO.

A000



20/03/2025 11:24:01 pm G:\Shared drives\PROJECTS\2023\23037 Hernandez Residence (Aspen #1)\Hernandez Residence #22055-01_FLIP.rvt



FOUNDATION NOTES

- FOUNDATION LAYOUT SHOWN IS BASED ON NON-EXPANSIVE SOIL CONDITIONS WITH AN ALLOWABLE SOIL BEARING CAPACITY OF 2,000 PSF IN UNDISTURBED NATIVE SOIL. CONTRACTOR/BUILDER IS RESPONSIBLE FOR DETERMINING THE SUITABILITY OF THIS DESIGN WITH EXISTING SOIL CONDITIONS AND SHALL BE RESPONSIBLE FOR SAME.
- FOOTINGS SHALL BEAR ON UNDISTURBED SOIL DEVOID OF ANY ORGANIC MATERIAL AND STEPPED AS REQUIRED TO MAINTAIN REQUIRED DEPTH BELOW FINAL GRADE.
- BOTTOM OF FOOTINGS SHALL EXTEND A MINIMUM OF 18" BELOW FINISH GRADE OR BELOW FROST LINE.
- THIS FOUNDATION PLAN IS FOR GENERAL LAYOUT PURPOSES ONLY AND COORDINATION WITH ARCHITECTURAL FEATURES OF THE PROJECT. THIS PLAN IS NOT AN ENGINEERED FOUNDATION PLAN.
- DESIGNER STRONGLY RECOMMENDS THAT BUILDER / OWNER ENGAGE A REGISTERED STRUCTURAL ENGINEER TO DESIGN A FOUNDATION FOR THIS HOME.

01 FOUNDATION LAYOUT PLAN
SCALE: 1/4" = 1'-0"

Revisions

A New Custom Home for
Hernandez Residence

PROJECT ADDRESS:
520 Tree Bark Lane
Cameron, N.C. 28326

The Aspen Plan #22055-01

The license grants the purchaser a non-exclusive, non-transferable license to construct one home from the plan purchased at the Address shown. Any reproduction in whole or in part is prohibited.

FOUNDATION PLAN



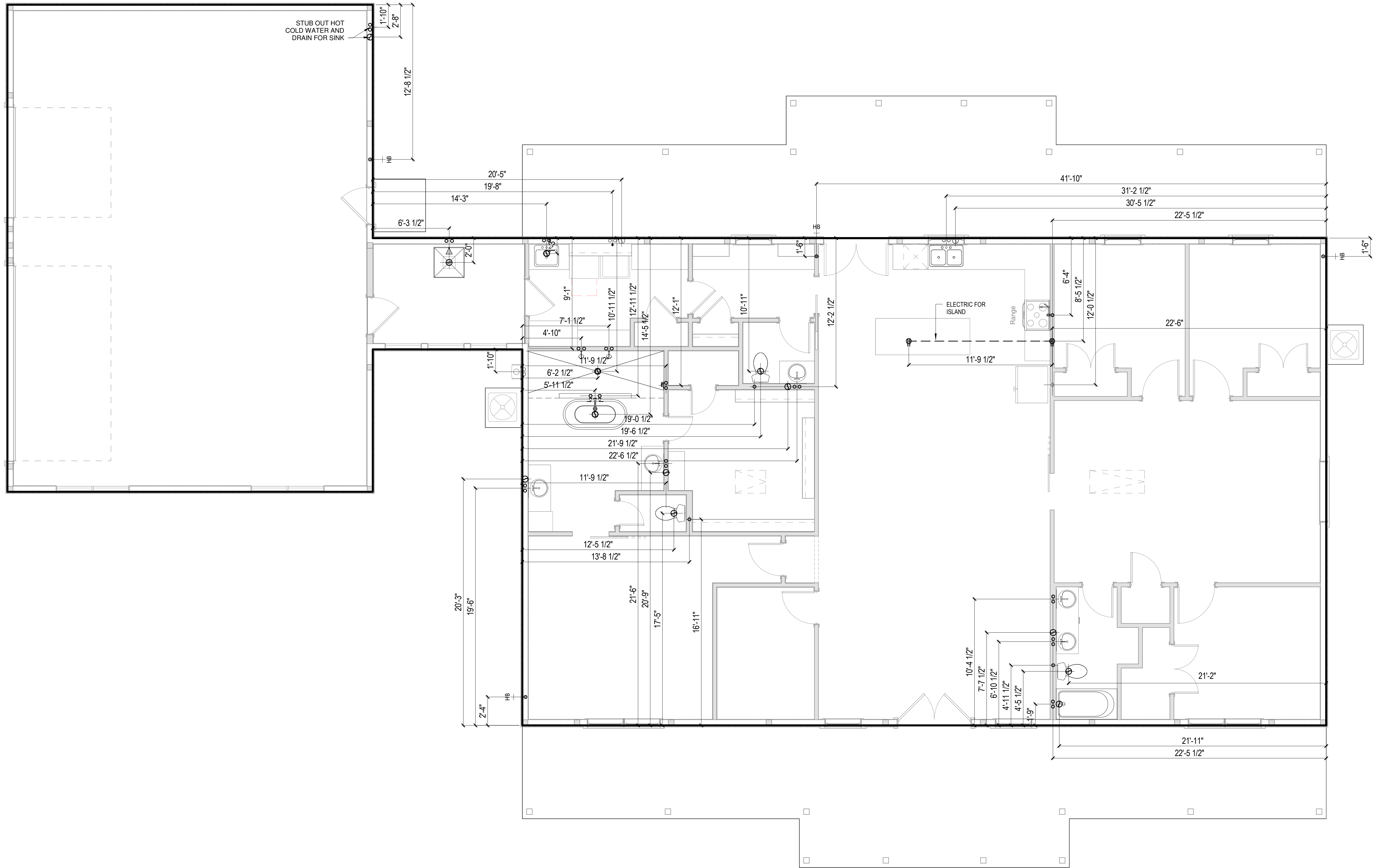
SHEET NO.

A105

PROJECT NO. 23037

01 UNDERSLAB MEP PLAN

SCALE: 1/4" = 1'-0"



UNDERSLAB MEP PLAN

A New Custom Home for
Hernandez Residence

PROJECT ADDRESS:
520 Tree Bark Lane
Cameron, N.C. 28326

The Aspen Plan #22055-01

The license grants the purchaser a non-exclusive, non-transferable license to construct one home from the plan purchased at the Address shown. Any reproduction in whole or in part is prohibited.



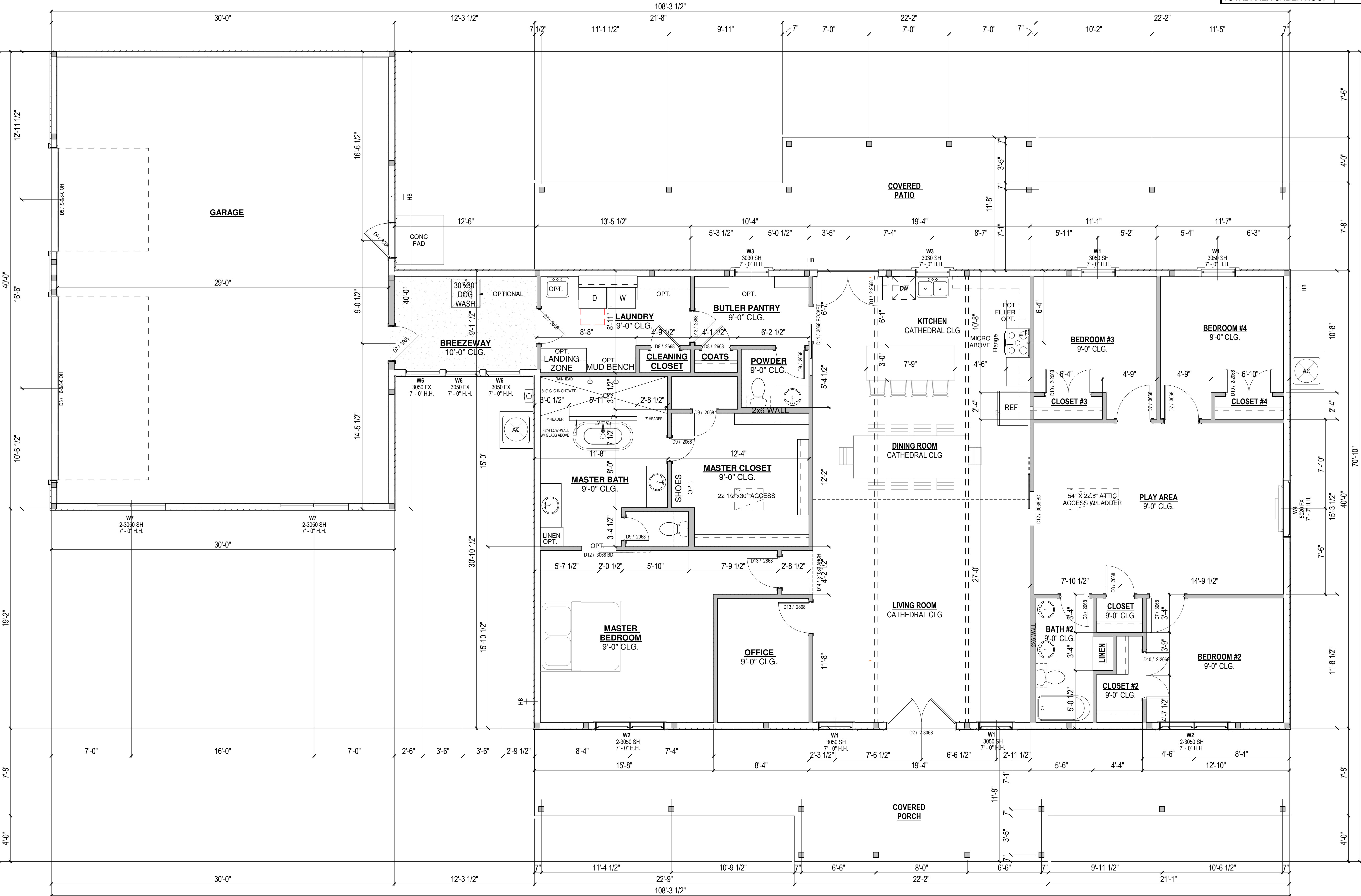
SHEET NO.

A110

Revisions

The Barndo Co.
1531 E. Main Street
Duncan, SC 29334
864.571.4433

20/03/2025 11:24:02 pm G:\Shared drives\PROJECTS\2023\23037 Hernandez (Aspen #1)\Hernandez Residence #22055-01_FLIP.rvt



AREA CALCULATIONS	
1ST FLOOR LIVING	2,639 SF
BREEZEWAY	118 SF
COV'D PATIO	595 SF
COV'D PORCH	595 SF
GARAGE	1,196 SF
TOTAL AREA UNDER ROOF	5,142 SF

01 GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"

Revisions

A New Custom Home for
Hernandez Residence
PROJECT ADDRESS:
520 Tree Bark Lane
Cameron, N.C. 28326

The Aspen Plan #22055-01

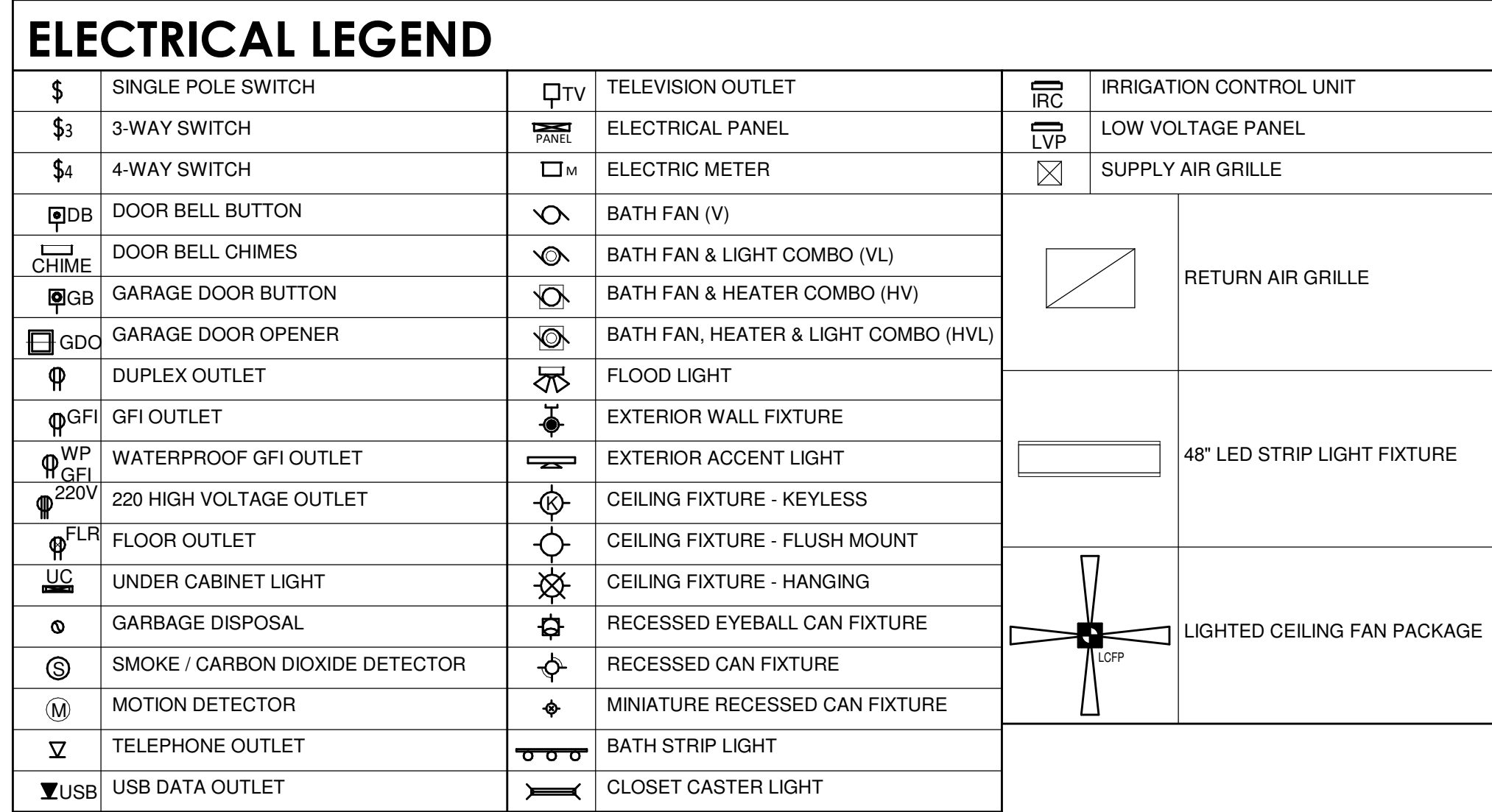
The license grants the purchaser a non-exclusive, non-transferable license to construct one home from the plan purchased at the address shown. Any reproduction in whole or in part is prohibited.

FLOOR PLAN



SHEET NO.

A200



1.	BUILDER AND ELECTRICAL SHALL INVOLVE HOMEOWNER EARLY IN THE BUILD PROCESS TO ENSURE HOMEOWNERS INPUT AND APPROVAL OF ELECTRICAL AND LIGHTING COMPONENTS IS FINAL.		
2.	BUILDER SHALL ENSURE THAT ALL ELECTRICAL COMPONENTS MET OR EXCEED CURRENT RESIDENTIAL ELECTRICAL CODES FOR THE JURISDICTION IN WHICH THIS HOUSE IS BEING BUILT. NO EXCEPTIONS. ELECTRICAL SHALL VERIFY THAT EQUIPMENT QUANTITIES AND LOCATIONS SHOWN CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES. BUILDER SHALL BE RESPONSIBLE FOR INSTALLATION OF ELECTRICAL SYSTEM ACCORDING TO CODE AND ACCORDING TO HOMEOWNER REQUIREMENTS.		
3.	BUILDER SHALL DISCUSS AND MAKE KNOWN DISCREPANCIES ON ELECTRICAL SUCH AS TOTAL HOUSE ELECTRICAL SERVICE, FLOOR RECEPTACLES, UNDER COUNTER LIGHTING, DOWN ACTUATED LIGHT SWITCHES, MOTION ACTUATED LIGHT SENSORS, USB. SUCH THAT HOMEOWNER HAS THE OPPORTUNITY TO MAKE INFORMED DECISIONS ON THESE OBTAINED ITEMS.		
4.	PROVIDE SMOKE DETECTORS IN EACH SLEEPING ROOM AND ADJOINING AREAS. ALL SMOKE DETECTORS SHALL BE HARD WIRED WITH BATTERY BACKUP AND MUST BE INTERCONNECTED THROUGHOUT THE ENTIRE HOUSE.		
5.	BUILDER TO ENSURE ADEQUATE ELECTRICAL SERVICE FOR ALL MECHANICAL UNITS.		
6.	PLANS MAY NOT SHOW POWER AND LIGHTING REQUIREMENTS FOR ALL CONDITIONS SUCH AS NEED FOR SEPTIC, WATER SODASERS, ADDITIONAL HVAC UNITS, OUTDOOR SCULPTURE LIGHTING, ETC.		
7.	BUILDER SHALL ENSURE TOTAL ELECTRICAL SERVICE MEETS ALL SITE SPECIFIC AND HOMEOWNER REQUIREMENTS FOR COMPLETION OF CONSTRUCTION.		
8.	ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE PHASE 15 AND 20 AMP CIRCUITS INSTALLED IN DWELLING UNITS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER PER CURRENT RESIDENTIAL ELECTRICAL CODE.		
9.	ALL RECEPTACLES WITHIN SIX FEET (6'-0") OF A WET BAR OR SINK TO SERVE COUNTERTOP SURFACES MUST BE GFCI. KITCHEN COUNTERS 12" OR WIDER, SHALL HAVE A RECEPTACLE EVERY TWO FEET (2'-0") ALONG A WALL.		
10.	AT LEAST ONE GFCI RECEPTACLE SHALL BE INSTALLED IN EACH BATHROOM ADJACENT TO EACH BASIN.		
11.	PROVIDE MECHANICAL VENTILATION IN LAUNDRY ROOM WITHOUT THE NATURAL VENTILATION FROM THE OUTSIDE.		
12.	IF NO DIMENSIONS ARE SHOWN FOR PLACEMENT OF LIGHT FIXTURES, OUTLETS OR SWITCHES, ELECTRICAL SHALL IMPART EFFORT TO LOCATIONS AS CLOSELY AS POSSIBLE TO LOCATIONS SHOWN EVEN TO THE EXTENT OF HAVING FRAMING MEMBERS. RELOCATED ELECTRICALLY CEILING MOUNTED LIGHT FIXTURES, UNLESS NOTIFIED OTHERWISE, SET THE BOTTOM OF WALL BOSES AT THE FOLLOWING HEIGHTS ABOVE FINISHED FLOOR:		
	DUPLEX RECEPTACLES AND POWER JACKS	14"	
	DUPLEX RECEPTACLES ABOVE COUNTERTOPS	42"	
	DUPLEX RECEPTACLES BEHIND REFRIGERATORS	48"	10"
	DUPLEX RECEPTACLES FOR RANGE		
	DUPLEX RECEPTACLES FOR MICROWAVE	60"	38"
	DUPLEX RECEPTACLES IN POWER ROOMS		
	OVER UNITS	48"	38"
	SWITCHES AND OTHER WALL MOUNTED CONTROLS	42"	60"
	THERMOSTATS		
	FIXTURES OTHER VENTS WALL MOUNTED TV	80"	
13.	ALL EXTERIOR OUTLETS SHALL BE WEATHERPROOF, NEMA 3R FROM LINERS PROVIDED AND INSTALLED BY ELECTRICAL CONTRACTOR AT		ALL EXTERIOR WALL SWITCHES AND RECEPTACLES
14.	VERIFY CEILING FAN SWITCHING AND REMOTE CONTROLS WITH OWNER PRIOR TO INSTALLATION.		
15.	BUILDER AND ELECTRICAL SHALL COORDINATE WITH UTILITY COMPANIES TO LOCATE ELECTRICAL SERVICE, TELEPHONE, CATV, ETC. OWNER PRIOR TO CONSTRUCTION.		AS REQUIRED AND CONFIRM SERVICE ENTRANCES WITH UTILITY COMPANIES

HOMEOWNER ELECTRICAL & LIGHTING NOTE

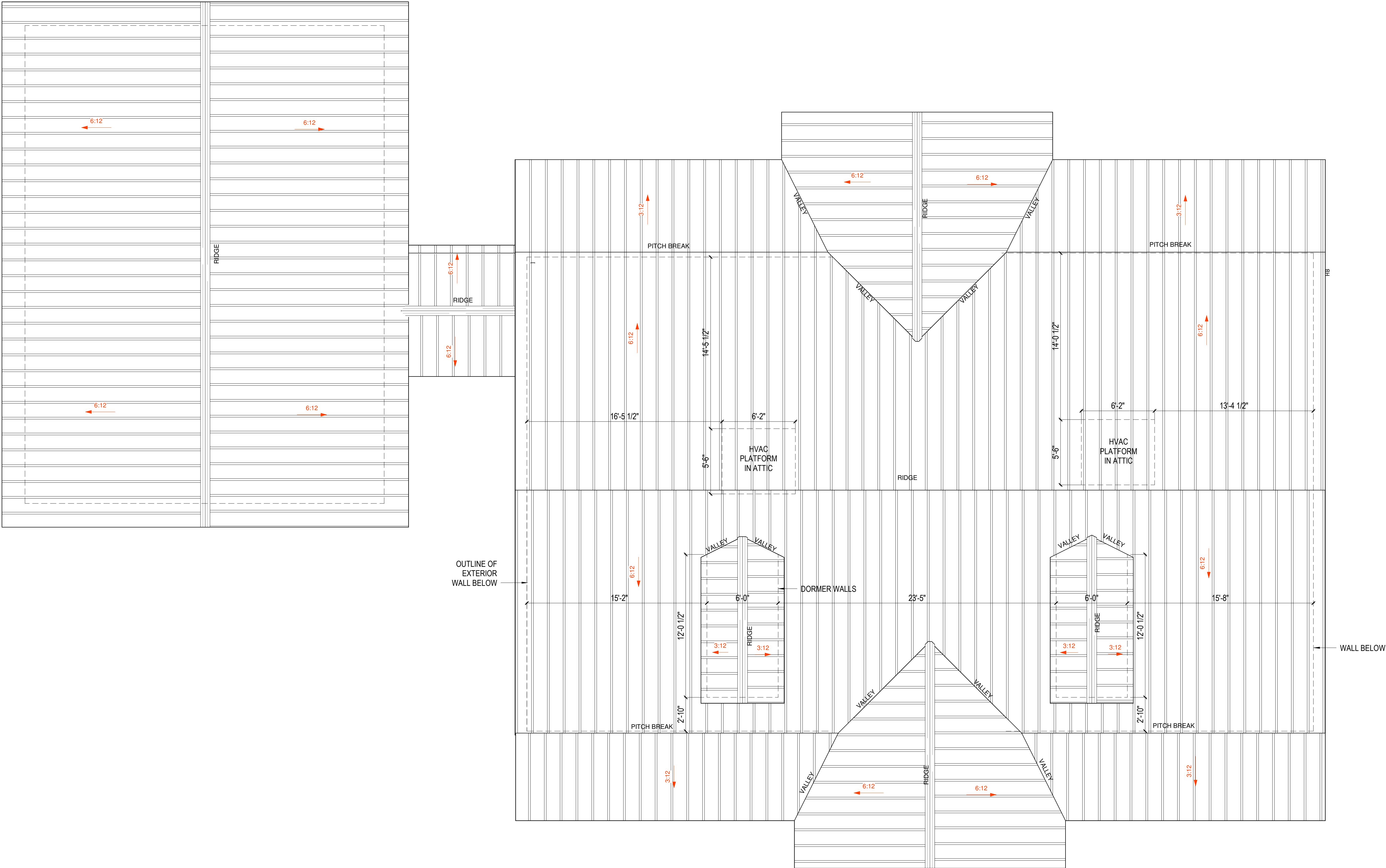
MOST IMPORTANTLY, TAKE NOTE OF LOCATIONS OF HVAC EQUIPMENT AND EACH ITEM'S ELECTRICAL REQUIREMENTS AND ENSURE THOSE ELEMENTS MEET OR EXCEED BUILDING CODE. ADDITIONALLY, LOCATE ELECTRICAL SERVICE ENTRY (METER AND PANEL) AND ENSURE LOCATION IS SUITABLE TO YOU.

THIS PLAN IS NOT INTENDED TO BE A FINAL ELECTRICAL PLAN, NOR SHALL THE HOMEOWNER NOR ELECTRICIAN ASSUME THAT THIS ELECTRICAL LAYOUT MEETS THE ELECTRICAL CODE. ELECTRICIAN IS RESPONSIBLE TO ENSURE THAT THE ENTIRETY OF THE PROJECT MEETS OR EXCEEDS ELECTRICAL CODE AND THAT ALL FIXTURES AND EQUIPMENT ITEMS MEET WITH HOMEOWNER'S APPROVAL.

20/03/2025 11:24:03 pm G:\Shared drives\PROJECTS\2023\23037 Hernandez (Aspen #1)\Hernandez Residence #22055-01_FLIP.rvt

01 ROOF PLAN

SCALE: 1/4" = 1'-0"



ROOF PLAN

PROJECT NO. 23037



SHEET NO.

A400

A New Custom Home for
Hernandez Residence

PROJECT ADDRESS:
520 Tree Bark Lane
Cameron, N.C. 28326

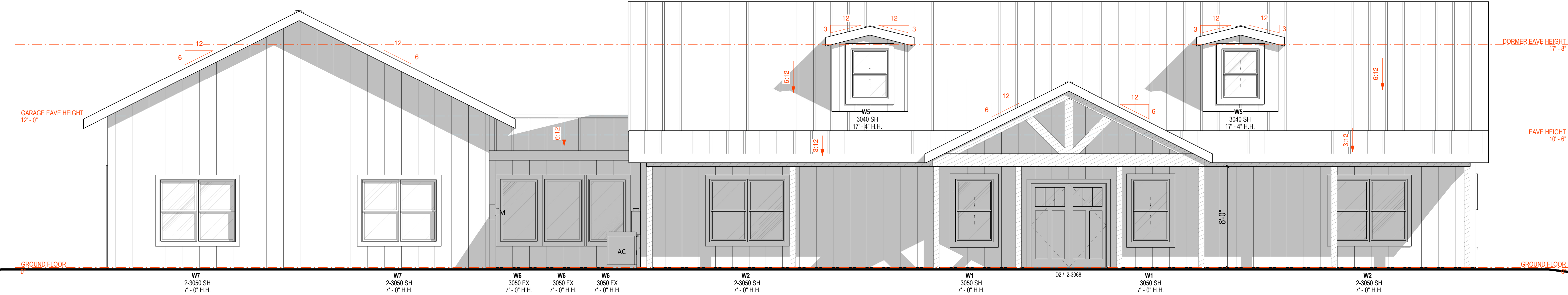
The Aspen Plan #22055-01

The license grants the purchaser a non-exclusive, non-transferable license to construct one home from the plan purchased at the Address shown. Any reproduction in whole or in part is prohibited.

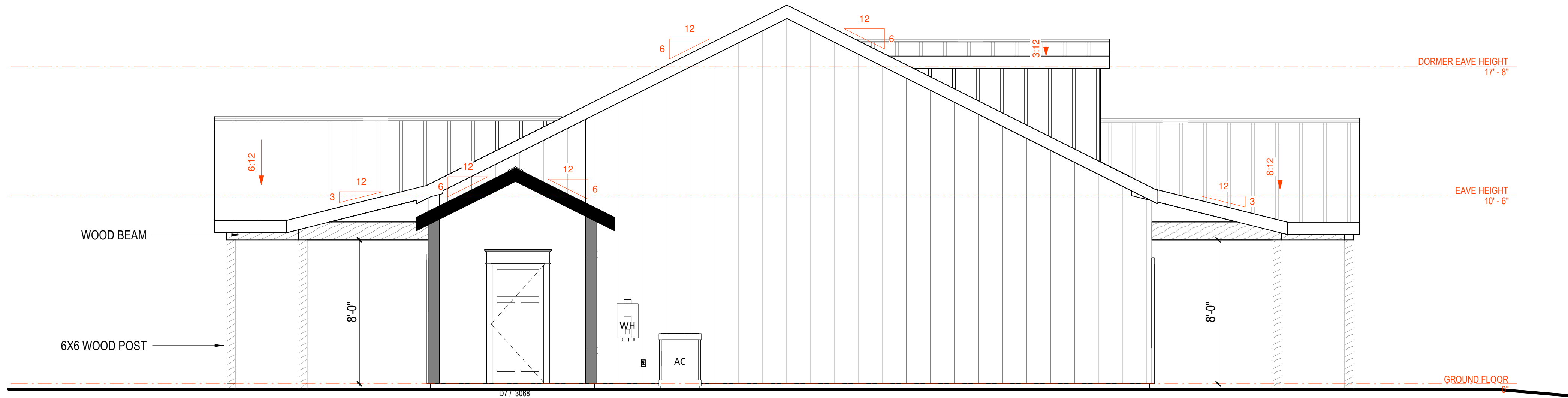
Revisions

The Barndo Co.
1531 E. Main Street
Duncan, SC 29334
864.571.4433

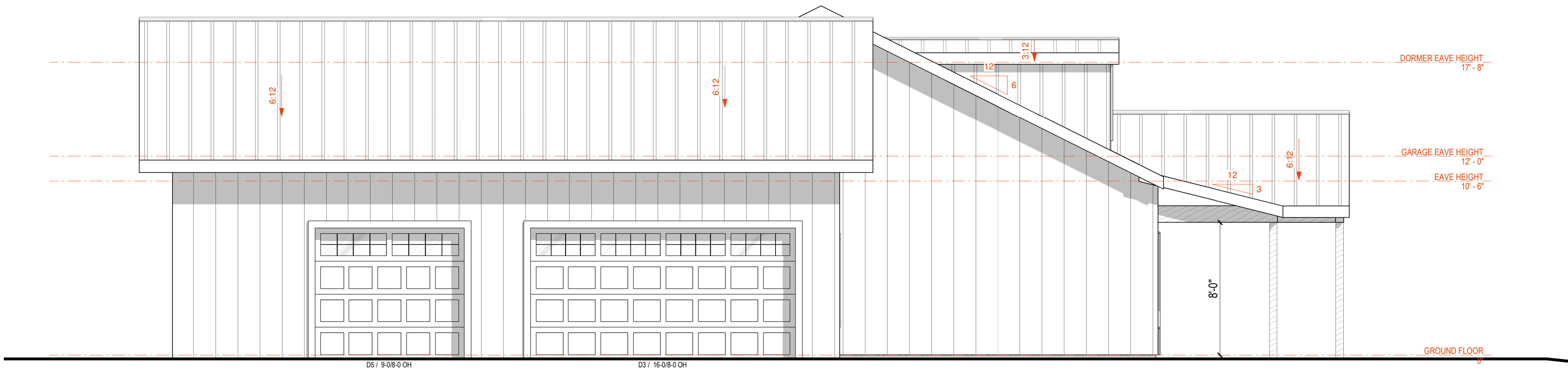
20/03/2025 11:24:06 pm G:\Shared drives\PROJECTS\2023\23037 Hernandez (Aspen #1)\Hernandez Residence #22055-01_FLIP.rvt



01 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



02 BREEZWAY RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



03 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATION NOTES

- DOORS AND WINDOWS SHOWN ON THESE EXTERIOR ELEVATIONS ARE REPRESENTATIVE ONLY AND NOT INTENDED TO DEPICT THE ACTUAL STYLE OF DOOR OR WINDOW SELECTED BY OWNER. SPECIFICATIONS ALWAYS OVERRULE WHAT IS SHOWN ON THE PLANS. SO OWNER SHALL MAKE THESE SELECTIONS WITH THE BUILDER AND USE THESE PLANS ONLY FOR REFERENCE OF SIZE AND LOCATIONS OF DOORS AND WINDOWS.
- EXTERIOR FINISHES SHOWN ON THESE EXTERIOR ELEVATIONS ARE REPRESENTATIVE ONLY AND NOT INTENDED TO DEPICT THE ACTUAL FINISHES SELECTED BY OWNER TO INCLUDE EXTERIOR WALL MATERIAL, ROOFING MATERIAL, PAINT/STAIN, POSTS, ETC. SPECIFICATIONS ALWAYS OVERRULE WHAT IS SHOWN ON THESE PLANS. SO OWNER SHALL MAKE THESE SELECTION WITH THE BUILDER AND USE THESE PLANS ONLY FOR REFERENCE OF THE EXTENTS OF THESE FINISHES.
- EXTERIOR FEATURES SUCH AS SHUTTERS, GABLE ACCENTS, CUPOLAS, KNEE BRACKETS AND OTHER ORNAMENTAL FEATURES, IF SHOWN, ARE OPTIONAL ITEMS TO BE SELECTED BY OWNER AND WOULD BE AN ADDITIONAL CHARGE OVER AND ABOVE THE BASE BUILDER COSTS.

Revisions

A New Custom Home for
Hernandez Residence

PROJECT ADDRESS:
520 Tree Bark Lane
Cameron, N.C. 28326

The Aspen Plan #22055-01

The license grants the purchaser a non-exclusive, non-transferable license to construct one home from the plan purchased at the Address shown. Any reproduction in whole or in part is prohibited.

EXTERIOR ELEVATIONS



SHEET NO.

A500

PROJECT NO. 23037

20/03/2025 11:24:08 pm G:\Shared drives\PROJECTS\2023\23037 Hernandez Residence (Aspen #1)\Hernandez Residence #22055-01_FLIP.rvt

01 REAR ELEVATION

SCALE: 1/4" = 1'-0"

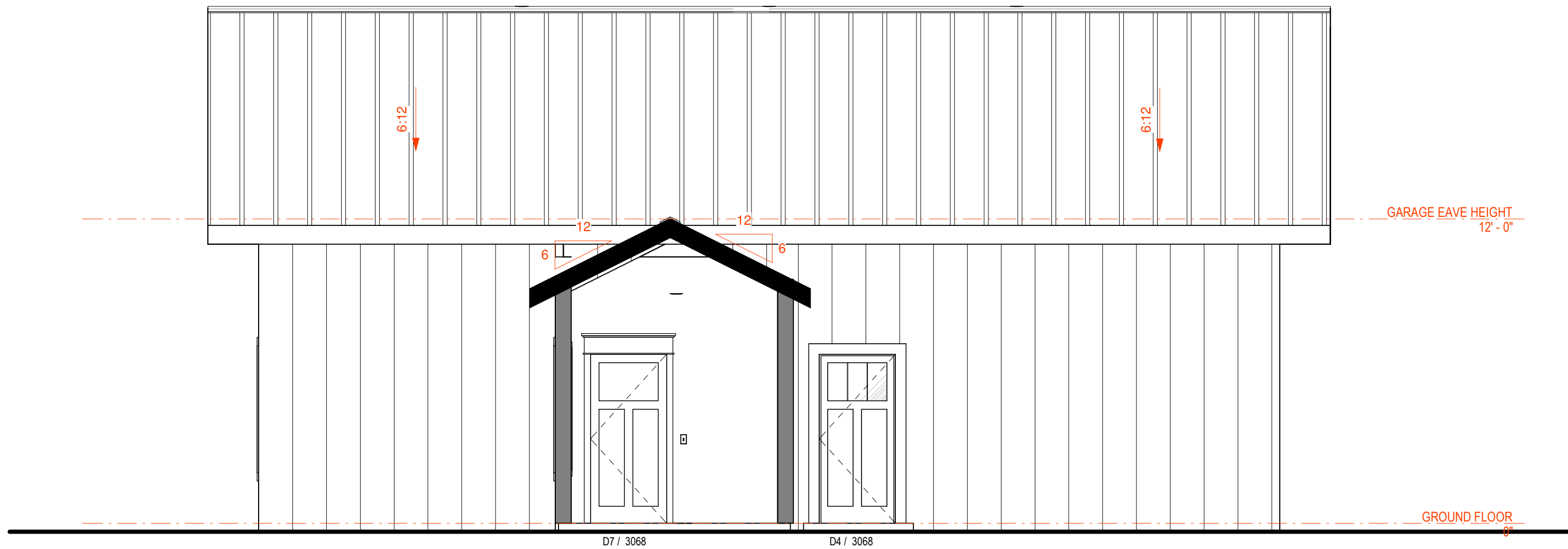


EXTERIOR ELEVATION NOTES

- DOORS AND WINDOWS SHOWN ON THESE EXTERIOR ELEVATIONS ARE REPRESENTATIVE ONLY AND NOT INTENDED TO DEPICT THE ACTUAL STYLE OF DOOR OR WINDOW SELECTED BY OWNER. SPECIFICATIONS ALWAYS OVERRULE WHAT IS SHOWN ON THE PLANS. SO OWNER SHALL MAKE THESE SELECTIONS WITH THE BUILDER AND USE THESE PLANS ONLY FOR REFERENCE OF SIZE AND LOCATIONS OF DOORS AND WINDOWS.
- EXTERIOR FINISHES SHOWN ON THESE EXTERIOR ELEVATIONS ARE REPRESENTATIVE ONLY AND NOT INTENDED TO DEPICT THE ACTUAL FINISHES SELECTED BY OWNER TO INCLUDE EXTERIOR WALL MATERIAL, ROOFING MATERIAL, PAINT/STAIN, POSTS, ETC. SPECIFICATIONS ALWAYS OVERRULE WHAT IS SHOWN ON THESE PLANS. SO OWNER SHALL MAKE THESE SELECTION WITH THE BUILDER AND USE THESE PLANS ONLY FOR REFERENCE OF THE EXTENTS OF THESE FINISHES.
- EXTERIOR FEATURES SUCH AS SHUTTERS, GABLE ACCENTS, CUPOLAS, KNEE BRACKETS AND OTHER ORNAMENTAL FEATURES, IF SHOWN, ARE OPTIONAL ITEMS TO BE SELECTED BY OWNER AND WOULD BE AN ADDITIONAL CHARGE OVER AND ABOVE THE BASE BUILDER COSTS.

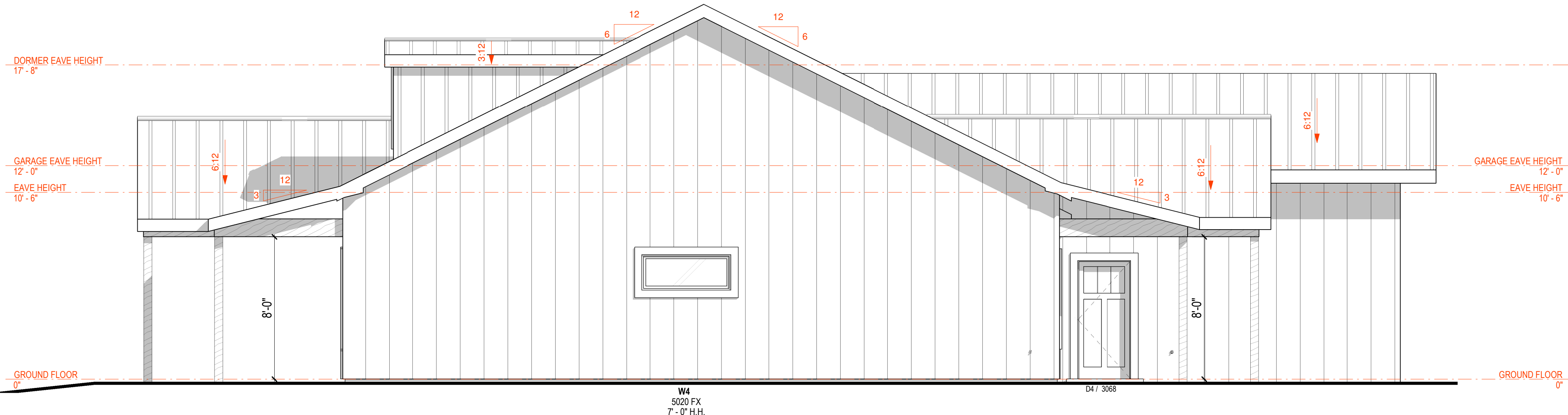
02 BREEZWAY LEFT ELEVATION

SCALE: 1/4" = 1'-0"



03 LEFT ELEVATION

SCALE: 1/4" = 1'-0"



Revisions

A New Custom Home for
Hernandez Residence

PROJECT ADDRESS:
520 Tree Bark Lane
Cameron, N.C. 28326

The Aspen Plan #22055-01

The license grants the purchaser a non-exclusive, non-transferable license to construct one home from the plan purchased at the Address shown. Any reproduction in whole or in part is prohibited.

EXTERIOR ELEVATIONS



SHEET NO.

A501