

CAMERON-RALE

RALEIGH - LOT 00.0183 THE FARM AT NEILL'S CREEK

(MODEL# 1998)

ELEVATION 1 - GL

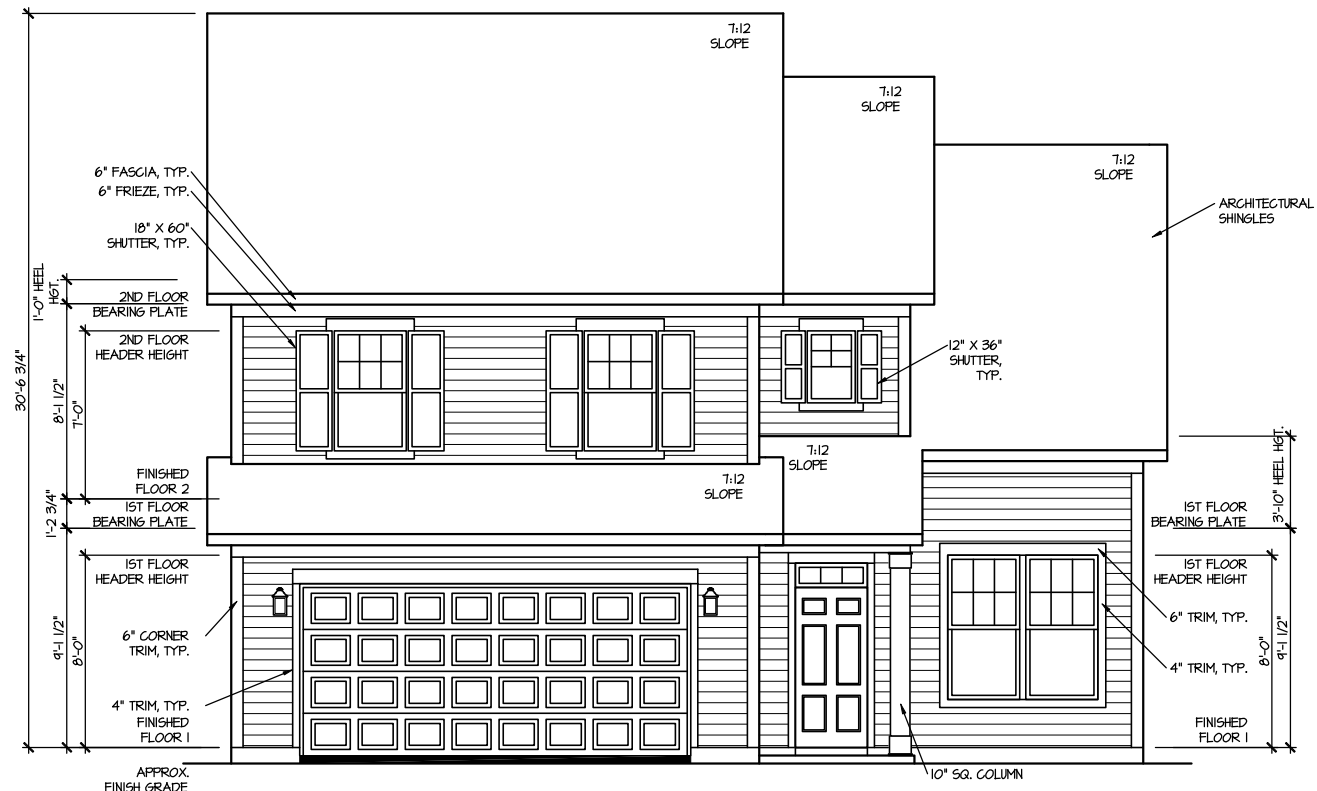
88 Appleseed Drive

INDEX

LOT SPECIFIC

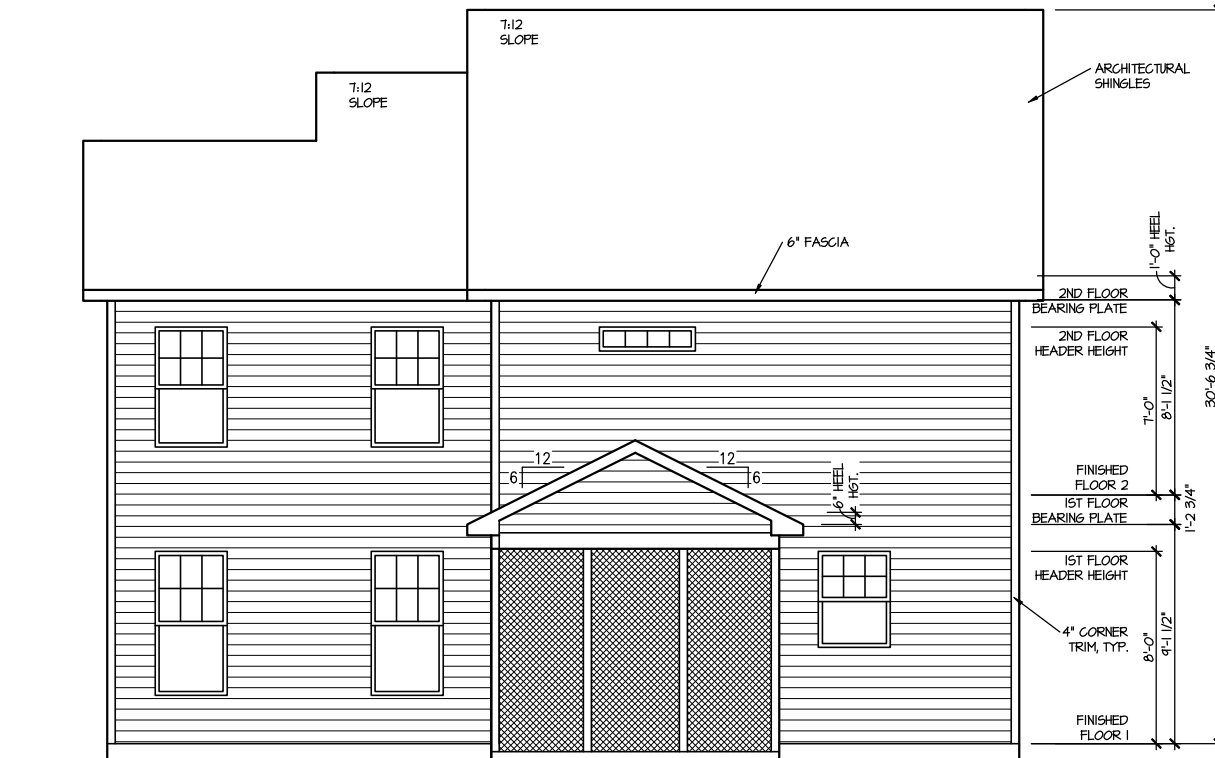
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FILE: Lot_00.0183.dwg DATE: 3/28/2025 12:02 PM



FRONT ELEVATION I

SCALE: 1/8" = 1'-0"



REAR ELEVATION I

SCALE: 1/8" = 1'-0"

MASTER PLAN INFORMATION			UPDATED DATE
REVISION	DATE		
5-RALE	10-17-2019		04-26-2024

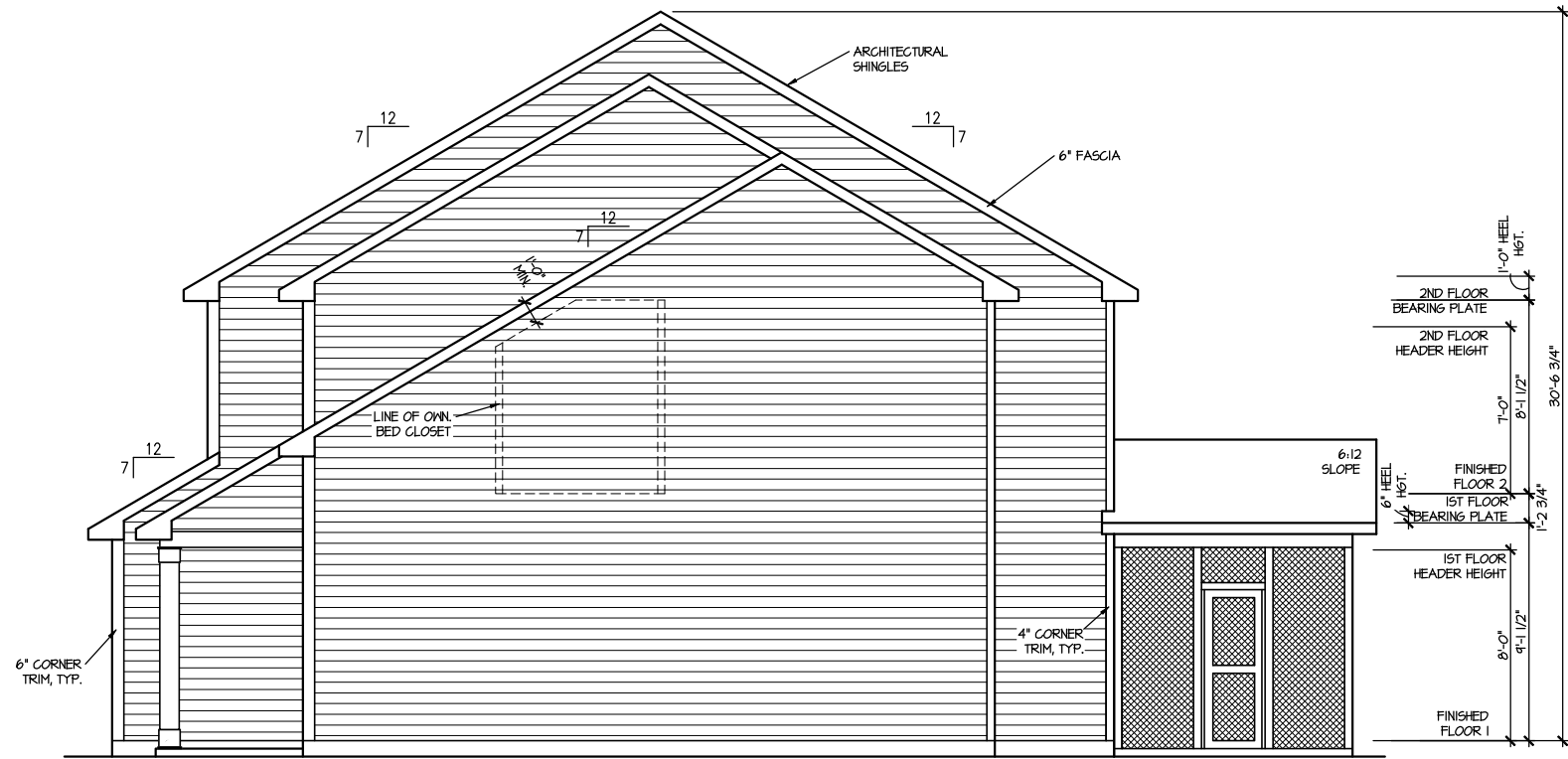
DRAWN BY:	ITS
DATE:	03/28/2025
PLAN NO.	1998

DRB
HOMES

HOUSE NAME:
CAMERON
DRAWING TITLE
FRONT & REAR ELEVATIONS

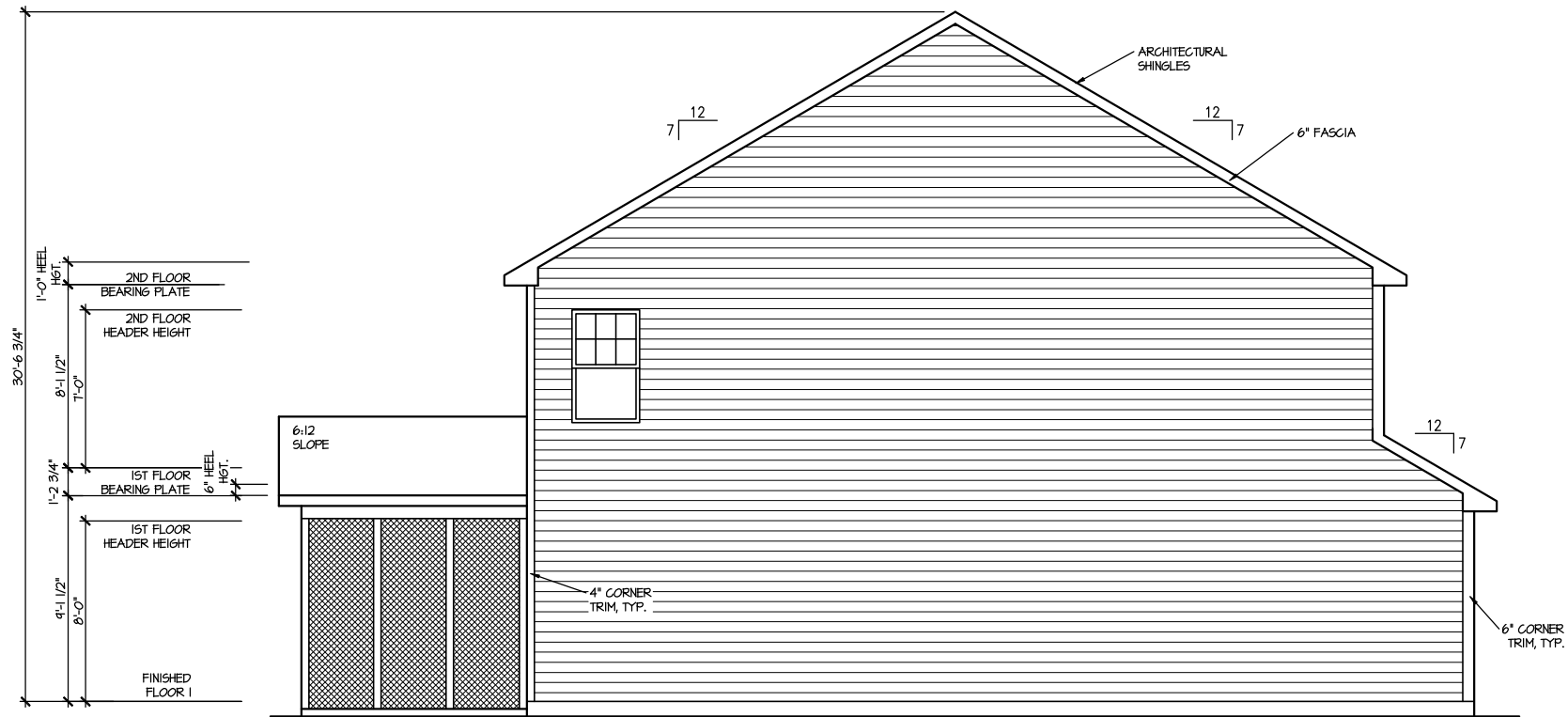
SHEET No.
A.1

FILE: Lot_00.0183.dwg DATE: 3/28/2025 12:02 PM



RIGHT ELEVATION I

SCALE: 1/8" = 1'-0"



LEFT ELEVATION I

SCALE: 1/8" = 1'-0"

MASTER PLAN INFORMATION

REVISION	DATE	UPDATED DATE
5-RALE	10-17-2019	04-26-2024

DRAWN BY:
ITS

DATE:
03/28/2025

PLAN NO.
1998

DRB
HOMES

HOUSE NAME:
CAMERON

DRAWING TITLE

RIGHT & LEFT ELEVATIONS

SHEET No.

A1.2

ROOF AREA = 1300 SQ. FT.
OVERALL REQUIRED VENTILATION:
 1 TO 150 = 8.67 SQ. FT.
 1 TO 300 = 4.33 SQ. FT.
 50-80% IN TOP THIRD = 2.17- 5.41 FT. (1 TO 300)
 NET FREE AREA OF VENTED SOFFIT = 5.7 SQ. IN. / LINEAR FT.
 NET FREE AREA OF RIDGE VENT = 18 SQ. IN. / LINEAR FT.

LOWER VENTING: (BOTTOM 2/3 RDS)
 77 LINEAR FEET OF SOFFIT X 5.7 SQ. IN. = 3.05 SQ. FT.
 UPPER VENTING: (TOP 1/3 RD)
 28 LINEAR FEET OF RIDGE X 18 SQ. IN. = 3.5 SQ. FT.
 3.5 SQ. FT. BETWEEN 50% - 80%
 (1 TO 300 ALLOWED)
 TOTAL ROOF VENTILATION: 6.55 SQ. FT. > 4.33 SQ. FT. (RQ'D)



MASTER PLAN INFORMATION		
REVISION	DATE	UPDATED DATE
5-RALF	10-17-2019	04-26-2024

DRAWN BY: ITS
DATE: 03/28/2025
PLAN NO. 1998

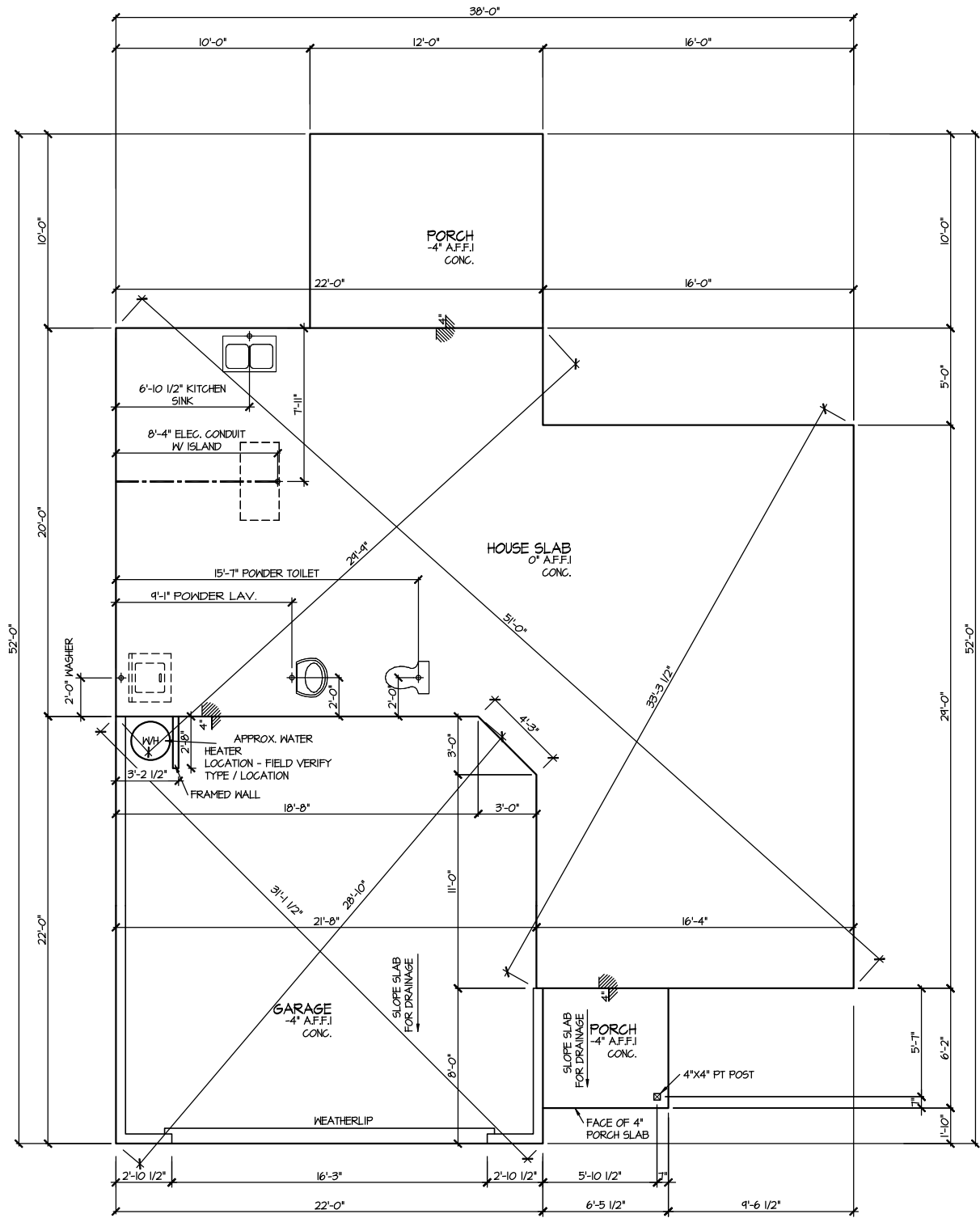


HOUSE NAME:
CAMERON

DRAWING TITLE
ROOF PLAN

SHEET No.

A | 3



ELEVATION 1
SLAB PLAN
SCALE: 1/8" = 1'-0"

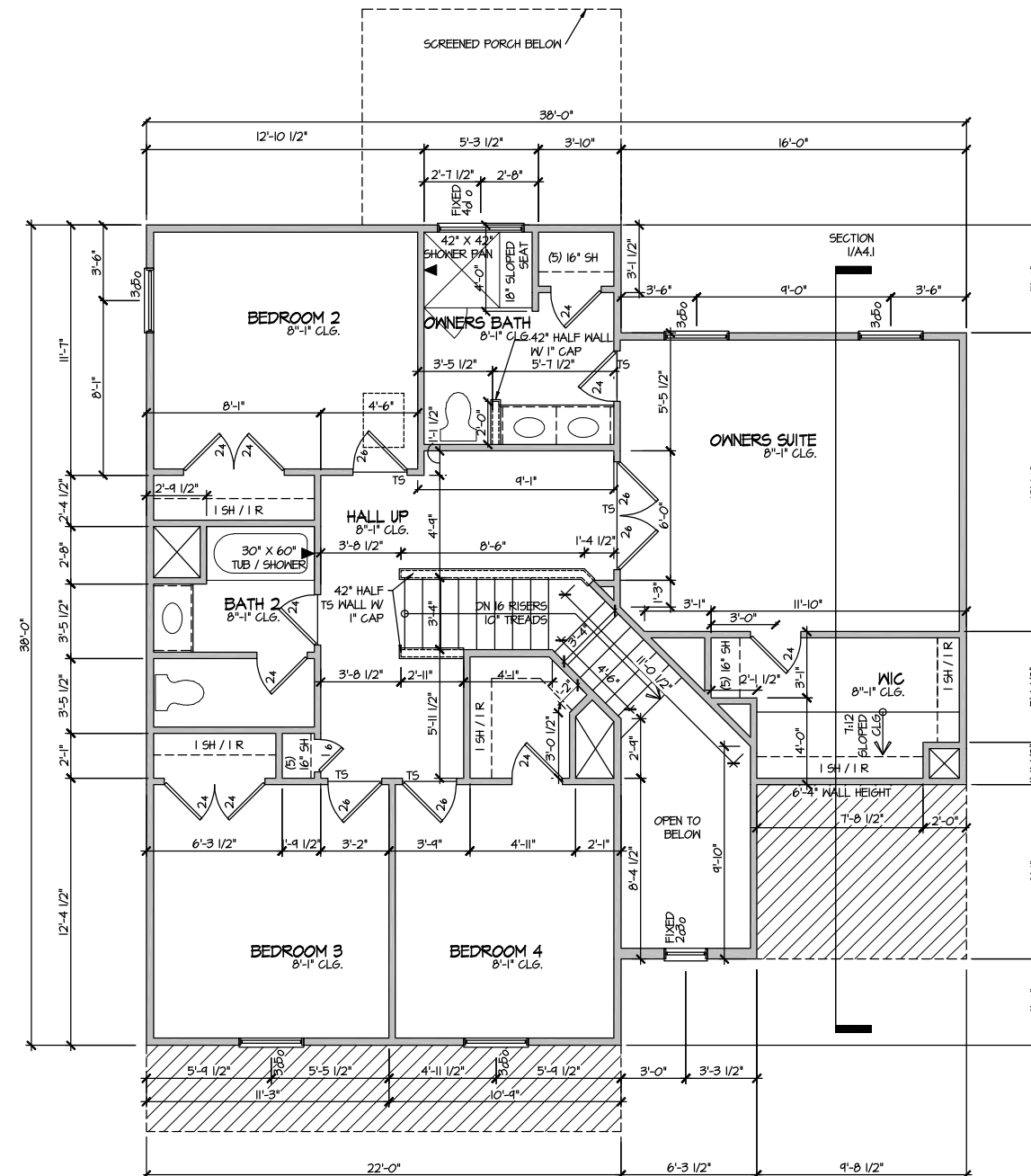
MASTER PLAN INFORMATION			
REVISION	DATE	UPDATED DATE	
5-RALE	10-17-2019	04-26-2024	

DRAWN BY:	ITS
DATE:	03/28/2025
PLAN NO.	1998



HOUSE NAME:	CAMERON
DRAWING TITLE	SLAB PLAN

SHEET No.	A2.1
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ELEVATION I
SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

DRAWN BY:	ITS
DATE:	03/28/2025
PLAN NO.	1998

MASTER PLAN INFORMATION	
REVISION	DATE
5-RALE	10-17-2019

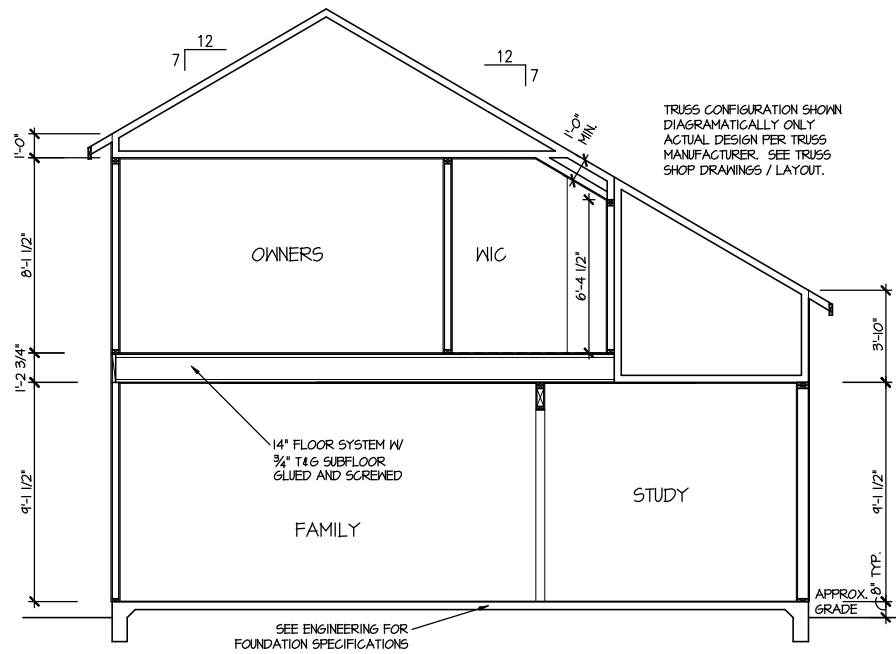
UPDATED DATE
04-26-2024

HOUSE NAME:
CAMERON

DRAWING TITLE
SECOND FLOOR PLAN

SHEET No.

A3.2



SECTION I
SCALE: 1/8" = 1'-0"

MASTER PLAN INFORMATION			UPDATED DATE
REVISION	DATE		
5-RALE	10-17-2019		04-26-2024

DRAWN BY:	ITS
DATE:	03/28/2025
PLAN NO.	1998

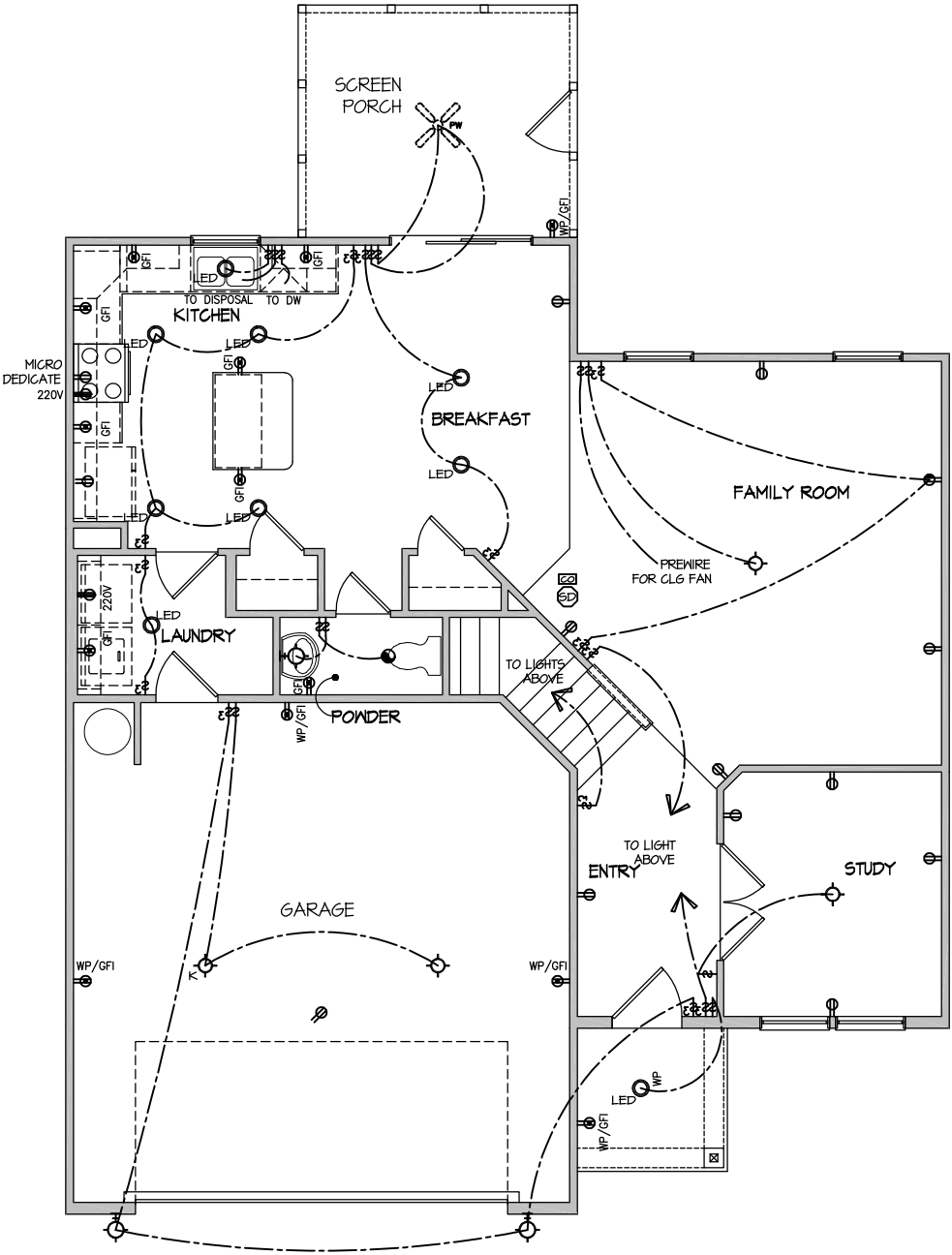


HOUSE NAME:	CAMERON
DRAWING TITLE	BUILDING SECTION

SHEET No.	A4.1
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ELECTRICAL LEGEND	
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	DUPLEX AFCI RECEPTACLE
	DUPLEX AFCI RECEPTACLE - BOTTOM HALF SWITCHED
	DUPLEX AFCI RECEPTACLE - FLOOR MOUNTED
	RECEPTACLE - 220V
	DUPLEX AFCI RECEPTACLE - GFI
	DUPLEX AFCI RECEPTACLE - WATERPROOF GFI
	SMOKE DETECTOR - WIRED IN SERIES
	EXHAUST FAN MOTOR
	CO DETECTOR
	DOOR CHIME
	LIGHT FIXTURE - WALL MOUNTED
	LIGHT FIXTURE - CEILING MOUNTED
	LIGHT FIXTURE - LED SURFACE MOUNTED
	FULLCHAIN LAMPHOLDER
	KEYLESS LAMPHOLDER

NOTE: ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE ADOPTED VERSION OF THE NATIONAL ELECTRICAL CODE, THE LOCAL POWER COMPANY AND TO ALL APPLICABLE LOCAL REGULATIONS.



MASTER PLAN INFORMATION	
DATE	UPDATED DATE
REVISION	DATE
5-RALE	10-17-2019
	04-26-2024

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PLAN NO.	1998

DRB
HOMES

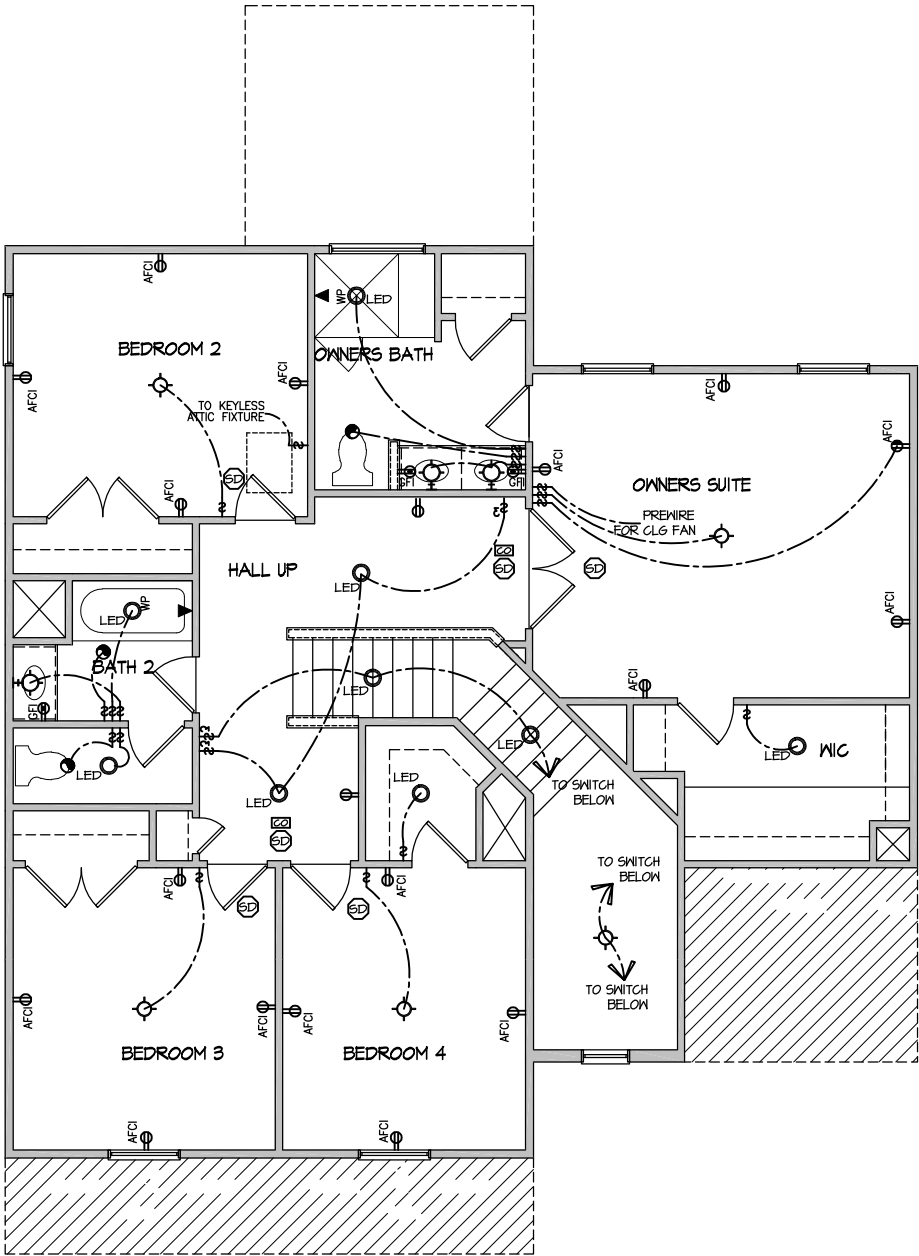
HOUSE NAME:
CAMERON
DRAWING TITLE
FIRST FLOOR ELECTRICAL

SHEET No.
11

ELECTRICAL PLAN
FIRST FLOOR - ELEV. 1
SCALE: 1/8" = 1'-0"

ELECTRICAL LEGEND	
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	DUPLEX AFCI RECEPTACLE
	DUPLEX AFCI RECEPTACLE - BOTTOM HALF SWITCHED
	DUPLEX AFCI RECEPTACLE - FLOOR MOUNTED
	RECEPTACLE - 220V
	DUPLEX AFCI RECEPTACLE - GFI
	DUPLEX AFCI RECEPTACLE - WATERPROOF GFI
	SMOKE DETECTOR - WIRED IN SERIES
	EXHAUST FAN MOTOR
	CO DETECTOR
	DOOR CHIME
	LIGHT FIXTURE - WALL MOUNTED
	LIGHT FIXTURE - CEILING MOUNTED
	LIGHT FIXTURE - LED SURFACE MOUNTED
	PULLCHAIN LAMPHOLDER
	KEYLESS LAMPHOLDER

NOTE: ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE ADOPTED VERSION OF THE NATIONAL ELECTRICAL CODE, THE LOCAL POWER COMPANY AND TO ALL APPLICABLE LOCAL REGULATIONS.

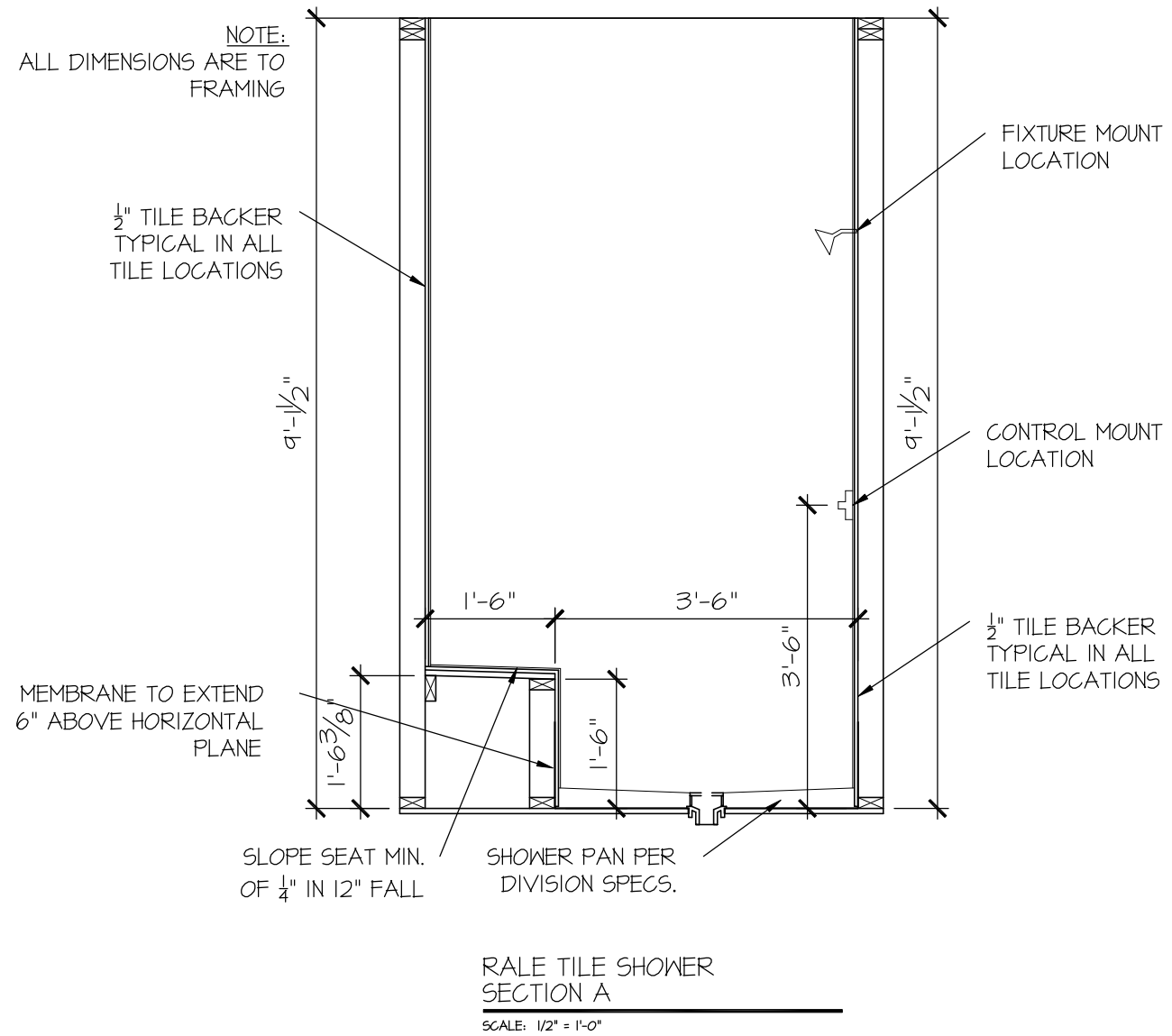
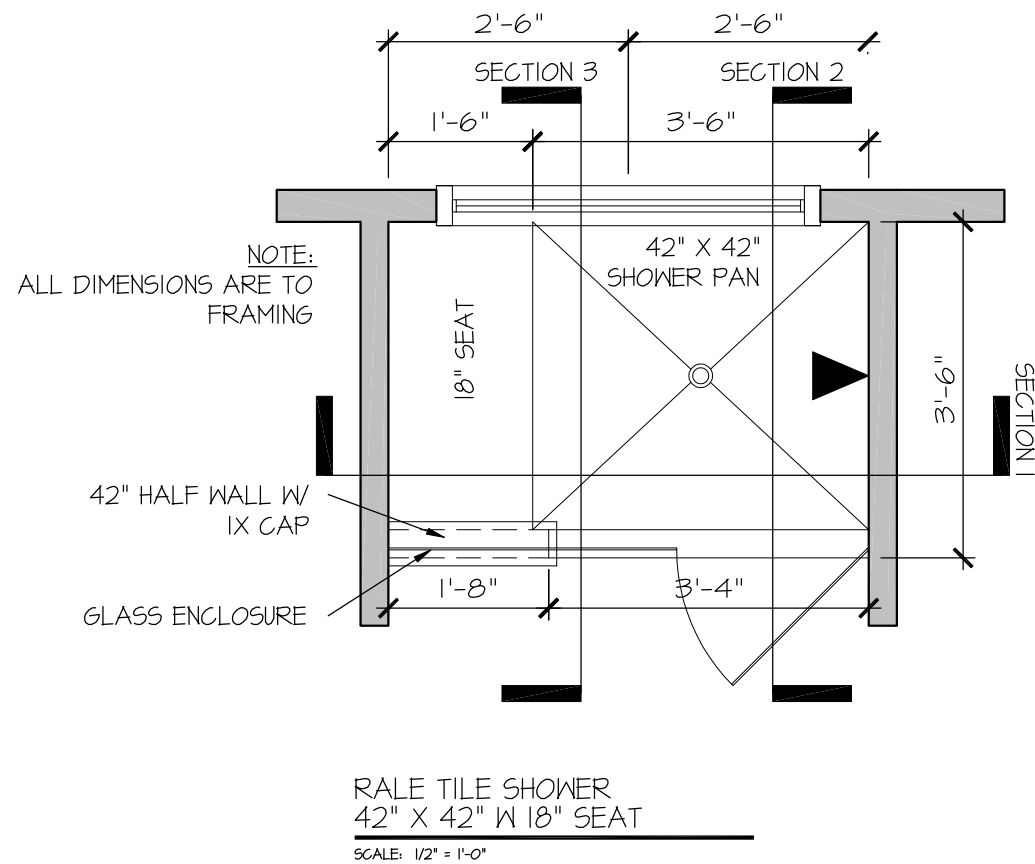


ELECTRICAL PLAN
SECOND FLOOR - ELEV. 1
SCALE: 1/8" = 1'-0"

FILE: Lot_00.0183.dwg DATE: 3/28/2025 12:02 PM

MASTER PLAN INFORMATION		DATE	10-17-2019	UPDATED DATE	04-26-2024
		REVISION	5-RALE		
DRAWN BY:		ITS			
DATE:		03/28/2025			
PLAN NO.		1998			
HOUSE NAME:		CAMERON			
DRAWING TITLE		SECOND FLOOR ELECTRICAL			
SHEET No.		11.2			

FILE: RALE TILE SHOWER DETAIL 8-2022.dwg DATE: 09-19-2022



CONSULTANT LOGO

SEAL

DRAWN BY:
L. BEAVERS
DATE: 9/1/22
PLAN NO.
11 X 17 SCALE
24 X 36 SCALE

DRB
HOMES

HOUSE NAME:

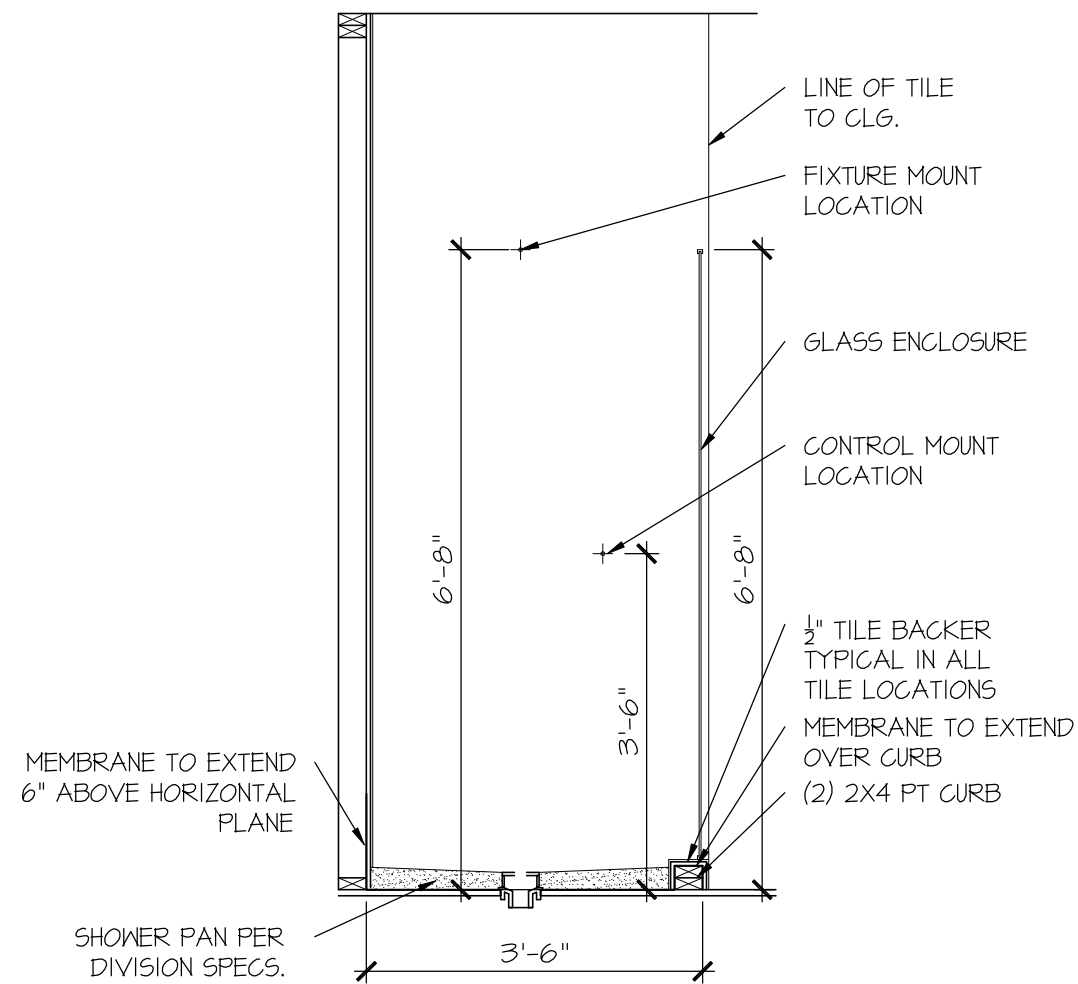
DRAWING TITLE

RALE TILE SHOWER DETAIL

SHEET No.

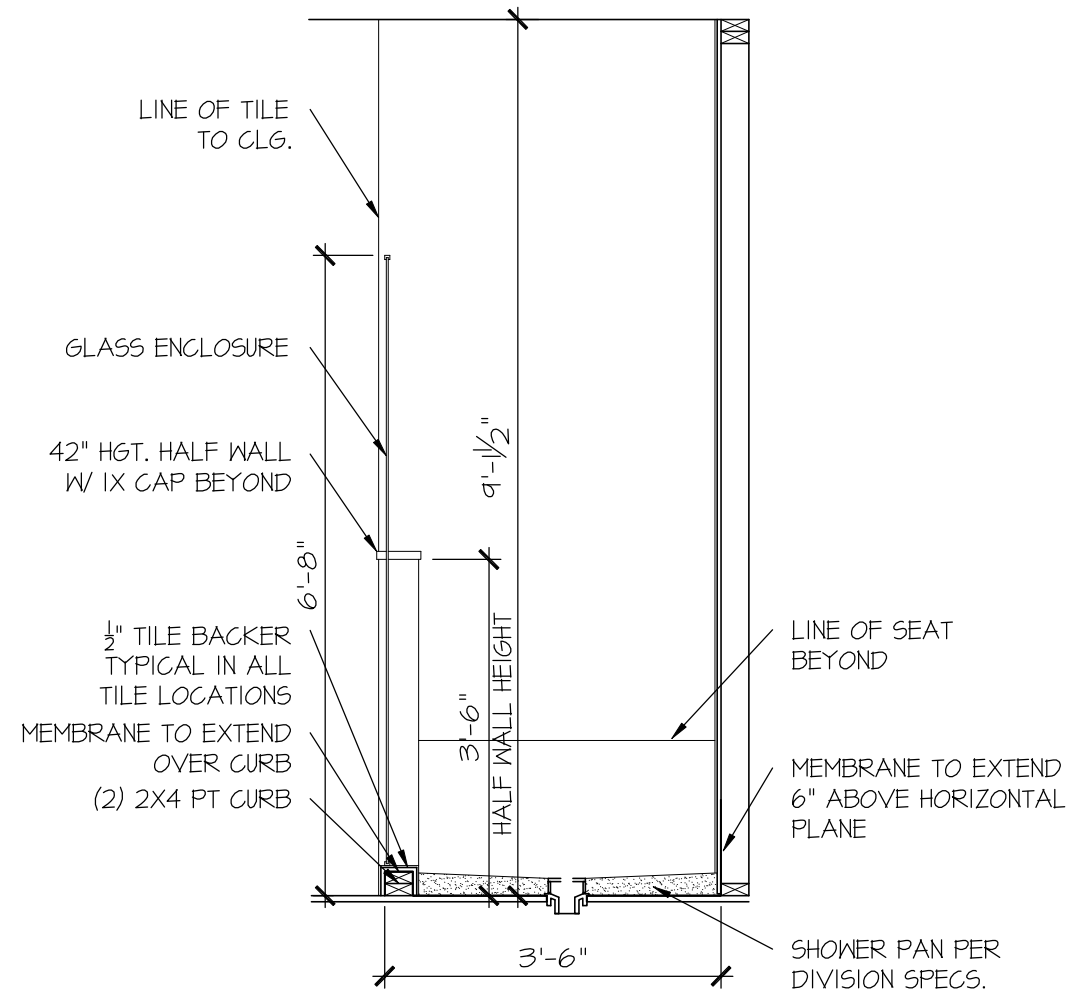
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FILE: RALE TILE SHOWER DETAIL 8-2022.dwg DATE: 09-19-2022



RALE TILE SHOWER
SECTION B

SCALE: 1/2" = 1'-0"



RALE TILE SHOWER
SECTION C

SCALE: 1/2" = 1'-0"

CONSULTANT LOGO

SEAL

DRAWN BY:
L. BEAVERS
DATE: 9/1/22
PLAN NO.
11 X 17 SCALE
24 X 36 SCALE

DRB
HOMES

HOUSE NAME:
DRAWING TITLE
RALE TILE SHOWER DETAIL

SHEET No.

01.12

GENERAL STRUCTURAL NOTES

FOUNDATION

• DESIGN IS BASED ON 2018 NORTH CAROLINA STATE BUILDING CODE: RESIDENTIAL CODE.

• FOOTING DESIGN - 2,000 PSF ALLOWABLE SOIL BEARING PRESSURE IS ASSUMED. BUILDER/CONTRACTOR MUST VERIFY.

• FASTEN 2x4/6 SILL PLATES TO FND WITH A MINIMUM OF 2 ANCHORS PER PLATE, 12" MAX. FROM PLATE ENDS - UTILIZING:

- 1/2" DIA. ANCHOR BOLTS @ 6'-0" O.C., 7" MIN. EMBEDMENT (CONC), 15" MIN. EMBEDMENT (CMU)
- SIMPSON MASA ANCHOR STRAPS @ 6'-0" O.C. (CONC.)
- SIMPSON MAB23 ANCHOR STRAPS @ 2'-8" O.C. (CMU)

(REFER TO DETAILS FOR 10' TALL WALL ANCHOR REQUIREMENTS)

• ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT W/ CONCRETE OR CMU SHALL BE PRESERVATIVE TREATED SOUTHERN PINE #2.

• BUILDER TO VERIFY CORROSION-RESISTANCE COMPATIBILITY OF HARDWARE & FASTENERS IN CONTACT W/ PRESERVATIVE-TREATED WOOD. CONTACT LUMBER & HARDWARE SUPPLIERS TO COORD.

• BASEMENT INTERIOR BEARING WALLS & EXTERIOR WALK-OUT BASEMENT WALLS SHALL BE 2x6 @ 16" O.C. SFF OR SYP, "STUD" GRADE OR BETTER.

• CONCRETE DESIGN BASED ON ACI 318. CONCRETE SHALL ATTAIN THE FOLLOWING MIN. COMPRESSIVE STRENGTHS IN 28 DAYS, UNO.:

f _c =	4,000 psi:	FOUNDATION WALLS
	2,500 psi:	FOOTINGS & INTERIOR SLABS ON GRADE
	3,000 psi:	GARAGE & EXTERIOR SLABS ON GRADE
f _y =	60,000 psi		

• BASEMENT FOUNDATION WALL DESIGN BASED ON:

- 9' OR 10' HEIGHT (AS NOTED ON PLANS)
- TALLER WALLS MUST BE ENGINEERED.
- NOMINAL WIDTH (9 1/2" FOR 10' THICK WALL).

• BASEMENT WALL DESIGN IS BASED ON 60 PCF BACKFILL SOIL TYPE CLASSIFICATIONS (SC, ML-CL, OR CL).

• BASEMENT WALLS SHALL BE BRACED, PRIOR TO BACKFILLING, BY ADEQUATE TEMPORARY BRACING OR INSTALL 1st FLOOR DECK.

• PROVIDE (2) #5 BARS AROUND ALL SIDES OF OPENINGS IN CONCRETE BSMT. FND. WALL WITH 2" CLEAR. REINFORCEMENT SHALL EXTEND 12" PAST CORNER OF OPENING IN ALL DIRECTIONS.

- FOR OPENINGS UP TO 36", PROVIDE MINIMUM 10" CONCRETE DEPTH OVER OPENING OR (3)2x10 W/ (2)2x6 JACK STUDS, UNO.
- LARGER OPENINGS SHALL BE PER PLAN.

• ALL CONCRETE EXPOSED TO THE WEATHER SHALL NOT HAVE LESS THAN 5% OR MORE THAN 7% AIR ENTRAINMENT.

• ALL FOOTINGS SHALL BEAR AT LEAST 12" BELOW FINISH GRADE.

• FOOTINGS AND SLABS ON GRADE SHALL BEAR ON VIRGIN SOIL OR 95% COMPACTED FILL.

• PROVIDE CONTROL JOINTS AT ALL INSIDE CORNERS OF SLAB EDGES, AND OTHER LOCATIONS WHERE SLAB CRACKS ARE LIKELY TO DEVELOP.

- JOINTS SHALL BE LOCATED @ 10'-0" O.C. (RECOMMENDED) OR 15'-0" O.C. (MAXIMUM)
- JOINT GRID PATTERN SHALL BE AS CLOSE TO SQUARES AS POSSIBLE (1:1 RATIO), WITH A MAXIMUM OF 1:1.5 RATIO
- CONTROL JOINTS SHALL NOT BE INSTALLED IN STRUCTURAL SLABS

• CONCRETE MASONRY UNITS (CMU) SHALL BE ASTM C90 WITH A MIN. COMPRESSIVE STRENGTH OF 1400 psi (F_m=1500 psi). MORTAR SHALL BE ASTM C270, TYPE S. CMU DESIGN PER ACI 530 & 530.1.

• CMU FOUNDATION WALLS SHALL HAVE 'DUR-O-WALL' HORIZONTAL JOINT REINFORCEMENT (OR EQUAL) - 4 GA. MINIMUM @ 16" O.C.

• PROVIDE 2x8 x 16" LONG P.T. PLATE ON TOP OF ALL CRAWL SPACE PIERS. ALL PIERS SHALL BE GROUTED SOLID.

• PROVIDE 2x6 P.T. PLATE ON INTERIOR CRAWL SPACE WALLS, FASTENED PER ANCHORAGE SPECIFICATION NOTED ABOVE.

• DIMENSIONS BY OTHERS, BUILDER TO VERIFY.

• BUILDER TO VERIFY THAT MODEL HAS BEEN ADEQUATELY TREATED BY A LICENSED AND BONDED PEST CONTROL COMPANY FOR SUBTERRANEAN TERMITES. METHOD AND TYPE OF TREATMENT TO BE DETERMINED BY PEST CONTROL COMPANY.

GENERAL STRUCTURAL NOTES

GENERAL FRAMING

• DESIGN IS BASED ON 2018 NORTH CAROLINA STATE BUILDING CODE: RESIDENTIAL CODE.

• WOOD FRAME ENGINEERING IS BASED ON NDS, "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" - LATEST EDITION.

• DESIGN LOADS:

ROOF	DEAD = 7 PSF T.C., 10 PSF B.C. LIVE = 16 PSF LOAD DURATION FACTOR = 1.25
FLOOR	LIVE = 40 PSF (30 PSF @ SLEEPING AREAS) DEAD = 10 PSF (1-JOISTS & SOLID SAMN) 10 PSF T.C., 5 PSF B.C. (TRUSSES) (ADD'L 10 PSF @ TILE)
LATERAL	120 MPH, EXPOSURE B. SEISMIC A/B.
SOIL	2,000 PSF ASSUMED ALLOWABLE BEARING PRESSURE (TO BE VERIFIED BY BUILDER)

FLOOR FRAMING

• 1-JOISTS/TRUSSES SHALL BE DESIGNED BY MANUF. TO MEET OR EXCEED L/480 LIVE LOAD DEFLECTION CRITERIA. (EXCLUDES MARBLE FLOORS - CONTACT MKK FOR MARBLE FLOOR DESIGNS)

• AT 1-JOIST FLOORS, PROVIDE 1 1/8" MIN. OSB RIM BOARD.

• METAL HANGERS SHALL BE SPECIFIED BY MANUFACTURER, UNO.

• FLOOR SHEATHING SHALL BE 23/32" A.P.A. RATED 'STURD-I-FLOOR' 24" O.C, EXPOSURE 1 (OR APPROVED EQUAL) WITH TONGUE AND GROOVE EDGES. FASTEN TO FRAMING MEMBERS W/ GLUE AND

- 2 1/2" x 0.131" NAILS @ 6"o.c. @ PANEL EDGES @ 12"o.c. FIELD.
- 2 3/8" x 0.120" NAILS @ 4" O.C. @ PANEL EDGES @ 8" O.C. FIELD.
- 2 3/8" x 0.113" NAILS @ 3" O.C. @ PANEL EDGES @ 6" O.C. IN FIELD.
- #6 x 2" MIN. SCREWS @ 6" O.C. @ PANEL EDGES @ 12" O.C. FIELD.

ROOF FRAMING

• BAY WINDOWS & SHED ROOFS (UP TO 6' SPAN) CAN BE 2x4 OR 2x6 RAFTERS & CEILING JOISTS @ 16/24" O.C.

• FASTEN EACH ROOF TRUSS TO TOP PLATE W/ SIMPSON H2.5T CLIP (OR APPROVED EQUAL) @ ALL BEARING POINTS. PROVIDE (2) H2.5T CLIPS AT 2-PLY GIRDER TRUSSES, (3) H2.5T CLIPS AT 3-PLY GIRDER TRUSSES & ROOF BEAMS - AT ALL BEARING POINTS.

• METAL HANGERS SHALL BE SPECIFIED BY THE MANUFACTURER, UNO.

• ERECT AND INSTALL ROOF TRUSSES PER WTC & TPI'S BCSI 1-08 "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING & BRACING OF METAL PLATE CONNECTED WOOD TRUSSES."

• SUPPORT PORCH & SHORT SPAN ROOF TRUSSES (MAX 7' SPAN) W/ 2x4 LEDGER FASTENED TO:

- RIM BOARD W/ (2) 3"x0.131" NAILS @ 16" O.C. MAX. (1-JOISTS)
- TRUSS VERTICALS W/ (3) 3"x0.131" NAILS @ 14.2" O.C. MAX. (FLOOR TRUSSES)

• ROOF SHEATHING SHALL BE 7/16" A.P.A. RATED SHEATHING 24/16 EXPOSURE 1 (OR APPROVED EQUAL). FASTEN TO FRAMING MEMBERS

- W/ 2 1/2" x 0.131" NAILS @ 6"o.c. @ PANEL EDGES @ 12" O.C. FIELD.
- W/ 2 3/8" x 0.120" NAILS @ 4"o.c. @ PANEL EDGES @ 8" O.C. FIELD.
- W/ 2 3/8" x 0.113" NAILS @ 3"o.c. @ PANEL EDGES @ 6" O.C. FIELD.

HOLD-DOWN SCHEDULE

SYMBOL	SPECIFICATION
	SIMPSON HT14 HOLD-DOWN @ 1/8" DIA. ANCHOR
	SIMPSON MSTC66 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM UNO.) -OR- MSTC66B3 ALTERNATE
	SIMPSON STHD14/STHD14RJ

* UTILIZE THE 56TB24 ANCHOR BOLT @ ALL MONOSLAB & INTERIOR RAISED SLAB (I.E. THICKENED SLABS, FOOTINGS) CONDITIONS. MINIMUM 24" MIN. FOOTING THICKNESS REQUIRED. EPOXY-SET ALTERNATE FOR MONOSLAB & INTERIOR RAISED SLAB CONDITIONS ONLY; UTILIZE SIMPSON 'SET' EPOXY SYSTEM TO FASTEN THREADED ROD INTO CONCRETE FOUNDATION. PROVIDE 10" (FOR 5/8" DIA) OR 15" (FOR 1/8" DIA) MIN. EMBEDMENT INTO CONCRETE. INSTALL PER MANUF. INSTRUCTIONS. MINIMUM 16" FOOTING THICKNESS REQ'D. DO NOT LOCATE ANCHORS WITHIN 1 3/4" OF EDGE OF CONCRETE.

LEGEND

- INTERIOR BEARING WALL
- BEARING WALL ABOVE
- BEAM / HEADER
- INDICATES SHEAR WALL & EXTENT
- EXTENT OF OVERFRAMING
- METAL HANGER
 - INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

NON-BEARING HEADER SCHEDULE

SPAN	2x4 NON-BEARING PARTITION WALL	2x6 NON-BEARING PARTITION WALL
UP TO 3'-0"	(1)2x4 FLAT	(1)2x6 FLAT
UP TO 6'-0"	(2)2x4	(3)2x4
UP TO 8'-0"	(2)2x6	(3)2x6
UP TO 12'-0"	(2)2x8	(3)2x8

NOTES:

- ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 2x "STUD" GRADE MEMBERS SPACED @ 24" O.C. (MAX.)

LATERAL BRACING & SHEAR WALL SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM:

120 MPH WIND IN 2018 NC5BC:RC

(120 MPH WIND SPEED IN ASCE 7-10 WIND MAP, PER IRC R301.2.1.1) EXP. B, RISK CAT. 2 & SEISMIC CAT. A/B.

THE DESIGN WAS COMPLETED PER 2015 IBC (SECTION 1609) & ASCE 7-10, AS PERMITTED BY R301.1.3 OF THE 2018 NC5BC:RC, OR THE SIMPLIFIED PRESCRIPTIVE PROCEDURE IN ACCORDANCE WITH THE 2015 IRC IF THE PARAMETERS OF SECTION R602.12 COMPLY. ACCORDINGLY, THIS MODEL, AS DOCUMENTED AND DETAILED HEREWITHIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES.

DESIGN WIND UPLIFT LOADS HAVE BEEN CALCULATED UTILIZING ASCE 7-10 (ACCEPTED ENGINEERING PRACTICE) AS ALLOWED PER 2018 NC5BC:RC SECTION R802.11.1.1. THIS MODEL HAS BEEN DETAILED WHERE REQUIRED & ENGINEERED TO RESIST THE WIND UPLIFT LOAD PATH PER SECTIONS R602.3.54 R802.11.

EXT. WALL SHEATHING SPECIFICATION

- 7/16" OSB OR 15/32" PLYWOOD:
- FASTEN SHEATHING W/ 2 3/8"x0.113" NAILS @ 6" O.C. AT EDGES @ 12" O.C. IN THE PANEL FIELD. TYP, UNO.
- HORIZONTAL BLOCKING OF EXT. WALL/SHEAR WALL PANEL EDGES IS NOT REQUIRED BY THIS DESIGN EXCEPT FOR THOSE AREAS SPECIFICALLY NOTED.
- ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED AND ARE CONSIDERED SHEAR WALLS.
- ALT. STAPLE CONNECTION SPEC: 1 1/2" 16 GA STAPLES (1/8" CROWN) @ 3" O.C. AT EDGES @ 6" O.C. IN FIELD.

BLOCKED PANEL EDGES

- AT DESIGNATED AREAS - FASTEN SHEATHING W/ 2 3/8" x 0.113" NAILS @ 6" O.C. AT ALL PANEL EDGES AND 12" O.C. IN THE PANEL FIELD OR 1 3/4" 16 GA STAPLES (1/8" CROWN) @ 3" O.C. AT EDGES @ 6" O.C. IN FIELD. ALL SHEATHING PANELS SHALL BE ORIENTED AND INSTALLED FULL HEIGHT OF SHEAR WALL OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES & EDGE FASTENING.

3" O.C. EDGE NAILING

- AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING W/ 8d NAILS @ 3" O.C. NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC. ALL SHEATHING PANELS SHALL BE ORIENTED AND INSTALLED FULL HEIGHT OF SHEAR WALL OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. EDGE FASTENING.

NOTES

- SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING. IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN, IT WILL BE SPECIFICALLY NOTED ON PLAN.
- DESIGN ASSUMES 16" O.C. MAX. STUD SPACING, UNO.
- ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.
- PRE-MANUFACTURED PANELIZED WALLS: FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED W/ OSB OR PLYWOOD W/ 3" x 0.120" NAILS @ 4" O.C. (THRU ONE SIDE ONLY)

INDICATES EXTENT OF INT. OSB SHEARNWALL OR 3" O.C. OSB SHEARNWALL.

INDICATES HOLD-DOWN BELOW

ADDITIONAL NOTES FOR TRUSS & I-JOIST MANUFACTURER

ROOF TRUSS, FLOOR TRUSS AND ENGINEERED JOISTS SHALL BE DESIGNED TO MEET THE DIFFERENTIAL DEFLECTION CRITERIA BELOW, UNLESS NOTED OTHERWISE ON PLAN.

TRUSSES/JOISTS SHALL BE DESIGNED SO THAT DIFFERENTIAL DEFLECTION BETWEEN ADJACENT PARALLEL TRUSSES/JOISTS OR GIRDER TRUSSES/FLUSH BEAMS DO NOT EXCEED THE FOLLOWING:

- A. ROOF TRUSSES:
 - 1/4" DEAD LOAD
- B. FLOOR TRUSSES, ATTIC TRUSSES, & I-JOISTS:
 - 1/8" DEAD LOAD
- C. FLOOR TRUSSES & ATTIC TRUSSES ADJACENT TO FLOOR FRAMING BY OTHERS:
 - LIMIT ABSOLUTE TRUSS DEFLECTION TO 3/16" DEAD LOAD. (NOT DIFFERENTIAL DEFLECTION)

SD2.I REFERS TO SD2.IA FOR LVL/PSL/LSL BEAMS OR SD2.IB FOR FLITCH BEAMS OR SD2.IC FOR STEEL BEAMS

MEANS & METHODS NOTES

THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FINISHED AND ALL PLAN, DETAIL, AND NOTE SPECIFICATIONS HAVE BEEN COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS, AND TIE-DOWNS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING REQUIRED TO STABILIZE AND PROTECT EXISTING AND ADJACENT STRUCTURES AND SYSTEMS DURING COURSE OF DEMOLITION AND CONSTRUCTION OF THE PROJECT.

seal: 4/4/25

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RESIDENTIAL STRUCTURAL ENGINEERING
300 Bannockburn Ave., Building 4 - Ardur, PA 10082
P 215-946-8801 • mulhern+kulp.com
NC LICENSE #C-3825

M&K project number:

126-22076

project mgr:

JTR

drawn by:

KJN

issue date:

04-02-25

REVISIONS:

date:

initial:

STRUCTURAL NOTES

DRB

HOMES

STRUCTURAL NOTES

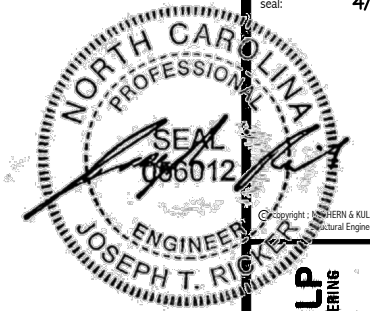
FARM AT NEIL'S CREEK

LOT 183 - CAMERON 1

RALEIGH, NC

sheet:

50.0



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RESIDENTIAL STRUCTURAL ENGINEERING
300 Bankside Ave, Building 4 - Ardmore, PA 19002
p 215-676-8001 > multiphase@mkp.com
NC LICENSE #C-3825



&K project number:
126-22076

Project mgr: JTR
Drawn by: KJN
Issue date: 04-02-25

REVISIONS:	
date:	initial:



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ATTENTION

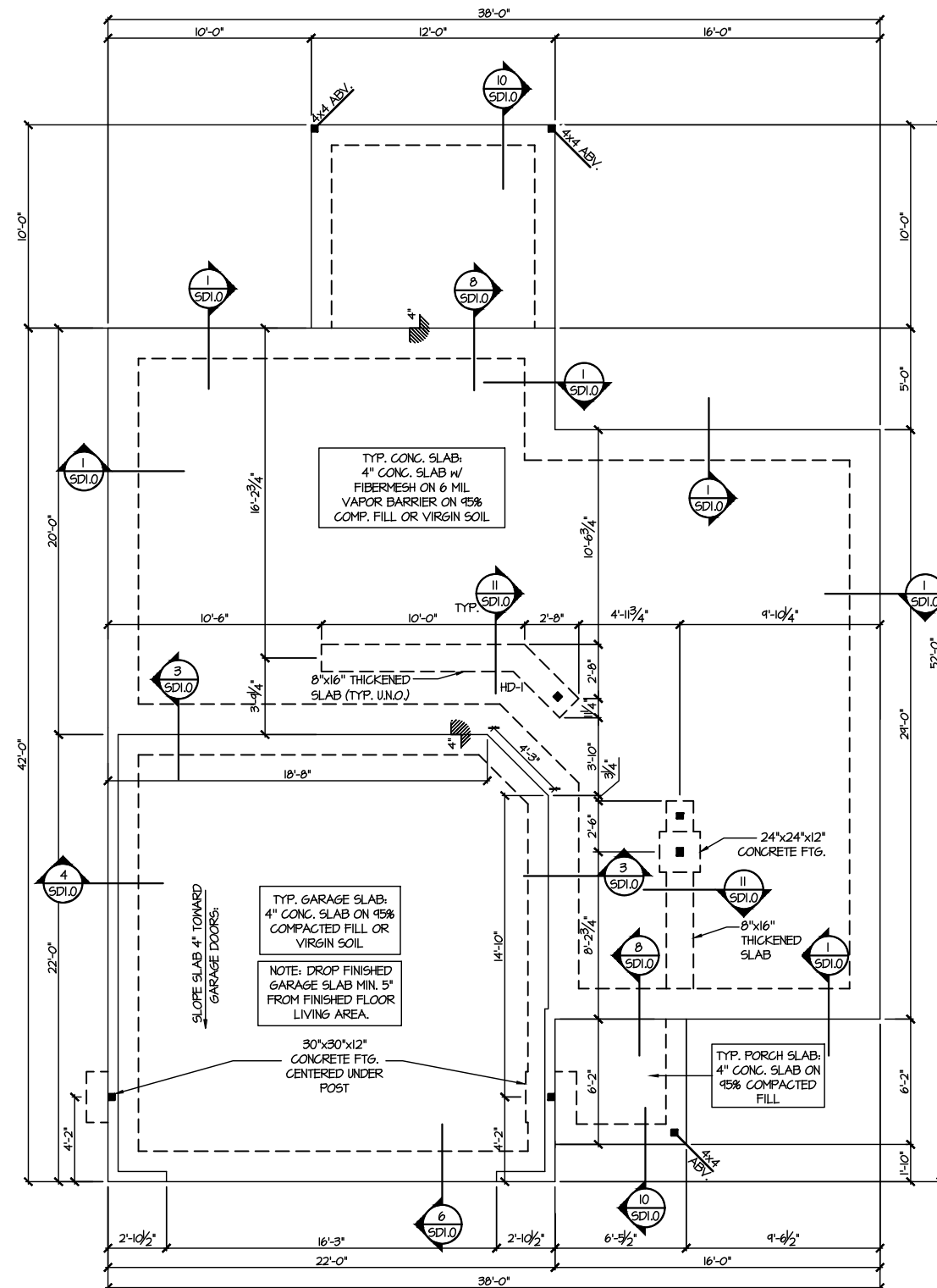
MAA - CAH, NC

ARM
T 183
LEIG

F	F	LC	RA
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Sheet: **S101**







51.0



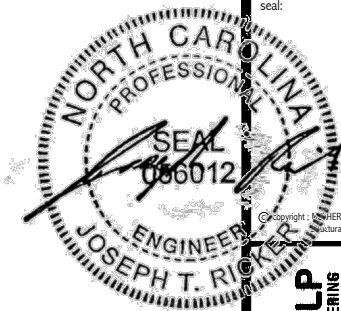
1 MONO SLAB FOUNDATION PLAN
SCALE: 1/8"=1'-0"

SCALE: 1/8"=1'-0"

LEGEND

-  INTERIOR BEARING WALL
 -  BEARING WALL ABOVE
 -  BEAM / HEADER
 -  INDICATES SHEAR WALL & EXTENT
 -  EXTENT OF OVERFRAMING
- 11. METAL HANGER**
- * INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
-  INDICATES HOLD-DOWN OR STRAP.
REFER TO SCHEDULE.

REFER TO 50.0 FOR
TYPICAL STRUCTURAL NOTES
& SCHEDULES



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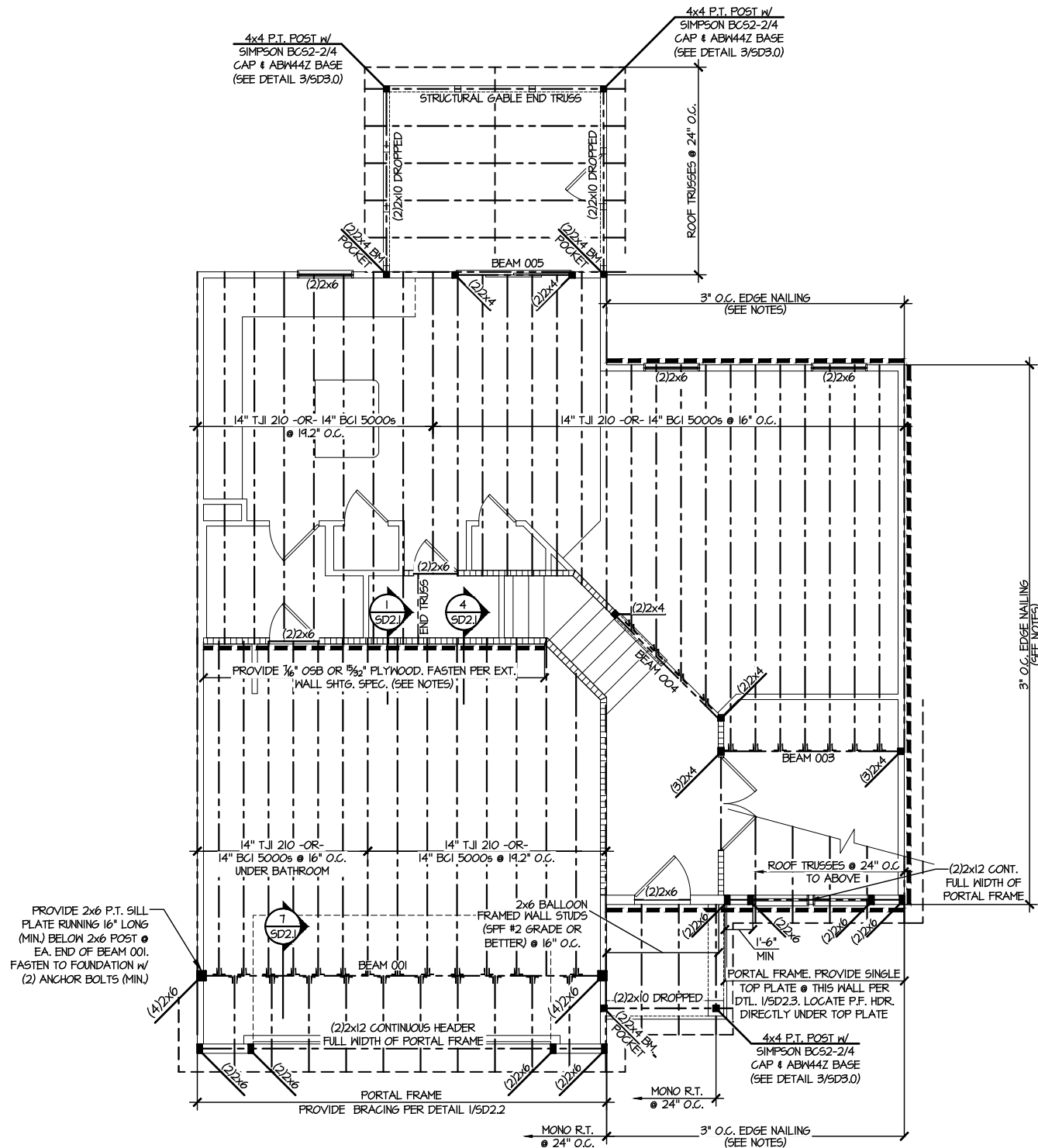
M&K project number:
126-22076
project mgr: **JTR**
drawn by: **KJN**
issue date: **04-02-25**

REVISIONS:
date: initial:

DRB HOMES

FLOOR FRAMING PLANS
FARM AT NEIL'S CREEK
LOT 183 - CAMERON 1
RALEIGH, NC

sheet:
S2.0



2ND FLOOR FRAMING PLAN
SCALE: 1/8"=1'-0"

ENGINEERED BEAM MATERIAL SCHEDULE

BEAM NUMBER	LVL OPTION	PSL OPTION	LSL OPTION	FLITCH OPTION	STEEL OPTION
001	(4)3/4"x18" - FT	7"x18" - FT	N/A	(4)2x12 + (3) 3/4"x11/4" STEEL FLITCH PLATES - FB	W12x30 - F
001A	(4)3/4"x18" - D	7"x18" - D	N/A	(4)2x12 + (3) 3/4"x11/4" STEEL FLITCH PLATES - D	W12x30 - D
002	(2)3/4"x14" - F	3 1/2"x14" - F	(2)3/4"x14" - F	(2)2x12 + (1) 1/4"x11/4" STEEL FLITCH PLATE - FB	W12x14 - F
003	(2)3/4"x14" - F	3 1/2"x14" - F	(2)3/4"x14" - F	(2)2x12 + (1) 1/4"x11/4" STEEL FLITCH PLATE - FB	W12x14 - F
004	(1)3/4"x14" - F	1 3/4"x14" - F	(1)3/4"x14" - F	(2)2x12 + (1) 1/4"x11/4" STEEL FLITCH PLATE - FB	W12x14 - F
005	(2)3/4"x14" - H	3 1/2"x14" - H	(2)3/4"x14" - H	(2)2x10 + (1) 1/4"x9/4" STEEL FLITCH PLATE - H	W8x10 - H
006	(2)3/4"x14" - H	3 1/2"x14" - H	(3)3/4"x14" - H	(2)2x12 + (1) 1/2"x11/4" STEEL FLITCH PLATE - H	N/A
007	(2)3/4"x14" - F	3 1/2"x14" - F	(2)3/4"x14" - F	(2)2x12 + (1) 1/2"x11/4" STEEL FLITCH PLATE - FB	W12x14 - F
007A	(3)3/4"x14" - F	5 1/4"x14" - F	(3)3/4"x14" - F	(3)2x12 + (2) 1/2"x11/4" STEEL FLITCH PLATES - FB	W12x14 - F
008	(2)3/4"x14" - F	3 1/2"x14" - F	(3)3/4"x14" - F	(2)2x12 + (1) 1/2"x11/4" STEEL FLITCH PLATES - FB	W12x14 - F
008A	(3)3/4"x14" - F	5 1/4"x14" - F	(3)3/4"x14" - F	(3)2x12 + (2) 1/2"x11/4" STEEL FLITCH PLATES - FB	W12x14 - F
009	(3)3/4"x16" - D	5 1/4"x16" - D	N/A	(3)2x12 + (2) 1/2"x9/4" STEEL FLITCH PLATES - D	W12x14 - D
010	(2)3/4"x14" - D	3 1/2"x14" - D	(2)3/4"x14" - D	(2)2x10 + (1) 1/4"x9/4" STEEL FLITCH PLATE - D	W8x10 - D
011	(2)3/4"x14" - F	3 1/2"x14" - F	(2)3/4"x14" - F	(2)2x12 + (1) 1/4"x11/4" STEEL FLITCH PLATE - FB	W12x14 - F

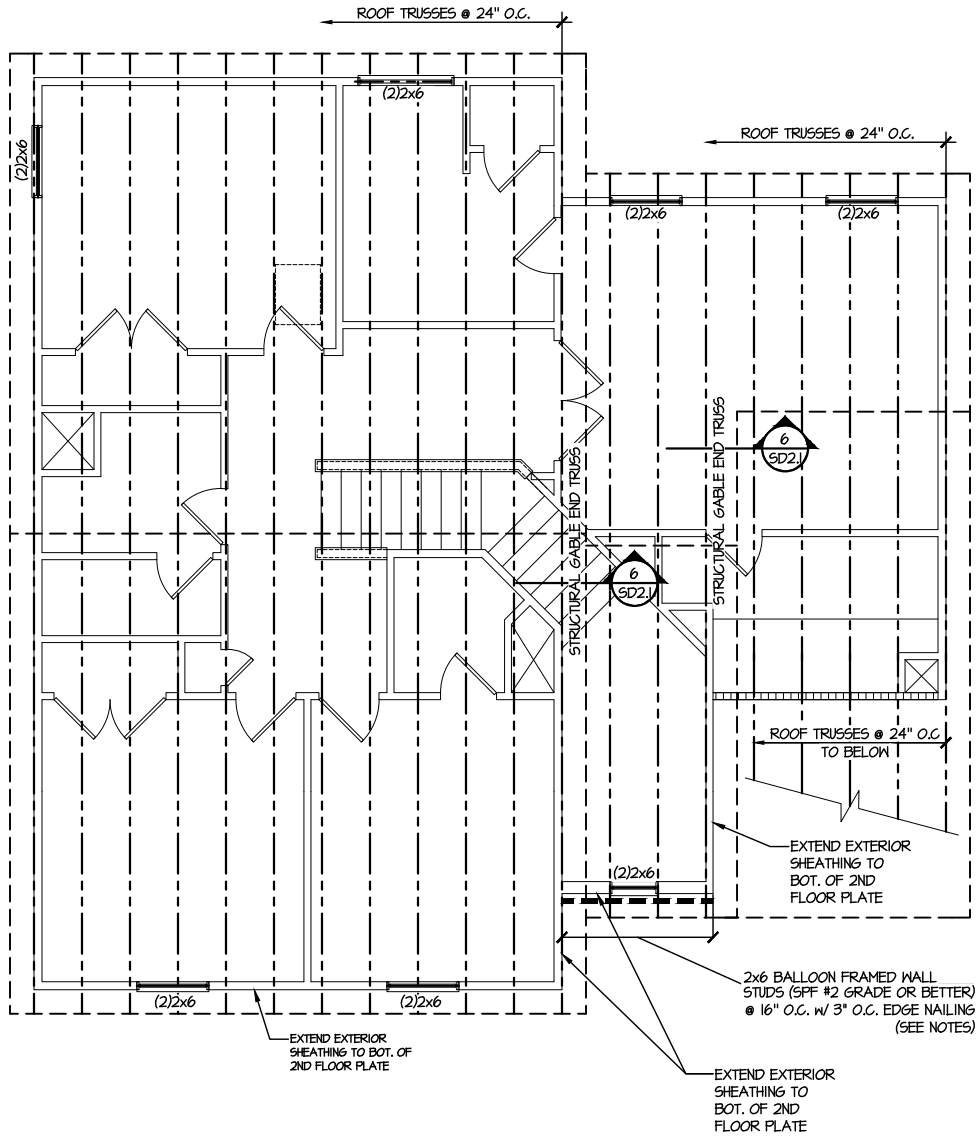
- **BEAM NOTATION:**
 - "F" INDICATES FLUSH BEAM
 - "FT" INDICATES FLUSH TOP BEAM
 - "FB" INDICATES FLUSH BOTTOM BEAM
 - "D" INDICATES DROPPED BEAM
 - "H" INDICATES DROPPED OPENING HEADER
- REFER TO DETAIL D/SD2.0 FOR TYPICAL FLITCH BEAM CONNECTIONS
- REFER TO DETAIL E/SD2.0 FOR TYPICAL STEEL BEAM CONNECTIONS
- FOR FLUSH TOP BEAMS PROVIDE 2X STACKED PLATES BENEATH BEAM AS REQ'D. FASTEN PLATES IN SUCCESSION W/ (2) 3"x0.120" NAILS @ 8" O.C.
- FOR FLUSH BOTTOM BEAMS PROVIDE 2X STACKED PLATES ATOP BEAM AS REQ'D. FASTEN PLATES IN SUCCESSION W/ (2) 3"x0.120" NAILS @ 8" O.C.

SD2.1 REFERS TO SD2.1A FOR LVL/PSL/LSL BEAMS OR SD2.1B FOR FLITCH BEAMS OR SD2.1C FOR STEEL BEAMS

LEGEND

- [Pattern] INTERIOR BEARING WALL
- [Pattern] BEARING WALL ABOVE
- [Pattern] BEAM / HEADER
- [Pattern] INDICATES SHEAR WALL & EXTENT
- [Pattern] EXTENT OF OVERFRAMING
- [Symbol] METAL HANGER
- * INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- [Symbol] INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

REFER TO S.O. FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

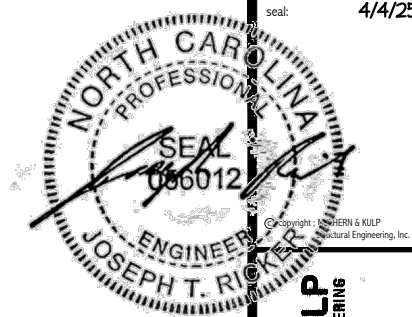


1 ROOF FRAMING PLAN
SCALE: 1/8"=1'-0"

LEGEND

- [Symbol] INTERIOR BEARING WALL
- [Symbol] BEARING WALL ABOVE
- [Symbol] BEAM / HEADER
- [Symbol] INDICATES SHEAR WALL & EXTENT
- [Symbol] EXTENT OF OVERFRAMING
- [Symbol] 1L METAL HANGER
- * INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- ▶ INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

**REFER TO SO.0 FOR
TYPICAL STRUCTURAL NOTES
& SCHEDULES**



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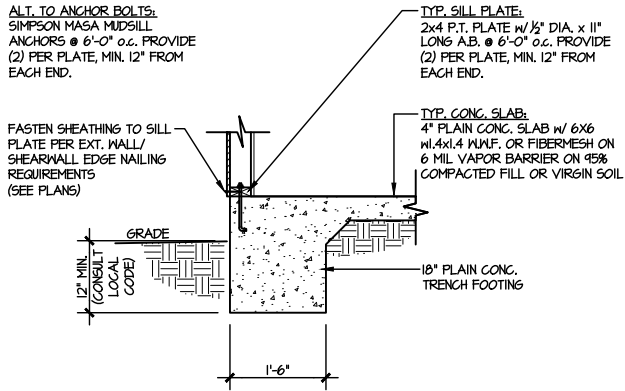
seal: 4/4/25

M&K project number:	126-22076
project mgr:	JTR
drawn by:	KJN
issue date:	04-02-25
REVISIONS:	
date:	initial:



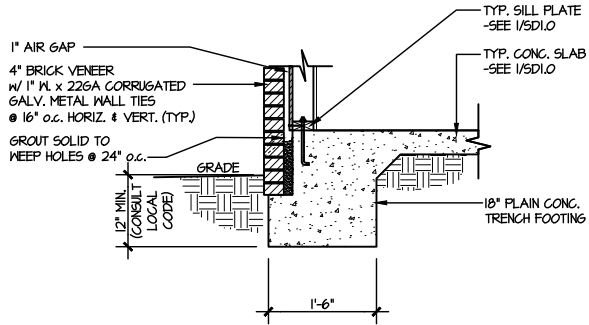
ROOF FRAMING PLANS
FARM AT NEIL'S CREEK
LOT 183 - CAMERON 1
RALEIGH, NC

sheet:
S3.0



1 TYPICAL SLAB ON GRADE PERIMETER FOOTING

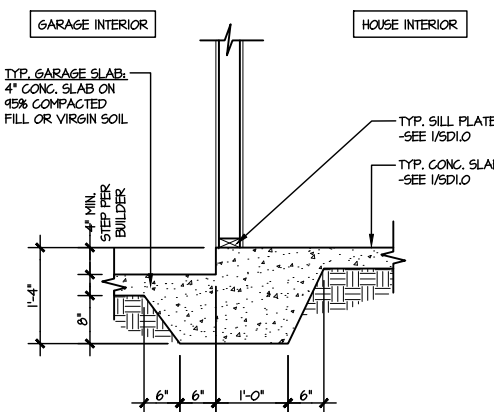
SCALE: 3/8"=1'-0"



2 TYPICAL SLAB ON GRADE PERIMETER FOOTING

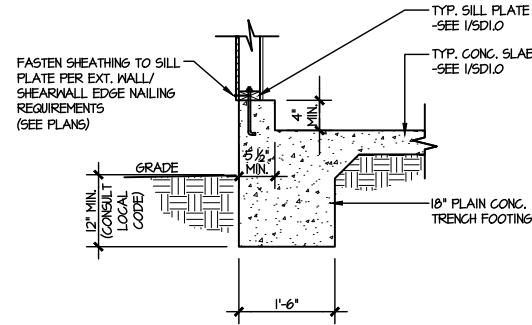
SCALE: 3/8"=1'-0"

N/ BRICK VENEER



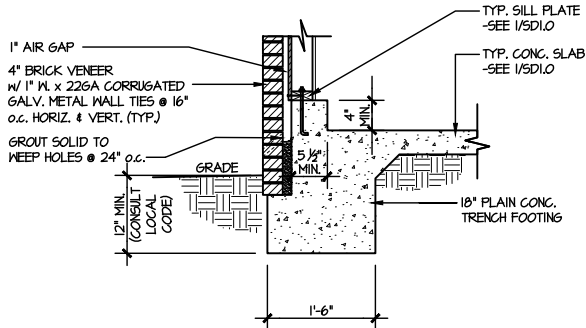
3 TYPICAL MONOLITHIC INTERIOR GARAGE FOOTING

SCALE: 3/8"=1'-0"



4 TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING

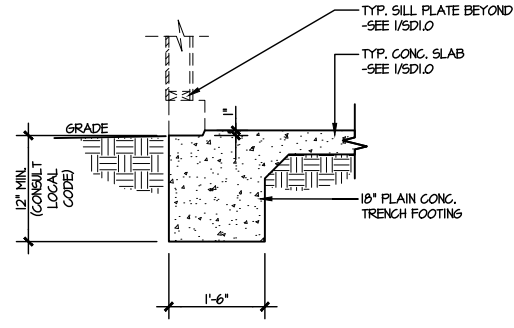
SCALE: 3/8"=1'-0"



5 TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING

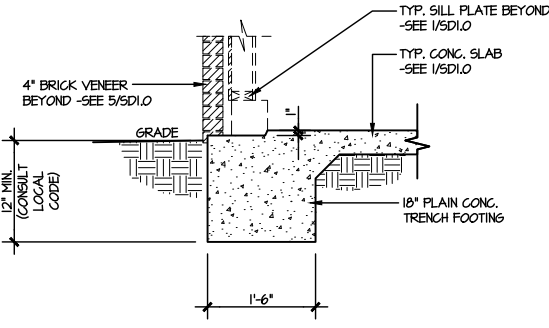
SCALE: 3/8"=1'-0"

N/ BRICK VENEER



6 TYPICAL SLAB ON GRADE GARAGE ENTRY @ PERIMETER FOOTING

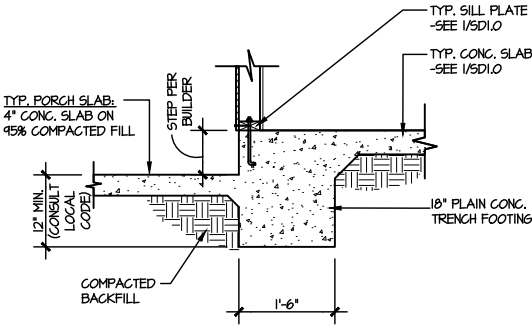
SCALE: 3/8"=1'-0"



7 TYPICAL SLAB ON GRADE GARAGE ENTRY @ PERIMETER FOOTING

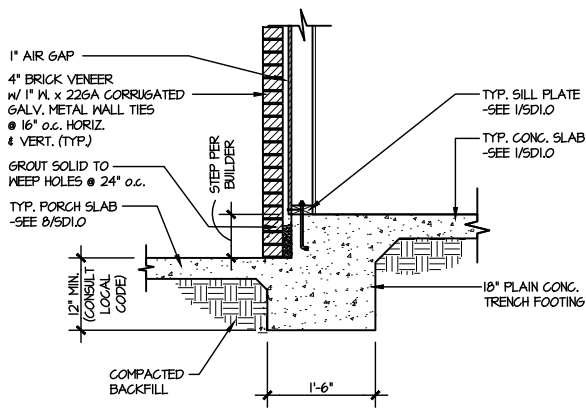
SCALE: 3/8"=1'-0"

N/ BRICK VENEER



8 TYPICAL SLAB ON GRADE PERIMETER FOOTING @ PORCH/PATIO

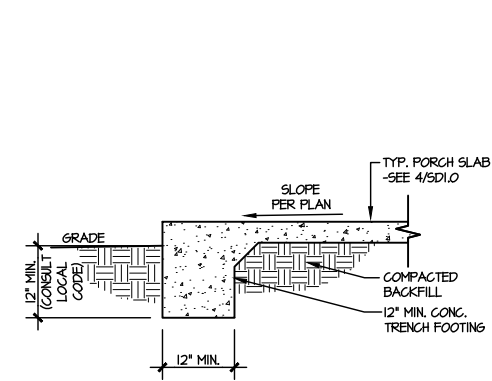
SCALE: 3/8"=1'-0"



9 TYPICAL SLAB ON GRADE PERIMETER FOOTING @ PORCH/PATIO

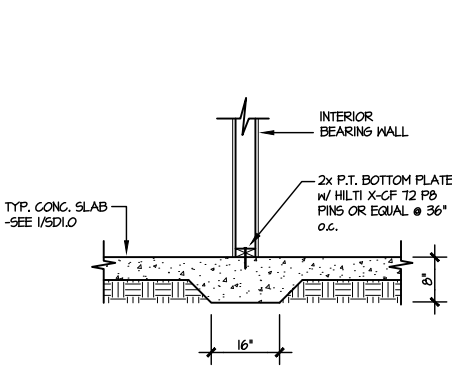
SCALE: 3/8"=1'-0"

N/ BRICK VENEER



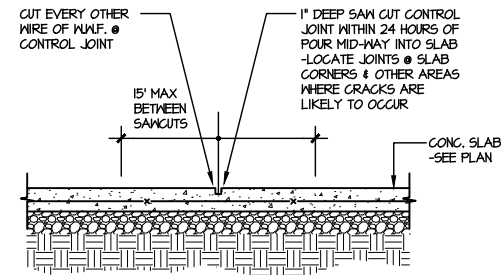
10 TYPICAL FOOTING @ PORCH SLAB

SCALE: 3/8"=1'-0"



11 TYPICAL THICKENED SLAB @ INTERIOR BEARING WALL

SCALE: 3/8"=1'-0"



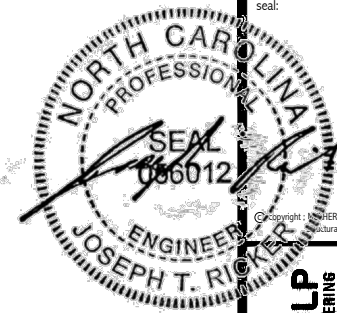
A TYPICAL CONTROL JOINT

SCALE: 3/8"=1'-0"

LOCATE @ 15'-0" o.c. MAX.
OR CORNERS WHERE CRACKS
LIKELY TO DEVELOP

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.



4/14/25

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M&K project number:
126-22076

project mgr: JTR
drawn by: KJN
issue date: 04-02-25

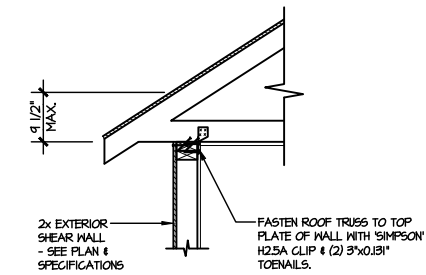
REVISIONS:
date: initial:

DRB
HOMES

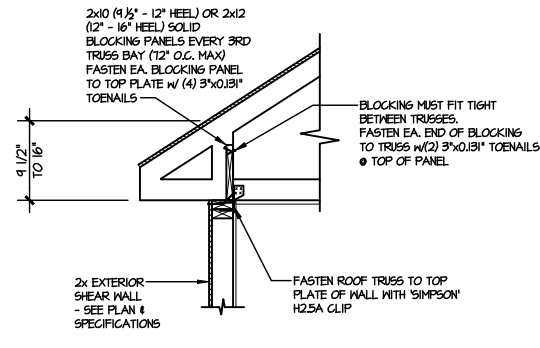
FOUNDATION DETAILS
FARM AT NEILS CREEK
LOT 183 - CAMERON 1
RALEIGH, NC

sheet:

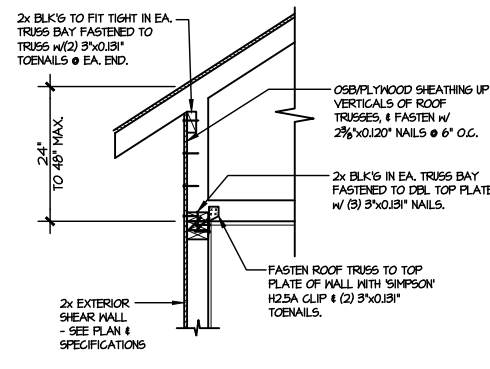
SD1.0



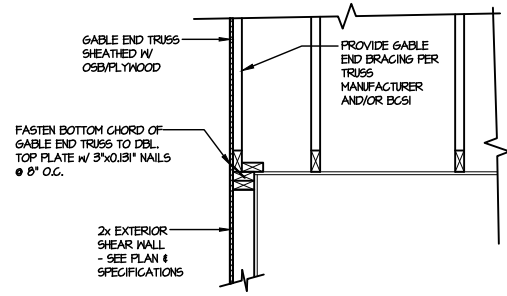
**TYPICAL SHEAR
TRANSFER DETAIL @ ROOF**
A1 SCALE: 3/8"=1'-0" HEEL HEIGHT LESS THAN 9 1/2"
NO BLOCKING REQ'D



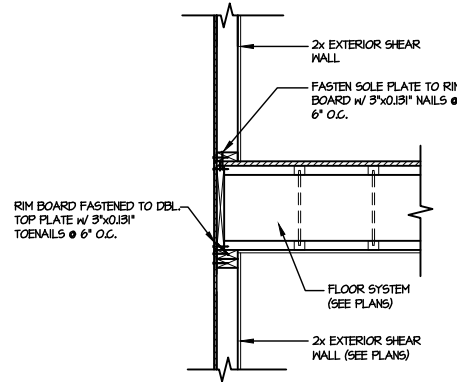
**TYPICAL SHEAR
TRANSFER DETAIL @ ROOF**
A2 SCALE: 3/8"=1'-0" HEEL HEIGHT BETWEEN 9 1/2" - 16"
BLOCKING REQ'D



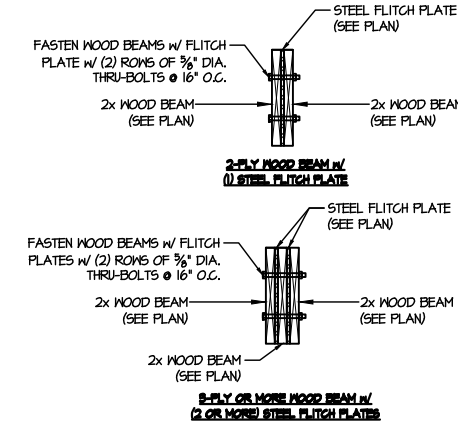
**TYPICAL SHEAR TRANSFER
DETAIL @ RAISED HEEL TRUSS**
A3 SCALE: 3/8"=1'-0" HEEL HEIGHT UP TO 48" MAX.



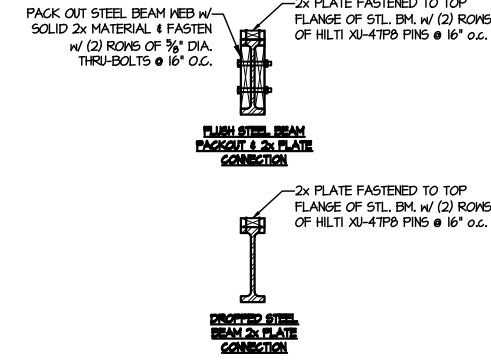
TYPICAL GABLE END DETAIL
B SCALE: 3/8"=1'-0"



**TYPICAL SHEAR TRANSFER DETAIL
BETWEEN FLOORS @ EXTERIOR WALL**
C SCALE: 3/8"=1'-0"



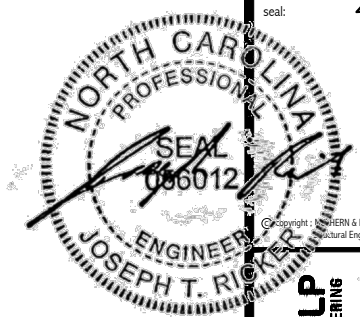
TYPICAL FLITCH BEAM CONNECTION DETAIL
D SCALE: 3/4"=1'-0"



TYPICAL STEEL BEAM CONNECTION DETAIL
E SCALE: 3/4"=1'-0"

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

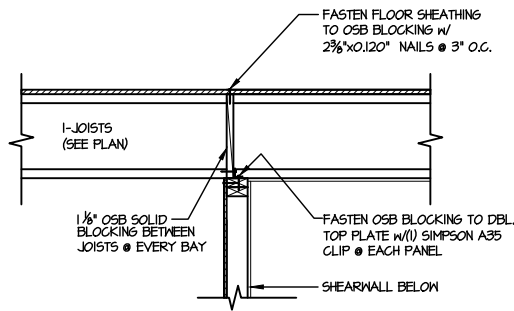
NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.



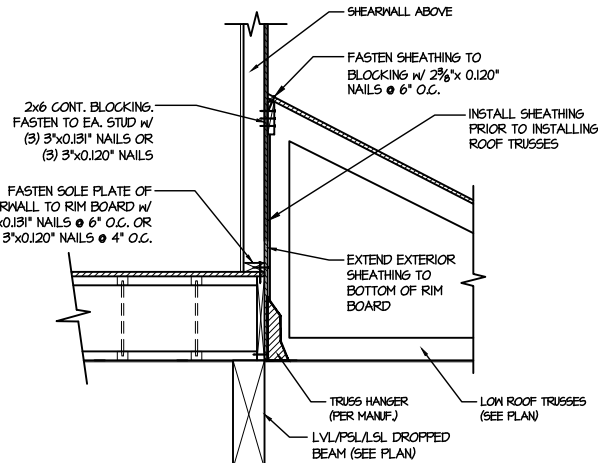
M&K project number:	126-22076
project mgr:	JTR
drawn by:	KJN
issue date:	04-02-25
REVISIONS:	
date:	initial:



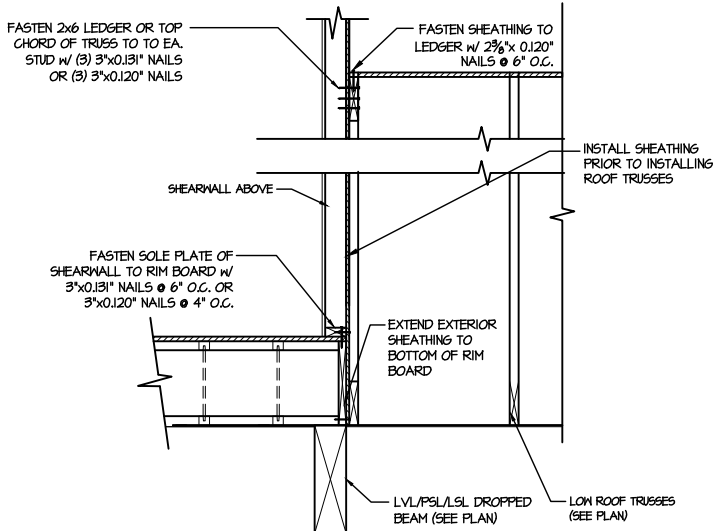
FRAMING DETAILS
FARM AT NEIL'S CREEK
LOT 183 - CAMERON 1
RALEIGH, NC



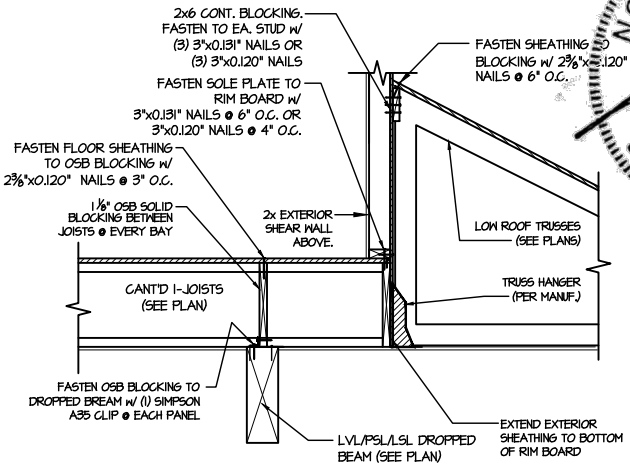
1 SHEAR TRANSFER DETAIL @
INTERIOR SHEARWALL BELOW
SCALE: 3/4"=1'-0"
PERPENDICULAR FRAMING



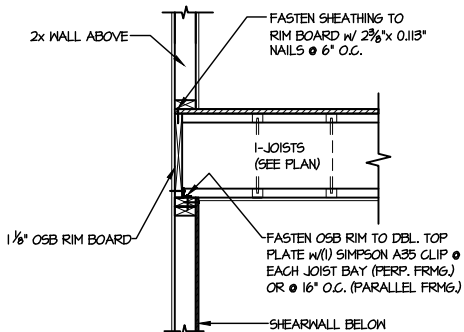
2 SHEAR TRANSFER DETAIL @
EXTERIOR SHEARWALL ABOVE
SCALE: 3/8"=1'-0"



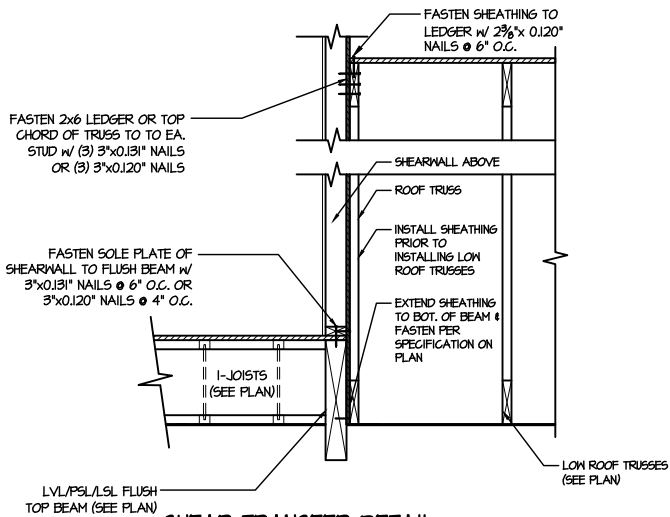
2A SHEAR TRANSFER DETAIL @
EXTERIOR SHEARWALL ABOVE
SCALE: 3/8"=1'-0"



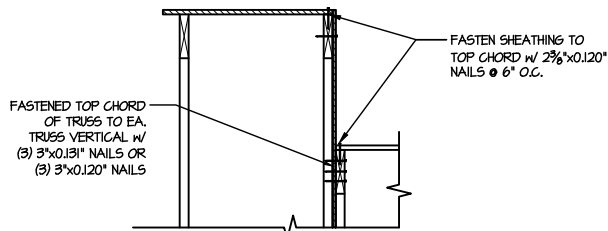
3 TYPICAL SHEAR TRANSFER DETAIL @
EXTERIOR WALL ABOVE OVER GARAGE
SCALE: 3/8"=1'-0"



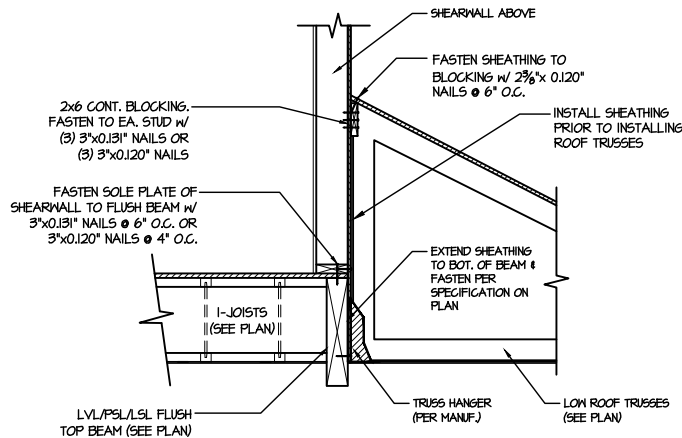
4 SHEAR TRANSFER DETAIL @ INT.
SHEARWALL BELOW
SCALE: 3/4"=1'-0"
EDGE OF FRAMING



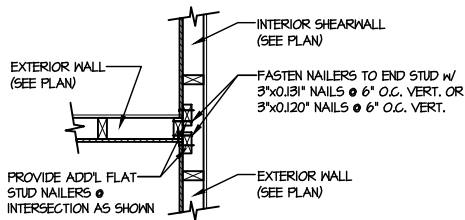
5 SHEAR TRANSFER DETAIL @
EXTERIOR SHEARWALL ABOVE
SCALE: 3/8"=1'-0"



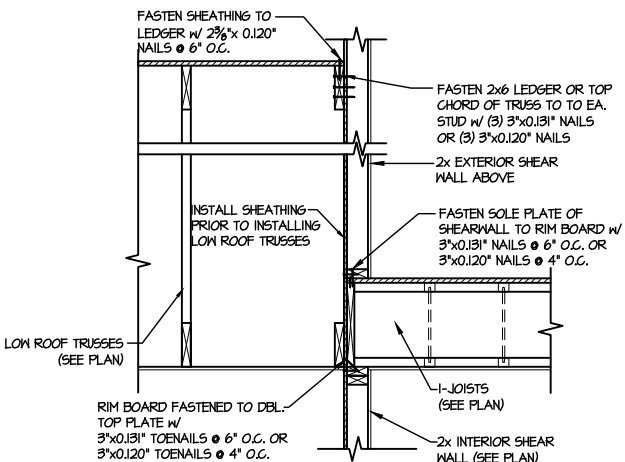
6 SHEAR TRANSFER DETAIL @
EXTERIOR SHEARWALL ABOVE
SCALE: 3/8"=1'-0"



7 SHEAR TRANSFER DETAIL @
EXTERIOR SHEARWALL ABOVE
SCALE: 3/8"=1'-0"



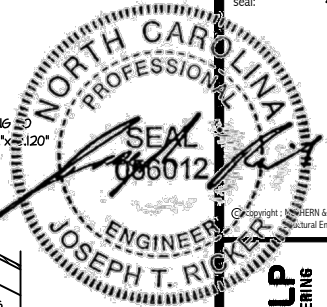
8 SHEAR TRANSFER DETAIL @
INTERSECTING INT. SHEARWALL
SCALE: 3/4"=1'-0"
SHOTS ON SAME FACE



9 TYPICAL SHEAR TRANSFER DETAIL
BETWEEN FLOORS @ INTERIOR WALL
SCALE: 3/4"=1'-0"

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

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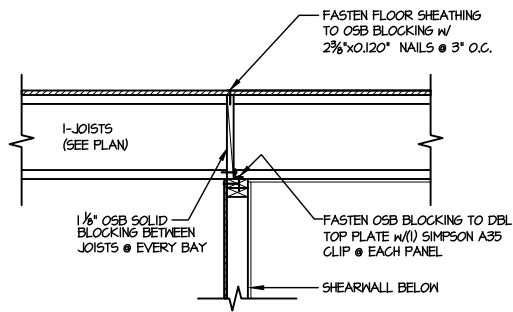
M&K project number:
126-22076
project mgr: JTR
drawn by: KJN
issue date: 04-02-25

REVISIONS:
date: initial:



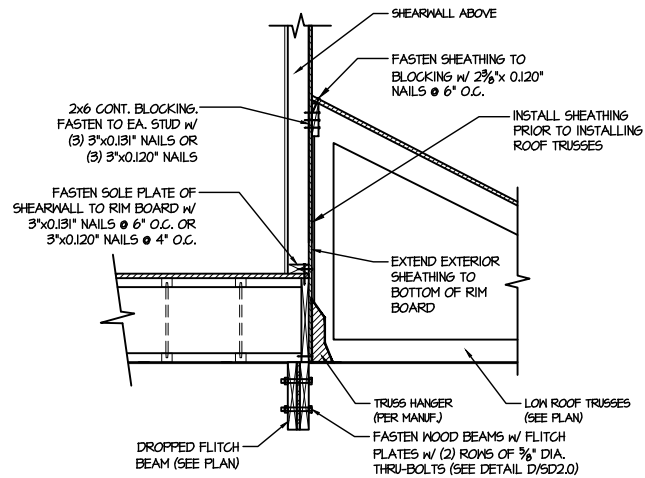
FRAMING DETAILS
FARM AT NEILS CREEK
LOT 183 - CAMERON 1
RALEIGH, NC

sheet:
SD2.1A



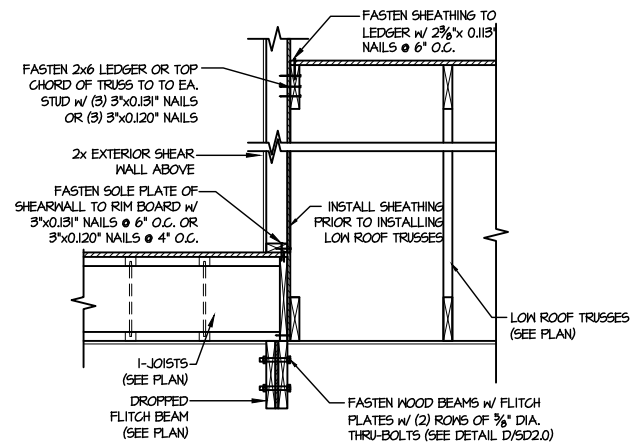
SHEAR TRANSFER DETAIL 1
INTERIOR SHEARWALL BELOW

SCALE: 3/4"=1'-0" PERPENDICULAR FRAMING



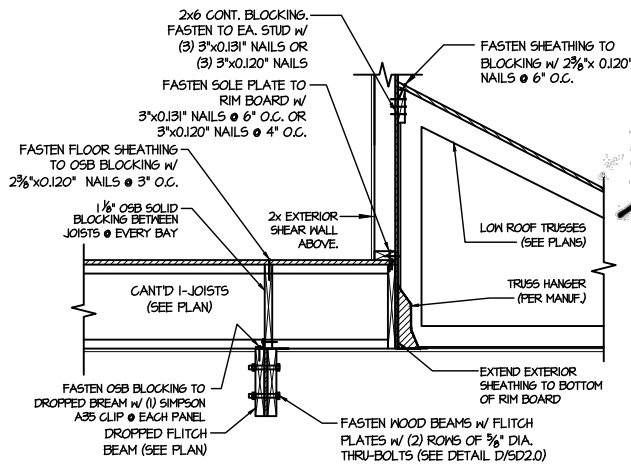
SHEAR TRANSFER DETAIL 2
EXTERIOR SHEARWALL ABOVE

SCALE: 3/8"=1'-0"



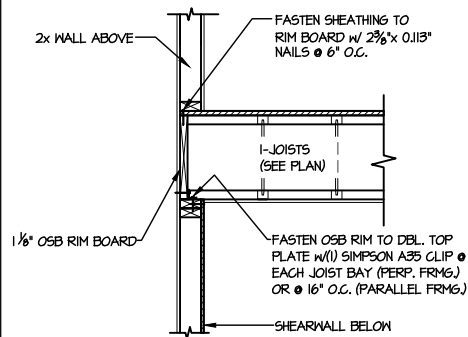
SHEAR TRANSFER DETAIL 2A
EXTERIOR SHEARWALL ABOVE

SCALE: 3/8"=1'-0"



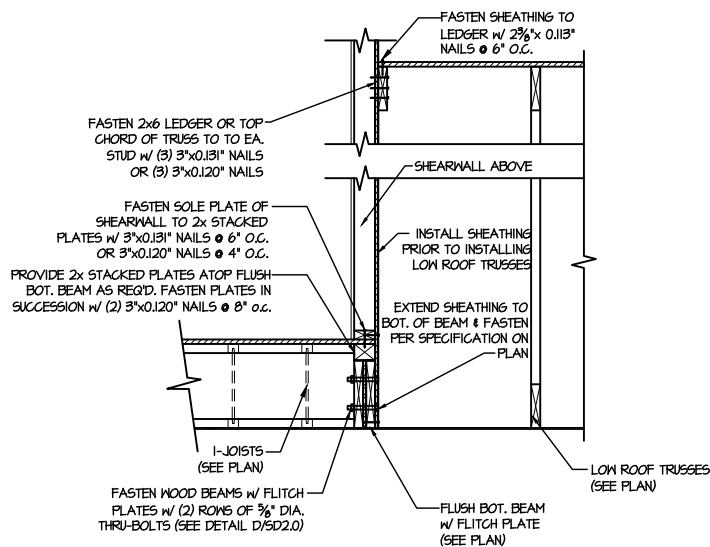
TYPICAL SHEAR TRANSFER DETAIL 3
EXTERIOR WALL ABOVE OVER GARAGE

SCALE: 3/8"=1'-0"



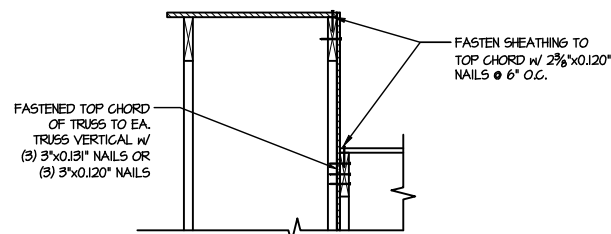
SHEAR TRANSFER DETAIL 4
INTERIOR SHEARWALL BELOW

SCALE: 3/4"=1'-0" EDGE OF FRAMING



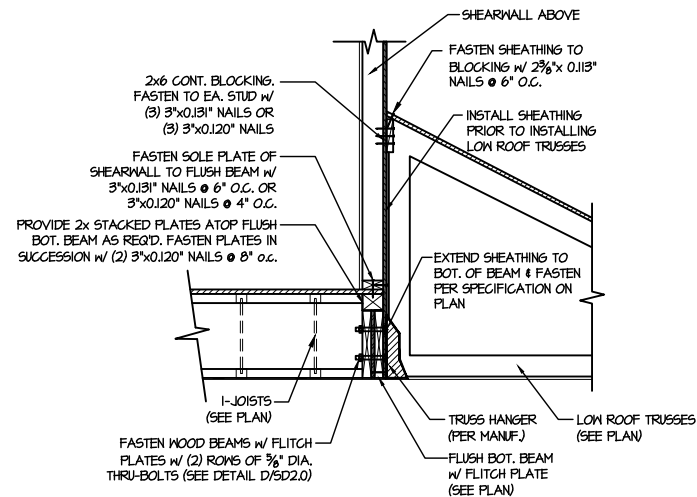
SHEAR TRANSFER DETAIL 5
EXTERIOR SHEARWALL ABOVE

SCALE: 3/8"=1'-0"



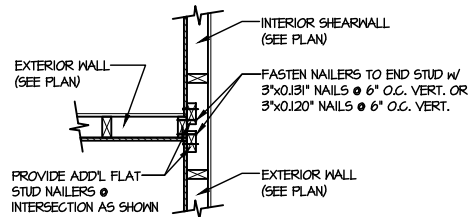
SHEAR TRANSFER DETAIL 6
EXTERIOR SHEARWALL ABOVE

SCALE: 3/8"=1'-0"



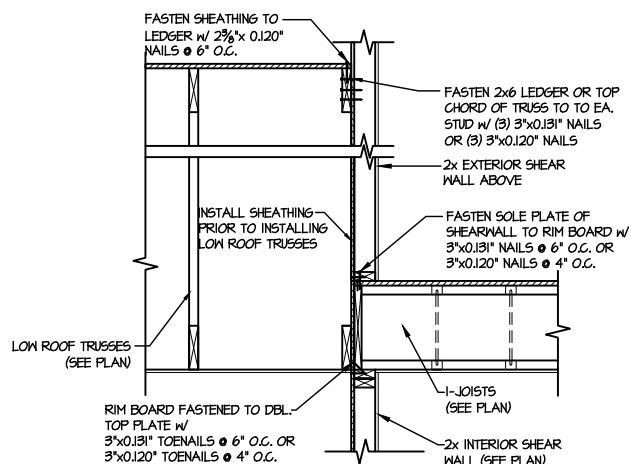
SHEAR TRANSFER DETAIL 7
EXTERIOR SHEARWALL ABOVE

SCALE: 3/8"=1'-0"



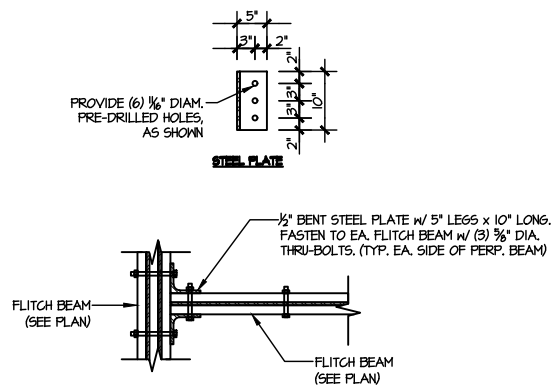
SHEAR TRANSFER DETAIL 8
INTERSECTING INT. SHEARWALL

SCALE: 3/4"=1'-0" SHOWN ON SAME PAGE



TYPICAL SHEAR TRANSFER DETAIL 9
BETWEEN FLOORS @ INTERIOR WALL

SCALE: 3/4"=1'-0"

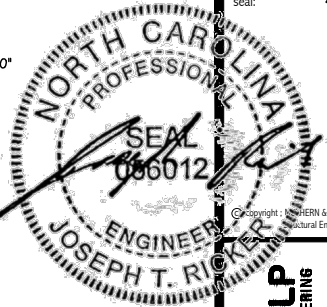


TYPICAL FLITCH BEAM TO FLITCH BEAM CONNECTION DETAIL 10

SCALE: 3/4"=1'-0"

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

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M&K project number:
126-22076

project mgr: JTR
drawn by: KJN
issue date: 04-02-25

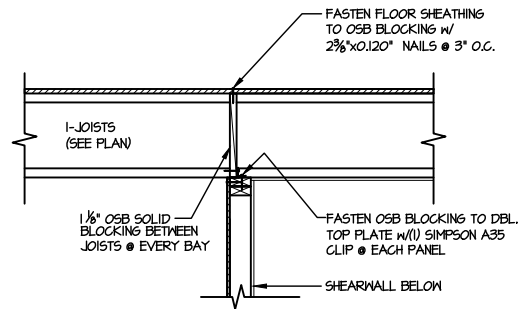
REVISIONS:
date: initial:

DRB HOMES

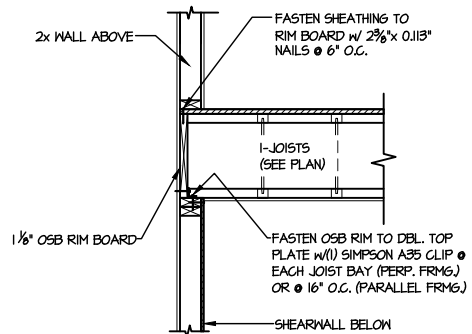
FRAMING DETAILS
FARM AT NEILS CREEK
LOT 183 - CAMERON 1
RALEIGH, NC

sheet:

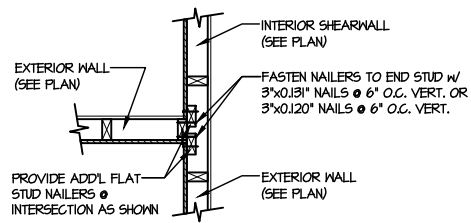
SD2.1B



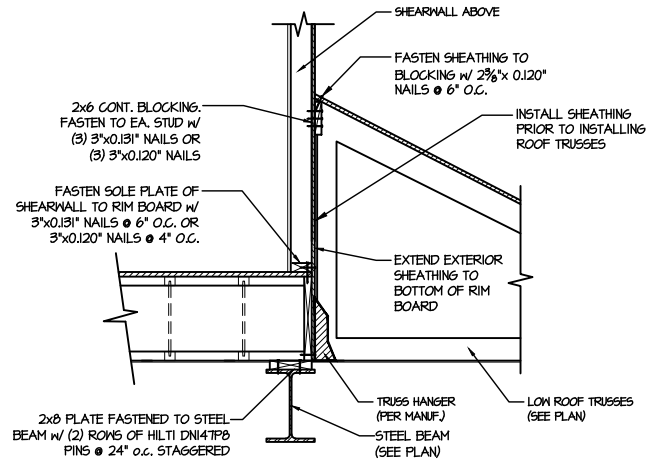
1 SHEAR TRANSFER DETAIL @
INTERIOR SHEARWALL BELOW
SCALE: 3/4"=1'-0" PERPENDICULAR FRAMING



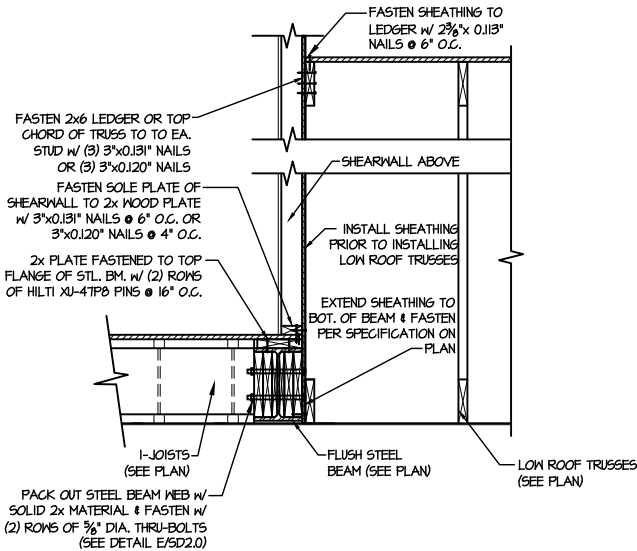
4 SHEAR TRANSFER DETAIL @ INT.
SHEARWALL BELOW
SCALE: 3/4"=1'-0" EDGE OF FRAMING



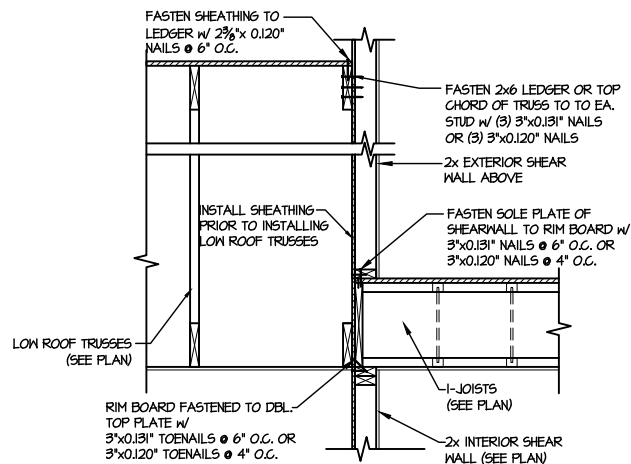
8 SHEAR TRANSFER DETAIL @
INTERSECTING INT. SHEARWALL
SCALE: 3/4"=1'-0" SHOWN ON SAME PAGE



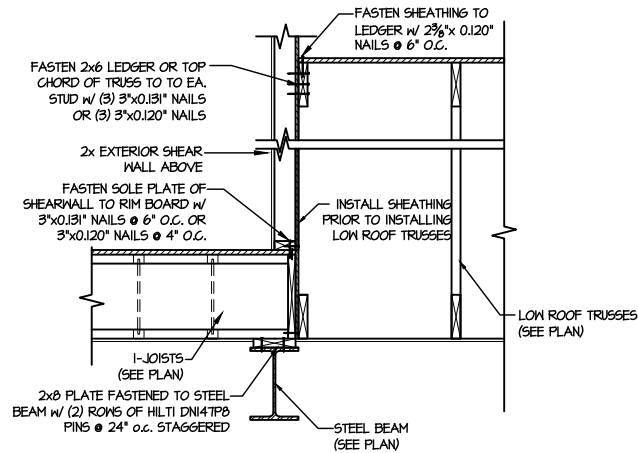
2 SHEAR TRANSFER DETAIL @
EXTERIOR SHEARWALL ABOVE
SCALE: 3/8"=1'-0"



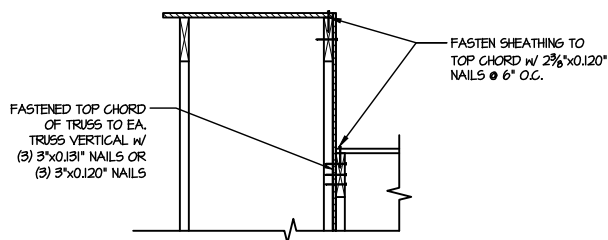
5 SHEAR TRANSFER DETAIL @
EXTERIOR SHEARWALL ABOVE
SCALE: 3/8"=1'-0"



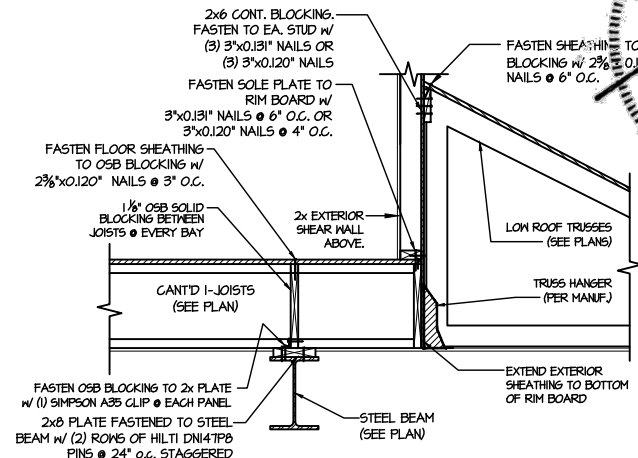
9 TYPICAL SHEAR TRANSFER DETAIL
BETWEEN FLOORS @ INTERIOR WALL
SCALE: 3/4"=1'-0"



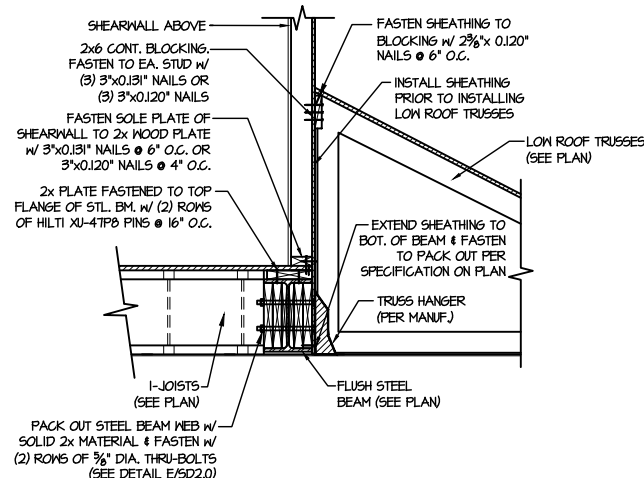
2A SHEAR TRANSFER DETAIL @
EXTERIOR SHEARWALL ABOVE
SCALE: 3/8"=1'-0"



6 SHEAR TRANSFER DETAIL @
EXTERIOR SHEARWALL ABOVE
SCALE: 3/8"=1'-0"



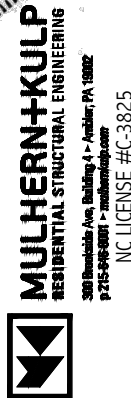
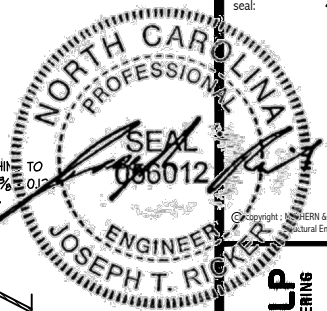
3 TYPICAL SHEAR TRANSFER DETAIL @
EXTERIOR WALL ABOVE OVER GARAGE
SCALE: 3/8"=1'-0"



7 SHEAR TRANSFER DETAIL @
EXTERIOR SHEARWALL ABOVE
SCALE: 3/8"=1'-0"

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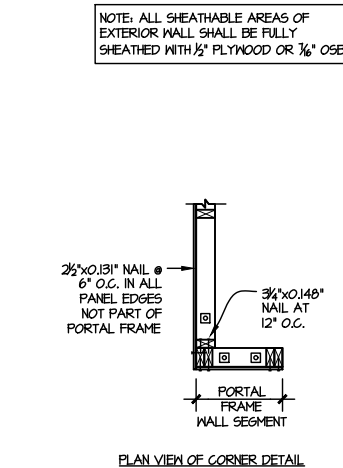
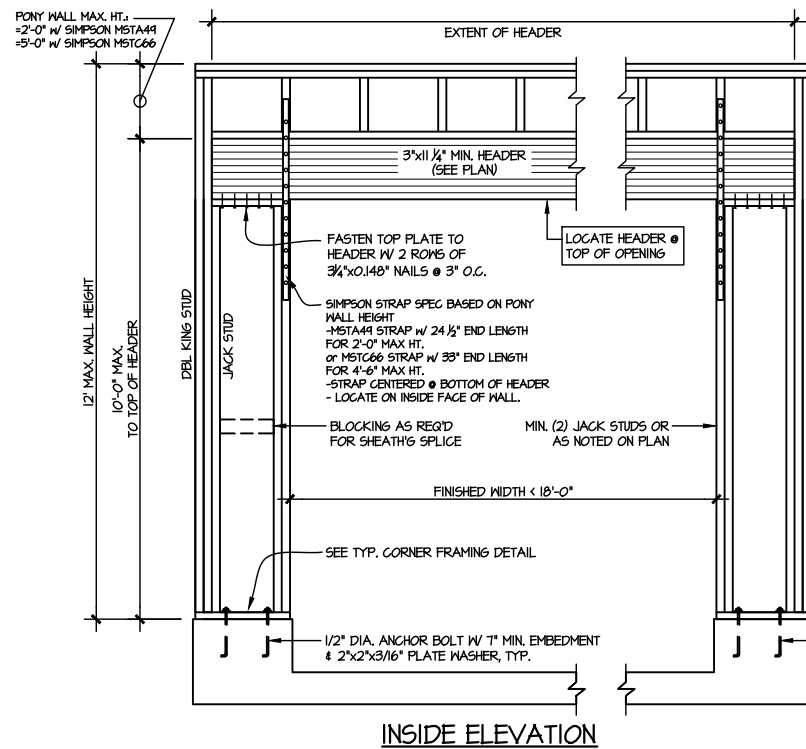
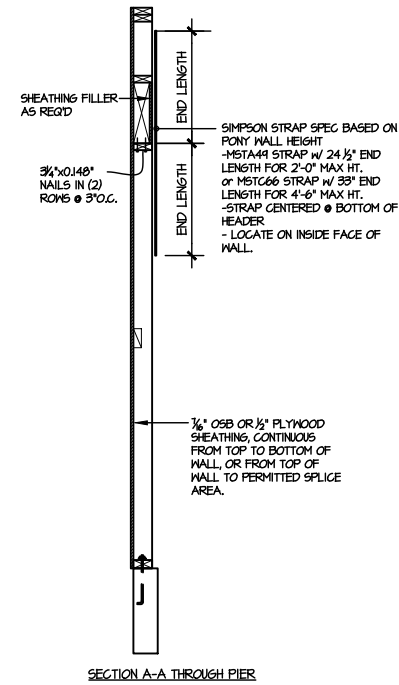
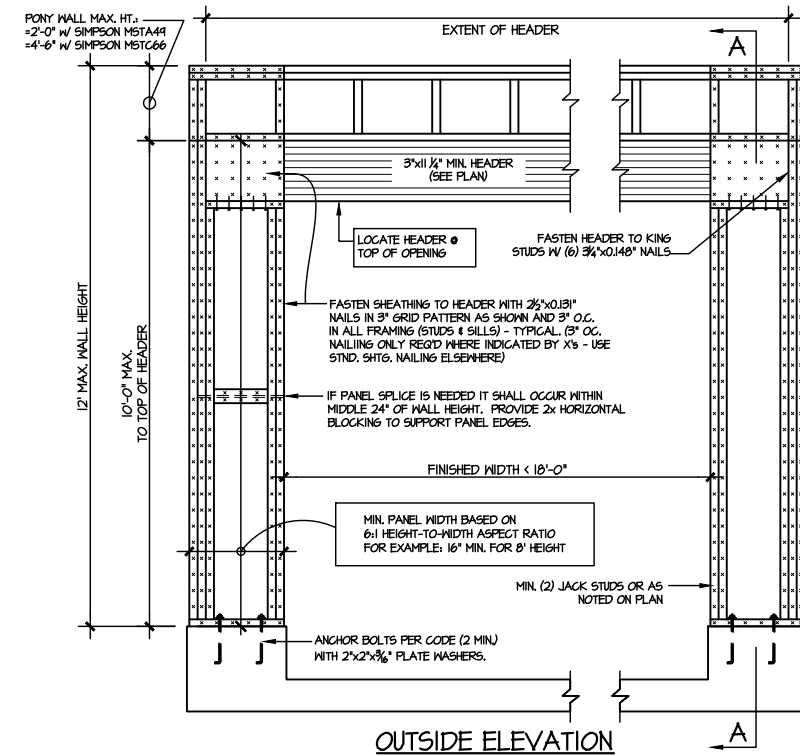
M&K project number:
126-22076
project mgr: JTR
drawn by: KJN
issue date: 04-02-25

REVISIONS:
date: initial:



FRAMING DETAILS
FARM AT NEILS CREEK
LOT 183 - CAMERON 1
RALEIGH, NC

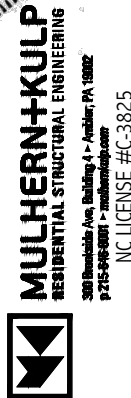
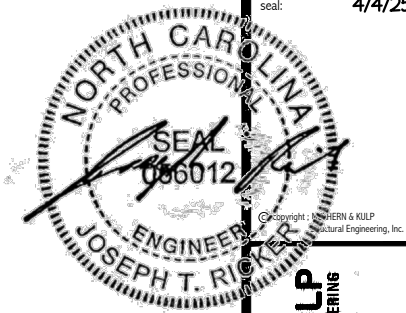
sheet:
SD2.1C



- ALTERNATIVES TO 1/2" DIA. ANCHOR BOLT:
- 1) 1/2" DIA. x 6" LONG SIMPSON TITEN HD
 - 2) 1/2" DIA. THREADED ROD EPOXY SET W/ 4 1/2" EMBED. (MIN) UTILIZING HILTI HY200 EPOXY ANCHORING SYSTEM (OR EQUAL)

TWO SIDED GARAGE PORTAL FRAME BRACING
ELEVATION ON CONCRETE STEM

SCALE: N.T.S.



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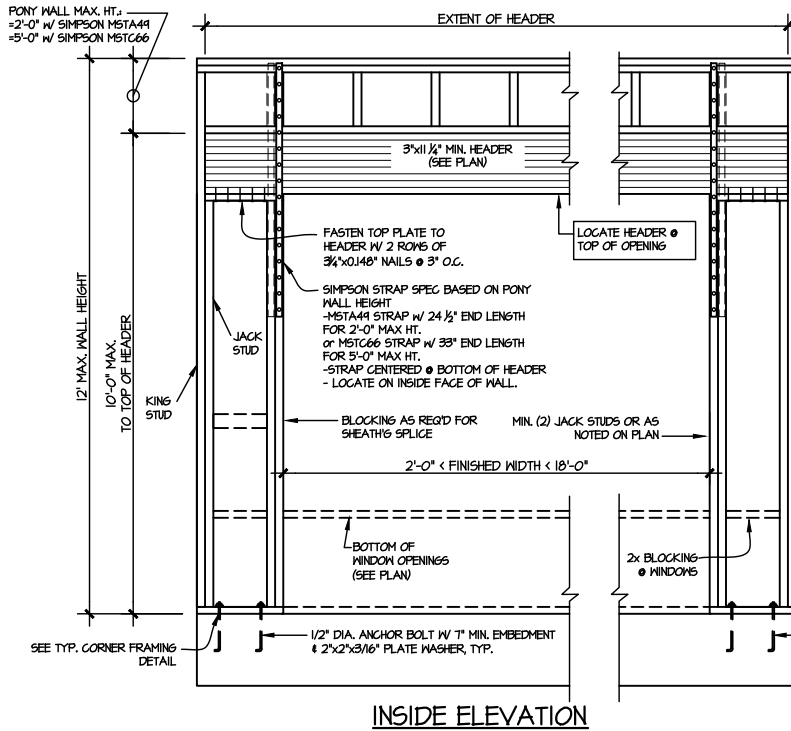
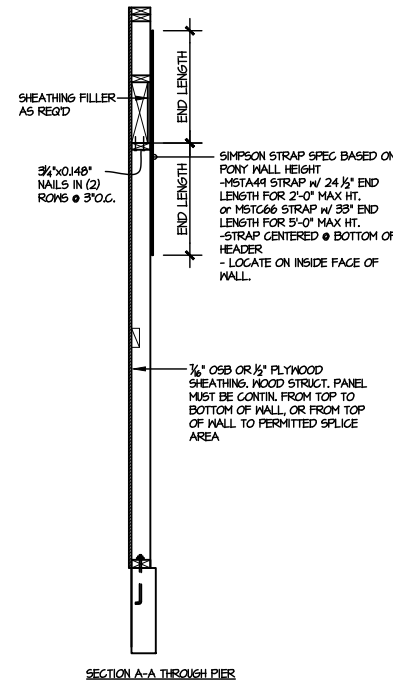
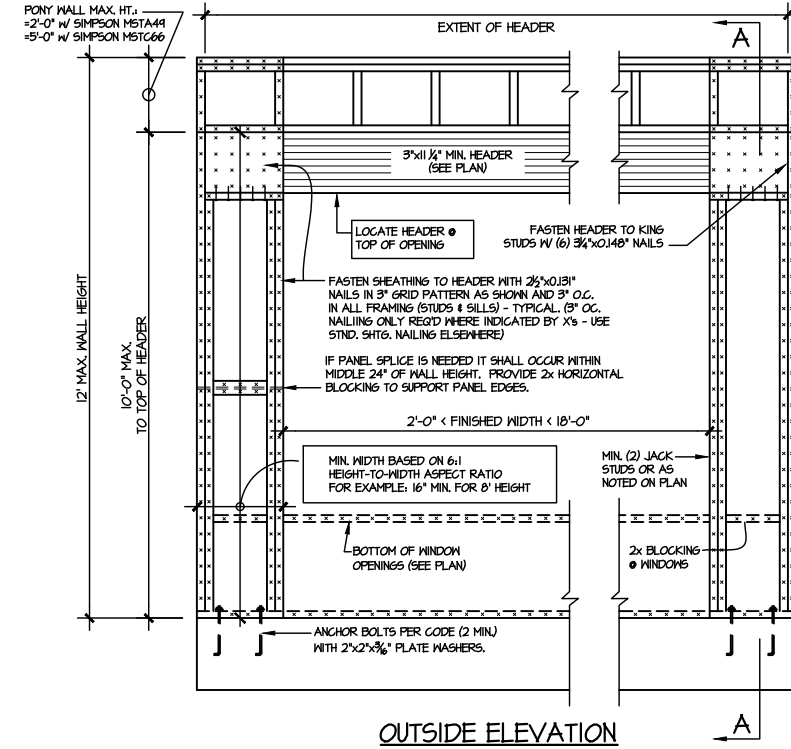
REVISIONS:

date:	initial:



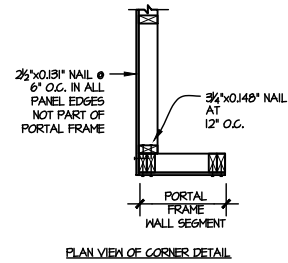
FRAMING DETAILS
FARM AT NEIL'S CREEK
LOT 183 - CAMERON 1
RALEIGH, NC

sheet:
SD2.2



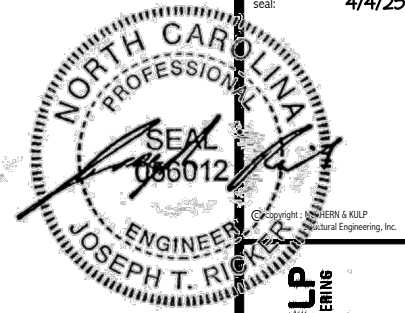
NOTE: ALL SHEATHABLE AREAS OF EXTERIOR WALL SHALL BE FULLY SHEATHED WITH 1/2" PLYWOOD OR 1/4" OSB

WALL FRAMING SPECIFICATION:
2x4 WALL: USE #2 GRADE STUDS (OR BETTER)
2x6 WALL: USE SFF STUD GRADE STUDS (OR BETTER)



ALTERNATIVES TO 1/2" DIA. ANCHOR BOLT:
1) 1/2" DIA. x 6" LONG SIMPSON TITEN HD
2) 1/2" DIA. THREADED ROD EPOXY SET w/ 1/2" EMBED. (MIN. UTILIZING HILTI HY200 EPOXY ANCHORING SYSTEM (OR EQUAL))

1 DOOR/WINDOW PORTAL FRAME BRACING ELEV.
SCALE: N.T.S. BOTH SIDES OF OPENING SLAB CONDITION



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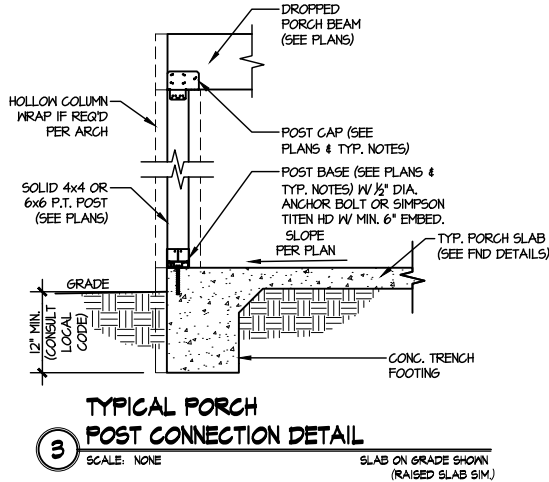
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issue date: 04-02-25

REVISIONS:
date: initial:

DRB
HOMES

FRAMING DETAILS
FARM AT NEILS CREEK
LOT 183 - CAMERON 1
RALEIGH, NC

sheet:
SD2.3



seal:

4/4/25

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FRAMING DETAILS

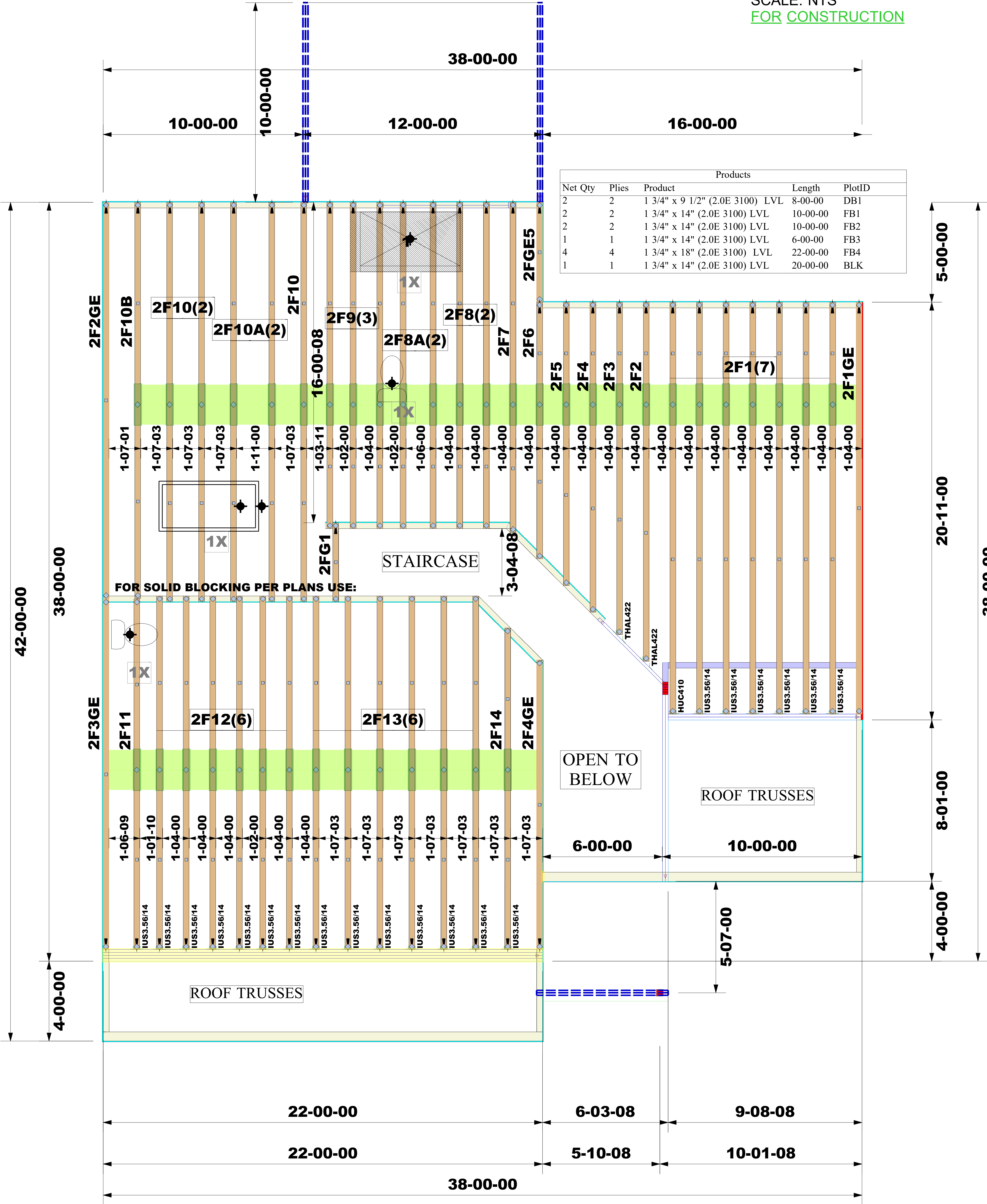
FARM AT NEIL'S CREEK

LOT 183 - CAMERON 1

RALEIGH, NC

sheet:

SD3.0



2ND FLOOR FRAMING PLAN

*EXTERIOR DIMENSIONS ARE TO STUD.

CAMERON REV.5
ELEV. 1
GARAGE LEFT
COVERED PORCH
TILE AT SHOWER

Truss Connector Total List		
Qty	Product	Manuf
1	HUC410	Simpson
15	IUS3.56/14	Simpson
2	THAL422	Simpson
1	HHUS410	Simpson

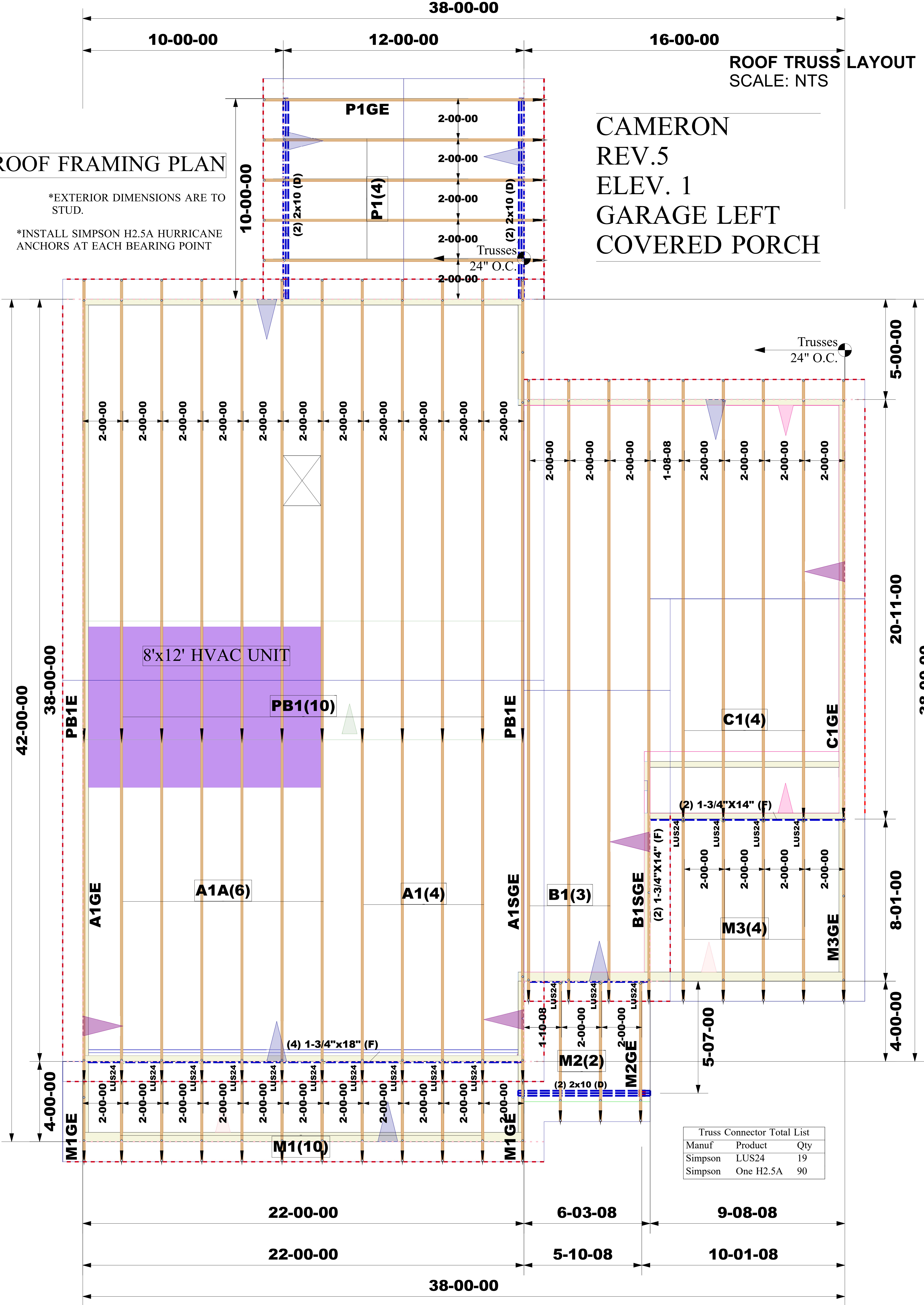
ROOF FRAMING PLAN

*EXTERIOR DIMENSIONS ARE TO STUD.

*INSTALL SIMPSON H2.5A HURRICANE ANCHORS AT EACH BEARING POINT

ROOF TRUSS LAYOUT
SCALE: NTS

CAMERON
REV.5
ELEV. 1
GARAGE LEFT
COVERED PORCH



Job #:

2503-4477

Designer:

Bharath Charles

Sales Rep:

Robbie Zarobinski

WARNING:

CONVENTIONAL FRAMING, ERECTION AND/OR PERMANENT BRACING IS NOT THE RESPONSIBILITY OF THE TRUSS DESIGNER, PLATE MANUFACTURER, OR THE TRUSS MANUFACTURER. PERSONS ERECTING TRUSSES ARE CAUTIONED TO SEEK PROFESSIONAL ADVICE REGARDING THE ERECTION BRACING WHICH IS ALWAYS REQUIRED TO PREVENT TOPPLING AND DOMINATING DURING ERECTION, AND PERMANENT BRACING WHICH MAY BE REQUIRED IN SPECIFIC APPLICATIONS. SEE "BRACING WOOD TRUSSES COMMENTARY AND RECOMMENDATIONS" (BCSI 1) FOR FURTHER INFORMATION.

TRUSSES SHALL BE INSTALLED IN A STRAIGHT AND PLUMB POSITION WHERE NO SHEATHING IS APPLIED DIRECTLY TO TOP AND/OR BOTTOM CHORDS, THEY SHALL BE BRACED AS SPECIFIED ON THE ENGINEERED DESIGN. TRUSSES SHALL BE HANDLED WITH REASONABLE CARE DURING ERECTION TO PREVENT DAMAGE OR PERSONAL INJURY.

NOTE:

IT IS THE RESPONSIBILITY OF THE BUILDING DESIGNER OR ARCHITECT TO PROVIDE AN APPROPRIATE CONNECTION FOR TRUSSES TO SUPPORTING STRUCTURE PER REACTIONS SHOWN ON TRUSS ENGINEERING. SPECIAL CONSIDERATIONS FOR MECHANICAL EQUIPMENT AND/OR PLUMBING (AND THEIR CONNECTIONS) IN TRUSS SPACE MUST BE DIAGRAMMED BY BUILDER ON APPROVED TRUSS LAYOUT PRIOR TO FABRICATION.

THIS COMPANY IS A TRUSS MANUFACTURER WHOSE RESPONSIBILITIES ARE LIMITED TO THOSE DESCRIBED IN WTCA 1-1995 "DESIGN RESPONSIBILITIES". ACCORDINGLY, IT DISCLAIMS ANY RESPONSIBILITIES AND/OR LIABILITY FOR THE CONSTRUCTION DESIGN, DRAWINGS, DOCUMENTS INCLUDING THE INSTALLATION, AND BRACING OF TRUSSES MANUFACTURED BY THIS COMPANY.

Customer: DRB Raleigh

Job Name: The Farm at Neill's Creek

Lot #: Lot 00.0183

Model Name: Cameron Rev. 5



Structural, LLC
201 Poplar Avenue
Thurmont, MD 21788
Phone: 301-271-7591

