ASPEN CREEK ABBREVIATIONS A A PRESSURE TREATED WD HWD HARDWOOD (FL R&M RANGE W/MICROWAV LIV LIVING LTL LINTEL LVR LOUVER MAX MAXIMUM DRY DRYER MACHINE TEMP TEMPERED (GLASS U.N.O. UNLESS NOTE OTHERWISE VB VANITY BASE 0A F.F. FINISH FLOOR (LIN OBS OBSCURE (GLA WH WATER HEATER FP FIREPLACE OPT OPTIONAL WIC WALK-IN CLOSE FURRED(ING) PEDESTAL (SINK) W/W/O WITH or WITHOU SULIND EVIL ERPROOF(ING)

GENERAL NOTES

1 - GENERAL BUILDING & DESIGN REQUIREMENTS

1) THE ATTACHED PLANS & SPECIFICATIONS ARE THE SOLE PROPERTY OF TRI POINTE HOMES ANY UNAUTHORIZED USE OF THESE PLANS WITHOUT PRIOR WRITTEN CONSENT OF TRI POINTE HOMES IS STRICTLY

2) TRI POINTE HOMES DESIGNS & BUILDS HOUSING AS SET FORTH BY THE FORMAT AND PROVISIONS OF THE INTERNATIONAL RESIDENTIAL CODE (IRC), AND THE NATIONAL ELECTRIC CODE (NEC). ANY NON-CONFORMING DOCUMENTS DISCOVERED BY THE CONTRACTOR OR HIS AGENTS SHALL BE CALLED TO THE IMMEDIATE ATTENTION OF TRI POINTE HOMES BY CALLING (489)329-0470.

3) THESE PLANS ARE SUBJECT TO MODIFICATIONS TO MEET CODE REQUIREMENTS AND/OR TO FACILITATE MECHANICAL/ ELECTRICAL/ PLUMBING INSTALLATION AND/OR TO IMPLEMENT DESIGN IMPROVEMENTS. ANY INTENTION TO MODIFY THESE DI ANGE WITE RE ADAPOAUGH IN MODIFING PLAY TO PLANTE HOLDES.

INTENTION TO MODIFY THESE PLANS MUST BE APPROVED IN WRITING BY TRI POINTE HOMES

4) CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AFFECTING CONTRACTOR'S
PRODUCTS, INSTALLATIONS, OR FABRICATIONS IN THE FIELD PRIOR TO EXPEDITING THE CONSTRUCTION OF
SUCH WORK. FIELD VERIFY ALL DIMENSIONS — DO NOT SCALE DRAWNOSS! CONTRACTOR IS RESPONSIBLE FOR
SURVEYING THE PROJECT AND BECOMING FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK
INCLUDING BUT NOT LIMITED TO STANLIAR AND SCOPE OF WORK

INCLUDING BUT NOT LIMITED TO STANLIAR AND SCOPE OF WORK

TO LERFORS AND OMISSIONS WHICH MAY OCCUE IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE

5) ERRORS AND OMISSIONS WHICH MAY OCCUR IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, IN WRITING, AND WRITEN INSTRUCTION SHALL BE OBSTAINED PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ERRORS, DISCREPANCES, OR OMISSIONS FOR WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTION AND/OR FABRICATION OF THE WORK.

2 - SITE CONSTRUCTION

) BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS

É) BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS BACKFILL TO NOT DAMAGE THE FOUNDATION WALLS OR ANY WATERPROOFING/ DAMPPROOFING MATERIALS.

3 - CONCRETE

1) SLOPE ON GARAGE SLAB SHALL BE 1/8" PER FOOT TOWARDS VEHICLE DOOR. SLOPE ON PORCH AND PATIOS SHALL BE 1/8" PER FOOT AWAY FROM HOUSE.

4 - MASONRY

1) ALL EXTERIOR BRICK MUST MEET ASTM C-216 FOR "SW" CONDITIONS

2) MASONRY VENEER SHALL BE ATTACHED TO SUPPORTING WALLS w/ CORRUGATED METAL TIES IN ACCORDANCE WITH R703.7.4.1 - I.R.C. OR LOCAL CODE REQUIREMENTS

 WEEPHOLES SHALL BE PROVIDED ALONG THE OUTSIDE WITHE OF EXTERIOR MASONRY WALLS AT 33" O.C. MAX, SHALL BE A MIN. OF 3/16" IN DIAMETER, AND LOCATED IMMEDIATELY ABOVE THE FLASHING PER R703.7.6 – I.R.C.

5 - METALS

6 - WOOD AND PLASTICS

7 - THERMAL & MOISTURE PROTECTION

1) FIRE STOPPING AND/ OR DRAFT STOPPING SHALL MEET THE REQUIREMENTS OF IRC R602.8.
2) ATTIC VENTILATION SHALL BE PROVIDED AT 1/300 th OF THE AREA OF THE SPACE VENTILATED. CROSS VENTILATION WITH HALF OF THE VENTILATED AREA SHALL BE PROVIDED BY ROOF VENTS AND THE OTHER HALF BY SOFFIT VENTS. VENTS SHALL BE PLACED SO AS TO NOT ALLOW INFILTRATION OF RAIN OR SNOW.
3) PROVIDE APPROVED TILE BACKER DRYWALL FOR ALL SHOWER AND BATH SPACE
4) PROVIDE ATTIC VENTILATION PER IRC-R806.1

8 - DOORS AND WINDOWS

- 1) REVIEW ALL WINDOW HDR HEIGHTS PER PLATE HT. AND VERIFY W/ ELEVATIONS AND CORNICE DETAILS
 2) TEMPERED GLASS SHALL BE USED IN HAZARDOUS AREAS AS DESCRIBED IN SECTION R308.4 LR.C.
- 3) FRONT DOOR WIDTH PER IRC-R311.3
- 4) GARAGE DOOR PER IRC-R309.1

5) EMERGENCY EGRESS SHALL MEET REQUIREMENTS OF SECTION R310 – I.R.C. 2018 – SLEEPING ROOMS SHALL HAVE AT LEAST ONE EGRESS OPENING OF NOT LESS THAN 5.7 SF AND A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.

15 - MECHANICALS

WOOD BUILT CHIMNEYS AND FIREPLACES SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS, AND ARE SUBJECT TO MECHANICAL INSPECTION PER IRC SECTION RIOO2.1.

 FYTERIOR AIR INTAKE FOR COMBILISTION AIR PER IRC SECTION AS REQUIRED BY LOCAL MUNICIPALITY.

6 - ELECTRICAL

 ALL ELECTRICAL INSTALLATION SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE (NEC). ALL MATERIAL AND EQUIPMENT SHALL BEAR THE LABEL OF APPROVAL OF THE UNDERWRITERS LABORATORIES, INC.

ELECTRICAL CONTRACTOR SHALL VERIFY SPACE REQUIRED FOR METER INSTALLATION BEFORE DISTRUCTION AND SHALL NOTIFY GENERAL CONTRACTOR OF ANY DISCREPANCIES.

) VERIFY LOCATION OF ALL RECEPTACLES FOR APPLIANCES WITH MANUFACTURER SPECIFICATIONS.

4) Ground Fault interrupts shall be located per the Nec. 5) All switches shall be installed at 3'-6" above finished floor to centerline of switch

UNLESS NOTED OTHERWISE. 6) ALL CONVENIENCE OUTLETS SHALL BE INSTALLED W/ CENTERLINE OF OUTLET LOCATED 1'-3" ABOVE

b) ALL CONVENIENCE COLLETS SHALL BE INSTALLED WY CENTERLINE OF COLLET LOCATED 1 -3

) ALL CONVENIENCE OUTLETS WITH SWITCHES TO BE SWITCH AT TOP ONLY.

8) all exterior wall bracket fixtures shall be installed as noted on plans. 9) approved smoke detectors shall be located on every story of the dwelling unit as per irc section R317 (see sheet b1.1 for locations). Where more than one detector is required they

SHALL BE INTERCONNECTED. POWER SOURCE SHALL BE BUILDING POWER $\mathbf{w}/$ BATTERY BACKUP. 0) CONDUCTORS SHALL BE OF COPPER.

GENERAL FRAMING SPECS AND CONSTRUCTION NOTES STAIRS:

) THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4 INCHES AND THE MINIMUM TREAD DEPTH SHALL BE 10 NCHES IN ACCORDANCE WITH SECTION I.R.C.

2) HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34 INCHES AND 38 INCHES SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS IN ACCORDANCE WITH SECTION R315.1 – I.R.C. 5) HANDRAIL AND BALUSTRADE (WHERE PRESENT) SHALL BE CONSTRUCTED ACCORDING TO IRC. 4) ALL REQUIRED HAND RAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS W/ 2 OR MORE SIZERS FROM A POINT ABOVE THE THE TOP RISER OF A FLIGHT TO A POINT ABOVE THE LOWEST RISER OF THE FLIGHT. ENDS SHALL BE RETURNED OR SHALL TERMINATE AT NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1.5" BETWEEN THE WALL NAD HAND RAIL.

WALLS:

ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD. ALL STUDS ARE 3 1/2" UNLESS NOTED. L DIMENSIONS PRESENTED HERE ARE FRAME DIMENSIONS ONLY.

2) SEPARATION BETWEEN THE RESIDENCE AND THE GARAGE SHALL BE MAINTAINED BY INSTALLATION OF ¹/₂ GYPSUM BOARD ON ALL COMMON WALLS. 2—STORY HOMES REQUIRE 5/8" TYPE X GYPSUM BOARD AT GARAGE CEILINGS WHERE HABITABLE ROOMS ARE PRESENT ABOVE.

FLOORS:

STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORED, OR NOTCHED IN EXCESS OF THE LIMITATIONS PECIFIED IN IRC

2) THE ENDS OF EACH JOIST, BEAM, OR GIRDER SHALL HAVE NOT LESS THAN 1.5 INCHES OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3 INCHES ON MASONRY OR CONCRETE OR AS OTHERWISE SPECIFIED.

) ALL DIMENSIONAL FLOOR JOISTS TO BE PER ENGINEER STRUCTURAL PLANS.

FRAMING:

1) ALL FRAMING DIMENSIONS TO FACE OF MEMBER.

| ALL BEARING HEADERS TO BE PER ENGINEERING PLANS. | FIRE STOPPING AND/ OR DRAFT STOPPING SHALL MEET THE REQUIREMENTS OF IRC R602.8.

ROOF

) HIP AND VALLEY RAFTERS SHALL BE SUPPORTED AT RIDGE DOWN TO BEARING PARTITION. CUT ENDS OF AFTERS SHALL BE FILLLY SUPPORTED WALL AND RIDGE

) REQUIRED VENTILATION AREAS CALCULATED AT 1/300 RATIO.

SQUARE FOOTAGE Elevation "C"

(Slab S.F.) Slab Area Sq. Ft. FIRST FLOOR 2113 2 BAY GARAGE 4712 PORCH 129 COVERED OUTDOOR LIVING 180 Total Slab Area 2844

(Outside of Frame S.F.)		
A/C Area	Sq. Ft.	
FIRST FLOOR	2113	
Total A/C Area	2113	
Non-A/C Area	Sq. Ft.	
2 BAY GARAGE	472	
PORCH	129	
COVERED OUTDOOR LIVING	180	
Total Non-A/C Area	781	

(Inside of Frame S.F.)	
/C Area	Sq. Ft.
IRST FLOOR 2040	
otal A/C Area	

NOTE: ALL OPTIONAL SQUARE FOOTAGES LISTED ARE INDEPENDENT OF AND IN ADDITION TO BASE SQUARE FOOTAGES.

OPTIONS LIST

GREAT ROOM FIREPLACE
PRIMARY BATH 1
LOFT
EXTENDED SCREENED OUTDOOR LIVING
GOURMET KITCHEN 2
SLIDER AT GREAT ROOM
SINK & CABS AT LAUNDRY
DOOR TO LAUNDRY FROM P. WIC
OFFICE ILO FLEX
OUTDOOR FIREPLACE
SYMDADE WIS BURNEWALL

BUILDING CODE COMPLIANCE

ELECTRICAL PLANS DESIGNED TO MEET OR EXCEED MINIMUM

CONSTRUCTION PLANS DESIGNED TO MEET OR EXCEED

TABLE OF CONTENTS

	SHEET LEGEND		
SHEET NO. TYPE OF SHEET/LAYOUT			
"G0.01"	COVER SHEET & GEN. NOTES		
"G0.11"	REVISIONS & SYMBOLS		
"S1.10C"	BASE FOUNDATION PLAN - ELEVATION 'C'		
"A1.10C"	FIRST FLOOR PLAN - ELEVATION 'C'		
"01.A30"	2ND FLOOR PLAN		
"A2.01C"	EXTERIOR ELEVATIONS - 'C'		
"A2.02C"	EXTERIOR ELEVATIONS - 'C'		
"A3.01C" ROOF PLAN — ELEVATION 'C' "A4.01" INTERIOR DETAIL SHEET "E1.10C" IST FLR. ELECTRICAL PLAN — ELEVATION 'C' "01.E20" 2ND FLR. ELECTRICAL PLAN			
		"01.E21"	2ND FLR. ELECTRICAL PLAN UPGRADE

Serenity - Lot 345 - 5921-07 (Aspen Creek) - Elevation C

*Optional Loft

*Standard Tub w. Vikrell Walls at Loft Bath

*Gourmet Kitchen 2

*Office at Flex Space

*Traditional Fireplace at Great Room

*Sliding Glass Door at Great Room

*Shower Seat at Primary Bath

*Bath 2 Shower ILO Tub w. Tile Walls and Vikrell Pan

*Upper Cabinets Above W/D at Laundry

*Optional Laundry Sink

*Optional Door to Laundry

*Screened Extended Outdoor Living

*Outdoor Fireplace

*Open Rail Stairs w/ Standard Knee Wall at Loft

*Windows: Dining Room (3) 2020s

SYMBOLS PLYWOOD ELEVATION KEY OR SECTION KEY TUB/SHOWER INSULATING SHEATHING CENTERI INF BATT INSULATION LAVATORY HOSE BIB (FREEZE PROOF) DBL SINK CONCRETE GAS LINE STUB TOWEL BAR SAND OR GRAVEL LAUNDRY SINK PAPER HOLDER 2x FRAME TOWEL RING PEDESTAL SINK SHOWER HEAD BRICK VENEER WATER CLOSET SHOWER CONTROLS STONE VENEER

Tri pointe Homes 40 WDE PARK BLVD. SUITE 400, RALEIGH, NO 27807

Business Operations 5440 Wade Park Blvd Suite 400 Raleigh, NC 27607

GENERAL NOTES

S @ SERENITY

SHEET & GENERA SION: ALTIS ® SEK S: 36 FIREFLY LAN

SUBDIVISION:
ADDRESS:

Issue Date: 10-01-24
Drawn By: ACC

PLAN #: 5921-07

ASPEN CREEK

G0.01

REVISION INDEX				
REL. # DESCRIPTION DATE DRAWN BY				
5921-07	NEW PLAN	10/01/2024	ACC	
	ADDED ATTIC PULL-DOWN, REVISED ROD/SHELF IN PRIMARY WIC, ADDED OPTIONS - SCREENED COVERED OUTDOOR LIVING, GOURMET KITCHEN KITCHEN, ZERO ENTRY SHOWER AT PRIMARY BATH, ADDED TRIM SURROUNDING VENTS AT VARIOUS ELEVATIONS, REVISED BENCH DETAIL, ADDED OF LAUNDRY CABINETS, ADDED OF LAUNDRY CABINET	01/26/2025	ACC	

tri pointe HOMES 5440 WADE PARK BLVD, SUITE 400, RALEIGH, NG 27607

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SUBDIVISIONS & SYMBOLS
SUBDIVISION: ALTIS ® SERENITY
ADDRESS: 36 FIREFLY LANE
LOT: 345

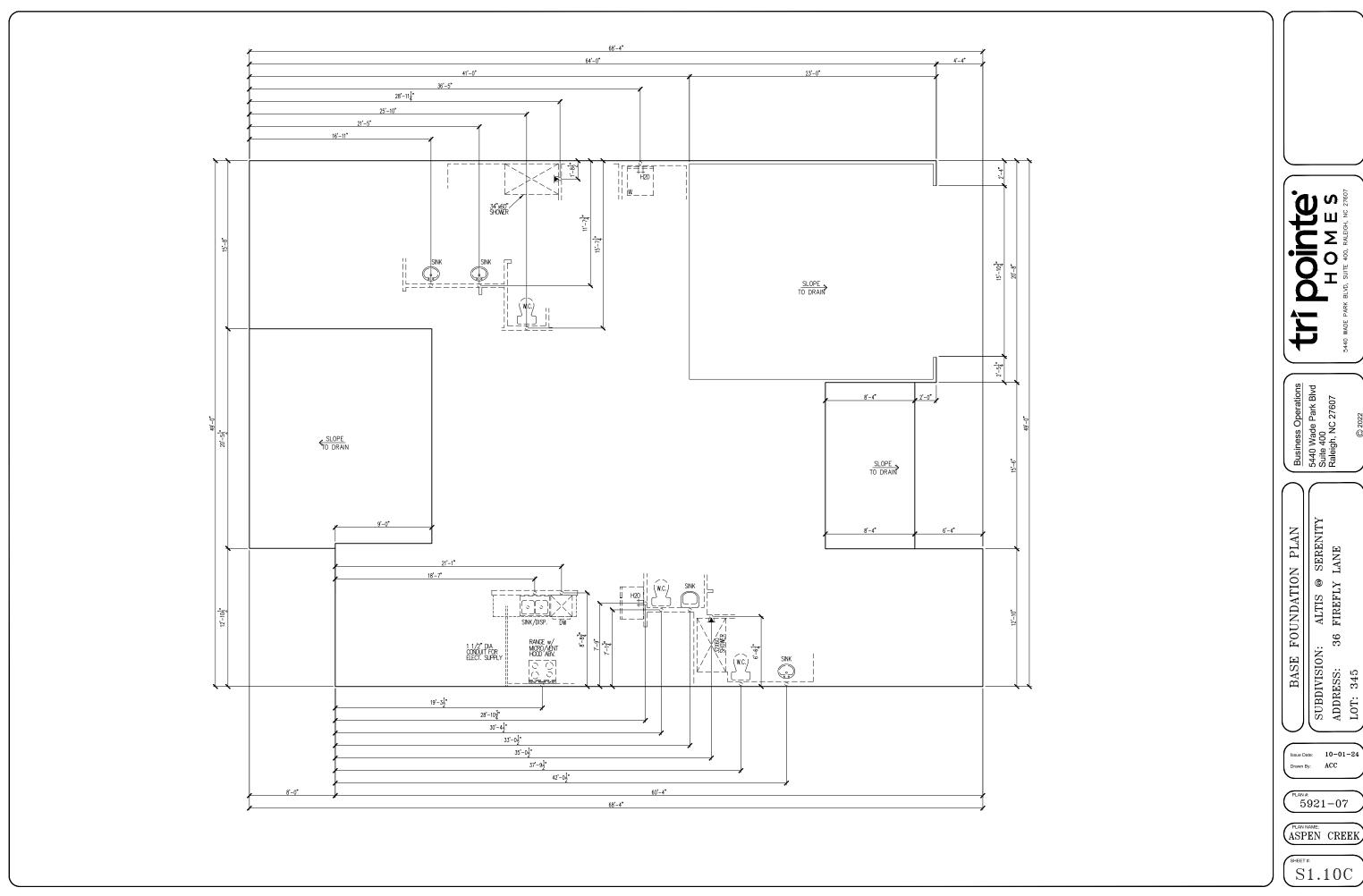
Issue Date: 10-01-24

Drawn By: ACC

PLAN #: 5921-07

ASPEN CREEK

G0.11

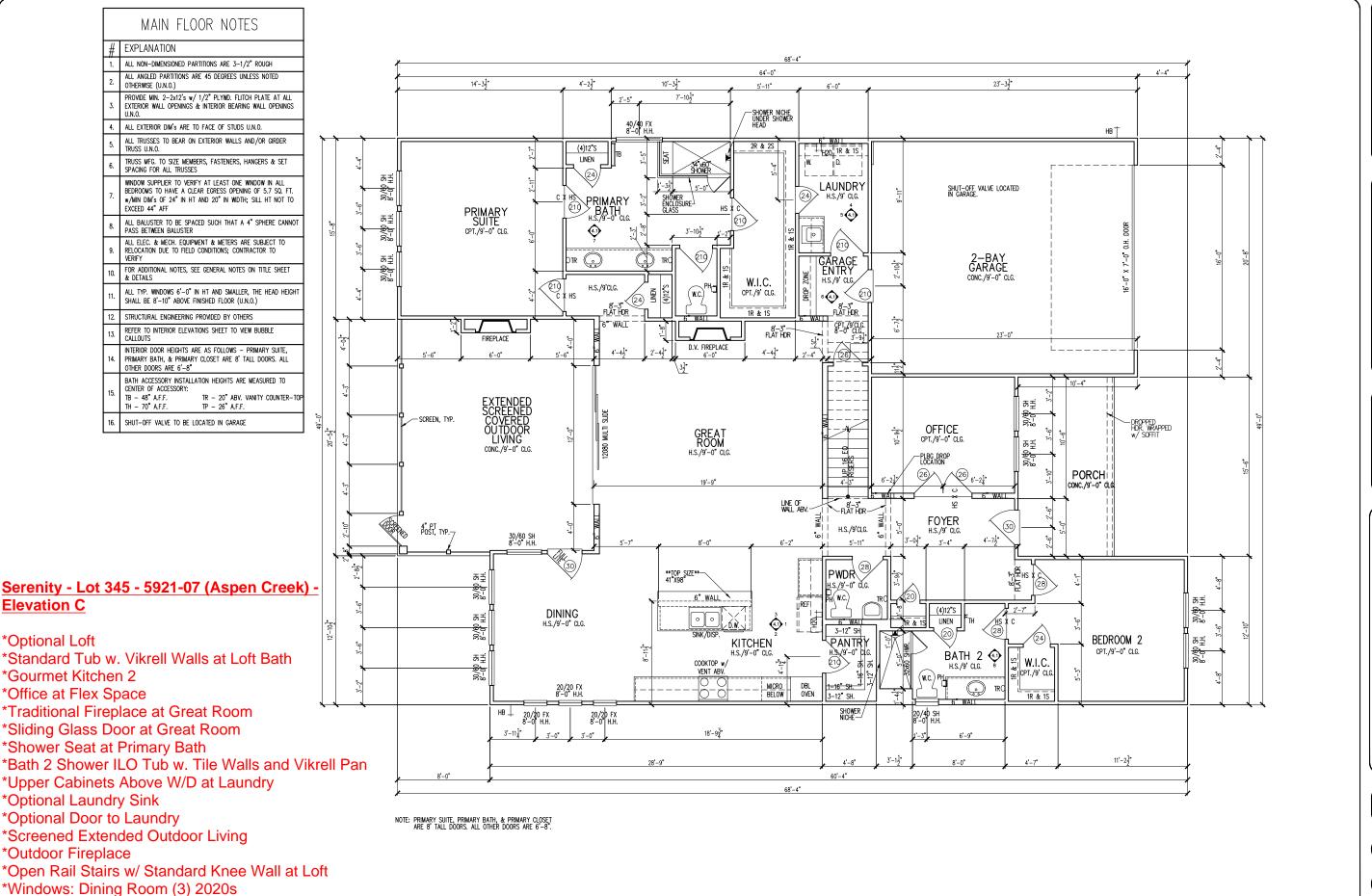


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HOMES

540 WADE PARK BLYD, SUITE 400, RALFIGH, NG 27807

ASPEN CREEK



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HOMES
400 WADE PARK BLVD, SUITE 400, RALEGH, NG 27807

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SUBDIVISION: ALTIS ® SERENITY
ADDRESS: 36 FIREFLY LANE

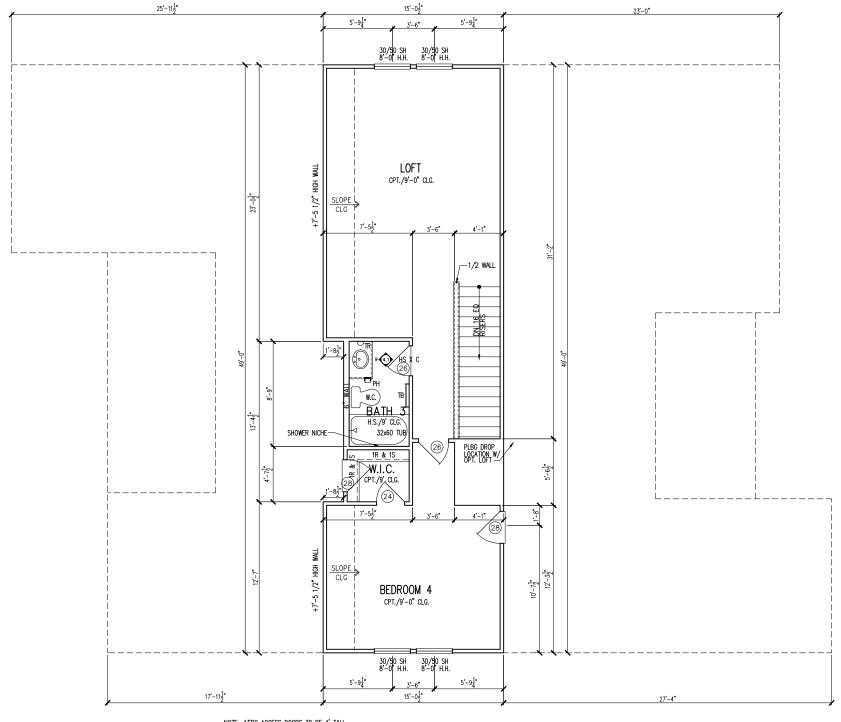
Issue Date: 10-01-24
Drawn By: ACC

5921-07

ASPEN CREEK

A1.10

MAIN FLOOR NOTES # EXPLANATION ALL NON-DIMENSIONED PARTITIONS ARE 3-1/2" ROUGH ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS NOTED OTHERWISE (U.N.O.) PROVIDE MIN. 2-2x12's w/ 1/2" PLYWD. FLITCH PLATE AT ALL EXTERIOR WALL OPENINGS & INTERIOR BEARING WALL OPENINGS 4. ALL EXTERIOR DIM'S ARE TO FACE OF STUDS U.N.O. ALL TRUSSES TO BEAR ON EXTERIOR WALLS AND/OR GIRDER TRUSS U.N.O. TRUSS MFG. TO SIZE MEMBERS, FASTENERS, HANGERS & SET SPACING FOR ALL TRUSSES WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS TO HAVE A CLEAR ECRESS OPENING OF 5.7 SQ. FT. w/MIN DIM's OF 24" IN HT AND 20" IN WIDTH; SILL HT NOT TO ALL BALUSTER TO BE SPACED SUCH THAT A 4" SPHERE CANNOT PASS BETWEEN BALUSTER ALL ELEC. & MECH. EQUIPMENT & METERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS; CONTRACTOR TO VERIFY FOR ADDITIONAL NOTES, SEE GENERAL NOTES ON TITLE SHEET & DETAILS ALL TYP. WINDOWS 6'-0" IN HT AND SMALLER, THE HEAD HEIGHT 12. STRUCTURAL ENGINEERING PROVIDED BY OTHERS REFER TO INTERIOR ELEVATIONS SHEET TO VIEW BUBBLE CALLOUTS INTERIOR DOOR HEIGHTS ARE AS FOLLOWS - PRIMARY SUITE, PRIMARY BATH, & PRIMARY CLOSET ARE 8' TALL DOORS. ALL OTHER DOORS ARE 6'-8" BATH ACCESSORY INSTALLATION HEIGHTS ARE MEASURED TO CENTER OF ACCESSORY: TR - 20" ABV. VANITY COUNTER-TOP TP - 26" A.F.F. TB — 48" A.F.F. TH — 70" A.F.F. SHUT-OFF VALVE TO BE LOCATED IN GARAGE



NOTE: ATTIC ACCESS DOORS TO BE 4' TALL.

SECOND FLOOR PLAN PARTIAL FLOOR PLAN

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OPTION FLOOR PLAN

2ND

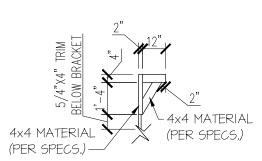
ALTIS @ SERENITY FIREFLY LANE 36 SUBDIVISION:
ADDRESS: 36
LOT: 345

Issue Date: 10-01-24 Drawn By: ACC

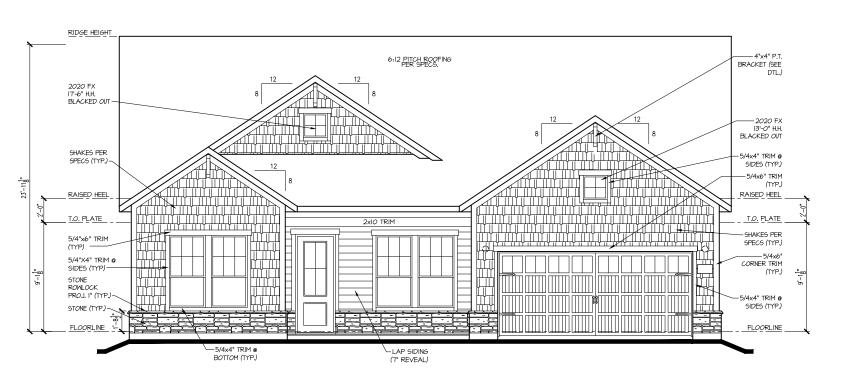
5921-07

(ASPEN CREEK)

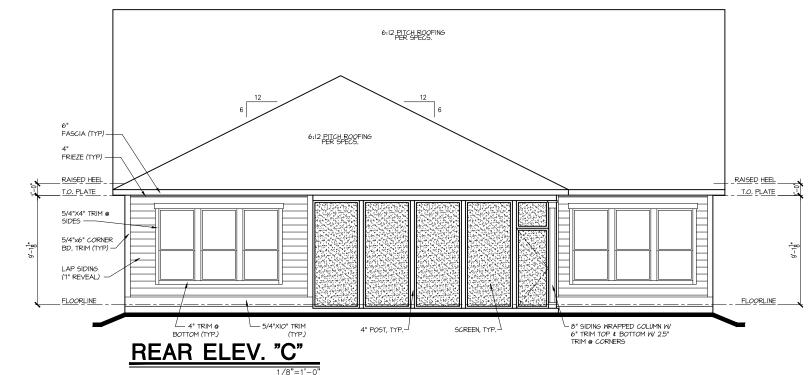
01.A30



BRACKET DETAIL N.T.S.



FRONT ELEV. "C"



5/4"X/6" TRIM ®
9IDE5

5/4"X4" TRIM ®
9IDE5

LAP 9IDING
(1" REVEAL)

FLOORLINE

5/4"XIO" TRIM

BOTTOM (TYP.)

COVERED OUTDOOR LIVING ELEVATION

LTI pointe.
HOMES

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EXTERIOR ELEVATIONS
TSION: ALTIS © SERENITY
SS: 36 FIREFLY LANE

EXTER:

SUBDIVISION:

ADDRESS:

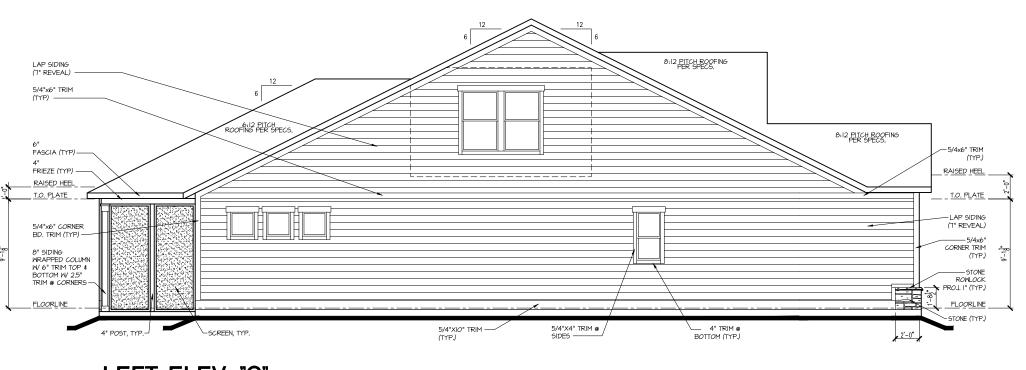
ACC

LOT: 345

5921-07

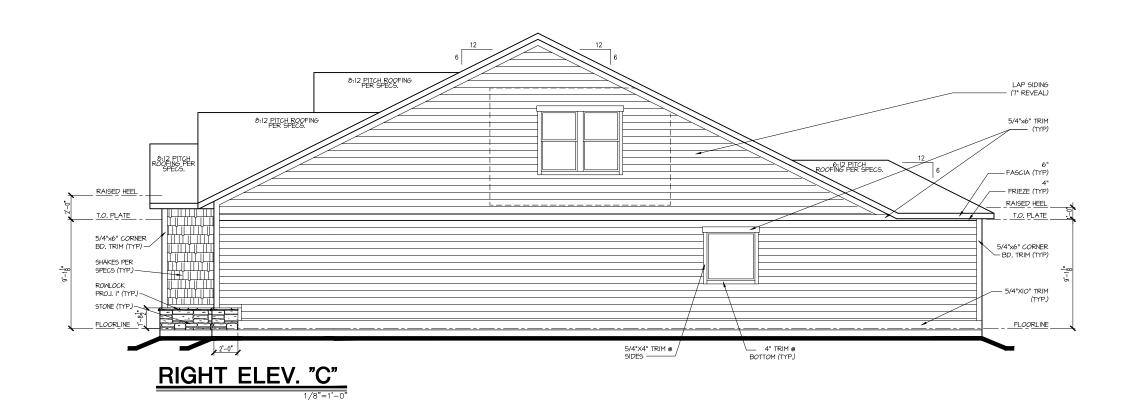
ASPEN CREEK

(SHEET#: A2.01C



<u>LEFT ELEV. "C"</u>

1/8"=1'-0"



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H O M E S

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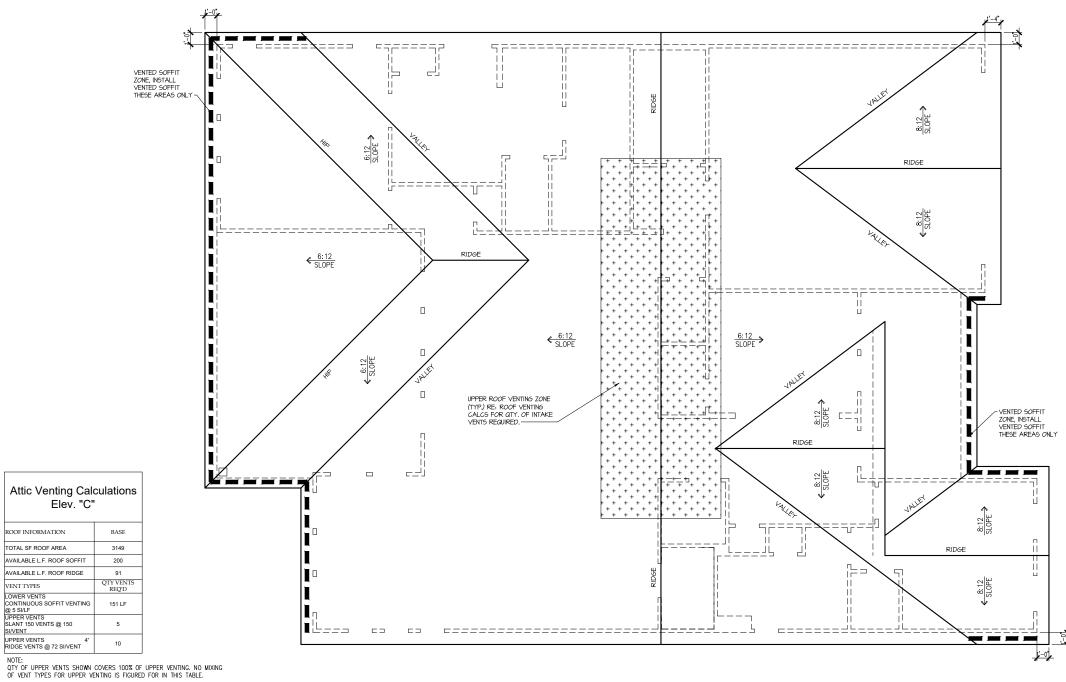
EXTERIOR ELEVATIONS
SUBDIVISION: ALTIS © SERENITY
ADDRESS: 36 FIREFLY LANE
LOT: 345

Issue Date: 10-01-24
Drawn By: ACC

5921-07

ASPEN CREEK

(SHEET #: A2.02C



ROOF PLAN 'C'

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ALTIS @ SERENITY FIREFLY LANE ROOF PLAN

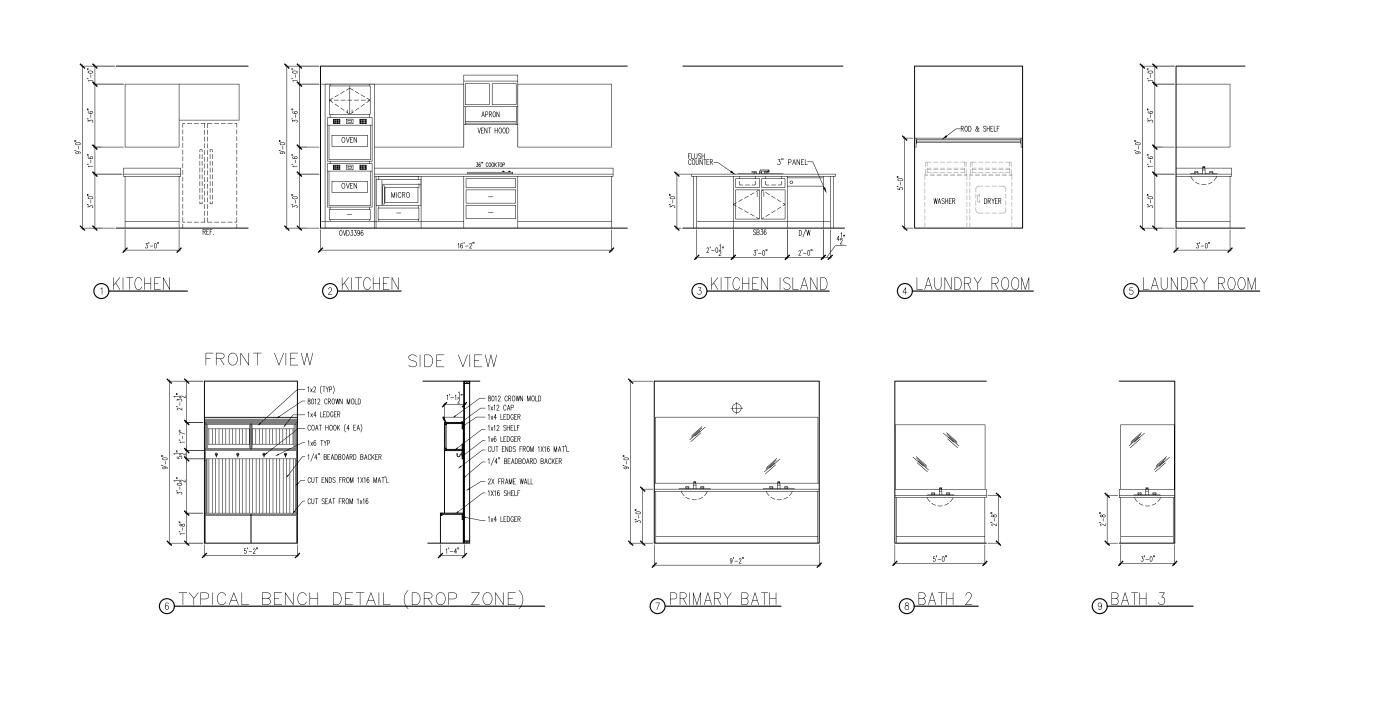
36 SUBDIVISION:
ADDRESS: 34
LOT: 345

Issue Date: 10-01-24 Drawn By: ACC

5921-07

ASPEN CREEK

A3.01C



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HOMES

5440 WADE PARK BLVD, SUITE 400, RALEGH, NG 27607

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ALTIS @ SERENITY FIREFLY LANE INTERIOR DETAIL SHEET

SUBDIVISION: A ADDRESS: 36 F LOT: 345

Issue Date: 10-01-24 Drawn By: ACC

5921-07

ASPEN CREEK

A4.01

ELECTRICAL FIXTURE SCHEDULE		
SCHEDULE		
DESCRIPTION	SYMBOL	
110V OUTLET	ф	
220V OUTLET	\$ 220	
1/2 HOT OUTLET	(
GFI OUTLET	\$\$ GFI	
WP GFI OUTLET	₩P/GFI	
GARAGE DOOR OPENER OUTLET	Ø GDO	
SECURITY SYSTEM	∯SEC SYS	
DISHWASHER	⊕ DW	
JUNCTION BOX	9	
CEILING MOUNTED LIGHT	- 	
CEILING FAN w/ LIGHT KIT	BROVIDE	
RECESSED CEILING LIGHT	Ø	
RECESSED WATER PROOF LIGHT	⊠ WP	
WALL MOUNTED LIGHT	9	
WALL MOUNTED PUSH BUTTON	₫ PB	
TWO WAY SWITCH	\$	
THREE WAY SWITCH	" \$	
FOUR WAY SWITCH	\$	
DIMMER SWITCH	\$ ^{DIM}	
EXHAUST VENTS	O VENT TO EXT	
LOW VOLTAGE PANEL		
PHONE OUTLET	⊕ PH	
TV OUTLET	⊕ TV	
DATA & RG6 COMBO BOX	•	
SMOKE DETECTOR	<u> </u>	
CARBON MONOXIDE SMOKE DETECTOR COMBO	⊚ CM/SD	
DOOR CHIMES	CHIMES	
ELECTRICAL PANEL	EP EP	
SURFACE MOUNT LED	•	
EXTERIOR WALL MOUNT UPLIGHT	8	
SOFFIT MOUNT FLOOD LIGHT	€\$^	
UNDER COUNTER LIGHTING	UCL	
SMURF TUBE		

ELECTRICAL NOTES:

- PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE AND CARBON MONOXIDE DETECTORS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.

 PROVIDE AND INSTALL GROUND FAULT (IRQUIT-INTERRUPTERS (GF)) AS REQUIRED BY NATIONAL ELECTRIC CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.

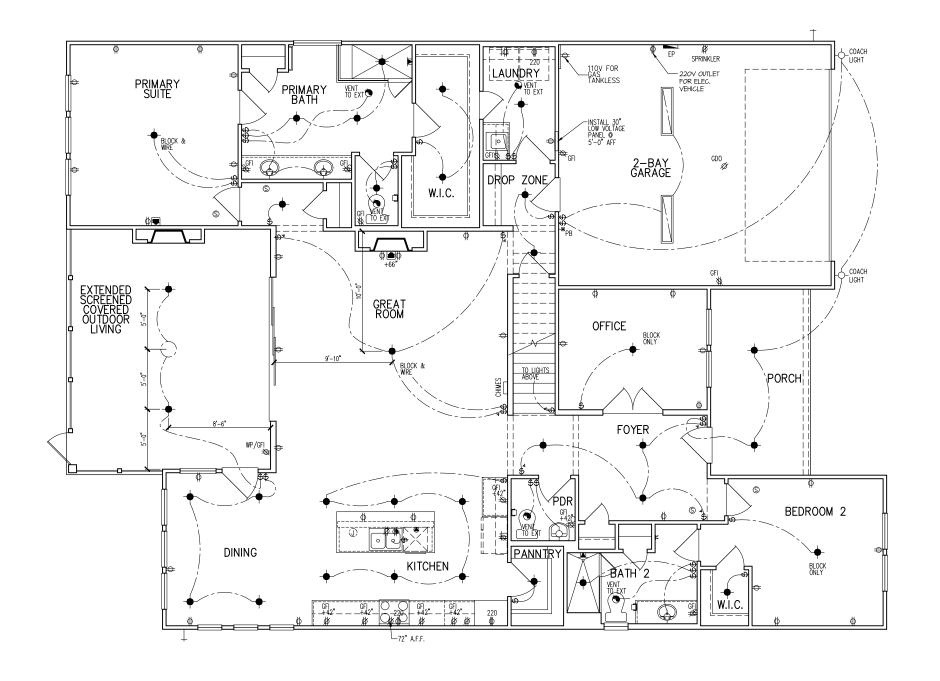
 ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK—UPS/CUTOFFS.

 HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.

 ALL ELECTRICAL AND MECHANICAL EQUIPMENT (I.E. FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS, DRAIN TILE SUMP, AND WATER HEATERS) ARE SUBJECT TO RELOCATION WATER HEATERS) ARE SUBJECT TO RELOCATION

DUE TO FIELD CONDITION	SUBJECT TO RELOCATION NS. ABOVE FINISHED FLOOR:
WALL OUTLETS OVER COUN	ITER
+42" TO BOTTOM OF HORIZON	NTAL OUTLET(TYP. @ COUNTER)
REMAINING SWITCHES	
WALL OUTLETS	
BATH VANITY BRACKET OU (1" ABOVE TOP OF VANITY	TLET 1,2)
WATER SOFTENER AND SUI	MP OUTLETS 48" TO CL
EXTERIOR GFI OUTLETS	12." .TO .CL
GARAGE GFI (ABOVE GARA	GE FLOOR) 48" TO CL
FRONT DOOR COACH LIGHT	r
GARAGE DOOR COACH LIGH	HT,
THERMOSTAT	
DOORBELL CHIMES	
DOORBELL BUTTON	LEVEL W/
KITCHEN HOOD FAN "WHIP'	"
KITCHEN WALL HUNG MICR	OWAVE OUTLET 72" TO CL
KITCHEN DISHWASHER REC	EPTACLE UNDER SINK
KITCHEN RANGE	24." .TO .CL .
KITCHEN REFRIGERATOR	
WASHER/DRYER OUTLET	
CL = CENTER LINE	

CL = CENTER LINE 1 = FIELD VERIFY 2 = MASTER BATH STANDARD 30" HIGH VANITY TO BE RAISED 4"



Dointe HOMES RELVO, SUITE 400, RALEIGH, NG 27607

Business Operations 5440 Wade Park Blvd Suite 400 Raleigh, NC 27607

ELECTRICAL PLAN ALTIS @ SERENITY FIREFLY LANE 1st FLOOR 36 SUBDIVISION:
ADDRESS: 36
LOT: 345

Issue Date: 10-01-24 ACC

PLAN#: 5921-07

ASPEN CREEK

E1.10C

ELECTRICAL I SCHEDU	FIXTURE LE
DESCRIPTION	SYMBOL
110V OUTLET	ф
220V OUTLET	Ф 220
1/2 HOT OUTLET	
GFI OUTLET	∜ GFI
WP GFI OUTLET	₩P/GFI
GARAGE DOOR OPENER OUTLET	Ø GDO
SECURITY SYSTEM	∯SEC SYS
DISHWASHER	⊕ DW
JUNCTION BOX	Ũ
CEILING MOUNTED LIGHT	ϕ
CEILING FAN w/ LIGHT KIT	BROVIDE
RECESSED CEILING LIGHT	R
RECESSED WATER PROOF LIGHT	∭ WP
WALL MOUNTED LIGHT	9
WALL MOUNTED PUSH BUTTON	b PB
TWO WAY SWITCH	\$
THREE WAY SWITCH	* \$
FOUR WAY SWITCH	\$
DIMMER SWITCH	\$ ^{DIM}
EXHAUST VENTS	S VENT TO EXT
LOW VOLTAGE PANEL	∳
PHONE OUTLET	● PH
TV OUTLET	▲ TV
DATA & RG6 COMBO BOX	
SMOKE DETECTOR	Ŝ
CARBON MONOXIDE SMOKE DETECTOR COMBO	⊚ CM/SD
DOOR CHIMES	CHIMES
ELECTRICAL PANEL	EP EP
SURFACE MOUNT LED	•
EXTERIOR WALL MOUNT UPLIGHT	8
SOFFIT MOUNT FLOOD LIGHT	442
UNDER COUNTER LIGHTING	esse-UCL
SMURF TUBE	

ELECTRICAL NOTES:

- 1. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE AND CARBON MONOXIDE DETECTORS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL COVERNING CODES 2. PROVIDE AND INSTALL GROUND FAULT ORCULT—INTERRUPTERS (GF) AS REQUIRED BY NATIONAL ELECTRIC CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.

 3. ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK—UPS/CUTOFFS.

 4. HYAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.

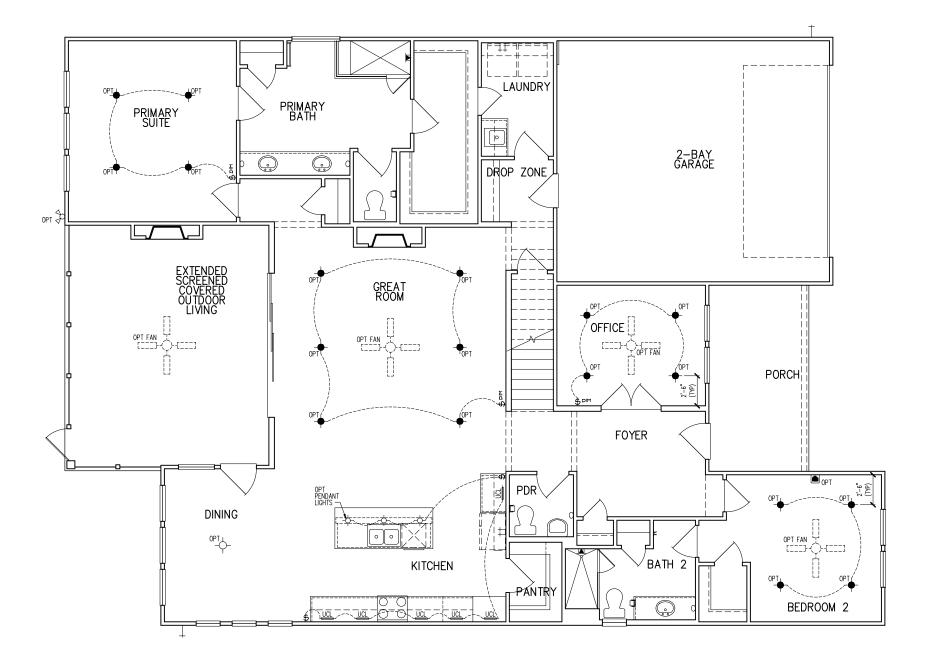
 5. ALL ELECTRICAL AND MECHANICAL EQUIPMENT (I.E. FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS, DRAIN TILE SUMP, AND WATER HEATERS) ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS.

DUE TO FIELD CONDITIONS.
ELECTRICAL DEVICES: ABOVE FINISHED FLOOR:
SWITCHES OVER COUNTER
WALL OUTLETS OVER COUNTER
+42" TO BOTTOM OF HORIZONTAL OUTLET(TYP. @ COUNTER)
REMAINING SWITCHES
WALL OUTLETS
BATH VANITY BRACKET OUTLET 1,2 (1" ABOVE TOP OF VANITY)
WATER SOFTENER AND SUMP OUTLETS 48" TO CL
EXTERIOR GFI OUTLETS
GARAGE GFI (ABOVE GARAGE FLOOR) 48" TO CL
FRONT DOOR COACH LIGHT
GARAGE DOOR COACH LIGHT, (ABOVE GARAGE FLOOR)84".TO CL
THERMOSTAT
DOORBELL CHIMES
DOORBELL BUTTON DR.HANDLE
KITCHEN HOOD FAN "WHIP"
KITCHEN WALL HUNG MICROWAVE OUTLET 72" TO CL
KITCHEN DISHWASHER RECEPTACLE JNDER SINK
KITCHEN RANGE
KITCHEN REFRIGERATOR
WASHER/DRYER OUTLET
CL = CENTER LINE

CL = CENTER LINE

1 = FIELD VERIFY

2 = MASTER BATH STANDARD 30" HIGH
VANITY TO BE RAISED 4"



Dointe HOMES RR BLVD. SUITE 400, RALEIGH, NC 27/607

Business Operations 5440 Wade Park Blvd Suite 400 Raleigh, NC 27607

- OPITONS ALTIS @ SERENITY FIREFLY LANE 1st FLOOR ELEC. PLAN : 36 SUBDIVISION:
ADDRESS: 36
LOT: 345

Issue Date: 10-01-24 Drawn By: ACC

5921-07

ASPEN CREEK

E1.11C

	ELECTRICAL FIXTURE SCHEDULE		
ı	DESCRIPTION	SYMBOL	
Ħ	110V OUTLET	ф	
Ħ	220V OUTLET	\$ 220	
П	1/2 HOT OUTLET	♦	
П	GFI OUTLET	∜‡ GFI	
	WP GFI OUTLET	₩P/GFI	
	GARAGE DOOR OPENER OUTLET	Ø GDO	
	SECURITY SYSTEM	∯SEC SYS	
	DISHWASHER	⊕ DW	
Ц	JUNCTION BOX	(I)	
Ц	CEILING MOUNTED LIGHT	- 	
	CEILING FAN w/ LIGHT KIT	BRACING	
П	RECESSED CEILING LIGHT	Ø	
П	RECESSED WATER PROOF LIGHT)EQ WP	
	WALL MOUNTED LIGHT	9	
П	WALL MOUNTED PUSH BUTTON	⊌ PB	
	TWO WAY SWITCH	\$	
	THREE WAY SWITCH	* \$	
	FOUR WAY SWITCH	\$	
	DIMMER SWITCH	\$□™	
	EXHAUST VENTS	S VENT TO EXT	
	LOW VOLTAGE PANEL		
Ц	PHONE OUTLET	⊕ PH	
Ц	TV OUTLET	⊕ TV	
Ц	DATA & RG6 COMBO BOX	₹	
Ц	SMOKE DETECTOR	\$	
Ц	CARBON MONOXIDE SMOKE DETECTOR COMBO	⊚ CM/SD	
Ц	DOOR CHIMES	CHIMES	
	ELECTRICAL PANEL	EP EP	
Ц	SURFACE MOUNT LED	•	
Ц	EXTERIOR WALL MOUNT UPLIGHT	8	
Ц	SOFFIT MOUNT FLOOD LIGHT	₽¢	
Ц	UNDER COUNTER LIGHTING	UCL	
ı	SMURF TUBE		

ELECTRICAL NOTES:

PROVIDE AND INSTALL LOCALLY CERTIFIED

PROVIDE AND INSTALL LOCALLY CERTIFIED

SMOKE AND CARBON MONOXIDE DETECTORS

REQUIRED BY NATIONAL FIRE PROTECTION

ASSOCIATION (MFPA) AND MEETING THE

REQUIREMENTS OF ALL GOVERNING CODES

PROVIDE AND INSTALL GROUND FAULT

ICRCUIT—INTERRUPTERS (GFI) AS REQUIRED BY

NATIONAL ELECTRIC CODE (NEC) AND MEETING

THE REQUIREMENTS OF ALL GOVERNING CODES.

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REQUIRED DIRECT HOOK—UPS/CUTOFFS.

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 REMAINING SWITCHES.
 48".TD.CL

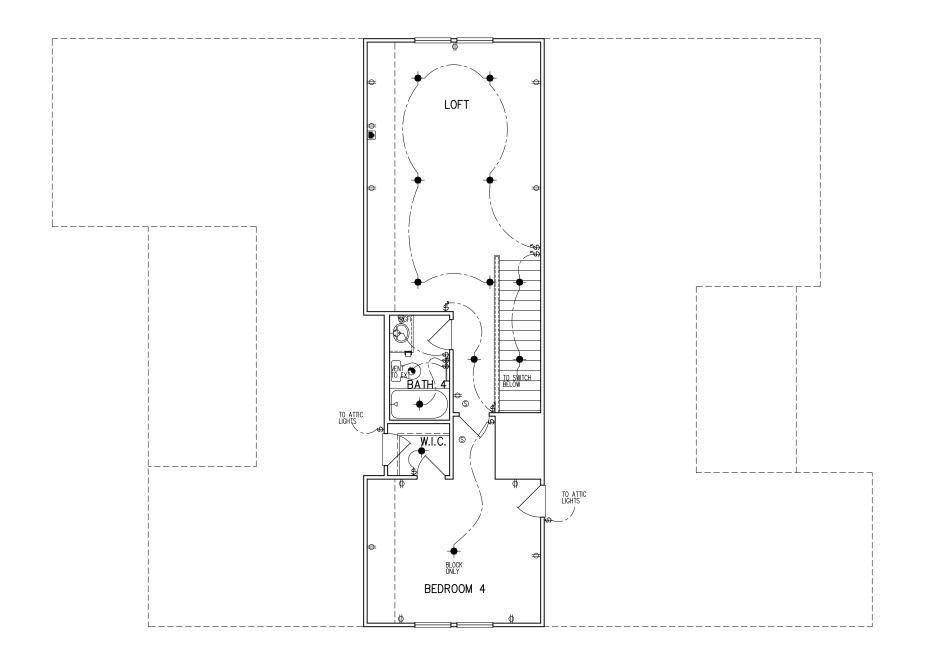
 WALL OUTLETS.
 12". TO CL

 BATH VANITY BRACKET OUTLET.
 1,2

 (1" ABOVE TOP OF VANITY)
 1.2
 GARAGE DOOR COACH LIGHT, (ABOVE GARAGE FLOOR). . . . THERMOSTAT LEVEL W/ DR .HANDLE DOORBELL BUTTON. KITCHEN RANGE. 24". TO.CL.
KITCHEN REFRIGERATOR. 48". TO CL

CL = CENTER LINE 1 = FIELD VERIFY

2 = MASTER BATH STANDARD 30" HIGH VANITY TO BE RAISED 4"



SECOND FLOOR PLAN PARTIAL ELECTRICAL PLAN

Dointe AD MES ARK BLVD, SUITE 400, RALEIGH, NC 27607

Business Operations 5440 Wade Park Blvd Suite 400 Raleigh, NC 27607

OPTION SERENITY LANE PLAN ALTIS @ FIREFLY 1 ELEC. SUBDIVISION: ADDRESS: 36 1

10-01-24 Drawn By: ACC

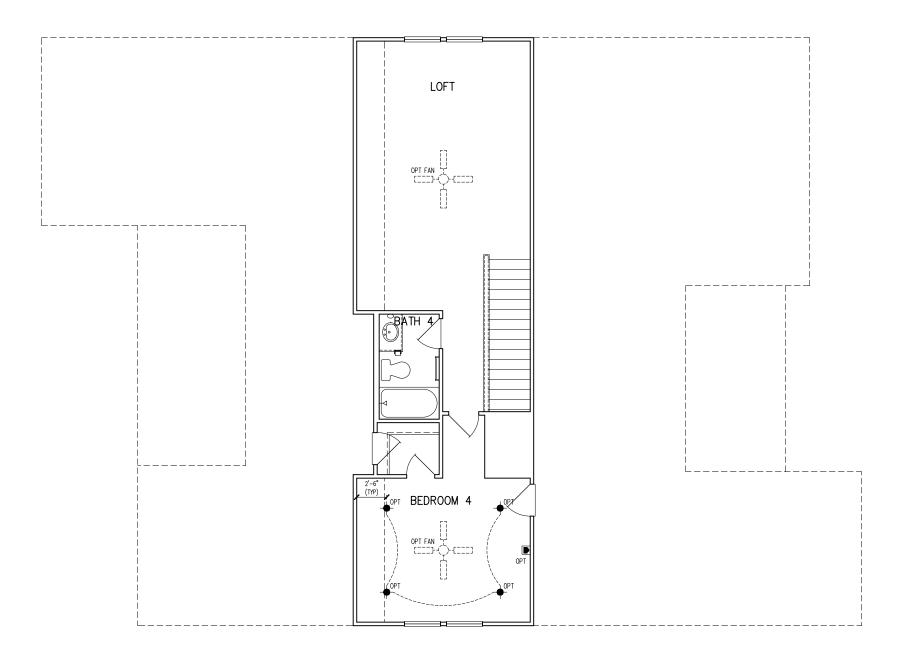
LOT:

2ND

5921-07

(ASPEN CREEK

01.E20



SECOND FLOOR PLAN PARTIAL ELECTRICAL PLAN

tri pointe.

HOMES

540 WADE PARK BLVD, SUITE 400, RALEIGH, NG 27807

Business Operations 5440 Wade Park Blvd Suite 400 Raleigh, NC 27607

SUBDIVISION: ALTIS ® SERENITY
ADDRESS: 36 FIREFLY LANE
LOT: 345

Issue Date: 10-01-24 Drawn By: ACC

5921-07

ASPEN CREEK

01.E21

GENERAL STRUCTURAL NOTES

FLOOR FRAMING

- L- IOISTS/TRUSSES SHALL BE DESIGNED BY MANUE TO MEET OR EXCEED L/480 LIVE LOAD DEFLECTION CRITERIA. (EXCLUDES STONE/MARBLE OR WET BED CONSTRUCTED FLOORS - CONTACT M&K FOR EXCLUDED FLOOR DESIGNS)
- PER THE GUIDELINES OF THE TILE COUNCIL OF NORTH AMERICA (TCNA HANDBOOK), IT SHALL BE THE FLOOR FINISH INSTALLER'S RESPONSIBILITY TO VERIEY THAT THE FINISHES TO BE INSTALLED MATCH THE DESIGN CRITERIA NOTED ABOVE (UNDER "DESIGN
- FLOOR SYSTEMS & SHEATHING HAVE BEEN DESIGNED TO SUPPORT ADDITIONAL DEAD LOAD FROM CERAMIC TILE (EXCLUDING MARBLE OR STONE). HOWEVER, IT SHALL BE THE FLOOR FINISH INSTALLER'S RESPONSIBILITY TO PROVIDE PROPER UNDERLAYMENT, UNCOUPLING MEMBRANE AND MORTAR/GROUT PER THE ASSEMBLY DESIGNATIONS IN THE TONA HANDBOOK (TILE COUNCIL OF NORTH AMERICA).
- AT I-JOIST FLOORS, PROVIDE I 1/8" MIN. OSB RIM BOARD.
- METAL HANGERS SHALL BE SPECIFIED BY MANUFACTURER, U.N.O.
- I-JOIST/TRUSS SHOP DWGS. SHALL BE SUBMITTED TO ARCH. & ENG. FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY
- FLOOR SHEATHING SHALL BE 23/32" A.P.A. RATED 'STURD-I-FLOOR' 24" O.C. EXPOSURE I (OR APPROVED EQUAL) WITH TONGUE AND GROOVE EDGES. FASTEN TO FRAMING MEMBERS W GLUE AND
- 2 ½" x 0.131" NAILS @ 6"o.c. @ PANEL EDGES € @ 12"o.c. FIELD.
- 2 3 × 0.120 NAILS @ 4 O.C. @ PANEL EDGES \$ @ 8 O.C. FIELD.
- 2 3 × 0.113" NAILS @ 3" O.C. @ PANEL EDGES \$ @ 6" O.C. IN FIELD

ROOF FRAMING

- ROOF SHEATHING SHALL BE 1/16" A.P.A. RATED SHEATHING 24/16 EXPOSURE I (OR APPROVED EQUAL). FASTEN TO FRAMING MEMBERS
- W/ 2 1 × 0.131" NAILS @ 6"O.C. @ PANEL EDGES \$ @ 12" O.C. FIELD.
- · w/ 2 🖁 × 0.120" NAILS 4"o.c. PANEL EDGES \$ 8" O.C. FIELD. - w/ 2 🖁 × 0.113" NAILS @ 3"o.c. @ PANEL EDGES \$ @ 6" O.C. FIELD.
- WITHIN 48" OF ALL ROOF FDGES RIDGES & HIPS FASTEN ROOF SHEATHING FIELDS PER EDGE NAILING SPEC.
- FASTEN FACH ROOF TRUSS TO TOP PLATE W/ SIMPSON H25T CLIP (OR APPROVED EQUAL) • ALL BEARING POINTS. PROVIDE (2) H2.51 CLIPS AT 2-PLY GIRDER TRUSSES, (3) H2.5T CLIPS AT 3-PLY GIRDER TRUSSES & ROOF BEAMS - AT ALL BEARING POINTS.
- METAL HANGERS SHALL BE SPECIFIED BY THE MANUFACTURER, U.N.O.
- ROOF TRUSS SHOP DWGS SHALL BE SUBMITTED TO ARCH & ENG. FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY
- ERECT AND INSTALL ROOF TRUSSES PER WTCA & TPI'S BCSI I "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING & BRACING
- OF METAL PLATE CONNECTED WOOD TRUSSES." SUPPORT SHORT SPAN ROOF TRUSSES w/2x4 LEDGER FASTENED TO

FRAMING w/(2) 3" x 0.120" NAILS @ 16" O.C. (UP TO 7' SPAN).

CONNECTION SPECIFICATIONS (TYP. U.N.O.)

DESCRIPTION OF BLDG, ELEMENT	3"x0.131" NAILS	3"x0.120" NAILS
JOIST TO SOLE PLATE	(3) TOENAILS	(3) TOENAILS*
SOLE PL. TO JOIST/RIM OR BLK'G	NAILS @ 4" o.c.	NAILS @ 4" o.c.
STUD TO PLATE	(4) TOENAILS/ (3)END NAILS	(4) TOENAILS/ (4)END NAILS*
RIM TO TOP PLATE	TOENAILS @ 6" o.c.	TOENAILS @ 4" o.c.*
BLK'G. BTWN. JOISTS TO TOP PL.	(3) TOENAILS EA. END	(3) TOENAILS EA. END*
DOUBLE STUD	NAILS @ 16" O.C.	NAIL5 @ 16" o.c.
DOUBLE TOP PLATE	NAILS @ 12" o.c.	NAILS @ 8" O.C.
DOUBLE TOP PLATE LAP SPLICE	(12) NAILS IN LAPPED AREA (24" MIN.)	(15) NAILS IN LAPPED AREA (24" MIN.)
TOP PLATE LAP @ CORNERS \$ INTERSECTING WALLS	(3) NAILS	(3) NAILS
RAFTER/TRUSS TO TOP PLATE	(4) TOENAILS + (1) SIMPSON H2.5T	(4) TOENAILS + (1) SIMPSON H2.5T
GAB. END TRUSS TO DBL. TOP PL.	TOENAILS @ 8" O.C.	TOENAILS @ 6" o.c.
R.T. w/ HEEL HT. 91/4" TO 12"	2xIO BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE W/ TOENAILS @ 6" O.C.	2xIO BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE W/ TOENAILS @ 4" O.C.
R.T. w/ HEEL HT. 12" TO 16"	2x12 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE W/ TOENAILS @ 6" O.C.	2xI2 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE W/ TOENAILS @ 4" O.C.
R.T. w/ HEEL HT. UP TO 24"	LAP WALL SHTG. W/ DBL. TOP PL. \$ INSTALL ON TRUSS VERT FASTEN W/ NAILS @ 6" O.C.	LAP WALL SHTG. W/ DBL. TOP PL. \$ INSTALL ON TRUSS VERT FASTEN W/ NAILS @ 6" O.C.*
R.T. w/ HEEL HT. 24" TO 48"	LAP WALL SHTG, W/ DBL, TOP PL. & INSTALL ON TRUSS VERT FASTEN W/ NAILS @ 6" O.C. PROVIDE 2x BLK @ EA. BAY AT TOP OF HEEL	LAP WALL SHTG, W/ DBL. TOP PL. \$ INSTALL ON TRUSS VERT FASTEN W/ NAILS @ 6" O.C. PROVIDE 2x BLK @ EA. BAY AT TOP OF HEEL "
WALL TO FOUNDATION	WALL SHTG. LAP W/ SILL PL. \$ FASTENED PER SHEAR WALL FASTENING SPEC.	
 ½",x0.113 IS AN ACCEPTABLE ALTERNATIVE TO A 3"x0.120", SAME SPACING OR NUMBER OF NAILS. (ONLY ACCEPTABLE WHERE * ARE SHOWN) 		

GENERAL STRUCTURAL NOTES

DESIGN LOADING

- DESIGN IS BASED ON 2018 NORTH CAROLINA STATE BUILDING CODE: RESIDENTIAL CODE.
- WOOD FRAME ENGINEERING IS BASED ON NDS, "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" - LATEST EDITION
- DESIGN LOADS ROOF

SNOW = 15 PSF (12 PSF GROUND SNOW, TRUSSES) LIVE = 20 PSF (REDUCIBLE BASED ON ROOF PITCH) DEAD = 7 PSE TG. TO PSE BG.

LOAD DURATION FACTOR = 1.25 LIVE = 40 PSE (30 PSE @ SLEEPING AREAS)

DEAD = 10 PSF (I-JOISTS), 15 PSF (FLOOR TRUSSES) ADD'L IO PSE @ CERAMIC TILE IN KITCHEN. SUNROOMS, BATHS, FOYER, LAUND, & MUDRIN

2,000 PSF ASSUMED ALLOWABLE BEARING PRESSURE (TO BE VERIFIED BY BUILDER)

115 MPH, EXPOSURE B

GENERAL FRAMING

- ALL TYP. NAIL FASTENER REQUIREMENTS ARE NOTED IN STANDARD CONNECTIONS TABLE (IRC TABLE R602.3(I)) OR ON PLANS. ALL NAILS SPECIFIED ARE MIN DIAMETER AND LENGTH REQUIRED FOR CONNECTION. ALL HANGER NAILS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS FOR MAX CHARTED CAPACITY NOTE: HANGERS USE COMMON NAIL DIAMETERS NOT TYPICAL FRAMING GUN NAILS.
- EXT. & INT. BEARING WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) @ 16" O.C. SPF/SP #2 GRADE LUMBER, OR BETTER, U.N.O.. . WALLS OVER 12' TALL SHALL BE PER PLAN.
- ALL INTERIOR BEARING WALLS ARE ASSUMED TO BE SHEATHED W/ GYP WALL BOARD (ONE SIDE MIN.) OR PROVIDE MID HT. BLOCKING.
- ALL HEADERS, BEAMS & OTHER STRUCTURAL MEMBERS SHALL BE SPRUCE-PINE-FIR #2 (SPE) OR SOUTHERN PINE #2 (SP) LUMBER OR BETTER, SUPPORT ALL HEADERS/ BEAMS W/ (1)2x JACK STUD & (1)2x KING STUD MINIMUM
- THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK STUDS REQUIRED, U.N.O.,
- ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 2x 'STUD' GRADE MEMBERS SPACED € 24" O.C. (MAX., U.N.O.)

 ◆ HEADERS IN NON-LOAD BEARING WALLS SHALL BE: (1)2x4/6 FLAT @ OPENINGS UP TO 4', (2)2x4/6 FLAT UP TO 8'.
- ALL FRAMING LUMBER SHALL BE DRIED TO 15% MC (KD-15)
- ENGINEERED LUMBER BEAMS TO MEET OR EXCEED THE FOLLOWING: • 'LVL' - Fb=2600 psi; Fv=285 psi; E=2.0x10^6 psi
- ENGINEERED LUMBER POSTS TO MEET OR EXCEED THE FOLLOWING 'LVL' - Fb=2400 psi; FcII=2500 psi; E=I.8xI0^6 psi
- FOR 2 \$ 3 PLY BEAMS OF EQUAL 134" MAX, WIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF 3"X0.120" NAILS @ 8" O/C OR 2 ROWS K"x3K" SIMPSON SDS SCREWS (OR 3K" TRUSSI OK SCREWS) @ 16" GREATER APPLY EASTENING AT BOTH FACES FOR 3-PLY CONDITION. LOCATE TOP & BOTTOM NAILS/SCREWS 2" FROM EDGE. SOLID 31/3" OR 51/4" BEAMS ARE ACCEPTABLE, USE 2 ROWS OF NAILS FOR 2x6 \$ 2x8 MEMBERS
- FOR 4 PLY BEAMS OF EQUAL 13/4" MAX, WIDTH, EASTEN PLIES TOGETHER WITH 3 ROWS OF 1/2 x6" SIMPSON SDS SCREWS (OR 6 3/4" TRUSSLOK SCREWS) @ 16" O/C. USE A MINIMUM OF 4 ROWS FOR BEAM DEPTHS OF 14" OR GREATER, APPLY EASTENING AT BOTH FACES (ONE SIDE ONLY FOR TRUSSLOK SCREWS). LOCATE TOP AND BOTTOM SCREWS 2" FROM EDGE, A SOLID 7" BEAM IS ACCEPTABLE
- PROVIDE SOLID BLOCKING IN FLOOR SYSTEM UNDER ALL POSTS CONTINUOUS TO FND./BEARING, BLOCKING TO MATCH POST ABOVE.
- ALL EXTERIOR 4x4 WOOD POSTS SHALL HAVE SIMPSON BCS2-2/4
- · CORROSION NOTES
- BUILDER RESPONSIBLE TO DETERMINE CORROSION-RESISTANCE REQUIREMENTS AND COMPATIBILITY OF HARDWARE FASTENERS AND CONNECTORS FOR ENVIRONMENTAL EXPOSURE AND IN CONTACT W/ PRESERVATIVE-TREATED WOOD OF ACTUAL FINAL CONDITIONS AND SOURCED MATERIALS. CONTACT LUMBER \$ HARDWARE SUPPLIERS TO COORD.

GENERAL STRUCTURAL NOTES

FOUNDATION

- DESIGN IS BASED ON 2018 NORTH CAROLINA STATE BUILDING CODE:
- FOOTING DESIGN 2,000 PSF ALLOWABLE SOIL BEARING
- FASTEN 2×4/6 SILL PLATES TO CONC FND WITH A MINIMUM OF 2
- ANCHORS PER PLATE 12" MAX FROM PLATE ENDS UTIL 17ING I/2" DIA. ANCHOR BOLTS 6'-0" O.C,7" MIN. EMBEDMENT
- I/2" DIA. x 6" LONG SIMPSON TITEN HD @ 6'-0" O.C. • SIMPSON MASA ANCHOR STRAPS @ 6'-0" O.C. (CONCRETE)
- ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT W/ PERIMETER FOUNDATION SHALL BE PRESERVATIVE TREATED SOUTHERN PINE #2.
- BUILDER TO VERIEY CORROSION-RESISTANCE COMPATIBILITY OF HARDWARE & FASTENERS IN CONTACT W/ PRESERVATIVE-TREATED WOOD, CONTACT LUMBER & HARDWARE SUPPLIERS TO COORD.
- FOOTINGS SHALL BE PLAIN CONCRETE, U.N.O.
- CONCRETE DESIGN BASED ON ACL 318, CONCRETE SHALL ATTAIN THE FOLLOWING MIN. COMPRESSIVE STRENGTHS IN 28 DAYS, U.N.O. f'c = 3,000 psi: FOOTINGS & INTERIOR SLABS ON GRADE 3,500 psi: GARAGE & EXTERIOR SLABS ON GRADE fu = 60.000 psi
- ALL CONCRETE EXPOSED TO THE WEATHER SHALL NOT HAVE LESS THAN 5% OR MORE THAN 7% AIR ENTRAINMENT
- ALL FOOTINGS SHALL BEAR BELOW FROST LINE (TYP.) OR 12" MIN I REGIONS WHERE CODE FROST DEPTH IS NOT APPLICABLE. CONSULT SOILS REPORT OR BUILDING DEPT. FOR MINIMUM DEPTH BELOW GRADE
- * FOOTINGS AND SLABS ON GRADE SHALL BEAR ON VIRGIN SOIL OR
- PROVIDE CONTROL JOINTS AT ALL INSIDE CORNERS OF SLAB EDGES, AND OTHER LOCATIONS WHERE SLAB CRACKS ARE LIKELY TO DEVELOP
- JOINTS SHALL BE LOCATED @ 10'-0" O.C. (RECOMMENDED) OR 15'-0" O.C. (MAXIMUM)
- LOINT GRID PATTERN SHALL BE AS CLOSE TO SQUARES AS POSSIBLE (I:I RATIO), WITH A MAXIMUM OF I:I.5 RATIO
- · CONTROL JOINTS SHALL NOT BE INSTALLED IN STRUCTURAL
- DIMENSIONS BY OTHERS, BUILDER TO VERIFY.

MEANS & METHODS NOTES

THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FINISHED AND ALL PLAN, DETAIL, AND NOTE SPECIFICATIONS HAVE BEEN COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCE TO THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION. THIS INCLUDES BUT IS NOT LIMITED TO, THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS, AND TIE-DOWNS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING REQUIRED TO STABILIZE AND PROTECT EXISTING AND ADJACENT STRUCTURES AND SYSTEMS DURING COURSE OF DEMOLITION AND CONSTRUCTION OF THE PROJECT

STRUCTURAL DESIGN AND SPECIFICATIONS ASSUME THAT ALL SUPPORTING AND NON-SUPPORTING ELEMENTS IN CONTACT WITH FLOOR FRAMING ARE LEVEL, INCLUDING, BUT NOT LIMITED TO: FOUNDATIONS. SLABS ON GRADE, BEAMS, WALLS, AND NON-BEARING ELEMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIEY LEVELNESS AND MAKE ADJUSTMENTS AS NECESSARY, INCLUDING CONSIDERATION OF THOSE AREAS THAT MAY BE WITHIN CONTRACTUAL, INDUSTRY OR WARRANTY TOLERANCES

VENEER LINTEL SCHEDULE

SPAN (MAX)		
3'-0"	20 FT. MAX	L3"x3"x/4"
	3 FT. MAX	L3"x3"x¼;"
6'-0"	I2 FT. MAX	L4"x3"x¼"
	20 FT. MAX	L5"x3½"x¾6"
8'-0"	3 FT. MAX	L4"x4"x¼" *
B'-0"	I2 FT. MAX	L5"x3½"x¾6"
	I6 FT. MAX	L6"x3½"x¾"
9'-6"	I2 FT. MAX	L6"x3½"x%6"
16'-0"	2 FT. MAX	L7"x4"x½" **
	3 FT MAY	1.8"\4"\6" **

- IL LINTELS

 \$40LL SIPPORT 2 %* 3 ½" YINDEER W 40 POF MAXIMIM MEIGHT.

 169 SHALL HAVE 4" MN. BEARING

 169 SHALL HAVE 9" MN. BEARING

 169 SHALL HAVE 9" MN. BEARING

 169 SHALL BAT SET PASTINED PACK TO HEADER IN WALL 4049" oz. w/ ½" DIA. x 3 ½"

 LONG LAG 50/ENPG IN 2" LONG YERTICALLY \$LOTTED HALES.

 MAX. YEBER IN APPLIES TO ANY FORTION OF PROKO CAPE THE OPENING.

 ALL INITES 99 SHALL BE LONG LEG YERTICAL.

 MAY BEC OT IN THE FIELD TO BE 3½" MIDE OVER THE BEARING LISGITH ONLY. THIS

 SET STRUCTUREN ANY FOR SOME THE EXTERIOR TOE OF THE HORIZONTAL LEG

 MAY BEC OT IN THE FIELD TO BE 3½" MIDE OVER THE BEARING LISGITH ONLY. THIS

 SET STRUCTUREN ANY FOR SOME THE ANY EXCENTION OF THE CAPASSED BY THE

 ABOVE PARAMETERS.
- FOR QUEEN VENEER USE L4X3%". FOR 3%" VENEER ONLY, SEE PLAN FOR VENEER SUPPORT IF VENEER < 3½" THICK

ADDITIONAL NOTES FOR TRUSS & I-JOIST MANUFACTURER

ROOF TRUSS, FLOOR TRUSS AND ENGINEERED JOISTS SHALL BE DESIGNED TO MEET THE DEFLECTION CRITERIA BELOW, UNLESS NOTED OTHERWISE ON PLAN, MULHERN & KULP CANNOT BE HELD RESPONSIBLE FOR ANY STRUCTURAL ISSUES RELATED TO ANY BUILDING COMPONENT IF COMPONENT SHOP DRAWINGS ARE NOT SUBMITTED TO M&K FOR REVIEW PRIOR TO FABRICATION, DELIVERY, OR INSTALLATION.

TRUSSES/LIGISTS SHALL BE DESIGNED SO THAT DIFFERENTIAL DEFLECTION BETWEEN ADJACENT PARALLEL TRUSSES/JOISTS OR GIRDER TRUSSES/FLUS BEAMS DO NOT EXCEED THE FOLLOWING: A ROOF TRUSSES.

1/4" DEAD LOAD

B. FLOOR TRUSSES, ATTIC TRUSSES, \$ 1-JOISTS: 1/8" DEAD LOAD ABSOLUTE DEAD LOAD DEFECTION OF FLOOR

TRUSSES/ATTIC TRUSSES WHEN ADJACENT TO FLOOR FRAMING BY OTHERS SHALL BE LIMITED TO 3/16". (NO DIFFERENTIAL DEFLECTION

FLOOR JOIST NOTES

- ALL FLOOR JOISTS SHALL BE THE DEPTI SPECIFIED ON PLAN - FLOOR JOISTS SERIES & SPACING IS PER THE FLOOR JOIST MANUF.
 - SPACING SHALL NOT EXCEED 19.2" O.C. (MAX.) @ LOCATION OF TILE: SPACING SHALL NOT
- EXCEED 16" O.C. (MAX.)

LATERAL/WALL BRACING & WALL SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM:

MPH WIND IN 2018 NCSBC:RC

(115 MPH WIND SPEED IN ASCE 7-10 WIND MAP, PER IRC R301,2,1,1) EXP. B, RISK CAT. 2 & SEISMIC CAT. A/B.

THE DESIGN WAS COMPLETED PER 2015 IBC (SECTION 1609) & ASCE 7-10. AS PERMITTED BY R301,1,3 OF THE 2018 NCSBC:RC, ACCORDINGLY, THIS MODEL, AS DOCUMENTED AND DETAILED HEREWITHIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES.

DESIGN WIND UPLIET LOADS HAVE BEEN CALCULATED UTILIZING ASCE 7-10 (ACCEPTED ENGINEERING PRACTICE) AS ALLOWED PER 2018 NCSBC:RC SECTION R802.II.I.I. THIS MODEL HAS BEEN DETAILED WHERE REQUIRED & ENGINEERED TO RESIST THE WIND UPLIFT LOAD PATH PER SECTIONS R602.3.5¢ R802.II.

EXT. WALL SHEATHING SPECIFICATION

- 7/16" OSB OR 15/32" PLYWOOD: FASTEN SHEATHING W/ 2 ₹ "x0.II3 NAIL5 @ 6" O.C. AT EDGES & @ 12" O.C. IN THE PANEL FIELD. (TYP, U.N.O.) ALL SHEATHING PANELS SHALL BE ORIENTED
- VERTICALLY (LONG DIRECTION PARALLEL TO STUDS) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES & EDGE
- ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED AND ARE CONSIDERED SHEAR WALLS.
- ALT, STAPLE CONNECTION SPEC: 1 3/4" 16 GA STAPLES (1/6" CROWN) @ 3" O.C. AT EDGES \$ @ 6" O.C IN FIELD.

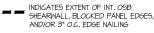
3" O.C. EDGE NAILING

AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING W 2 3" × 0.113" NAILS @ 3" O.C. AND 12" O.C. IN THE PANEL FIELD NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC. ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUD) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. EDGE FASTENING.

TYP. UNIT SEPARATION WALL SHEATHING SPECIFICATION

1/2" OR 5/8" GYPSUM WALL BOARD: FASTEN GWB SHEATHING TO FRAMING W/ 1 3"X0.086" COOLER NAILS OR I &" DRYWALL SCREWS @ 7" O.C. PANEL EDGES & PANEL FIELD (INCLUDING T&B PLATES

- SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING, IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN. T WILL BE SPECIFICALLY NOTED ON PLAN.
- DESIGN ASSUMES 16" O.C MAX. STUD SPACING, U.N.O.
- ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.
- PRE-MANUFACTURED PANELIZED WALLS: FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED W/ OSB OR PLYWOOD W/ 3" x 0.120" NAILS @ 4" O.C. (THRU ONE SIDE ONLY)



NDICATES HOLDOWN

MULHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERING



Julhern+Kulp project number

243-24033 SMŁ KM

initial:

ssue date: 08-16-2024

REVISIONS:

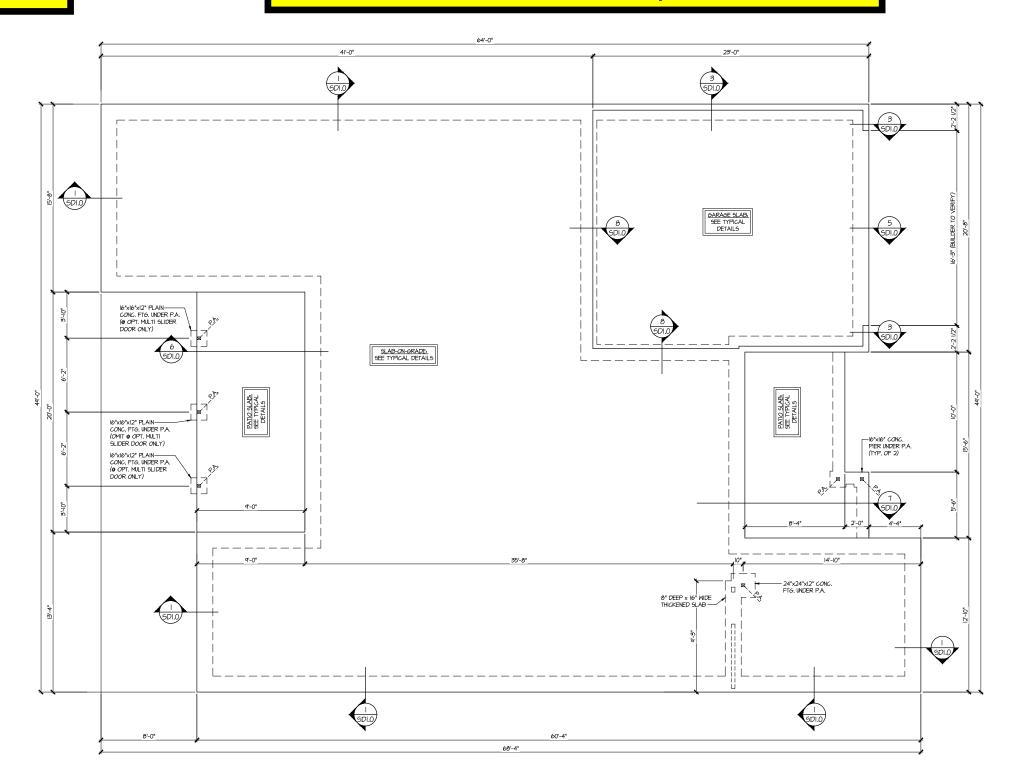
/08/2024 SMM NAME, OPT. EXT. COVID. PORCH

S NOTE GENERAL

5921- SERENITY 'ASTER SET

S0.0

See S1.1 for Elevation C Specific Details



SLAB FOUNDATION PLAN SCALE: 1/4"=1'-0" (22x24 SHEET)

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BESIDENTIAL STRUCTURAL ENGINEERING

3665 Braisle Parkway, Sala 256 - Aphwella, SA 3802

9.76-77-6074 - multimoderson

NC. Licence # C-3825



243-24033

issue date: 08-16-2024

REVISIONS:

date: initial:
II/08/2024 SMM
UPDATED MODEL NAME, OPT. EXT. COVID. PORCH

LEGEND

- INTERIOR BEARING WALL
- ==== BEARING WALL ABOVE (B.W.A.)
- INDICATES EXTENT OF INT.

 OSB SHEARWALL AND/OR
 3" O.C. EDGE NAILING

- INDICATES POST ABOVE. PROVIDE SOLID

REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

► INDICATES HOLDOWN

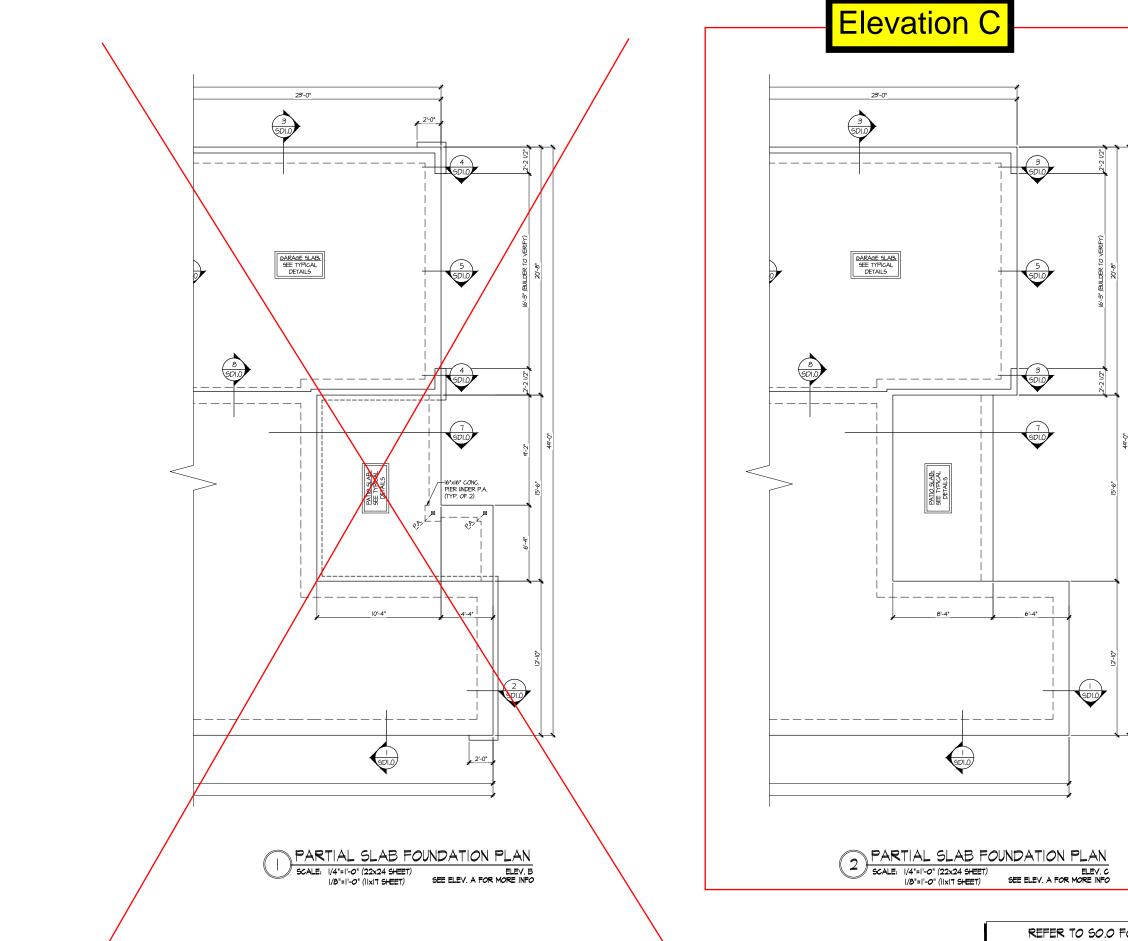
BLOCKING UNDER POST OR JAMB ABOVE.

5921-07 MODEL

SERENITY MASTER SET RALEIGH, NC

FOUNDATION PLAN

S1.0



REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

MULHERN+KULP

BESIDENTIAL STRUCTURAL ENGINEERING
3005 Brokside Parkway, Sala 2500 - Aphrevia, SA 30022
p.776-777-6074 - multiperiodecom



Mulhern+Kulp project number:

243-24033

SMK ΚMV issue date: 08-16-2024

REVISIONS:

date: IIIIua...
II/08/2024 SMM
UPDATED MODEL NAME, OPT. EXT. COVID. PORCH

tri pointe

FOUNDATION PLAN

LEGEND

- INTERIOR BEARING WALL
- □==== BEARING WALL ABOVE (B.W.A.)
- INDICATES EXTENT OF INT.

 OSB SHEARWALL AND/OR
 3" O.C. EDGE NAILING

- * INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

BEAM / HEADER

- VTOF EXTENT OF VALLEY TRUSS OVERFRAMING
- EXTENT OF FLOOR SYSTEM TO BE DESIGNED FOR TILE
- NDICATES HOLDOWN
- JL METAL HANGER

5921-07 MODEL SERENITY MASTER SET RALEIGH, NC

S1.1

ROOF TRUSSES @ 24" O.O

LINE OF BOX

See S2.1 for Elevation C Specific Details

2x4 @ 16" O.C. BALLOON FRAMED WALL (SPF#2 GRADE)



MULHERN+KULP

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3665 Benicido Parivey, Salo 268 - Aphretia, GA 38622
p.778-777-0014 - multimatoloposm
NC LICORGE # C-3025

243-24033

issue date: 08-16-2024

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THIS LEVEL HAS BEEN DESIGNED FOR 9'-1" PLATE HEIGHT

LEGEND

- IIIIIII INTERIOR BEARING WALL
- □===□ BEARING WALL ABOVE (B.W.A.)
- INDICATES EXTENT OF INT.

 OSB SHEARWALL AND/OR
 3" O.C. EDGE NAILING

- NDICATES HOLDOWN
- INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE

REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

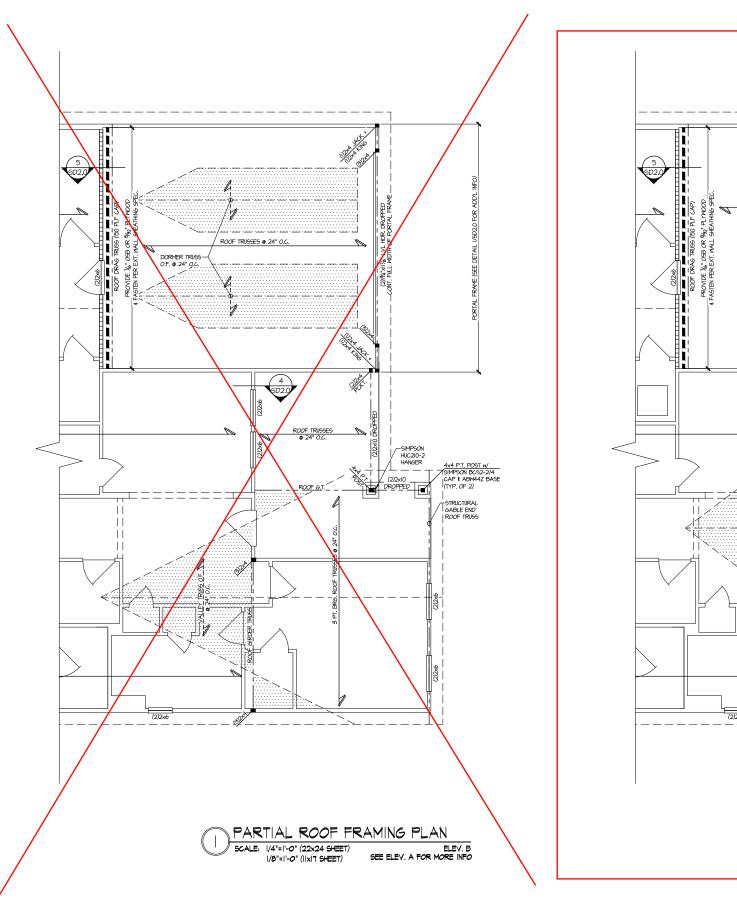
ROOF FRAMING PLAN SCALE: 1/4"=1'-0" (22x24 SHEET)

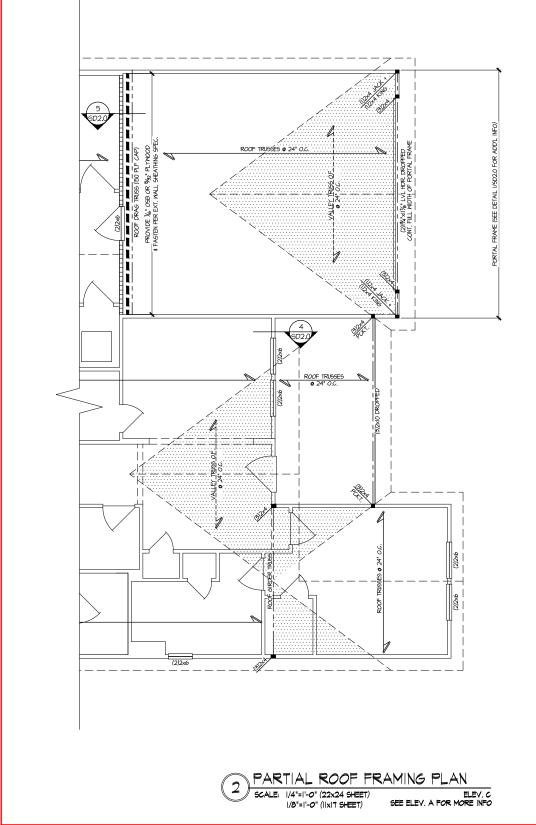
ROOF FRAMING PLAN

5921-07 MODEI SERENITY MASTER SET RALEIGH, NC

S2.0

4x4 P.T. POST w/ SIMPSON BC52-2/4 CAP € ABW44Z BASE (@ MULTI SLIDE DOOR ONLY) ROOF TRUSSES @ 24" O.C. ROOF TRUSSES @ 24" O. -SIMPSON HUC210-2 HANGER -(2)2x10 DROPPED 4x4 P.T. POST W SIMPSON BC52-2/4 4x4 P.T. POST w/ SIMPSON BC52-2/4 CAP & ABW44Z BASE (OMIT @ MULTI SLIDE DOOR) Color Vale -(2)2xi0 DROPPED (TYP, @ REAR PORCH) 4x4 P.T. POST w/ SIMPSON BC52-2/4 CAP & ABM44Z BASE (@ MULTI SLIDE DOOR ONLY) ROOF TRUSSES @ 24" O.





THIS LEVEL HAS BEEN DESIGNED FOR 9'-I" PLATE HEIGHT

REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES # SCHEDULES

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BESIDENTIAL STRUCTURAL ENGINEERING

3665 Braisled Parkway, Sala 256 - Aphwella, SA 38022

9.776-777-6074 - multimodescen

NC. Licence # C-3825



Mulhern+Kulp project number:

243-24033

SMK KΜ\ issue date: 08-16-2024

REVISIONS:

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ROOF FRAMING PLAN 5921-07 MODEL

LEGEND

- INTERIOR BEARING WALL
- □==== BEARING WALL ABOVE (B.W.A.)
- BEAM / HEADER
- INDICATES EXTENT OF INT.

 OSB SHEARWALL AND/OR 3" O.C. EDGE NAILING
- EXTENT OF VALLEY TRUSS OVERFRAMING
- EXTENT OF FLOOR SYSTEM TO BE DESIGNED FOR TILE
- NDICATES HOLDOWN
- JL METAL HANGER
- * INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

SERENITY MASTER SET RALEIGH, NC

S2.1

See S3.1 for Elevation C Specific Details



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243-24033

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LEGEND

INDICATES EXTENT OF INT.

OSB SHEARWALL AND/OR
3" O.C. EDGE NAILING

INDICATES POST ABOVE. PROVIDE SOLID

REFER TO SO.O FOR

TYPICAL STRUCTURAL NOTES

& SCHEDULES

• INTERIOR BEARING WALL • ==== BEARING WALL ABOVE (B.W.A.)

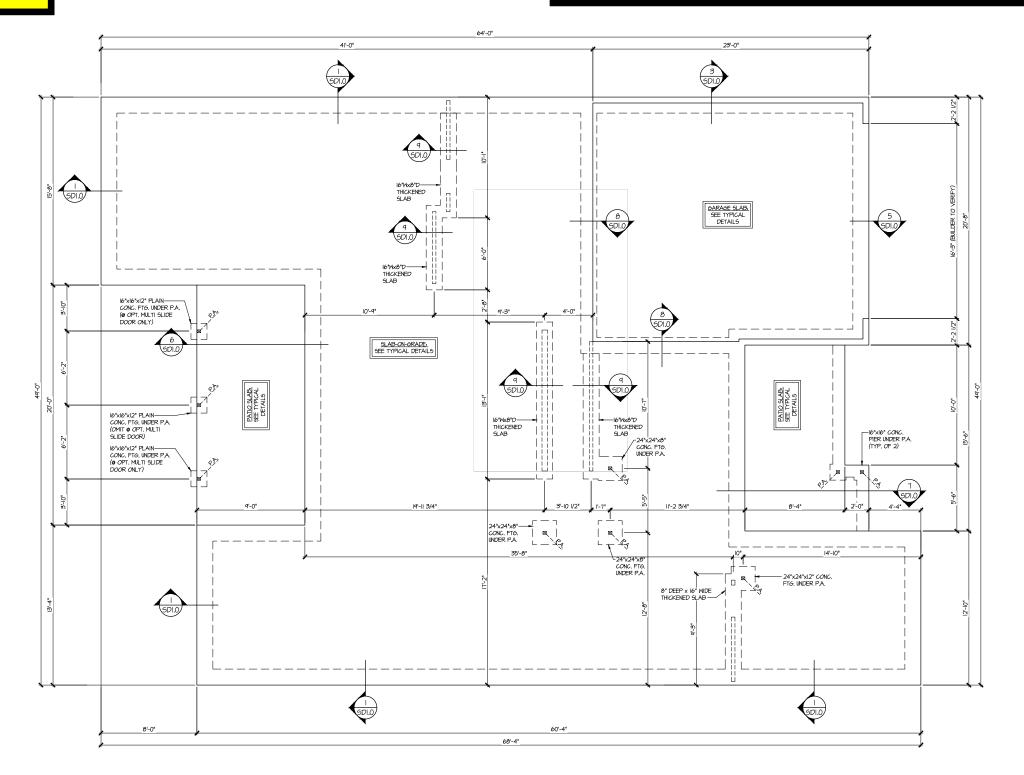
► INDICATES HOLDOWN

OPTIONS STRUCTURAL

5921-07 MODEL

SERENITY MASTER SET RALEIGH, NC

S3.0



OPT. 2ND FLOOR SLAB FOUNDATION PLAN SCALE: 1/4"=1'-0" (22x24 SHEET)

1/8"=1'-0" (IIxIT SHEET)

GARAGE SLAB: SEE TYPICAL DETAILS

OPT. 2ND FLOOR

SCALE: 1/4"=1'-0" (22x24 SHEET)

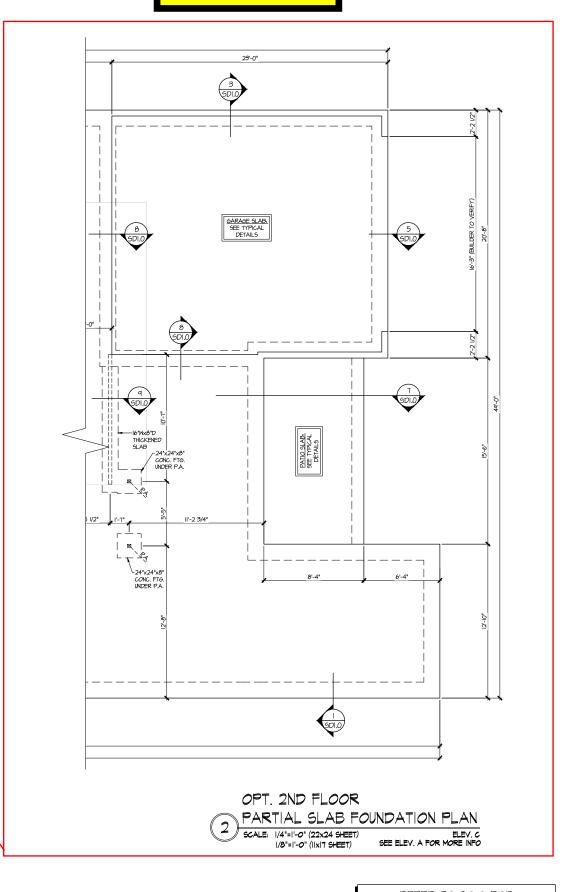
1/8"=1'-0" (IIXIT SHEET)

PARTIAL SLAB FOUNDATION PLAN

ELEV. B SEE ELEV. A FOR MORE INFO

-16"x16" CONC. PIER UNDER P.A. (TYP. OF 2)

8 5DI.0



REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES # SCHEDULES

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BESIDENTIAL STRUCTURAL ENGINEERING

3665 Braisled Parkway, Sala 256 - Aphwella, SA 38022

9.776-777-6074 - multimodescen

NC. Licence # C-3825



Mulhern+Kulp project number:

243-24033

SMK KΜ\ issue date: 08-16-2024

REVISIONS:

initial: II/08/2024 SMM UPDATED MODEL NAME, OPT. EXT. COVID. PORCH

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INTERIOR BEARING WALL

• □==== BEARING WALL ABOVE (B.W.A.) BEAM / HEADER

INDICATES EXTENT OF INT.

OSB SHEARWALL AND/OR
3" O.C. EDGE NAILING

EXTENT OF VALLEY TRUSS OVERFRAMING

• 24" O.C. (MAX.)

EXTENT OF FLOOR SYSTEM TO BE DESIGNED FOR TILE

NDICATES HOLDOWN

JL METAL HANGER

* INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

LEGEND

STRUCTURAL OPTIONS

5921-07 MODEL SERENITY MASTER SET RALEIGH, NC

S3.1

1 07000

LINE OF BOX

ROOF TRUSSES @ 24" O.C.

4x4 P.T. POST w/ SIMPSON BC52-2/4 CAP & ABW44Z BASE (@ MULTI SLIDE DOOR ONLY)

ZXIO LEDGER FASTENED TO EA.
STUD ABOVE W (5)BK/X0.131'
NAILS © 16" O.C.
DO NOT HANG LEDGER FROM RIM

THE TANK

2x4 @ 16" O.C. BALLOON FRAMED WALL (SPF#2 GRADE)





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p.778-777-0014 - multiantoloposan
NC LICORGE # C-3025



243-24033

issue date: 08-16-2024

REVISIONS:

OPTIONS

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4 SMM L NAME, OPT. EXT. COVID. PORCH 11/08/2024

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- □===□ BEARING WALL ABOVE (B.W.A.)
- INDICATES EXTENT OF INT.

 OSB SHEARWALL AND/OR 3" O.C. EDGE NAILING

REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

OPT. 2ND FLOOR LOW ROOF FRAMING PLAN SCALE: 1/4"=1'-0" (22x24 SHEET) 1/8"=1'-0" (IIXIT SHEET)

-SIMPSON HUC210-2 HANGER -(2)2x10 DROPPED 4x4 P.T. POST W SIMPSON BCS2-2/4 NOTE:

BUILD 2x4 @ 16* O.C.

CRIPPLE WALL ATOP F.J. TO

WIDDERSIDE RAFTER BRG.

-SHEATHE CRIPPLE WALL

PER EXT. WALL SHTG. SPEC. 4x4 P.T. POST W SIMPSON BC52-2/4 CAP & ABW44Z BASE (OMIT @ MULTI SLIDE DOOR) BMA-----(w=450 PLF) STEP TO STEP -(2)2xIO DROPPED (TYP. @ REAR PORCH) 4x4 P.T. POST w/ SIMPSON BCS2-2/4 CAP & ABI/M44Z BASE (@ MULTI SLIDE DOOR ONLY) 2xI0 LEDGER FASTENED TO EA.-STUD ABOVE w/ (3)31/4"x0.131" NAILS @ 16" O.C.

STEP CLG

THIS LEVEL HAS BEEN DESIGNED FOR 9'-1" PLATE HEIGHT

LEGEND

- IIIIIII INTERIOR BEARING WALL

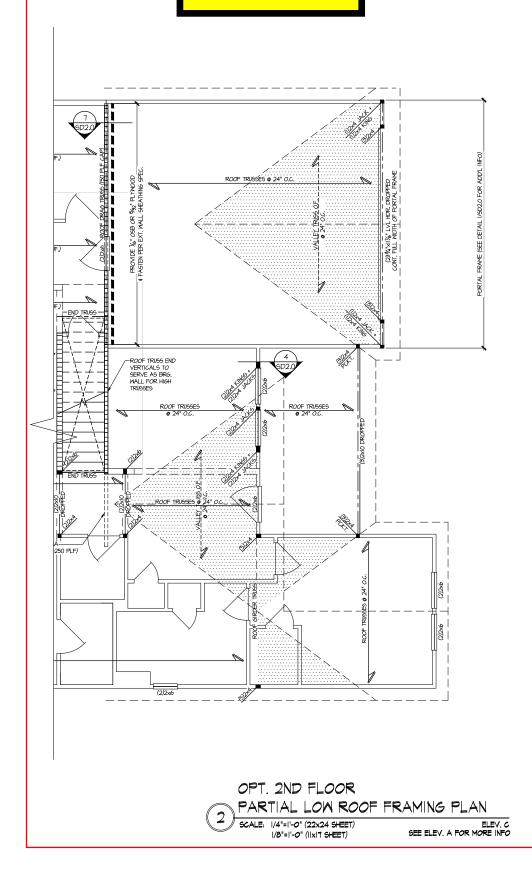
- NDICATES HOLDOWN
- * INDICATES POST ABOVE. PROVIDE SOLID

S3.2

5921-07

MODEI

SERENITY MASTER SET RALEIGH, NC



THIS LEVEL HAS BEEN DESIGNED FOR 9'-I" PLATE HEIGHT

REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES # SCHEDULES



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BESIDENTIAL STRUCTURAL ENGINEERING

3655 Brokside Parkway, Sala 256 - Aphrena, SA 38622

9.776-777-6074 - maifemicajacom

NC Licence # C-36.25

Mulhern+Kulp project number:

243-24033

SMK KΜ\ issue date: 08-16-2024

REVISIONS:

initial: II/08/2024 UPDATED MODEL 4 SMM EL NAME, OPT. EXT. COVID. PORCH

tri pointe

MODEI

LEGEND

- INTERIOR BEARING WALL
- □===□ BEARING WALL ABOVE (B.W.A.)
- BEAM / HEADER
- INDICATES EXTENT OF INT.

 OSB SHEARWALL AND/OR
 3" O.C. EDGE NAILING
- EXTENT OF VALLEY TRUSS OVERFRAMING
- EXTENT OF FLOOR SYSTEM TO BE DESIGNED FOR TILE
- NDICATES HOLDOWN
- JL METAL HANGER
- * INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

STRUCTURAL OPTIONS

SERENITY MASTER SET RALEIGH, NC 5921-07

S3.3

See S3.5 for Elevation Specific Details

-- SHEATH WALL PER EXT. WALL SPEC ABOVE GARAGE WALL



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BESIDENTIAL STRUCTURAL ENGINEERING
3005 Brokside Parkway, Sala 250 - Aphrevia, SA 3002
p.705-777-6074 - multiperside processors
NC Licensors C - 28025

243-24033

issue date: 08-16-2024

REVISIONS:

II/08/2024 SMM UPDATED MODEL NAME, OPT. EXT. COVID. PORCH

THIS LEVEL HAS BEEN DESIGNED FOR 9'-I" PLATE HEIGHT

LEGEND

- INTERIOR BEARING WALL
- □===□ BEARING WALL ABOVE (B.W.A.)
- INDICATES EXTENT OF INT.

 OSB SHEARWALL AND/OR
 3" O.C. EDGE NAILING

- NDICATES HOLDOWN

- INDICATES POST ABOVE. PROVIDE SOLID

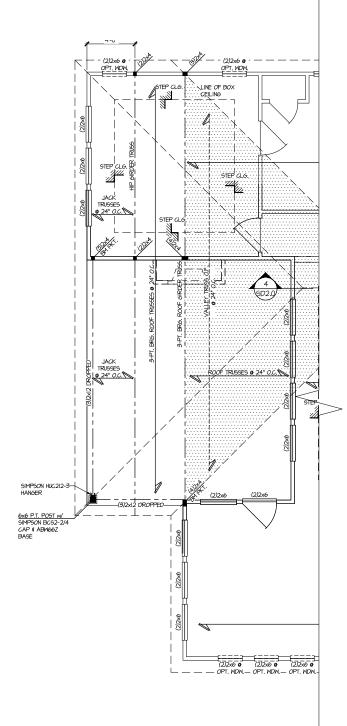
REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES # SCHEDULES

OPT. 2ND FLOOR HIGH ROOF FRAMING PLAN SCALE: 1/4"=1'-0" (22x24 SHEET) ELEV. A ALL ELEV. SIM.

STRUCTURAL OPTIONS 5921-07 MODEL

SERENITY MASTER SET RALEIGH, NC

S3.4



OPT. EXTENDED COVERED PORCH PARTIAL ROOF FRAMING PLAN

SCALE: 1/4"=1'-0" (22x24 SHEET) 1/8"=1'-0" (IIxIT SHEET)

ELEV. A ALL ELEV. SIM.

SDI.0 6 5DI.0 /-16"x16" CONC. FTG. UNDER P.A.

OPT. EXTENDED COVERED PORCH PARTIAL SLAB FOUNDATION PLAN

SCALE: 1/4"=1'-0" (22x24 SHEET) 1/8"=1'-0" (IIxI7 SHEET)

ELEV. A ALL ELEV. SIM.

THIS LEVEL HAS BEEN DESIGNED FOR 9'-1" PLATE HEIGHT

REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES # SCHEDULES

MULHERN+KULP

BESIDENTIAL STRUCTURAL ENGINEERING

3655 Brokside Parkway, Sala 256 - Aphrena, SA 38622

9.776-777-6074 - maifemicajacom

NC Licence # C-36.25



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243-24033

SMK KΜ\ issue date: 08-16-2024

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STRUCTURAL OPTIONS 5921-07 MODEL

EXTENT OF FLOOR SYSTEM TO BE DESIGNED FOR TILE

► INDICATES HOLDOWN

JL METAL HANGER

* INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

LEGEND

INTERIOR BEARING WALL • □==== BEARING WALL ABOVE (B.W.A.)

BEAM / HEADER

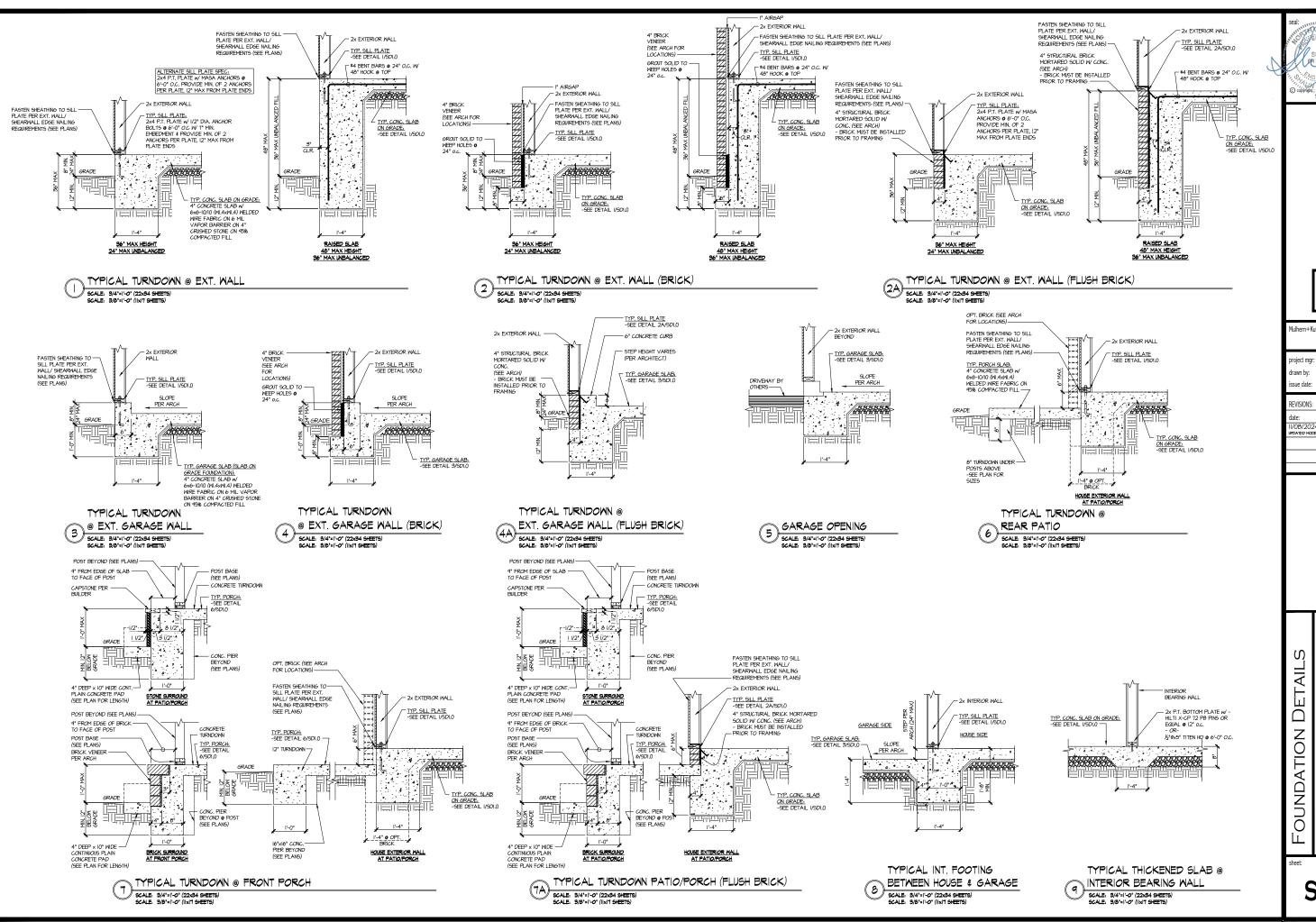
INDICATES EXTENT OF INT.

OSB SHEARWALL AND/OR 3" O.C. EDGE NAILING

EXTENT OF VALLEY TRUSS OVERFRAMING

S3.5

SERENITY MASTER SET RALEIGH, NC



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RESIDENTIAL STRUCTURAL ENGINEERING

Mulhern+Kulp project number 243-2403

SMK ΚM issue date: 08-16-2024

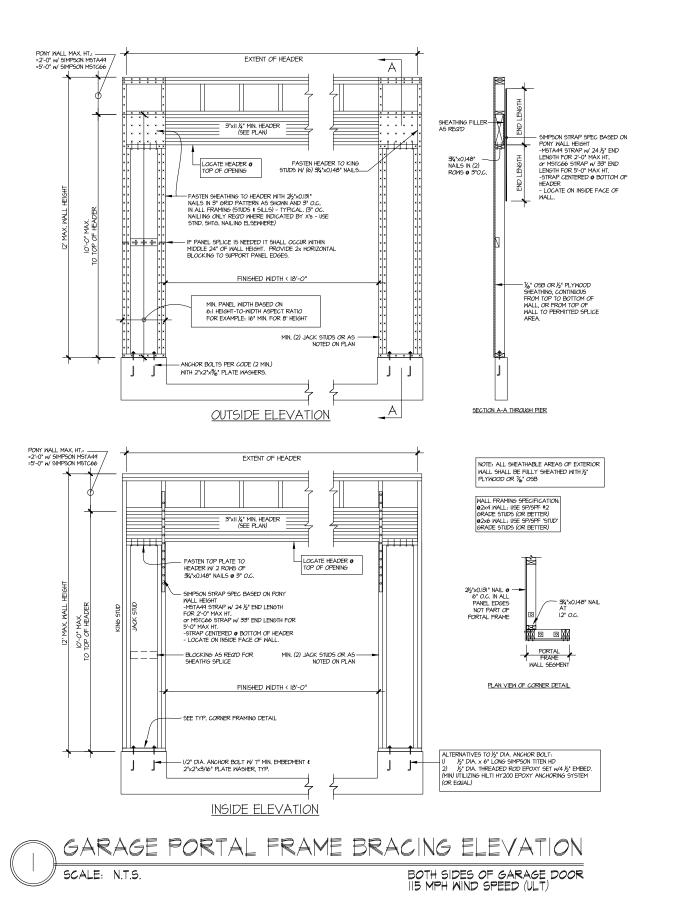
initial: SMM NAME, OPT. EXT. COVID. PORCH 11/08/2024

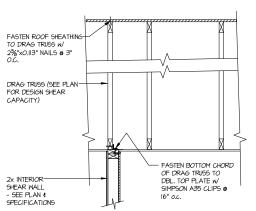
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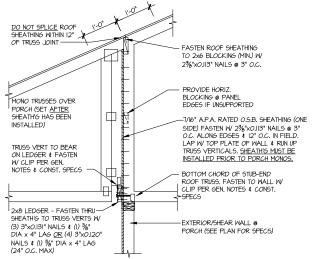
MASTER SET RALEIGH, NC SERENITY 5921-

SD1.0

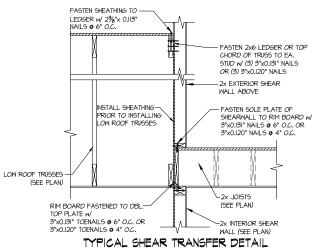




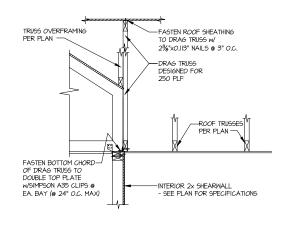
9CALE: 3/4"=1'-0' INTERIOR DRAG TRUSS DETAIL



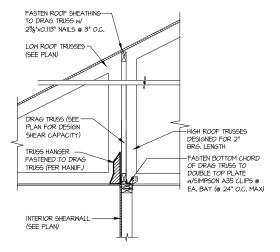
SHEAR TRANSFER DETAIL @ BREAK IN TRUSSES OVER SHEAR WALL



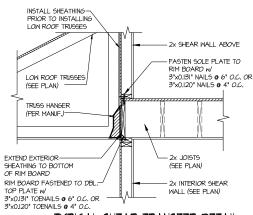
6 BE | 7 1-0 BETWEEN FLOORS @ INTERIOR WALL



SHEAR TRANSFER DETAIL AT INTERIOR SHEARWALL BELOW



SHEAR TRANSFER DETAIL AT INTERIOR SHEARWALL BELOW



TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL

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243-2403

ΚM issue date: 08-16-2024

REVISIONS:

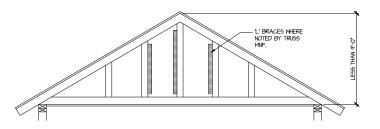
initial: SMM NAME, OPT. EXT. COVID. PORCH 11/08/2024

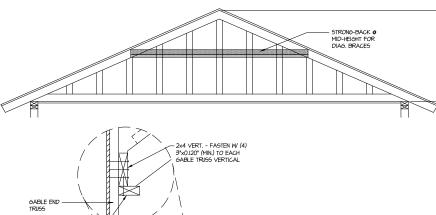
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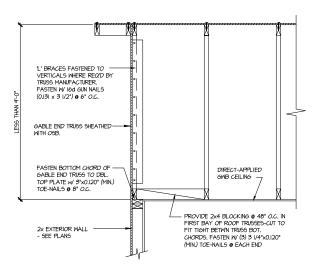
Ŋ DETAIL FRAMING

SERENITY MASTER SET RALEIGH, NC 05921-(

SD2.0

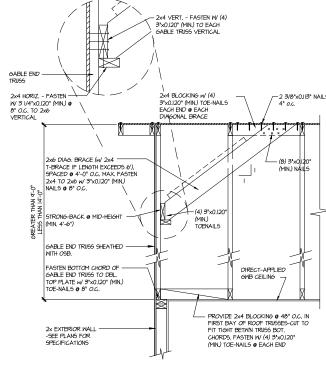






TYPICAL GABLE END BRACING DETAIL SCALE: NONE REQUIRED TRUSS REQ'D & GABLE END TRUSS HEIGHT UP TO 9'-0"

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT IS LESS THAN 9-0". "L' BRACES REQUIRED WHERE NOTED BY TRUSS MANUFACTURER.



TYPICAL GABLE END BRACING DETAIL
SCALE: NONE REGT & GABLE END TRUSS REQ'D @ GABLE END TRUSS HEIGHT BETW'N 9'-0" TO 14'-0" BRACE GABLE END TRUGGES PER ABOVE DETAIL WHEN GABLE HEIGHT EXCEEDS 9'-0'. "L' BRACES NOT REQUIRED.

MULHERN+KULP
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p.776-777-6074 - multimakepiscom
NC Licence # C-36.25



Mulhern+Kulp project number:

243-24033

SMK drawn by: KΜ\ issue date: 08-16-2024

REVISIONS:

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FRAMING DETAILS 5921-07 MODEI

SD2.1

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