

Tobacco Road Lot 79

CRAWFORD



INCLUDED OPTIONS:

1st FLOOR
DECK
GOURMET KITCHEN
TRAY CEILING @ FAMILY ROOM
FLOOR RECEPTACLE @ FAMILY ROOM
BOX OAK STAIRS
FRENCH DOORS @ STUDY
TRAY CEILING @ DINING ROOM
SIDE ENTRY W/ 3RD CAR GARAGE

2nd FLOOR
OWNERS DELUXE BATH
OPEN RAIL
LAUNDRY SINK
OPTIONAL DOOR TO LAUNDRY
POCKET OFFICE

SQUARE FOOTAGE

FIRST FLOOR	1661 SQ. FT.
SECOND FLOOR	1767 SQ. FT.
TOTAL CONDITIONED	3428 SQ. FT.
FRONT PORCH	102 SQ. FT.
PATIO + DECK (UNCOVERED)	120 SQ. FT.
GARAGE	453 SQ. FT.

OPTIONS	
THIRD CAR GARAGE	210 SQ. FT.

THE FINISHED SQUARE FOOTAGE OF A PLAN IS TO BE REPORTED TO THE NEAREST WHOLE FOOT. THE FINISHED SQUARE FOOTAGE CALCULATIONS FOR THIS PLAN WERE MADE BASED ON PLAN DIMENSIONS OR DIGITAL DRAWINGS FILES ONLY, AND MAY VARY FROM THE FINISHED SQUARE FOOTAGE OF THE PLAN AS BUILT.

GENERAL NOTES

- NATIONAL, STATE AND LOCAL CODES AND REGULATIONS SHALL BE APPLIED TO ALL WORK BEING PERFORMED
- BUILDER TO VERIFY ALL SITE CONDITIONS, STRUCTURAL OPTIONS AND DIMENSIONS BEFORE START OF CONSTRUCTION
- DISCREPANCIES SHALL BE REPORTED TO PLAN DESIGNER FOR CORRECTION OR CLARIFICATION BEFORE CONTINUING WORK
- DIMENSIONS ONLY BE READ OR CALCULATED, NOT SCALED

GOVERNING CODES & STANDARDS

- 2018 RESIDENTIAL BUILDING CODE WITH GEORGIA 2020 AMENDMENTS
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE WITH GEORGIA 2020 AMENDMENTS
- 2018 INTERNATIONAL FIRE CODE WITH NO AMENDMENTS
- 2018 INTERNATIONAL FUEL GAS CODE WITH GEORGIA 2020AMENDMENTS
- 2018 INTERNATIONAL MECHANICAL CODE WITH GEORGIA 2020 AMENDMENTS
- 2018 INTERNATIONAL PLUMBING CODE WITH GEORGIA 2020 AMENDMENTS
- 2020 NATIONAL ELECTRICAL CODE WITH NO GEORGIA AMENDMENTS

DESIGN CRITERIA

ROOF LIVE LOAD: 20PSF.
FLOOR LIVE LOAD: 40PSF. (INCLUDES DECKS, PATIOS AND PORCHES)
BASIC WIND VELOCITY: 90MPH
SEISMIC DESIGN CATEGORY: B



DAVIDSON HOMES, LLC
3460 PRESTON RIDGE ROAD, SUITE 525
ALPHARETTA, GEORGIA 30005
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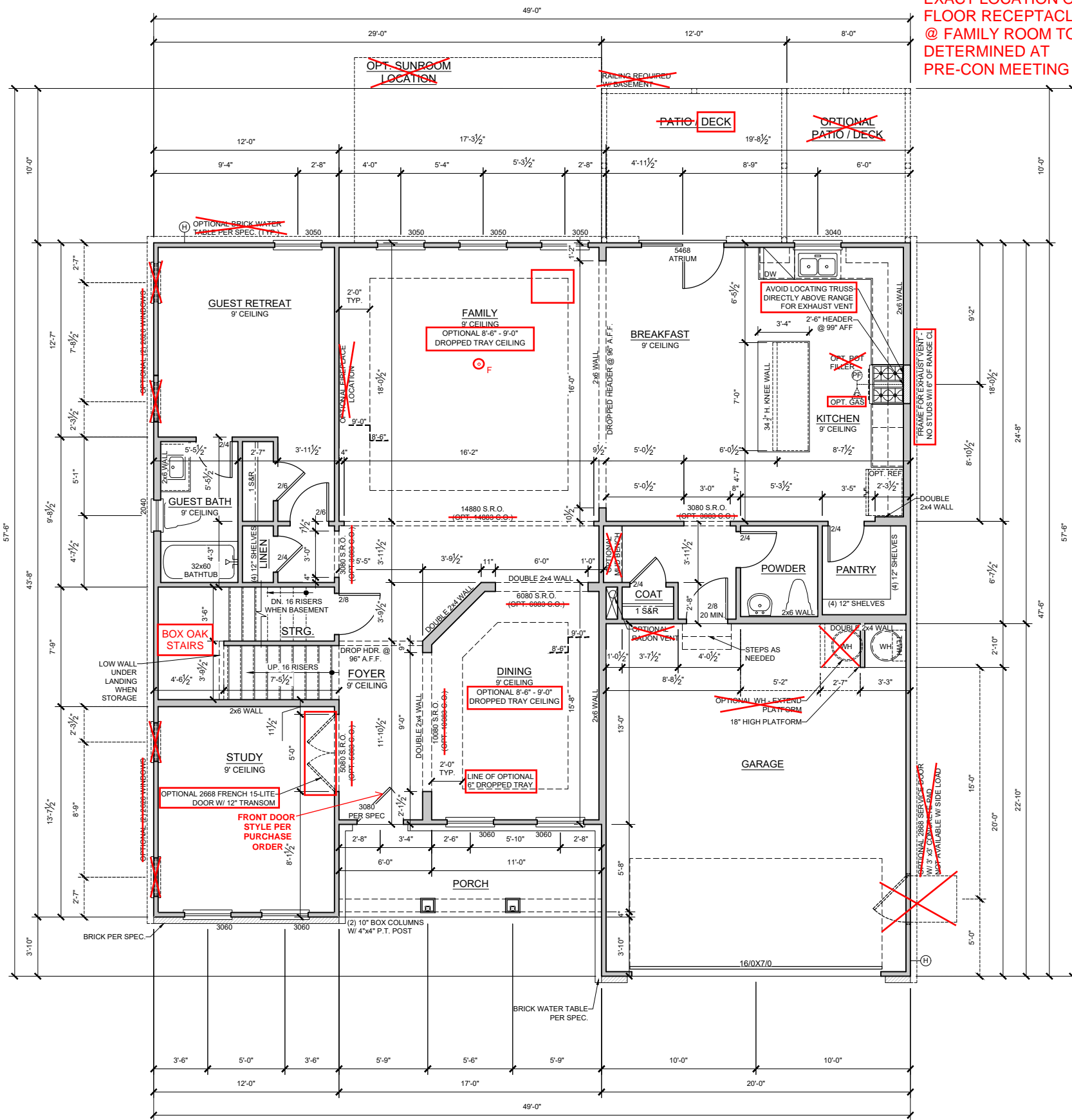
PLAN NAME: CRAWFORD A-D

SUBDIVISION: ---

LOT#: ---

REVISION NO. 10
BY ZACHARY.MYRICK
REVISION DATE 2024-09-20

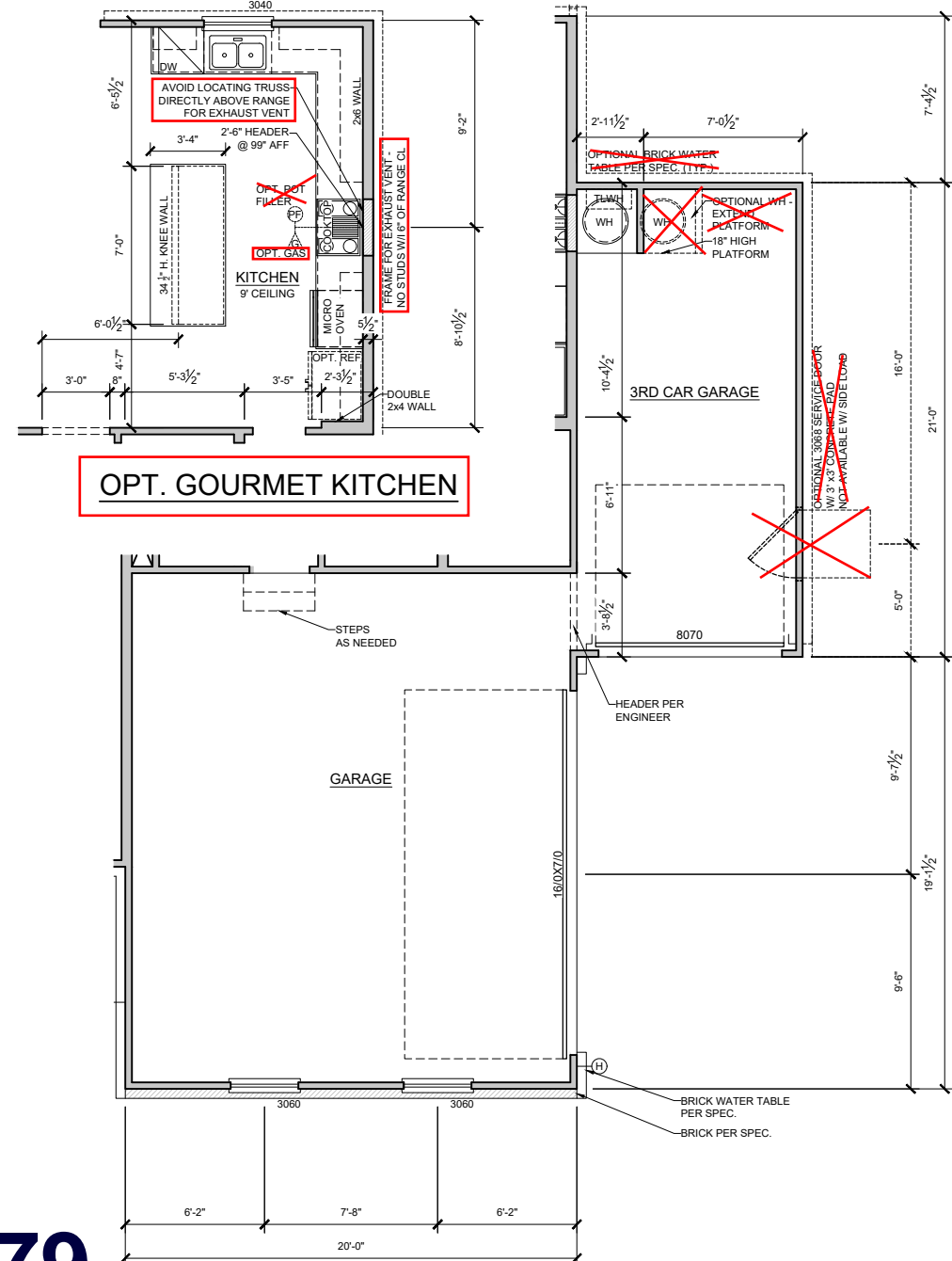
COVER SHEET
SHEET NO.
A-CS.2



NOTE:
EXACT LOCATION OF
FLOOR RECEPTACLE
@ FAMILY ROOM TO BE
DETERMINED AT
PRE-CON MEETING

GENERAL FRAMING NOTES

- TYPICAL EXTERIOR HEADER HEIGHT SHALL BE 8'-3" AFF AT FIRST FLOOR AND 6'-11" AFF AT SECOND FLOOR UNLESS OTHERWISE NOTED
- DOOR FRAMES NEAR CORNERS SHALL BE A MINIMUM 4 1/2" FROM CORNER. WHEN TWO DOORS ARE AT SAME CORNER, MINIMUM OF 6" FROM CORNER. DOORS AT CLOSETS SHALL BE CENTERED ON CLOSET.
- REFER TO DOOR AND WINDOW MANUFACTURER SPECIFICATIONS FOR ROUGH OPENING SIZES.
- ATTIC ACCESS SHALL BE PROVIDED AT ALL ATTIC AREAS WITH A HEIGHT GREATER THAN 30" MINIMUM. CLEAR ATTIC ACCESS SHALL BE 20"x30". PULL DOWN STAIRS AND ACCESS DOORS IN KNEE WALLS MEETING MINIMUM CRITERIA ARE ALSO ACCEPTABLE.
- GARAGE WALLS, AT A MINIMUM SHALL BE SEPARATED FROM THE LIVING SPACE BY INSTALLING 1/2" GYPSUM BOARD ON THE GARAGE SIDE OF THE WALL. WITH HABITABLE SPACE ABOVE, THE INSIDE OF ALL GARAGE WALLS REQUIRE 1/2" GWB SUPPORTING 5/8" TYPE X GWB ON CEILING.
- INTERIOR HANDRAILS SHALL NOT BE LESS THAN 34", AND NOT MORE THAN 38", AND COMPLY WITH IRC SECTION R311.7.8
- EXTERIOR GUARD RAILS SHALL BE NOT LESS THAN 36", AND COMPLY WITH IRC SECTION R312.1
- DIMENSIONS ARE ONLY TO BE READ OR CALCULATED, NOT SCALED



FIRST FLOOR PLAN A

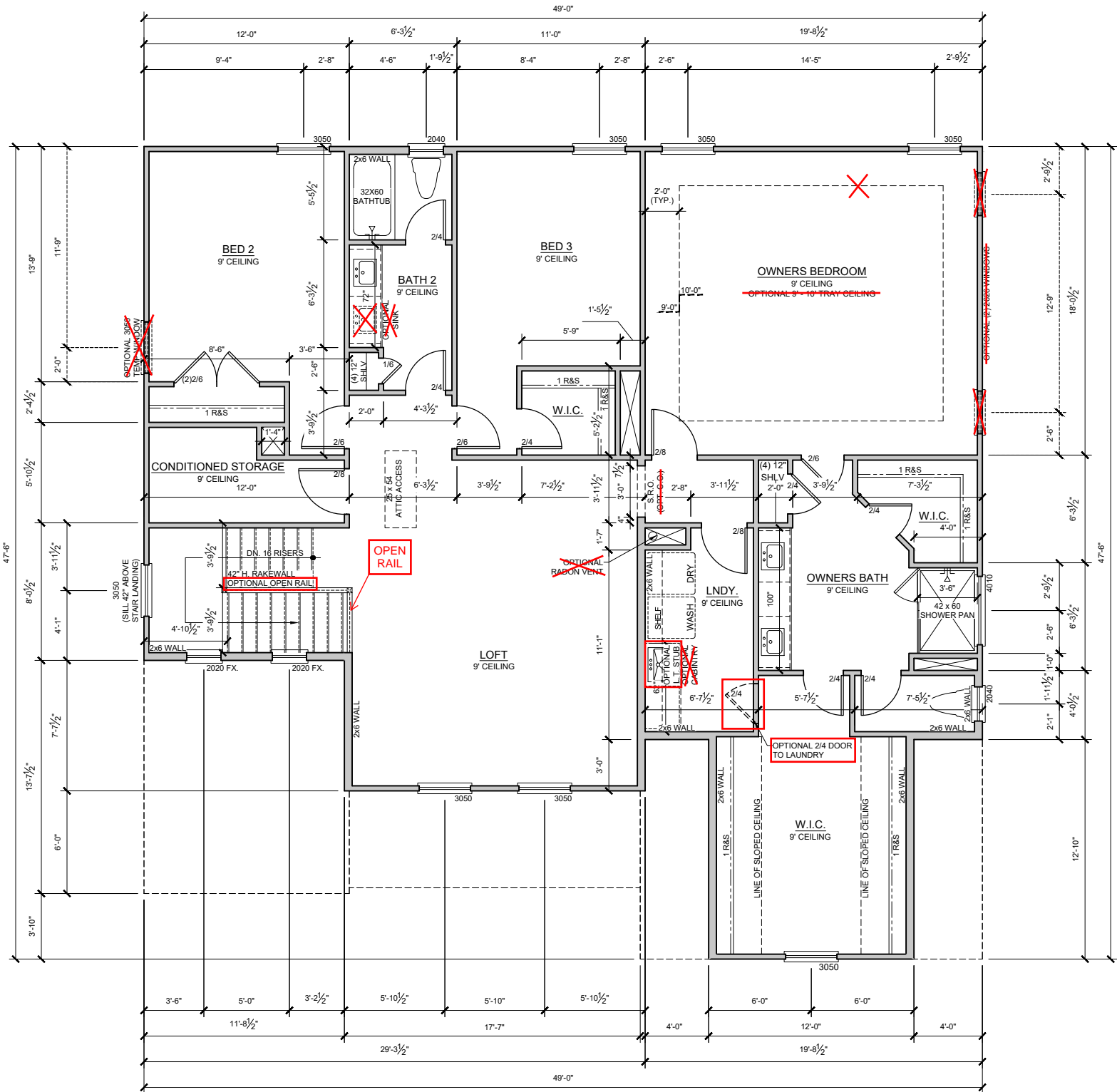
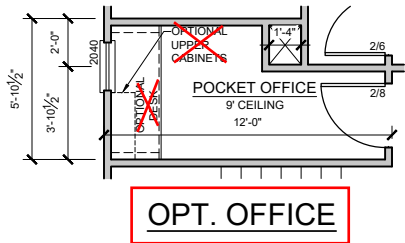
SCALE: 1/8" = 1'-0"

Tobacco Road Lot 79

OPT. SIDE ENTRY + 3RD CAR GARAGE

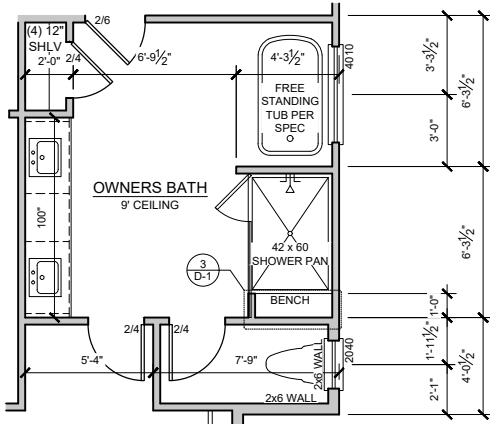
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SECOND FLOOR PLAN A
SCALE: 1/8" = 1'-0"

Tobacco Road Lot 79



OPT. OWNERS DELUXE BATH

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PLAN NAME: CRAWFORD A-D

SUBDIVISION: ---

LOT#: ---

REVISION NO. 10

BY ZACHARY.MYRICK

REVISION DATE 2024-09-20

OPTIONAL SECOND FLOOR PLAN 9' PLT HT

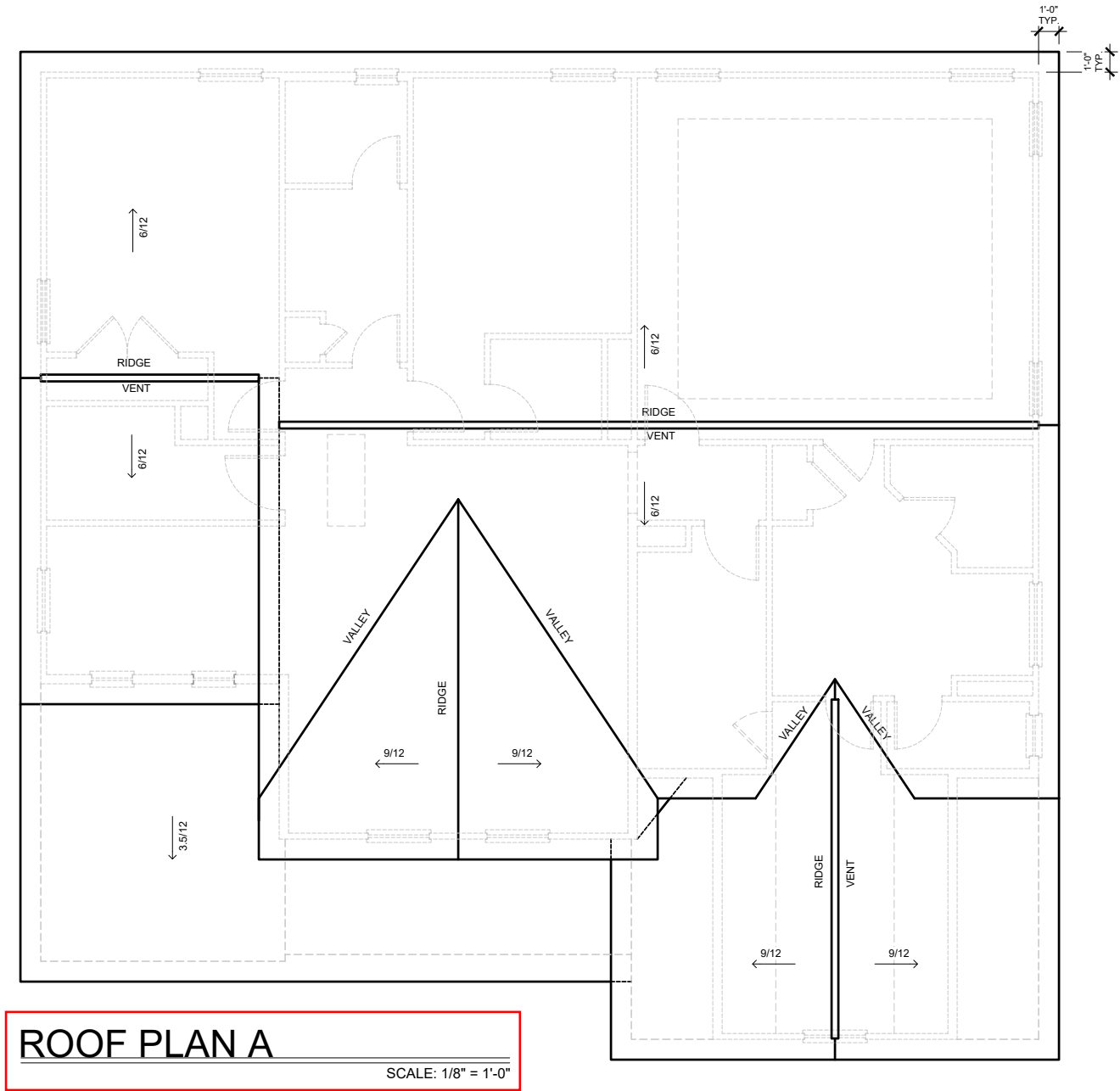
SHEET NO. A-2.1A

Tobacco Road Lot 79



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MAIN ROOF	
2415 SQ FT UNDER ROOF ATTIC	
300 SQ FT / 1 SQ FT = 8.05 SQ FT VENTILATION	
RIDGE VENTS 18 SQ IN = (.125 SQ FT)	
VENTED SOFFIT 9 SQ IN = (.0625 SQ FT)	
BOX VENTS 50 SQ IN = (.347 SQ FT)	
INTAKE VENTS 36 SQ IN = (.25 SQ FT)	
8.05 SQ FT x 50%	4.025 SQ FT OF RIDGE
8.05 SQ FT x 50%	4.025 SQ FT OF SOFFIT
RIDGE VENT	
4.025 SQ FT	= 32.2 FEET OF RIDGE VENT
0.125 SQ FT	
SOFFIT VENT	
4.025 SQ FT	= 64.4 FEET OF VENTED SOFFIT
0.0625 SQ FT	
RIDGE VENT PROVIDED	60 FEET
VENTED SOFFIT PROVIDED	64 FEET
# BOX VENTS @ RIDGE	-9.6 COUNT
# INTAKE VENTS @ SOFFIT	0.1 COUNT (NEGATIVE = 0)



ROOF PLAN A
SCALE: 1/8" = 1'-0"

PLAN NAME: CRAWFORD A-D

SUBDIVISION: ---
LOT#: ---

REVISION NO. 10
BY ZACHARY.MYRICK
REVISION DATE 2024-09-20

ROOF PLAN A
SHEET NO.
A-4.0A

Tobacco Road Lot 79

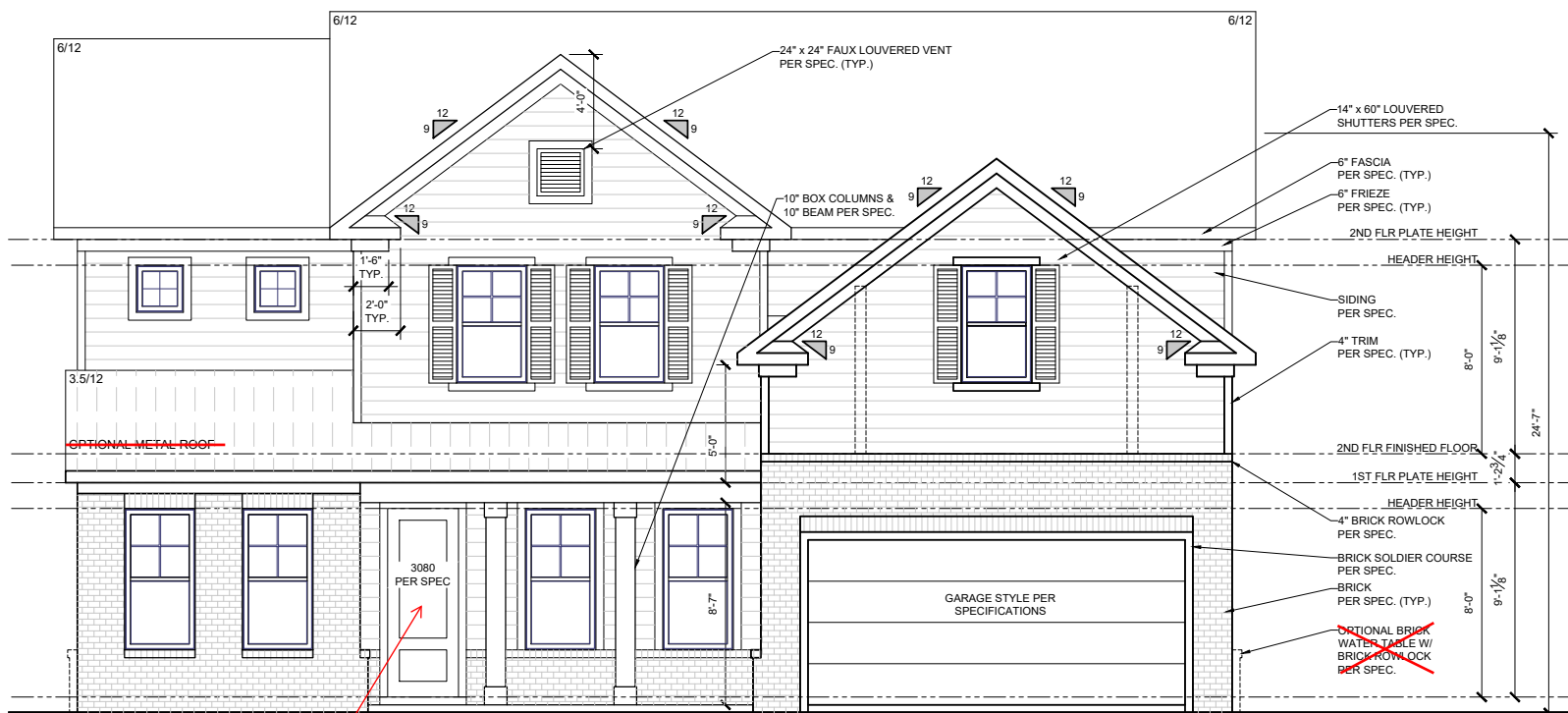


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SUBDIVISION: ---
LOT#: ---

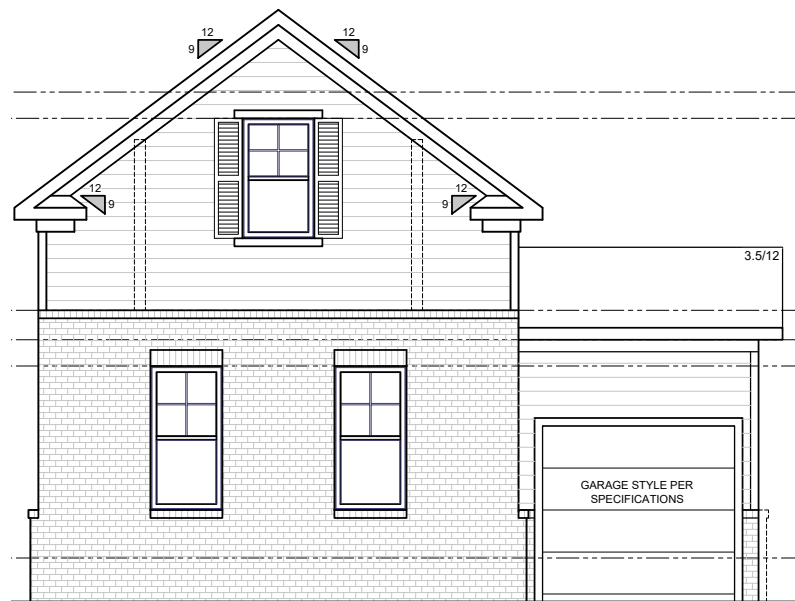
REVISION NO. 10
BY ZACHARY.MYRICK
REVISION DATE 2024-09-20
FRONT ELEVATION A
OPT. 9' 2ND FLOOR
SHEET NO.
A-5.4A



FRONT DOOR
STYLE PER
PURCHASE
ORDER

FRONT ELEVATION A

SCALE: 1/8" = 1'-0"



FRONT ELEVATION A

SIDE LOAD & THIRD CAR GARAGE

SCALE: 1/8" = 1'-0"

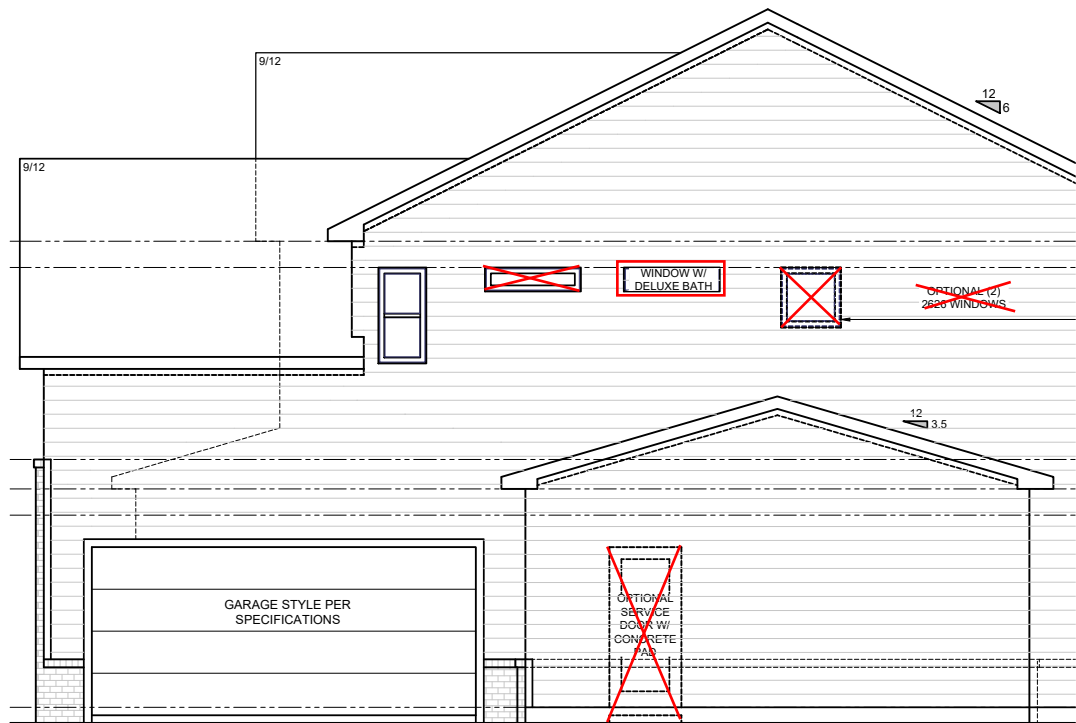
GENERAL ELEVATION NOTES

- FASCIA, FRIEZE, RAKE, AND SKIRT BOARDS TO BE 1X UNLESS OTHERWISE NOTED
- ALL OTHER TRIM TO BE 5/4 UNLESS OTHERWISE NOTED
- LAP SIDING REVEALS PER SPEC., UNLESS OTHERWISE NOTED
- ROOF COVERING TO BE SHINGLES PER SPEC., UNLESS OTHERWISE NOTED

Tobacco Road Lot 79



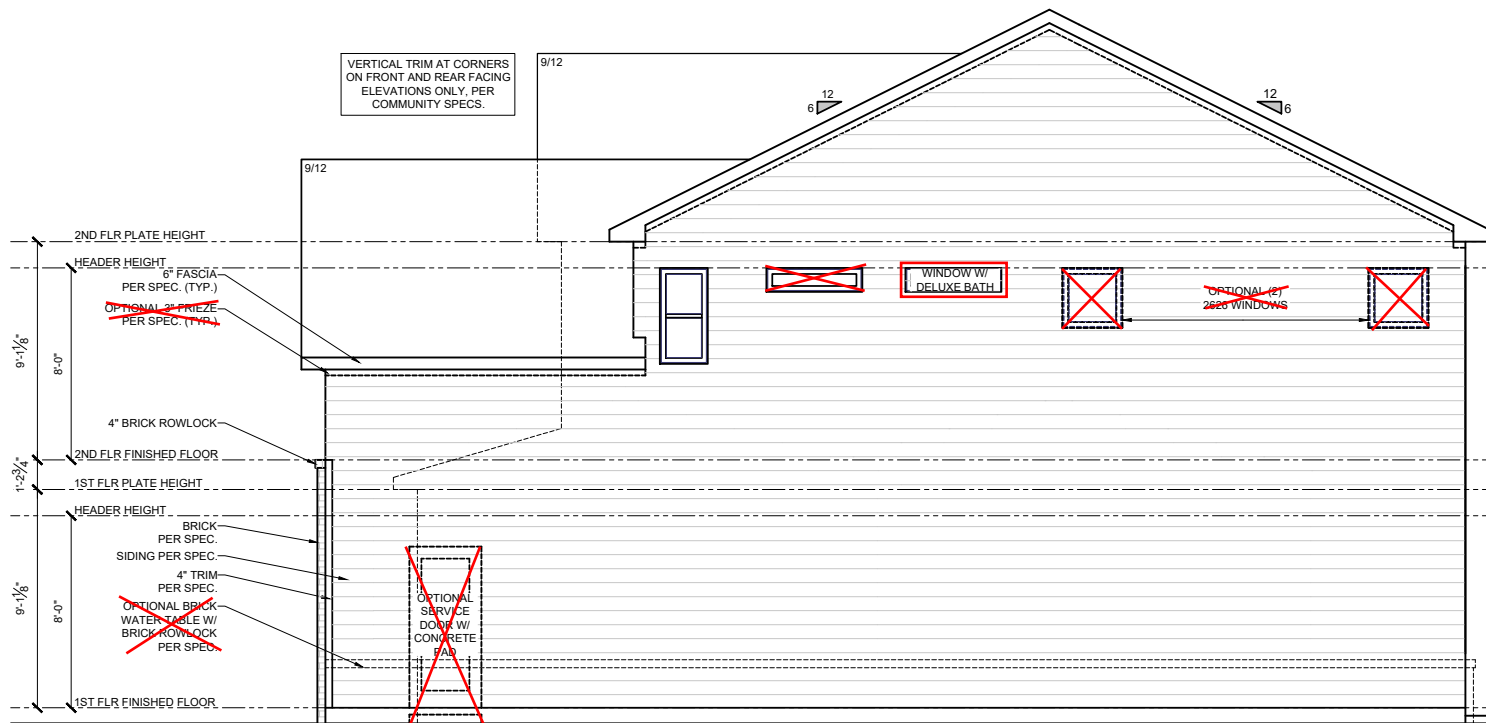
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RIGHT ELEVATION A

SIDE LOAD & THIRD CAR GARAGE

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION A

SCALE: 1/8" = 1'-0"

GENERAL ELEVATION NOTES

- FASCIA, FRIEZE, RAKE, AND SKIRT BOARDS TO BE 1X UNLESS OTHERWISE NOTED
- ALL OTHER TRIM TO BE 5/4 UNLESS OTHERWISE NOTED
- LAP SIDING REVEALS PER SPEC., UNLESS OTHERWISE NOTED
- ROOF COVERING TO BE SHINGLES PER SPEC., UNLESS OTHERWISE NOTED

PLAN NAME: CRAWFORD A-D

SUBDIVISION: ---

LOT#: ---

REVISION NO. 10

BY ZACHARY.MYRICK

REVISION DATE 2024-09-20

RIGHT ELEVATION A
OPT. 9' 2ND FLOOR

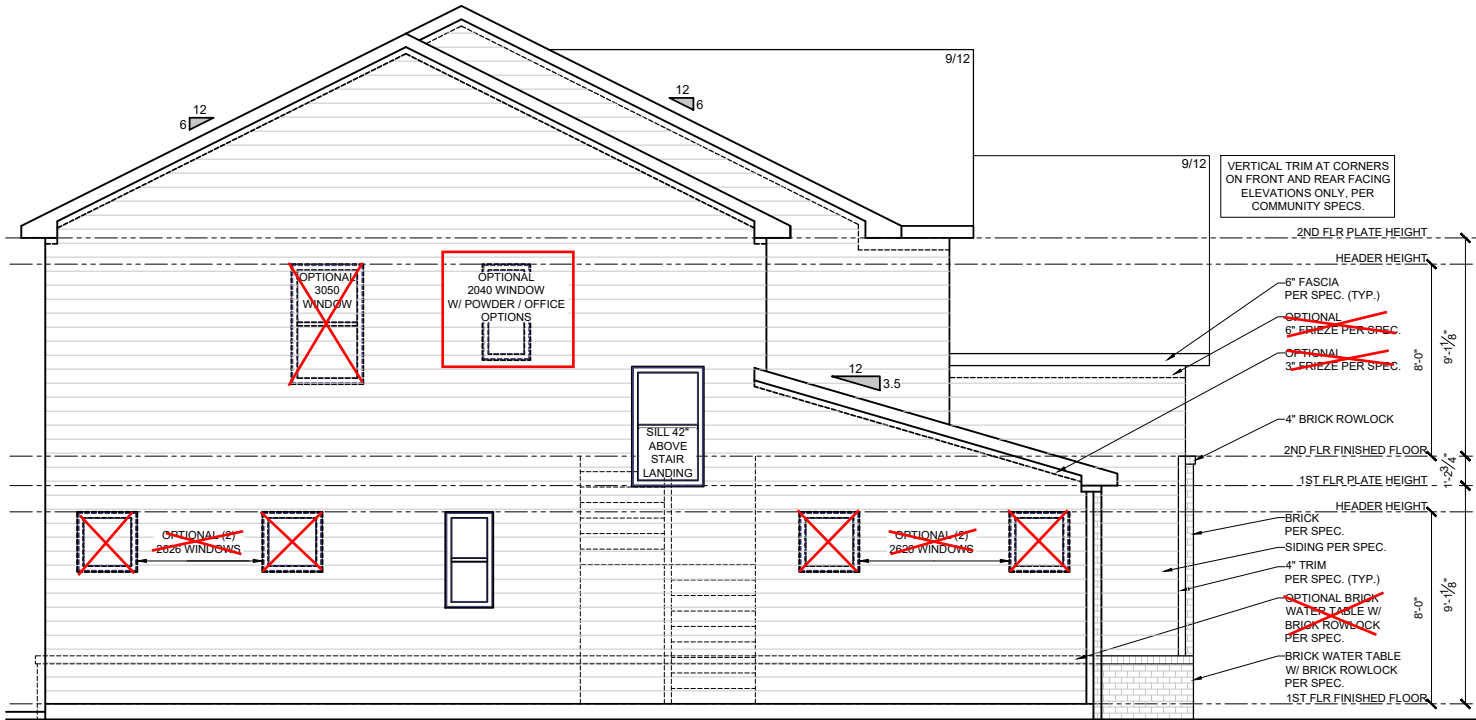
SHEET NO.

A-5.5A

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LEFT ELEVATION A
SCALE: 1/8" = 1'-0"

GENERAL ELEVATION NOTES

- FASCIA, FRIEZE, RAKE, AND SKIRT
BOARDS TO BE 1X UNLESS OTHERWISE
NOTED
- ALL OTHER TRIM TO BE 5/4 UNLESS
OTHERWISE NOTED
- LAP SIDING REVEALS PER SPEC., UNLESS
OTHERWISE NOTED
- ROOF COVERING TO BE SHINGLES PER
SPEC., UNLESS OTHERWISE NOTED

PLAN NAME: CRAWFORD A-D

SUBDIVISION: ---
LOT#: ---

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BY ZACHARY.MYRICK
REVISION DATE 2024-09-20

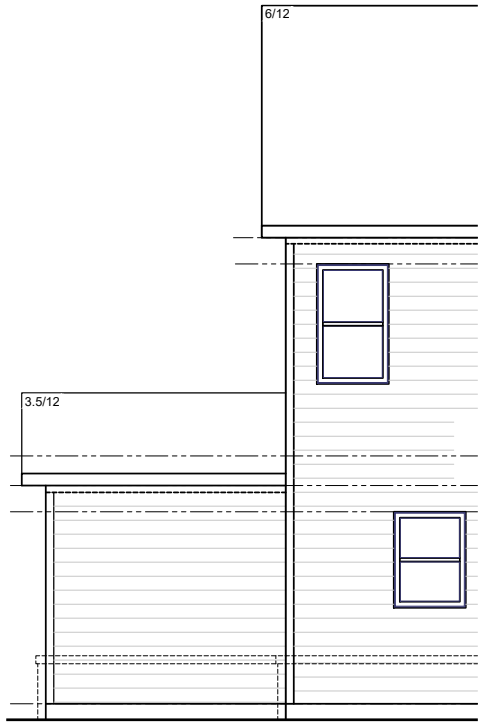
LEFT ELEVATION A
OPT. 9' 2ND FLOOR

SHEET NO.
A-5.6A

Tobacco Road Lot 79



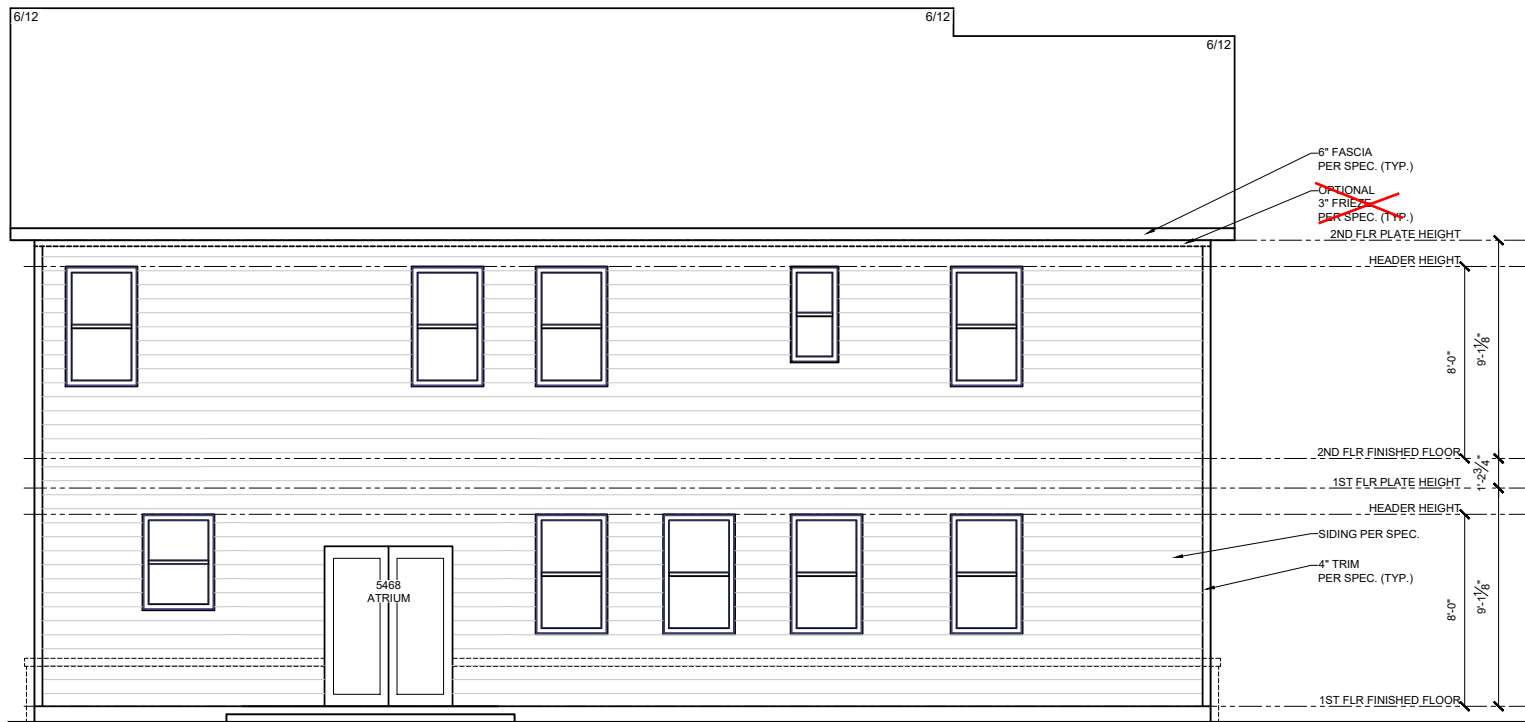
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REAR ELEVATION A

THIRD CAR GARAGE

SCALE: 1/8" = 1'-0"



REAR ELEVATION A

SCALE: 1/8" = 1'-0"

GENERAL ELEVATION NOTES

- FASCIA, FRIEZE, RAKE, AND SKIRT BOARDS TO BE 1X UNLESS OTHERWISE NOTED
- ALL OTHER TRIM TO BE 5/4 UNLESS OTHERWISE NOTED
- LAP SIDING REVEALS PER SPEC., UNLESS OTHERWISE NOTED
- ROOF COVERING TO BE SHINGLES PER SPEC., UNLESS OTHERWISE NOTED

PLAN NAME: CRAWFORD A-D

SUBDIVISION: ---

LOT#: ---

REVISION NO. 10

BY ZACHARY.MYRICK

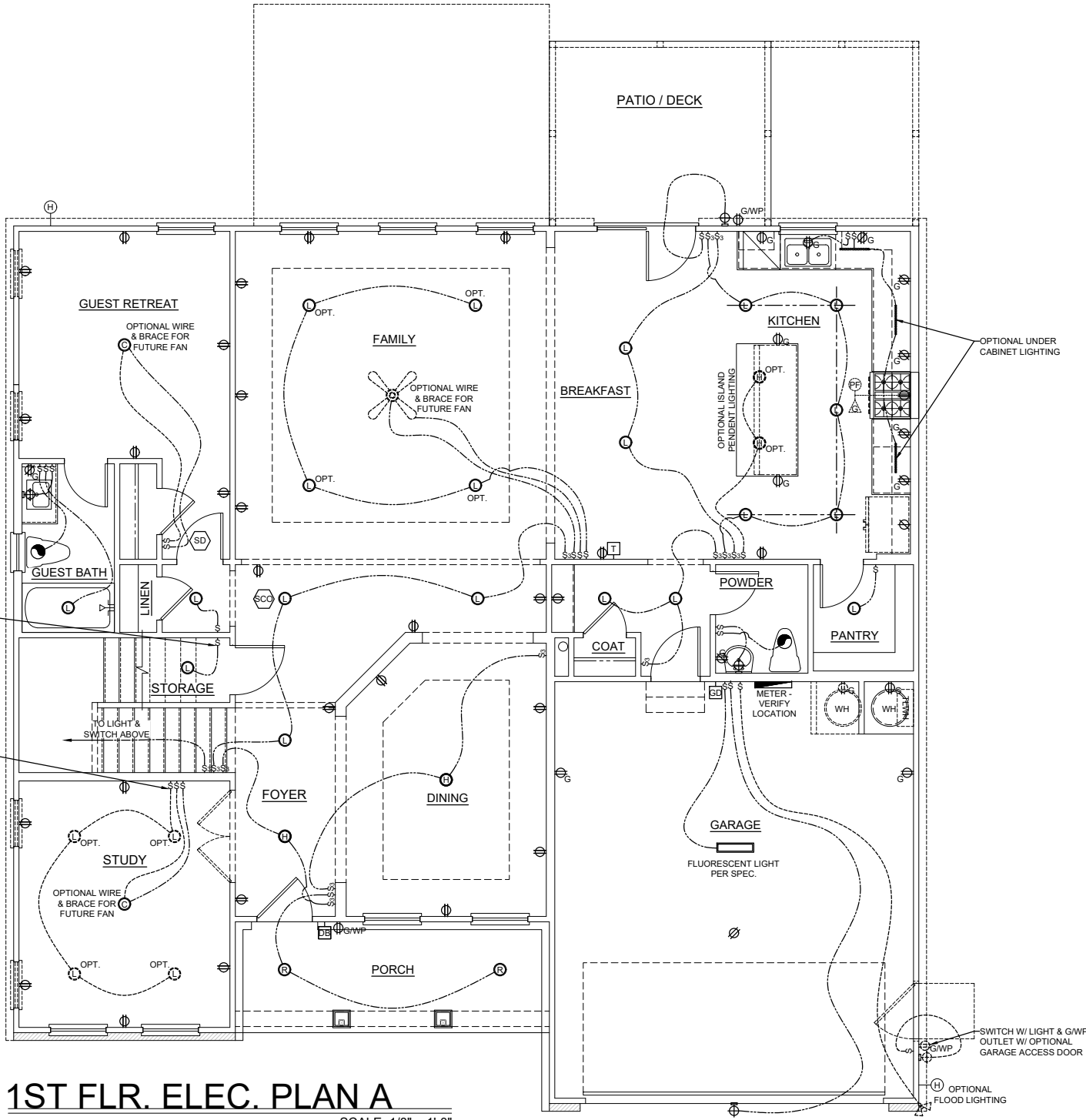
REVISION DATE 2024-09-20

REAR ELEVATION
OPT. 9' 2ND FLOOR

SHEET NO.

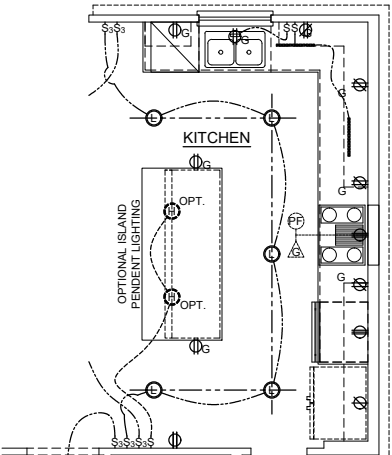
A-5.7A

ELECTRICAL SCHEDULE			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
SWITCHES			
	SWITCH		SWITCH - 3 WAY
	SWITCH - 4 WAY		
OUTLETS			
	DEDICATED		COUNTER
	COUNTER USB		COUNTER U / GFI
	COUNTER GFI		220 V
	110 V		110 V USB
	110 V GFI		110 V GFI / WP
	CEILING		FLOOR
LIGHTING			
	LED		CEILING MOUNT
	HANGING		RECESSED CAN
	FLOOD LIGHT		OPT. FLOOD LIGHT
	WALL MOUNT		
	FLUORESCENT		OPT. FLUORESCENT
	CEILING FAN W/ LIGHT		UNDER CABINET
			OPT. UNDER CABINET
UTILITIES			
	GARAGE DOOR OPENER		DOOR BELL
	THERMOSTAT		MEDIA
	DOOR BELL CHIME		OPTIONAL MEDIA
	LOW VOLTAGE PANEL		EXHAUST FAN
	SMOKE DETECTOR		SECURITY PANEL
	SMOKE & CO2 DETECTOR		CEILING SPEAKER
	STANDARD WATER HEATER		OPTIONAL STANDARD WATER HEATER
	TANKLESS WATER HEATER		OPT. TANKLESS WATER HEATER
	SUMP PUMP		OPTIONAL SUMP PUMP
	POT FILLER		OPTIONAL POT FILLER
	EXTERIOR HOSE BIBB		OPTIONAL GAS STUB
	GAS STUB		OPTIONAL GAS STUB
METERS & PANELS			
	ELECTRICAL METER		ELECTRICAL PANEL
NOTES & ABBREVIATIONS			
WP	WATER PROOF		
GFI	GROUND FAULT INTERCEPTOR		
FRB	FAN RATED BOX		

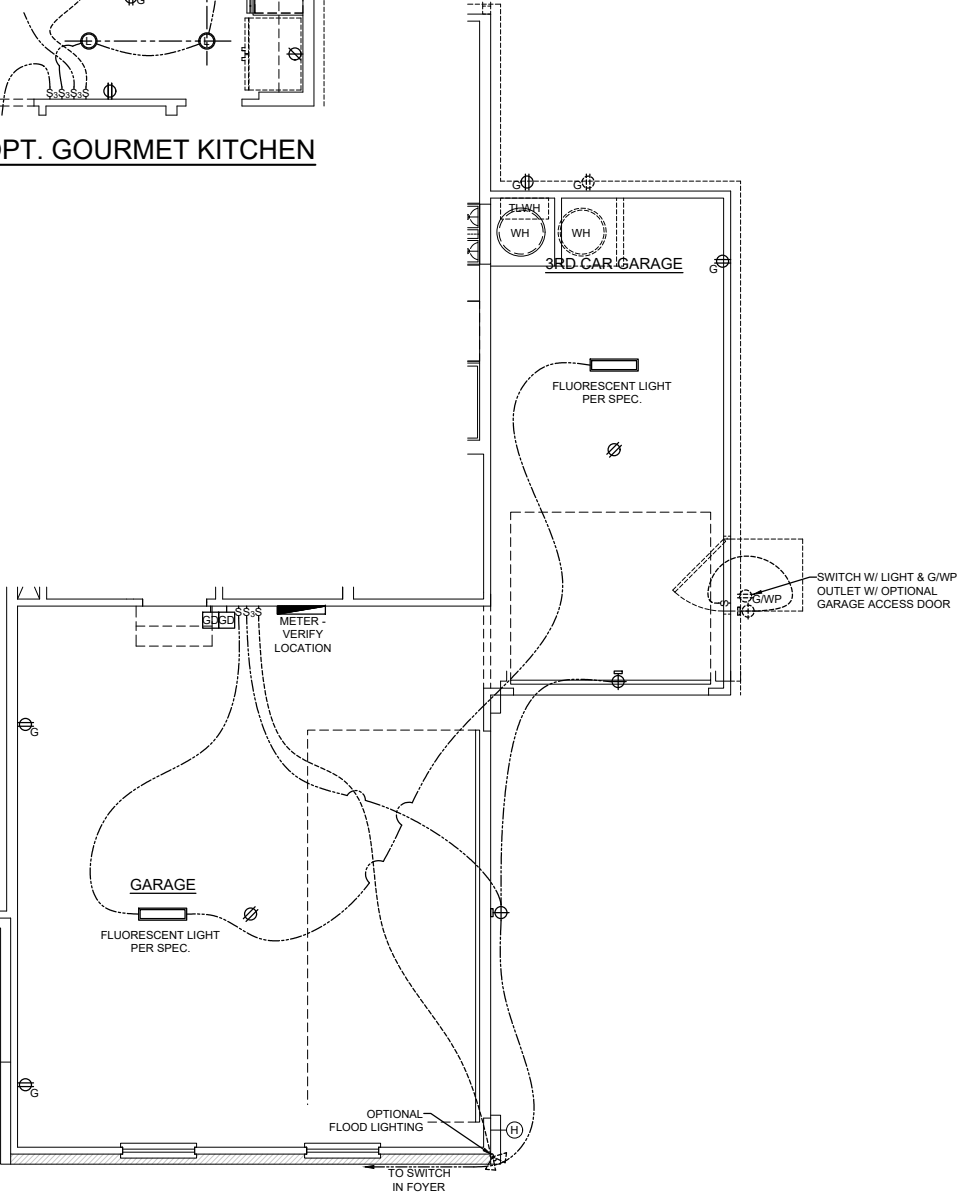


1ST FLR. ELEC. PLAN A
SCALE: 1/8" = 1'-0"

Tobacco Road Lot 79



OPT. GOURMET KITCHEN



OPT. SIDE ENTRY + 3RD CAR GARAGE

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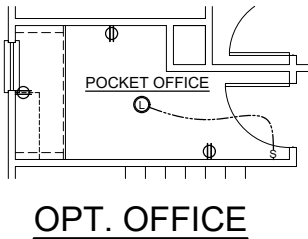
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PLAN NAME: CRAWFORD A-D
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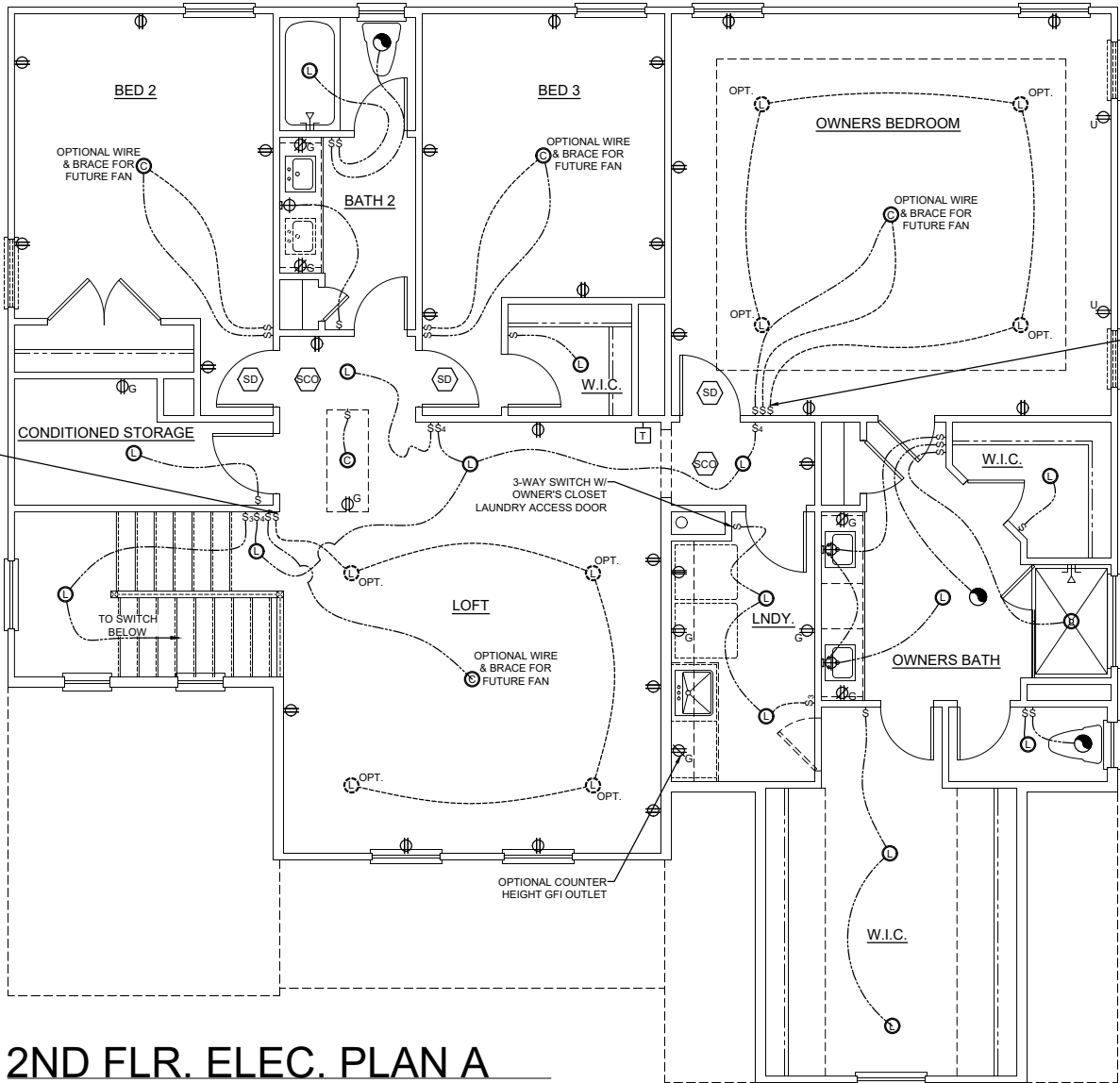
REVISION NO. 10
BY ZACHARY.MYRICK
REVISION DATE 2024-09-20
FIRST FLOOR
ELECTRICAL PLAN A
SHEET NO. E-1.0A

Tobacco Road Lot 79

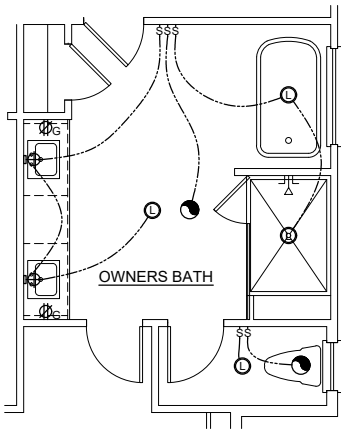
ELECTRICAL SCHEDULE			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
SWITCHES			
	SWITCH		SWITCH - 3 WAY
	SWITCH - 4 WAY		
OUTLETS			
	DEDICATED		COUNTER
	COUNTER USB		COUNTER U / GFI
	COUNTER GFI		220 V
	110 V		110 V USB
	110 V GFI		110 V GFI / WP
	CEILING		FLOOR
LIGHTING			
	LED		CEILING MOUNT
	HANGING		RECESSED CAN
	FLOOD LIGHT		OPT. FLOOD LIGHT
	WALL MOUNT		
	FLUORESCENT		OPT. FLUORESCENT
	CEILING FAN W/ LIGHT		UNDER CABINET
			OPT. UNDER CABINET
UTILITIES			
	GARAGE DOOR OPENER		DOOR BELL
	THERMOSTAT		MEDIA
	DOOR BELL CHIME		OPTIONAL MEDIA
	LOW VOLTAGE PANEL		EXHAUST FAN
	SMOKE DETECTOR		SECURITY PANEL
	SMOKE & CO2 DETECTOR		CEILING SPEAKER
	STANDARD WATER HEATER		OPTIONAL STANDARD WATER HEATER
	TANKLESS WATER HEATER		OPT. TANKLESS WATER HEATER
	SUMP PUMP		OPTIONAL SUMP PUMP
	POT FILLER		OPTIONAL POT FILLER
	EXTERIOR HOSE BIBB		OPTIONAL GAS STUB
	GAS STUB		OPTIONAL GAS STUB
METERS & PANELS			
	ELECTRICAL METER		ELECTRICAL PANEL
NOTES & ABBREVIATIONS			
WP	WATER PROOF		
GFI	GROUND FAULT INTERCEPTOR		
FRB	FAN RATED BOX		



SWITCH W/
OPTIONAL (4) PACK LED



SWITCH W/
OPTIONAL (4) PACK LED



OPT. OWNERS DELUXE BATH

2ND FLR. ELEC. PLAN A

SCALE: 1/8" = 1'-0"

CONNECTION SPECIFICATIONS (TYP. U.N.O.)		
DESCRIPTION OF BLDG. ELEMENT	3"x0.131" NAILS	3"x0.120" NAILS
JOIST TO SOLE PLATE SOLE PL. TO JOIST/RIM OR BLKG STUD TO PLATE	(3) TOENAILS NAILS @ 4" o.c.	(3) TOENAILS* NAILS @ 4" o.c.
RIM TO TOP PLATE BLKG. BTWN. JOISTS TO TOP PL.	(4) TOENAILS/ (3)END NAILS TOENAILS @ 6" o.c.	(4) TOENAILS/ (4)END NAILS* TOENAILS @ 4" o.c.*
DOUBLE STUD DOUBLE TOP PLATE	(3) TOENAILS EA. END NAILS @ 16" o.c.	(3) TOENAILS EA. END* NAILS @ 16" o.c.
DOUBLE TOP PLATE LAP SPLICE (24" MIN.)	(3) NAILS	(3) NAILS
TOP PLATE LAP @ CORNERS & INTERSECTING WALLS	NAILS @ 6" o.c.	NAILS @ 4" o.c.
SOLE PLATE TO LADDER TRUSS OR CONT. RIBBON	NAILS @ 6" o.c.	NAILS @ 4" o.c.
LADDER TRUSS BOTTOM CHORD TO TOP PLATE OR SILL PLATE (PARALLEL)	NAILS @ 6" o.c.	NAILS @ 4" o.c.
BOTTOM CHORD OF EA. TRUSS TO TOP PLATE OR SILL PLATE (PERPENDICULAR)	(3) TOENAILS	(3) TOENAILS*
RAFTER/TRUSSES TO TOP PLATE	(3) TOENAILS + (1) SIMPSON H2.5T TOENAILS @ 8" o.c.	(3) TOENAILS + (1) SIMPSON H2.5T TOENAILS @ 6" o.c.
GAB. END TRUSS TO DBL. TOP PL. R.T. w/ HEEL HT. 9 1/4" TO 12"	2x10 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ TOENAILS @ 6" O.C.	2x10 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ TOENAILS @ 4" O.C.
R.T. w/ HEEL HT. 12" TO 16"	2x12 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ TOENAILS @ 6" O.C.	2x12 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ TOENAILS @ 4" O.C.
R.T. w/ HEEL HT. UP TO 24"	LAP WALL SHTG. w/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN w/ NAILS @ 6" O.C.	LAP WALL SHTG. w/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN w/ NAILS @ 6" O.C.*
R.T. w/ HEEL HT. 24" TO 48"	LAP WALL SHTG. w/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN w/ NAILS @ 6" O.C. PROVIDE 2x BLK @ EA. BAY AT TOP OF HEEL	LAP WALL SHTG. w/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN w/ NAILS @ 6" O.C. PROVIDE 2x BLK @ EA. BAY AT TOP OF HEEL *
WALL TO FOUNDATION	WALL SHTG. LAP w/ SILL PL. & FASTENED PER SHEAR WALL FASTENING SPEC.	
* 2 1/2"x0.113 IS AN ACCEPTABLE ALTERNATIVE TO A 3"x0.120", SAME SPACING OR NUMBER OF NAILS. (ONLY ACCEPTABLE WHERE * ARE SHOWN)		

ADDITIONAL NOTES FOR TRUSS & I-JOIST MANUFACTURER

ROOF TRUSS, FLOOR TRUSS AND ENGINEERED JOISTS SHALL BE DESIGNED TO MEET THE DEFLECTION CRITERIA BELOW, UNLESS NOTED OTHERWISE ON PLAN. MULHERN & KULP CANNOT BE HELD RESPONSIBLE FOR ANY STRUCTURAL ISSUES RELATED TO ANY BUILDING COMPONENT IF COMPONENT SHOP DRAWINGS ARE NOT SUBMITTED TO MKK FOR REVIEW PRIOR TO FABRICATION, DELIVERY, OR INSTALLATION.

TRUSSES/JOISTS SHALL BE DESIGNED SO THAT DIFFERENTIAL DEFLECTION BETWEEN ADJACENT PARALLEL TRUSSES/JOISTS OR GIRDER TRUSSES/FLUSH BEAMS DO NOT EXCEED THE FOLLOWING:

A. ROOF TRUSSES:
1/4" DEAD LOAD

B. FLOOR TRUSSES, ATTIC TRUSSES, & I-JOISTS:
1/8" DEAD LOAD

ABSOLUTE DEAD LOAD DEFLECTION OF FLOOR TRUSSES/ATTIC TRUSSES WHEN ADJACENT TO FLOOR FRAMING BY OTHERS SHALL BE LIMITED TO 3/16". (NOT DIFFERENTIAL DEFLECTION)

VENEER LINTEL SCHEDULE

SPAN (MAX)	HEIGHT OF VENEER ABOVE LINTEL	STEEL ANGLE SIZE
3'-0"	20 FT. MAX	L3"x3"x1/4"
	3 FT. MAX	L3"x3"x1/4"
6'-0"	12 FT. MAX	L4"x3"x1/4"
	20 FT. MAX	L5"x3 1/2"x3/8"
8'-0"	3 FT. MAX	L4"x4"x1/4" *
	12 FT. MAX	L5"x3 1/2"x3/8" *
	16 FT. MAX	L6"x3 1/2"x3/8" *
9'-6"	12 FT. MAX	L6"x3 1/2"x3/8" *
	2 FT. MAX	L7"x4"x1/2" **
16'-0"	3 FT. MAX	L8"x4"x1/2" **

ALL LINTELS:
- SHALL SUPPORT 2 3/4" - 3 1/2" VENEER w/ 40 psf MAXIMUM HEIGHT.
- < 8" SHALL HAVE 4" MIN. BEARING
- >= 16" SHALL HAVE 8" MIN. BEARING
- >= 16" SHALL NOT BE FASTENED BACK TO HEADER.
- >= 16" SHALL BE FASTENED BACK TO WOOD HEADER IN WALL @48"o.c. w/ 1/2" DIA. x 3 1/2" LONG LAG SCREWS IN 2" LONG VERTICALLY SLOTTED HOLES.
- ALL LINTELS SHALL BE LONG-LEG VERTICAL.
- MAX. VENEER HT. APPLIES TO ANY PORTION OF BRICK OVER THE OPENING.
- WHEN SUPPORTING VENEER (< 3" WIDE THE EXTERIOR TOE OF THE HORIZONTAL LEG MAY BE CUT IN THE FIELD TO BE 3 1/2" WIDE OVER THE BEARING LENGTH ONLY. THIS IS TO ALLOW FOR MORTAR JOINT FINISHING.
- SEE STRUCTURAL PLANS FOR ANY LINTEL CONDITION NOT ENCOMPASSED BY THE ABOVE PARAMETERS.
* FOR GREEN VENEER USE L4"x3"x1/4"
** FOR 3 1/2" VENEER ONLY. SEE PLAN FOR VENEER SUPPORT IF VENEER < 3 1/2" THICK.

LATERAL/WALL BRACING & WALL SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM:
120 MPH WIND IN 2018 NC5BC
(120 MPH WIND SPEED IN ASCE 7 WIND MAP, PER IRC R301.2.1.1)
EXP. B, RISK CAT. 2 & SEISMIC CAT. A/B.

THE DESIGN WAS COMPLETED PER 2015 IBC (SECTION 1609) & ASCE 7, AS PERMITTED BY R301.1.3 OF THE 2018 NC5BC.RC. ACCORDINGLY, THIS MODEL, AS DOCUMENTED AND DETAILED HEREIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES.

DESIGN WIND UPLIFT LOADS HAVE BEEN CALCULATED UTILIZING ASCE 7 (ACCEPTED ENGINEERING PRACTICE) AS ALLOWED PER 2018 NC5BC.RC SECTION R802.11.1.1. THIS MODEL HAS BEEN DETAILED WHERE REQUIRED & ENGINEERED TO RESIST THE WIND UPLIFT LOAD PATH PER SECTIONS R602.3.5 & R802.11.

EXT. WALL SHEATHING SPECIFICATION

- 7/16" OSB OR 15/32" PLYWOOD:
FASTEN SHEATHING w/ 2 3/8" x 0.113" NAILS @ 6" O.C. AT EDGES & @ 12" O.C. IN PANEL FIELD. (TYP. U.N.O.)
- HORIZONTAL BLOCKING OF EXT. WALL/SHEAR WALL PANEL EDGES IS NOT REQUIRED BY THIS DESIGN EXCEPT FOR THOSE AREAS SPECIFICALLY NOTED.
- ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED AND ARE CONSIDERED SHEAR WALLS.
- ALT. STAPLE CONNECTION SPEC: 1 3/4" 16 GA STAPLES (1/16" CROWN) @ 3" O.C. AT EDGES & @ 6" O.C. IN FIELD.

BLOCKED PANEL EDGES

- AT DESIGNATED AREAS - FASTEN SHEATHING w/ 2 3/8" x 0.113" NAILS @ 6" O.C. AT ALL PANEL EDGES AND 12" O.C. IN THE PANEL FIELD QR. 1 3/4" 16 GA STAPLES (1/16" CROWN) @ 3" O.C. AT EDGES & @ 6" O.C. IN FIELD. ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUDS) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES & EDGE FASTENING.

3" O.C. EDGE NAILING

- AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING w/ 2 3/8" x 0.113" NAILS @ 3" O.C. AND 12" O.C. IN THE PANEL FIELD NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC. ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUD) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. EDGE FASTENING.

NOTES

- SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING. IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN, IT WILL BE SPECIFICALLY NOTED ON PLAN.
- DESIGN ASSUMES 16" O.C. MAX. STUD SPACING, U.N.O.
- ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.
- PRE-MANUFACTURED PANELIZED WALLS:
FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED w/ OSB OR PLYWOOD w/ 3" x 0.120" NAILS @ 4" O.C. (THRU ONE SIDE ONLY)

INDICATES EXTENT OF INT. OSB SHEARWALL, BLOCKED PANEL EDGES, AND/OR 3" O.C. EDGE NAILING

INDICATES HOLDOWN

GENERAL STRUCTURAL NOTES

FOUNDATION

- DESIGN IS BASED ON 2018 NC5BC-RESIDENTIAL CODE
- FOOTING DESIGN - 2,000 PSF NET ALLOWABLE SOIL BEARING PRESSURE IS ASSUMED. BUILDER/CONTRACTOR MUST VERIFY.
- FASTEN 2x4/6 SILL PLATES TO CONC. FND WITH A MINIMUM OF 2 ANCHORS PER PLATE, 12" MAX. FROM PLATE ENDS - UTILIZING:
 - 1/2" DIA. ANCHOR BOLTS @ 6'-0" O.C. 7" MIN. EMBEDMENT
 - 1/2" DIA. x 6" LONG SIMPSON TITEN HD @ 6'-0" O.C.
 - SIMPSON MASA ANCHOR STRAPS @ 6'-0" O.C.
- ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT W/ PERIMETER FOUNDATION SHALL BE PRESERVATIVE-TREATED SOUTHERN PINE #2.
- BUILDER TO VERIFY CORROSION-RESISTANCE COMPATIBILITY OF HARDWARE & FASTENERS IN CONTACT W/ PRESERVATIVE-TREATED WOOD. CONTACT LUMBER & HARDWARE SUPPLIERS TO COORD.
- FOUNDATION WALLS & FOOTINGS SHALL BE PLAIN CONCRETE, U.N.O.
- CONCRETE DESIGN BASED ON ACI 318. CONCRETE SHALL ATTAIN THE FOLLOWING MIN. COMPRESSIVE STRENGTHS IN 28 DAYS, U.N.O.:
f'c = 4,000 psi: FOUNDATION WALLS
3,000 psi: FOOTINGS & INTERIOR SLABS ON GRADE
3,500 psi: GARAGE & EXTERIOR SLABS ON GRADE
fy = 60,000 psi
- BASEMENT FOUNDATION WALL DESIGN BASED ON:
 - 8' OR 9' HEIGHT (AS NOTED ON PLANS)
 - TALLER WALLS MUST BE ENGINEERED.
 - DESIGNS ARE BASED ON ACTUAL WALL WIDTHS. NOMINAL WIDTH (7 1/2" FOR 8" WALL, 4 1/2" FOR 10" WALL) MAY NOT BE USED.
- BASEMENT WALL DESIGN IS BASED ON 30 OR 45 PCF BACKFILL SOIL TYPE CLASSIFICATIONS:
30 PCF TYPE (GM, GP, SM, SP)
45 PCF TYPE (GM, GC, SM, SM-SC, ML)
 - IMPORTANT - IF 60 PCF SOIL TYPE (SC, ML-CL, OR CL) IS UTILIZED FOR BACKFILL, CONTACT MULHERN & KULP FOR FURTHER EVALUATION OF FOUNDATION DESIGN.

- BASEMENT WALLS SHALL BE BRACED, PRIOR TO BACKFILLING, BY ADEQUATE TEMPORARY BRACING OR INSTALL 1st FLOOR DECK.
- ALL CONCRETE EXPOSED TO THE WEATHER SHALL NOT HAVE LESS THAN 5% OR MORE THAN 7% AIR ENTRAINMENT.
- ALL FOOTINGS SHALL BEAR BELOW FROST LINE (TYP.) OR 12" MIN IN REGIONS WHERE CODE FROST DEPTH IS NOT APPLICABLE. CONSULT SOILS REPORT OR BUILDING DEPT. FOR MINIMUM DEPTH BELOW GRADE.
- FOOTINGS AND SLABS ON GRADE SHALL BEAR ON VIRGIN SOIL OR 95% COMPACTED FILL.
- PROVIDE CONTROL JOINTS AT ALL INSIDE CORNERS OF SLAB EDGES, AND OTHER LOCATIONS WHERE SLAB CRACKS ARE LIKELY TO DEVELOP.
 - JOINTS SHALL BE LOCATED @ 10'-0" O.C. (RECOMMENDED) OR 15'-0" O.C. (MAXIMUM)
 - JOINT GRID PATTERN SHALL BE AS CLOSE TO SQUARES AS POSSIBLE (1:1 RATIO), WITH A MAXIMUM OF 1:1.5 RATIO
 - CONTROL JOINTS SHALL NOT BE INSTALLED IN STRUCTURAL SLABS
- TYPICAL REINFORCEMENT DETAILS - PROVIDE 3" MIN. CLEAR COVER WHERE CAST AGAINST EARTH, 1 1/2" MIN. CLEAR COVER AGAINST FORMS. LAP ALL REBAR 48 BAR DIAMETERS MIN. (24" FOR #4 BARS) & BEND BARS AND LAP AT CORNERS. PROVIDE 6" HOOK INTO SUPPORTING FOOTINGS WHEN FOOTINGS INTERSECT.
- DIMENSIONS BY OTHERS, BUILDER TO VERIFY.

MEANS & METHODS NOTES

THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE BUILDING IS FINISHED AND ALL PLAN, DETAIL, AND NOTE SPECIFICATIONS HAVE BEEN COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS, AND TIE-DOWNS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING REQUIRED TO STABILIZE AND PROTECT EXISTING AND ADJACENT STRUCTURES AND SYSTEMS DURING COURSE OF DEMOLITION AND CONSTRUCTION OF THE PROJECT.

STRUCTURAL DESIGN AND SPECIFICATIONS ASSUME THAT ALL SUPPORTING AND NON-SUPPORTING ELEMENTS IN CONTACT WITH FLOOR FRAMING ARE LEVEL, INCLUDING, BUT NOT LIMITED TO: FOUNDATIONS, SLABS ON GRADE, BEAMS, WALLS, AND NON-BEARING ELEMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LEVELNESS AND MAKE ADJUSTMENTS AS NECESSARY, INCLUDING CONSIDERATION OF THOSE AREAS THAT MAY BE WITHIN CONTRACTUAL, INDUSTRY, OR WARRANTY TOLERANCES.

FLOOR FRAMING

- I-JOISTS/TRUSSES SHALL BE DESIGNED BY MANUF. TO MEET OR EXCEED L/480 LIVE LOAD DEFLECTION CRITERIA. (EXCLUDES STONE/MARBLE OR WET BED CONSTRUCTED FLOORS - CONTACT MKK FOR EXCLUDED FLOOR DESIGNS)
- PER THE GUIDELINES OF THE TILE COUNCIL OF NORTH AMERICA (TCNA HANDBOOK), IT SHALL BE THE FLOOR FINISH INSTALLER'S RESPONSIBILITY TO VERIFY THAT THE FINISHES TO BE INSTALLED MATCH THE DESIGN CRITERIA NOTED ABOVE (UNDER "DESIGN LOADS").
- FLOOR SYSTEMS & SHEATHING HAVE BEEN DESIGNED TO SUPPORT ADDITIONAL DEAD LOAD FROM CERAMIC TILE (EXCLUDING MARBLE OR STONE). HOWEVER, IT SHALL BE THE FLOOR FINISH INSTALLER'S RESPONSIBILITY TO PROVIDE PROPER UNDERLAYMENT, UNCOUPLING MEMBRANE AND MORTAR/GROUT PER THE ASSEMBLY DESIGNATIONS IN THE TCNA HANDBOOK (TILE COUNCIL OF NORTH AMERICA).
- 2x FLOOR JOISTS HAVE BEEN DESIGNED TO MEET OR EXCEED L/360 LIVE LOAD DEFLECTION CRITERIA.
- AT I-JOIST FLOORS, PROVIDE 1 1/8" MIN. OSB RIM BOARD.
- METAL HANGERS SHALL BE SPECIFIED BY MANUFACTURER, U.N.O.
- I-JOIST/TRUSS SHOP DWGS. SHALL BE SUBMITTED TO ARCH. & ENG. FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY.
- FLOOR SHEATHING SHALL BE 23/32" A.P.A. RATED "STURD-I-FLOOR" 24" O.C. EXPOSURE 1 (OR APPROVED EQUAL) WITH TONGUE AND GROOVE EDGES. FASTEN TO FRAMING MEMBERS W/ GLUE AND - 2 1/2" x 0.131" NAILS @ 6"o.c. @ PANEL EDGES & @ 12"o.c. FIELD.
- 2 3/8" x 0.120" NAILS @ 4" O.C. @ PANEL EDGES & @ 8" O.C. FIELD.
- 2 3/8" x 0.113" NAILS @ 3" O.C. @ PANEL EDGES & @ 6" O.C. IN FIELD.

ROOF FRAMING

- ROOF SHEATHING SHALL BE 7/16" A.P.A. RATED SHEATHING 24/16 EXPOSURE 1 (OR APPROVED EQUAL). FASTEN TO FRAMING MEMBERS - w/ 2 1/2" x 0.131" NAILS @ 6"o.c. @ PANEL EDGES & @ 12" O.C. FIELD.
- w/ 2 3/8" x 0.120" NAILS @ 4"o.c. @ PANEL EDGES & @ 8" O.C. FIELD.
- w/ 2 3/8" x 0.113" NAILS @ 3"o.c. @ PANEL EDGES & @ 6" O.C. FIELD.
- WITHIN 48" OF ALL ROOF EDGES, RIDGES, & HIPS FASTEN ROOF SHEATHING FIELDS PER EDGE NAILING SPEC.
- FASTEN EACH ROOF TRUSS TO TOP PLATE W/ SIMPSON H2.5T CLIP (OR APPROVED EQUAL) @ ALL BEARING POINTS. PROVIDE (2) H2.5T CLIPS AT 2-PLY GIRDER TRUSSES, (3) H2.5T CLIPS AT 3-PLY GIRDER TRUSSES & ROOF BEAMS - AT ALL BEARING POINTS.
- METAL HANGERS SHALL BE SPECIFIED BY THE MANUFACTURER, U.N.O.
- ROOF TRUSS SHOP DWGS. SHALL BE SUBMITTED TO ARCH. & ENG. FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY.
- ERECT AND INSTALL ROOF TRUSSES PER ITCA & TP15 BC01 I "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING & BRACING OF METAL PLATE CONNECTED WOOD TRUSSES."
- SUPPORT SHORT SPAN ROOF TRUSSES w/2x4 LEDGER FASTENED TO FRAMING w/(2) 3" x 0.120" NAILS @ 16" O.C. (UP TO 1" SPAN).

MKK STD. - MAR 2016

LEGEND

- R.T. INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. U.N.O.)
- O.F. INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. U.N.O.)
- F.J. INDICATES 14" DEEP FLOOR I-JOISTS (19.2" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER
- F.T. INDICATES 16" DEEP FLOOR TRUSSES (24" O.C. MAX SPACING).
- F.S. INDICATES 14" DEEP FLOOR JOISTS (19.2" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER -OR- 14" DEEP FLOOR TRUSSES (24" O.C. MAX SPACING).
- D.J. INDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX.)
- INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS.
- INTERIOR BEARING WALL
- BEARING WALL ABOVE (B.W.A.)
- BEAM/HEADER
- METAL HANGER
- INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

GENERAL STRUCTURAL NOTES

- DESIGN IS BASED ON 2018 NC5BC-RESIDENTIAL CODE
- WOOD FRAME ENGINEERING IS BASED ON NDS, "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" - LATEST EDITION.
- DESIGN LOADS:
ROOF LIVE = 20 PSF
DEAD = 1 PSF T.C., 10 PSF B.G.
LOAD DURATION FACTOR = 1.25

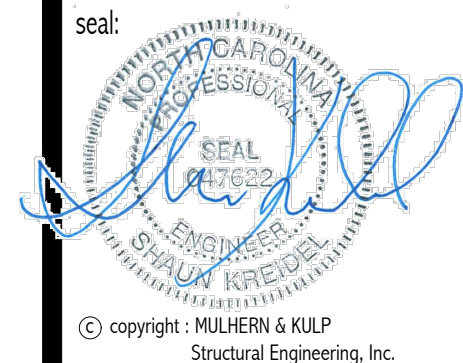
FLOOR LIVE = 40 PSF (30 PSF @ SLEEPING AREAS)
DEAD = 10 PSF (I-JOISTS & SOLID SAWN)
10 PSF T.C., 5 PSF B.G. (TRUSSES)
ADD'L 10 PSF @ CERAMIC TILE IN BATHS AND LAUNDRY

SOIL 2,000 PSF ASSUMED ALLOWABLE BEARING PRESSURE (TO BE VERIFIED BY BUILDER)

GENERAL FRAMING

- ALL TYP. NAIL FASTENER REQUIREMENTS ARE NOTED IN STANDARD CONNECTIONS TABLE (IRC TABLE R602.3.11) OR ON PLANS. ALL NAILS SPECIFIED ARE MIN DIAMETER AND LENGTH REQUIRED FOR CONNECTION. ALL HANGER NAILS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS FOR MAX CHARTED CAPACITY. NOTE: HANGERS USE COMMON NAIL DIAMETERS NOT TYPICAL FRAMING GUN NAILS.
- EXT. & INT. BEARING WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) @ 16" O.C. SPF/SP "STUD" GRADE LUMBER, OR BETTER, U.N.O.
 - WALLS OVER 12" TALL SHALL BE PER PLAN.
- ALL INTERIOR BEARING WALLS ARE ASSUMED TO BE SHEATHED w/ GYP WALL BOARD (ONE SIDE MIN) OR PROVIDE MID HT. BLOCKING.
- ALL HEADERS, BEAMS & OTHER STRUCTURAL MEMBERS SHALL BE SPRUCE-PINE-FIR #2 (SPF) OR SOUTHERN PINE #2 (SP) LUMBER, OR BETTER. SUPPORT ALL HEADERS/ BEAMS W/ (1)2x JACK STUD & (1)2x KING STUD, MINIMUM.
 - THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK STUDS REQUIRED, U.N.O.
- ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 2x "STUD" GRADE MEMBERS SPACED @ 24" O.C. (MAX., U.N.O.)
 - HEADERS IN NON-LOAD BEARING WALLS SHALL BE: (1)2x4/6 FLAT @ OPENINGS UP TO 4'; (2)2x4/6 FLAT UP TO 8'.
- ALL FRAMING LUMBER SHALL BE DRIED TO 15% MC (KD-15).
- ENGINEERED LUMBER BEAMS TO MEET OR EXCEED THE FOLLOWING:
 - LVL' - Fb=1700 psi; Fv=425 psi; E=1.3x10⁶ psi
 - LVL' - Fb=2600 psi; Fv=285 psi; E=2.0x10⁶ psi
- ENGINEERED LUMBER POSTS TO MEET OR EXCEED THE FOLLOWING:
 - LVL' - Fb=2400 psi; Fc11=2500 psi; E=1.8x10⁶ psi
- FOR 2 & 3 PLY BEAMS OF EQUAL 1 3/4" MAX. WIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF 3"x0.120" NAILS @ 8" O/C OR 2 ROWS 1/4"x3/8" SIMPSON SDS SCREWS (OR 3/8" TRUSSLOK SCREWS) @ 16" O/C. USE A MINIMUM OF 4 ROWS FOR BEAM DEPTHS OF 14" OR GREATER. APPLY FASTENING AT BOTH FACES FOR 3-PLY CONDITION. LOCATE TOP & BOTTOM NAILS/SCREWS 2" FROM EDGE. SOLID 3 1/2" OR 5 1/4" BEAMS ARE ACCEPTABLE. USE 2 ROWS OF NAILS FOR 2x6 & 2x8 MEMBERS.
- FOR 4 PLY BEAMS OF EQUAL 1 3/4" MAX. WIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF 1/4"x6" SIMPSON SDS SCREWS (OR 6 3/4" TRUSSLOK SCREWS) @ 16" O/C. USE A MINIMUM OF 4 ROWS FOR BEAM DEPTHS OF 14" OR GREATER. APPLY FASTENING AT BOTH FACES (ONE SIDE ONLY FOR TRUSSLOK SCREWS). LOCATE TOP AND BOTTOM SCREWS 2" FROM EDGE. A SOLID 1" BEAM IS ACCEPTABLE.

- PROVIDE SOLID BLOCKING IN FLOOR SYSTEM UNDER ALL POSTS CONTINUOUS TO FND/BEARING. BLOCKING TO MATCH POST ABOVE.
- ALL EXTERIOR 4x4 WOOD POSTS SHALL HAVE SIMPSON BC52-2/4 CAP & ABW44 BASE, U.N.O.
- SIMPSON CONNECTORS SPECIFIED ON PLAN MAY BE SUBSTITUTED WITH EQUIVALENT UNITED STEEL PRODUCTS (USP), PROVIDED THE INSTALLED PRODUCT MATCHES THE MINIMUM REQUIREMENTS/CAPACITIES OF SPECIFIED SIMPSON HARDWARE.
- CORROSION NOTES:
 - BUILDER RESPONSIBLE TO DETERMINE CORROSION-RESISTANCE REQUIREMENTS AND COMPATIBILITY OF HARDWARE, FASTENERS AND CONNECTORS FOR ENVIRONMENTAL EXPOSURE AND IN CONTACT W/ PRESERVATIVE-TREATED WOOD OF ACTUAL FINAL CONDITIONS AND SOURCED MATERIALS. CONTACT LUMBER & HARDWARE SUPPLIERS TO COORD.
 - ALL FASTENERS AND CONNECTORS EXPOSED TO SALT WATER (WITHIN 300' OF SALT WATER SHORELINE, INCLUDING VENTED SPACES) SHALL BE STAINLESS STEEL.

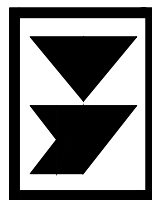


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SMK

drawn by:

RKS

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date:

initial:

10/01/2024

FRANKLIN REVISIONS

DAVIDSON HOMES

GENERAL NOTES

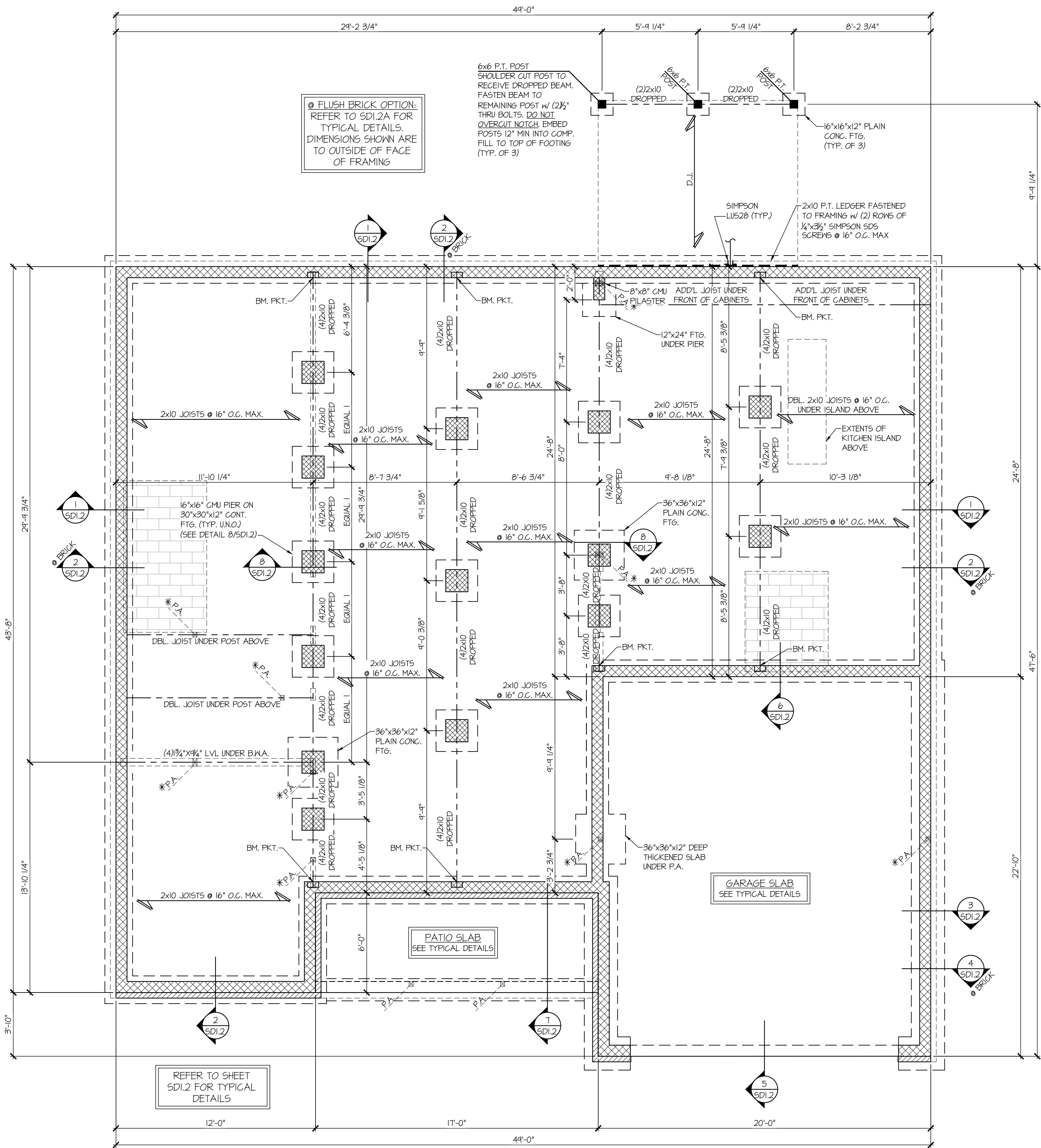
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RALEIGH, NC

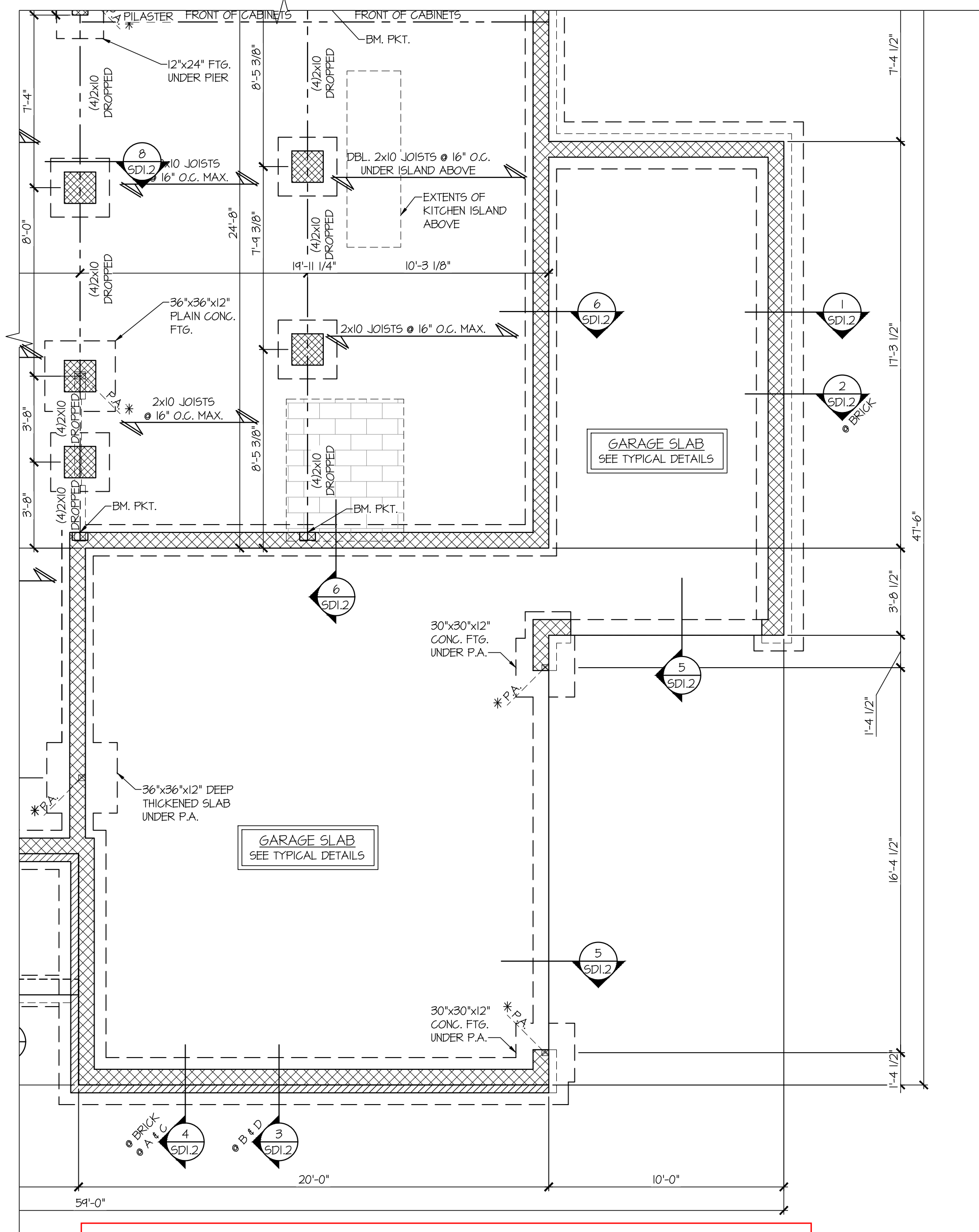
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Tobacco Road Lot 79

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1 1ST FLOOR FRAMING &
CRAWLSPACE FOUNDATION PLAN w/ 2x JOISTS
SCALE: 1/4"=1'-0" ON 22x34
1/8"=1'-0" ON 11x17
ELEV. A



2 PARTIAL 1ST FLOOR FRAMING &
CRAWLSPACE FOUNDATION PLAN w/ 2x JOISTS
SCALE: 1/4"=1'-0" ON 22x34
1/8"=1'-0" ON 11x17
OPT. SIDE LOAD GARAGE
& BRD CAR GARAGE
ALL ELEV. SIM.

LEGEND

- R.T. INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. UNO.)
- O.F. INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. UNO.)
- F.J. INDICATES 14" DEEP FLOOR I-JOISTS (19.2" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER
- F.T. INDICATES 16" DEEP FLOOR TRUSSES (24" O.C. MAX SPACING).
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- BEARING WALL ABOVE (B.W.A.)
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project mgr: **SMK**
drawn by: **RKS**
issue date: **05.17.2024**

REVISIONS:

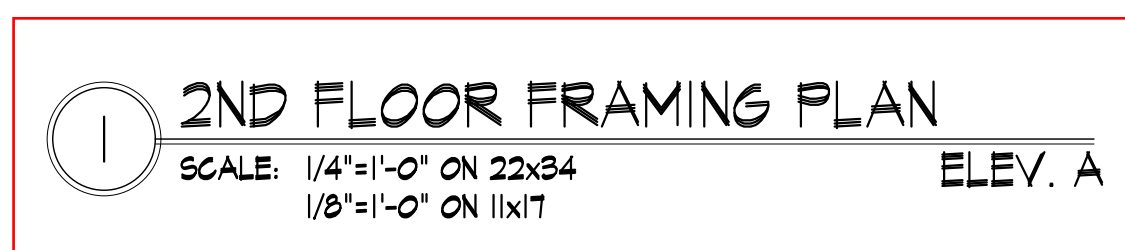
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FRANKLIN REVISIONS	


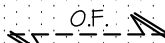
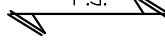

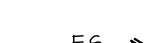

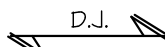
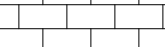




DAVIDSON HOMES

FOUNDATION PLAN
CRAWFORD MODEL

RALEIGH, NC

sheet:
S1.16



- ## LEGEND
-
- | | |
|---|---|
| <ul style="list-style-type: none">• • • • • • • • • • • •  | <p>INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. U.N.O.)</p> <p>INDICATES TRUSSES OVERFRAMING @ 24" O.C. (TYP. U.N.O.)</p> <p>INDICATES 14" DEEP FLOOR I-JOISTS (19.2" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER</p> <p>INDICATES 14" DEEP FLOOR TRUSSES (24" O.C. MAX SPACING).</p> <p>INDICATES 14" DEEP FLOOR JOISTS (19.2" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER -OR- 14" DEEP FLOOR TRUSSES (24" O.C. MAX SPACING).</p> <p>INDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX.)</p> <p>INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS.</p> <p>INTERIOR BEARING WALL</p> <p>BEARING WALL ABOVE (B.W.A.)</p> <p>BEAM/HEADER</p> <p>JL METAL HANGER</p> <p>INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.</p> |
|---|---|

seal:



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Mulhern+Kulp project number:
260-22002

project mgr: SMK
drawn by: RKS
issue date: 05.17.2024

REVISIONS:	
date:	initial:
10/01/2024	SMM
FRAMEWALK REVISIONS	

DAVIDSON HOMES

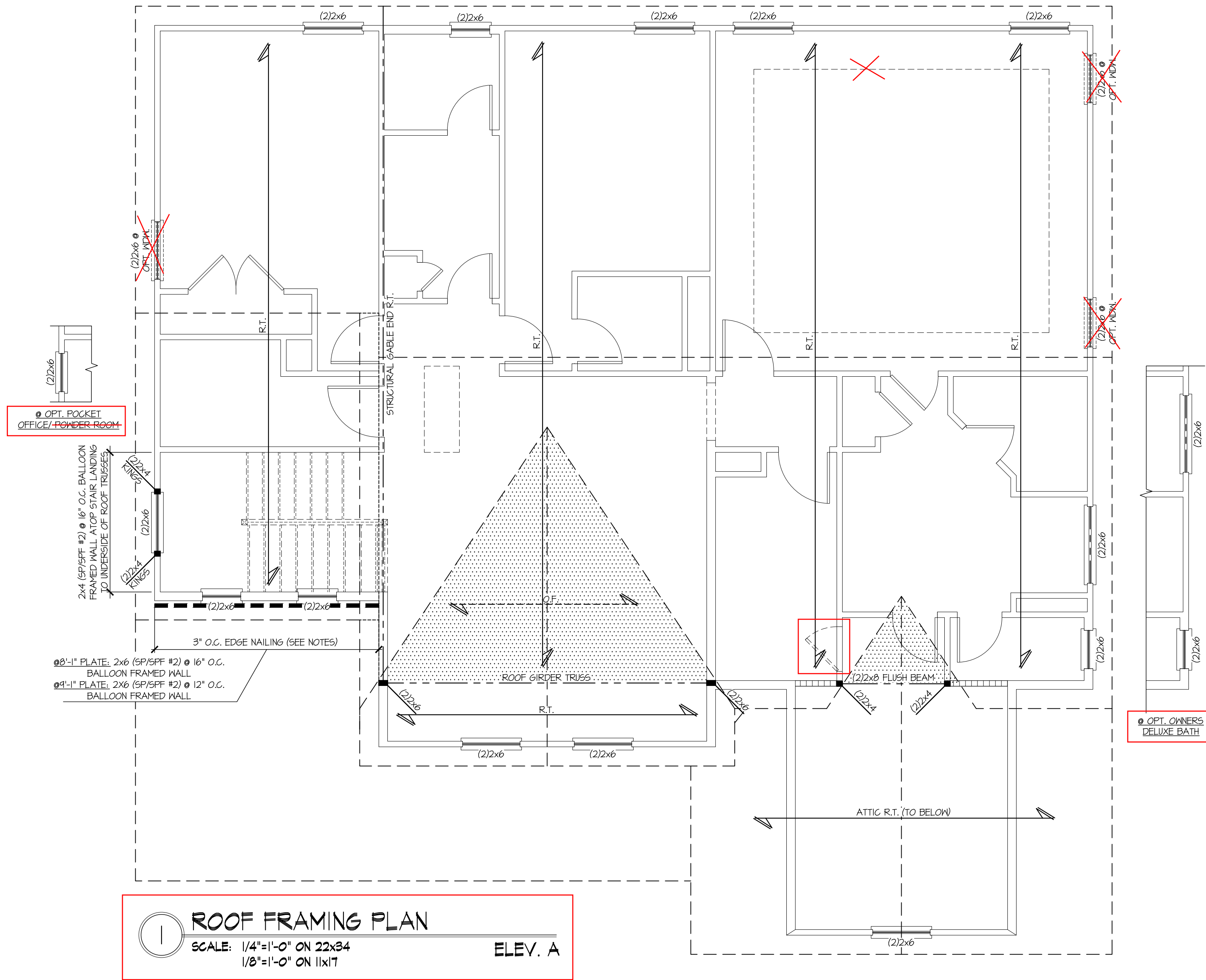
2ND FLR FRAMING PLAN

CRAWFORD MODEL

RALEIGH, NC

sheet:

S2.0



Tobacco Road Lot 79

seal:
NORTH CAROLINA
SEAL
17632
ENGINEER
SHAUN KREIDT
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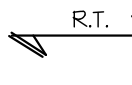
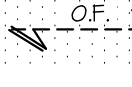

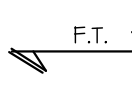
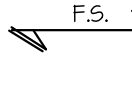



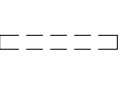



REVISIONS:
date: 10/01/2024 initial: SMM
FRAMEWORK REVISIONS

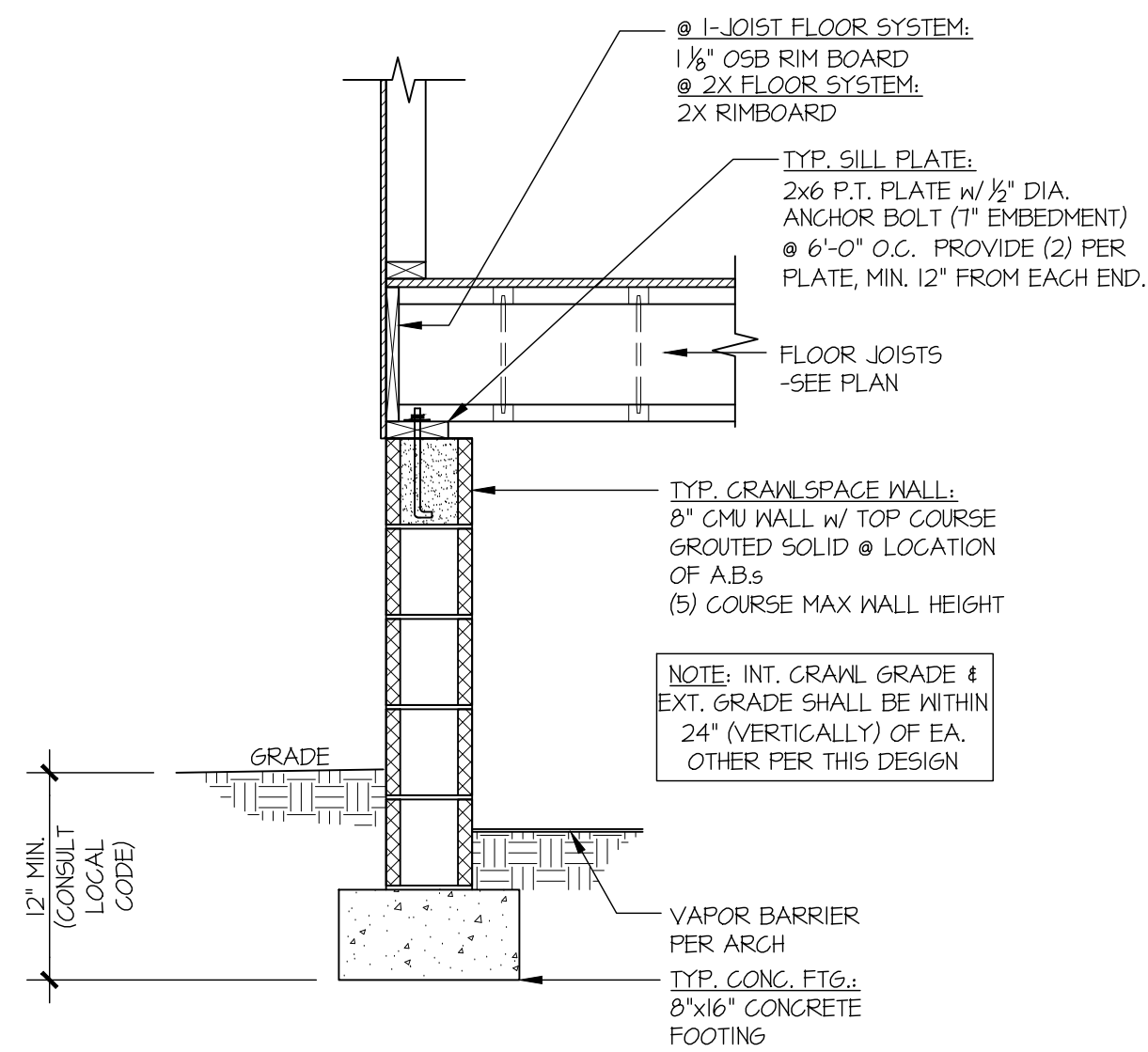
DAVIDSON HOMES

ROOF FRAMING PLAN
CRAWFORD MODEL
RALEIGH, NC

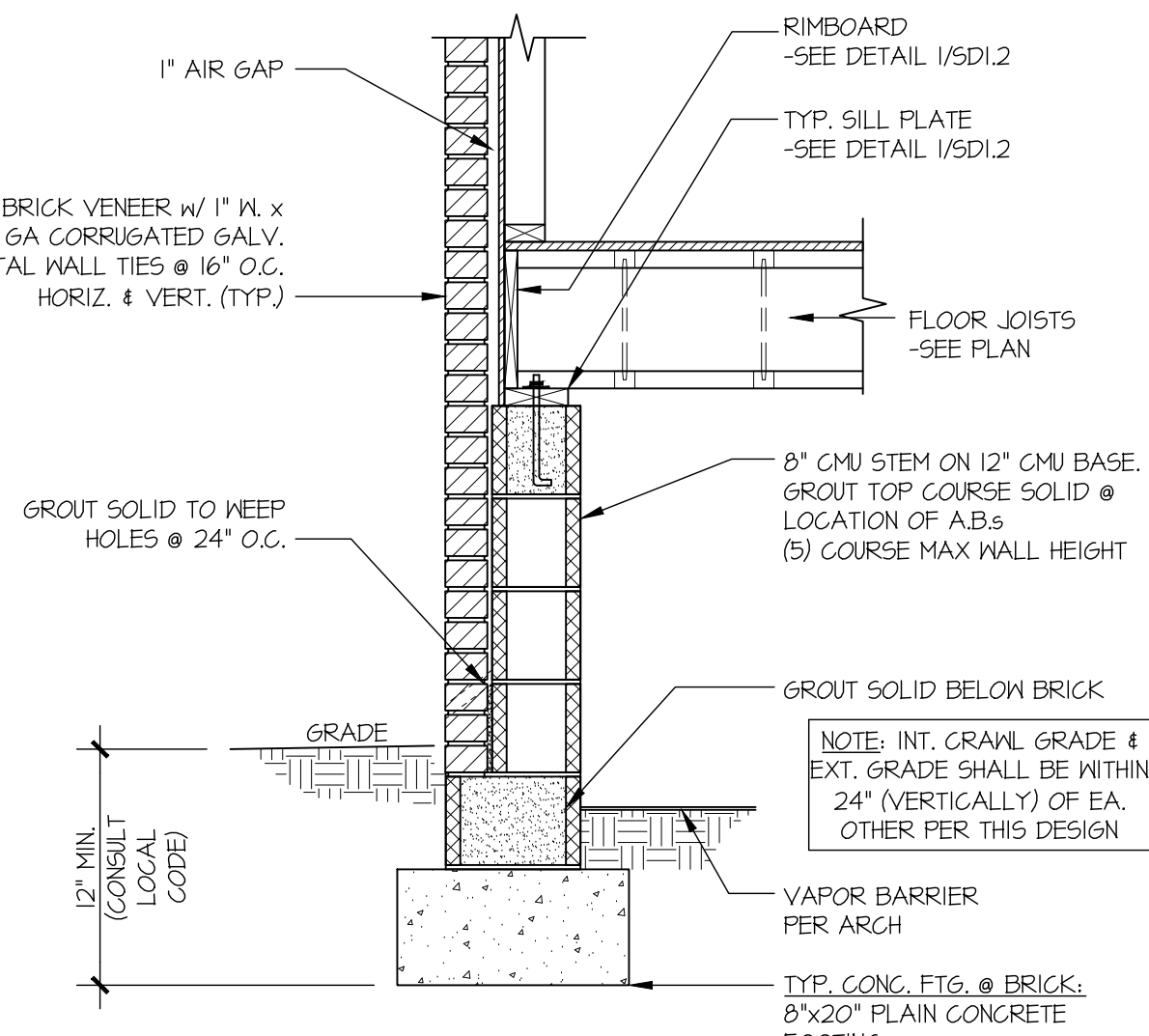
sheet:
S3.0

REFER TO S0.0 FOR TYPICAL
STRUCTURAL NOTES & SCHEDULES
THIS LEVEL HAS BEEN DESIGNED
FOR 8'-1" AND 9'-1" PLATE HEIGHT

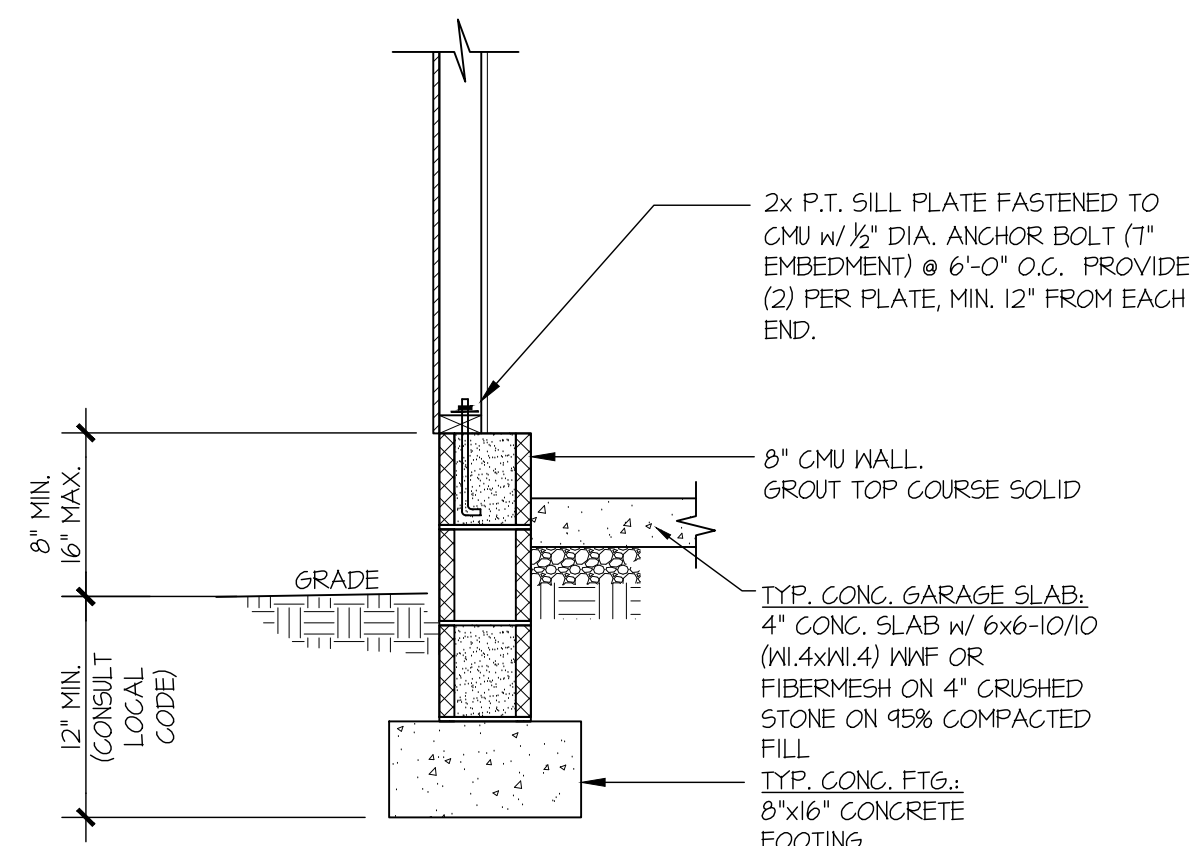
LEGEND	
• 	INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. UNO.)
• 	INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. UNO.)
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• 	BEAM/HEADER
• 	METAL HANGER
• 	INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.



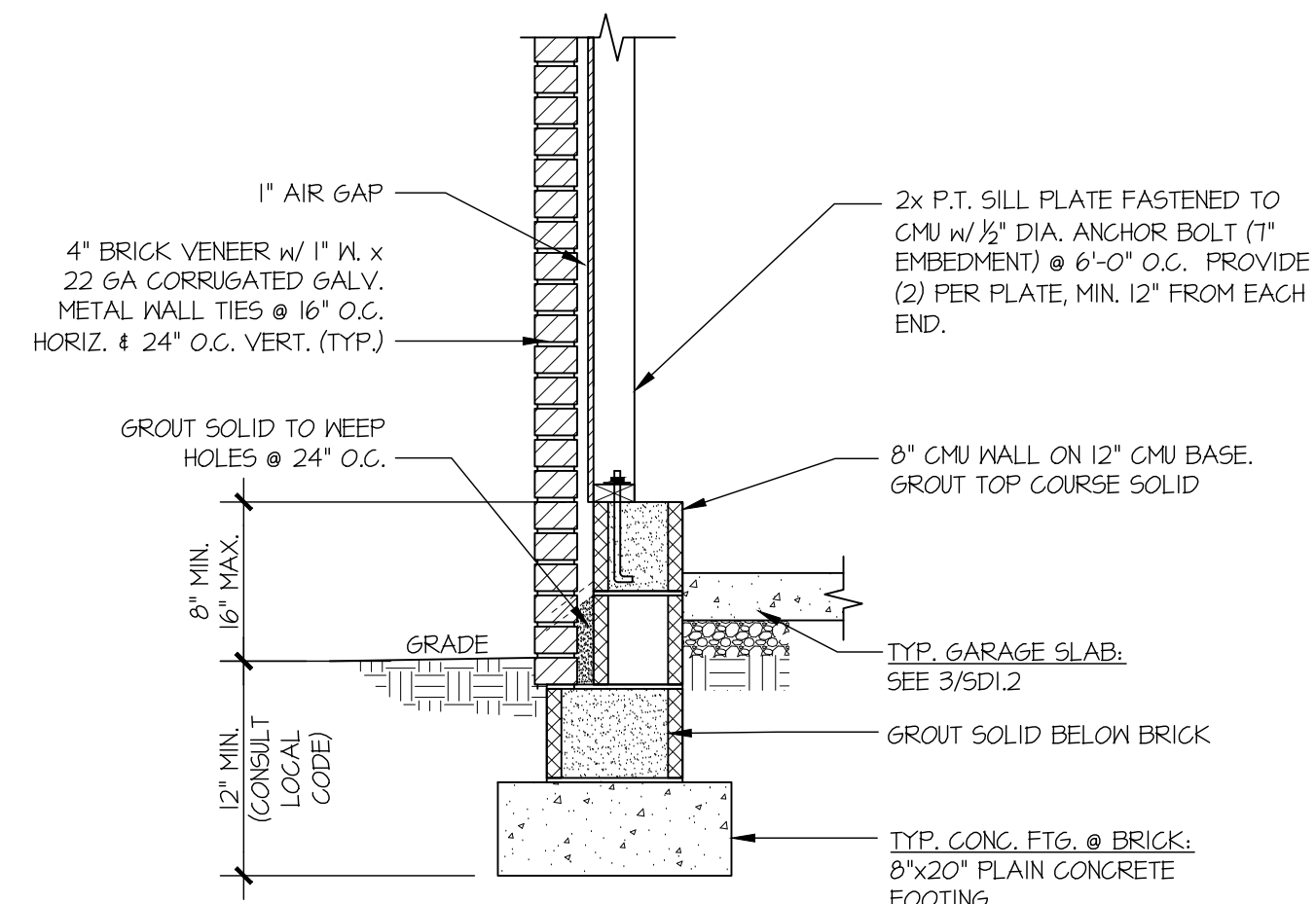
1 TYPICAL CRAWLSPACE FOUNDATION



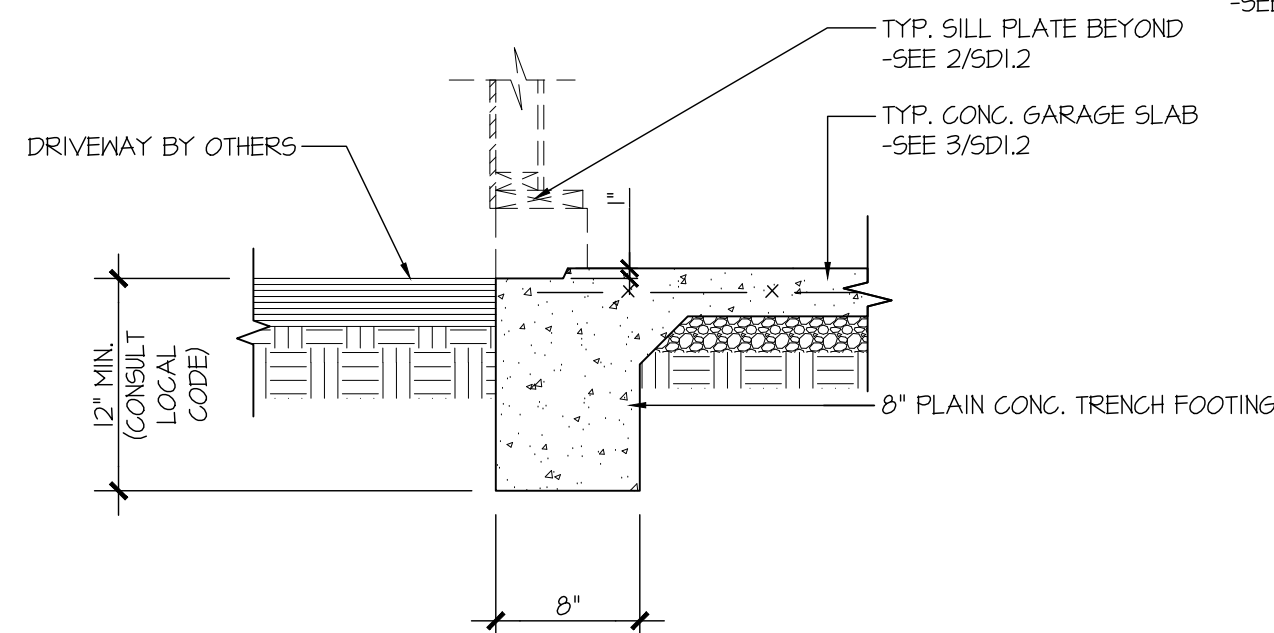
2 TYPICAL CRAWLSPACE FOUNDATION w/ FULL BRICK VENEER



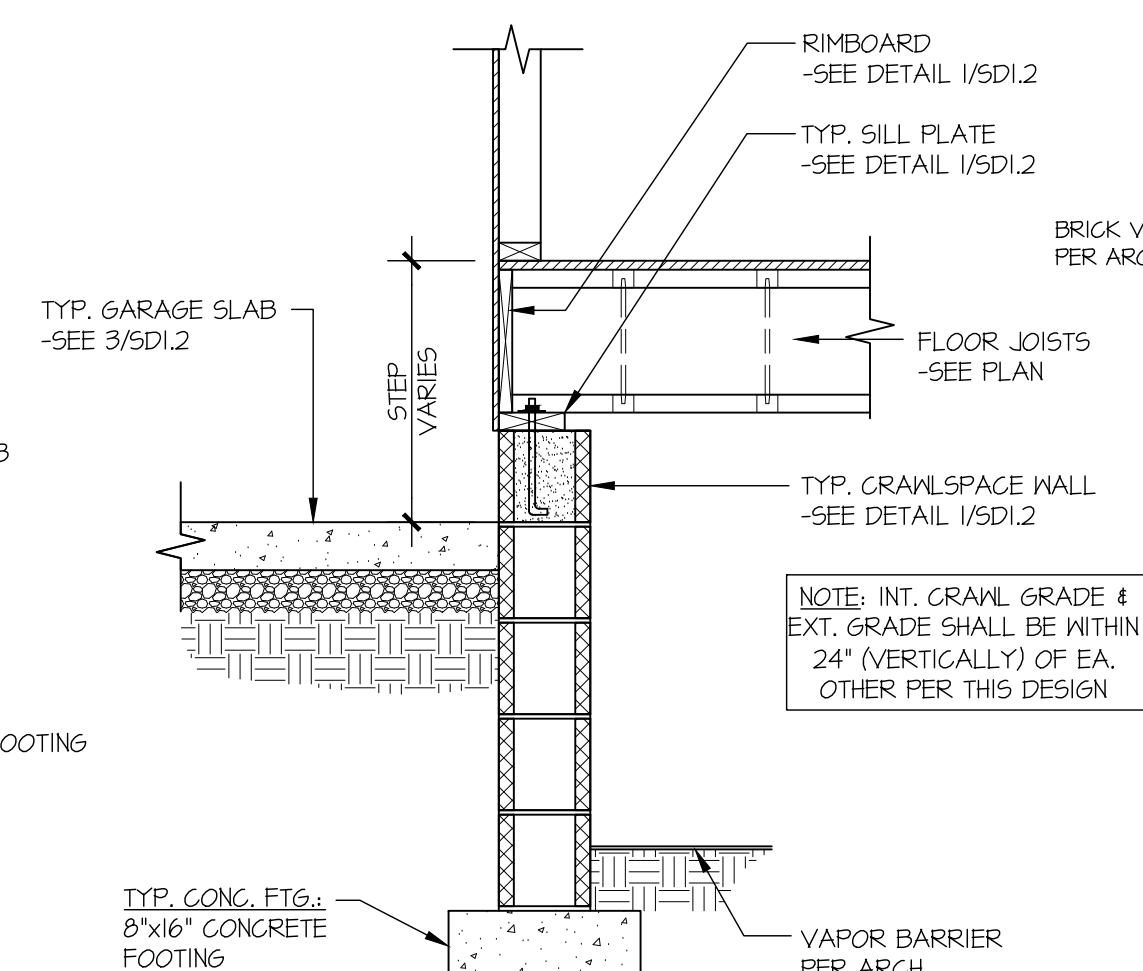
3 TYPICAL PERIMETER FOOTING @ EXTERIOR GARAGE WALL



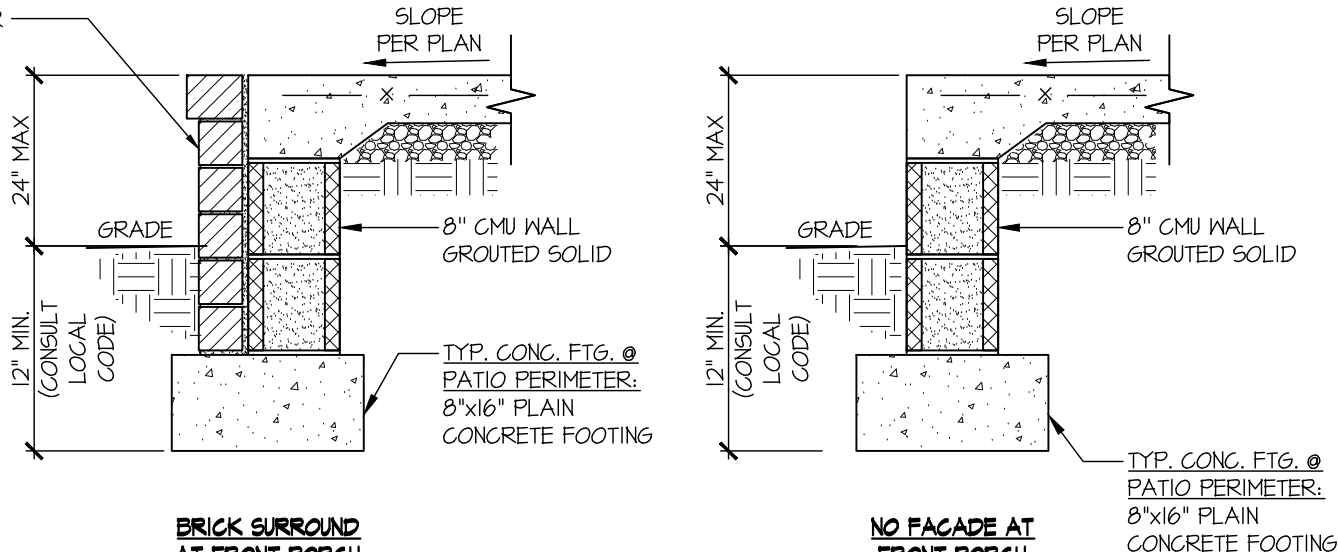
4 TYPICAL CRAWLSPACE FOUNDATION @ EXTERIOR GARAGE WALL w/ FULL BRICK VENEER



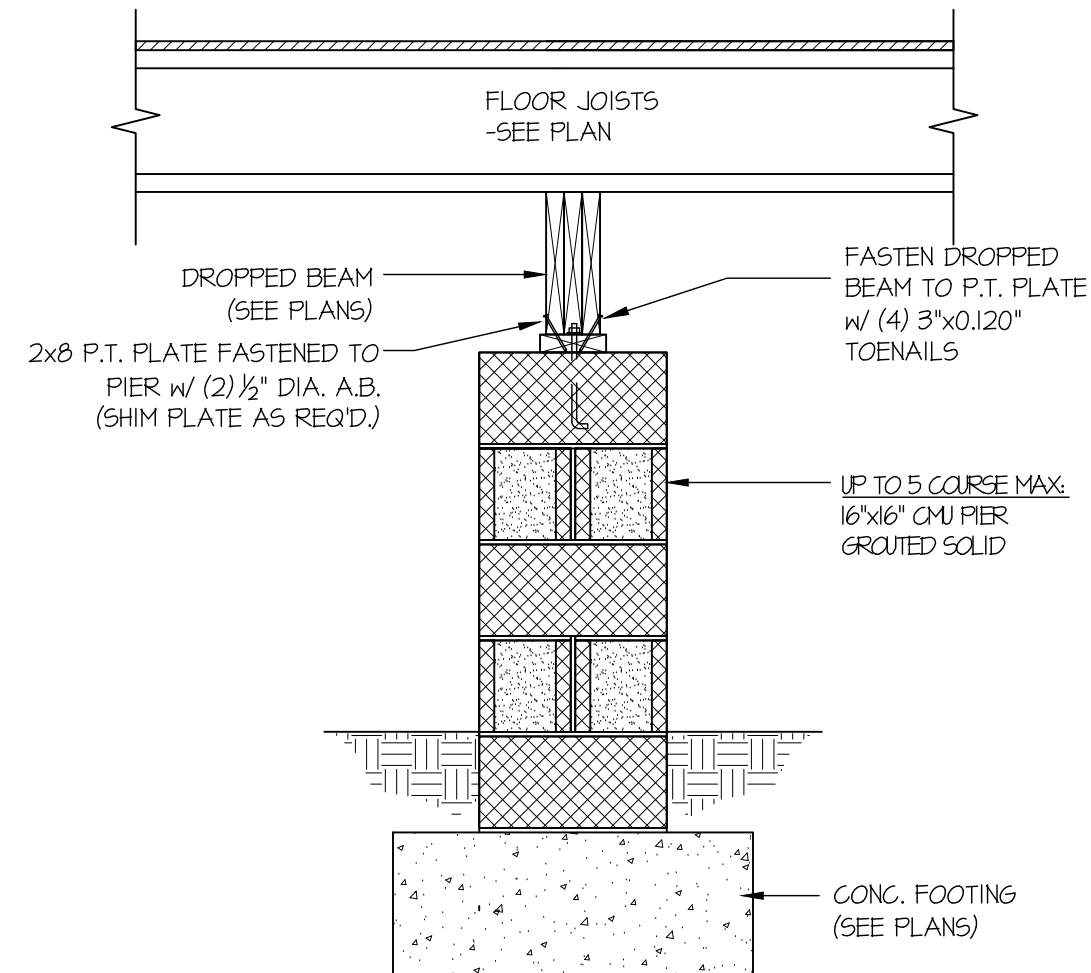
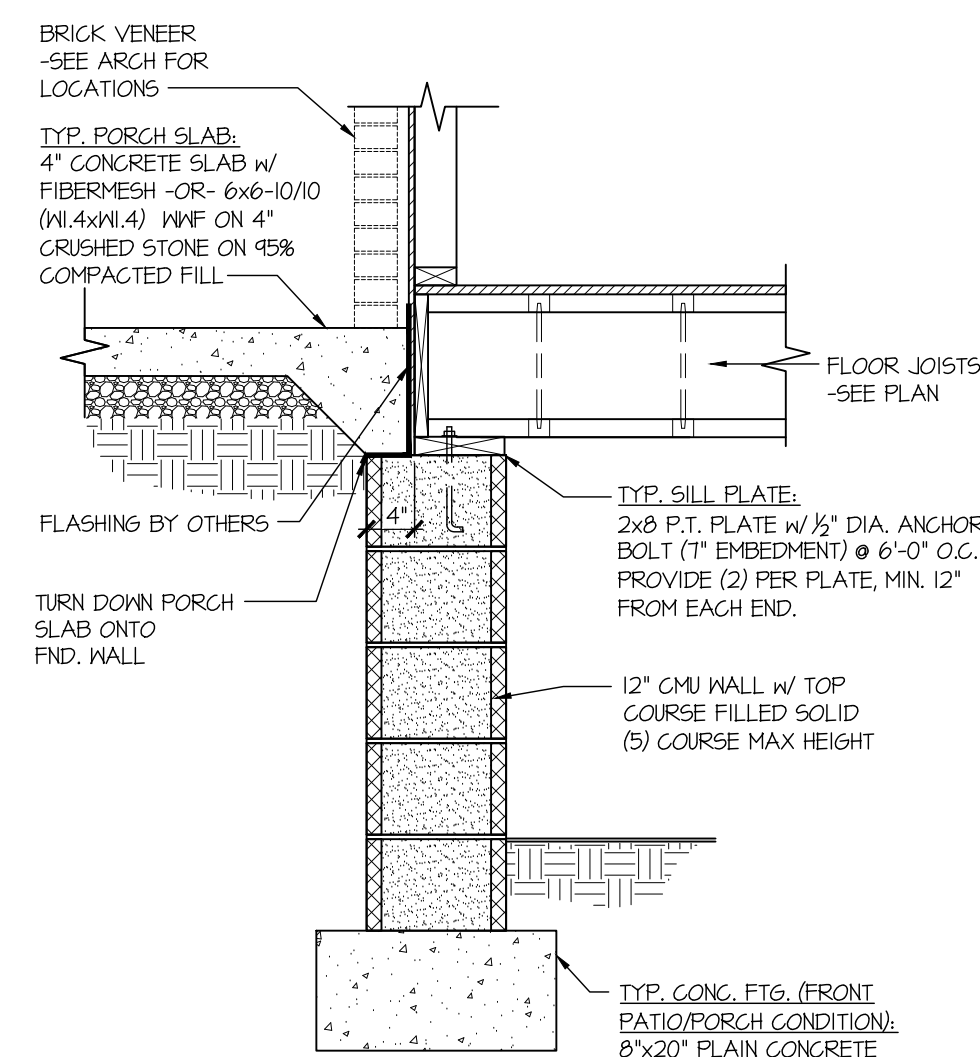
5 TYPICAL SLAB ON GRADE GARAGE ENTRY @ PERIMETER FOOTING



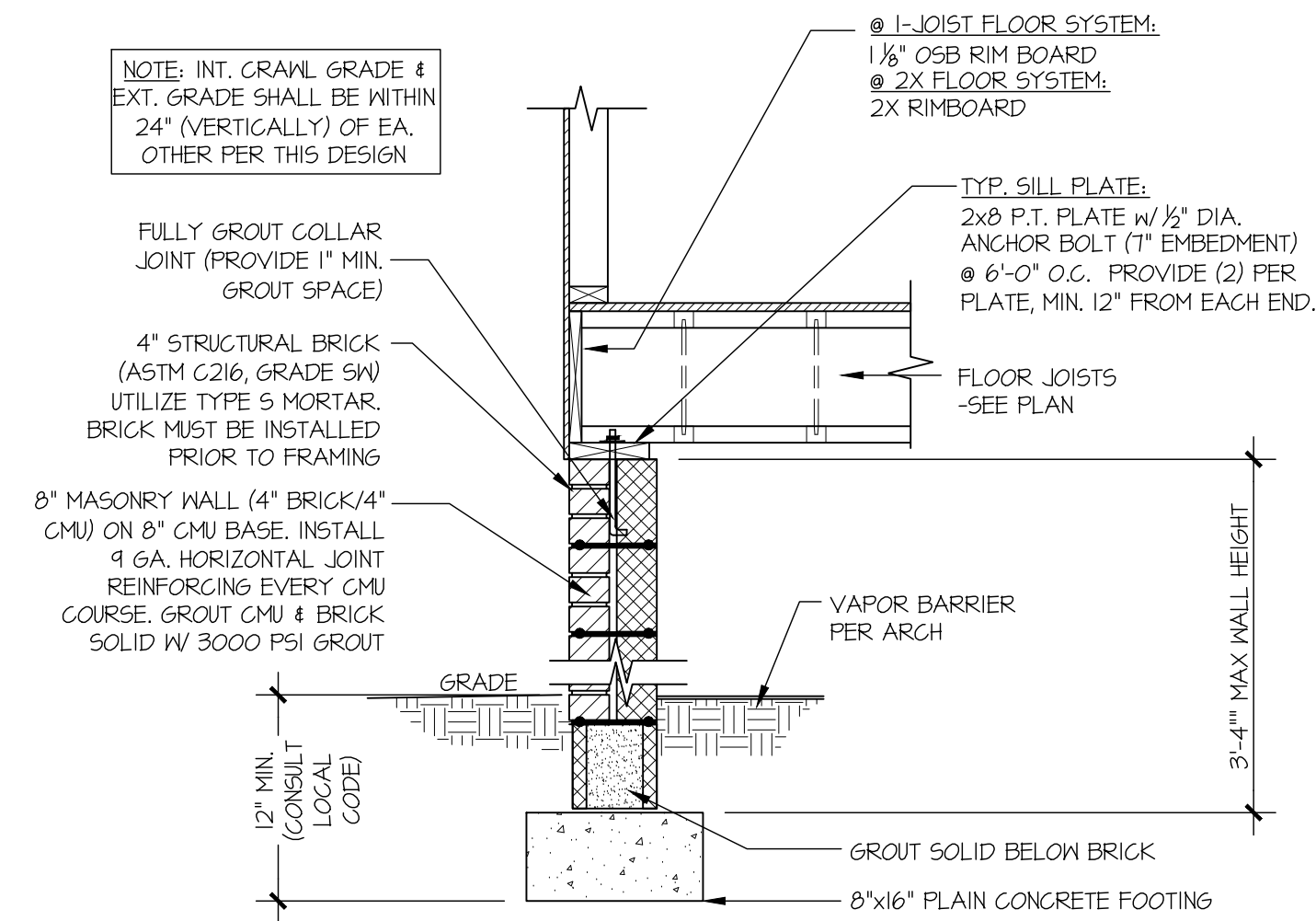
6 TYPICAL CRAWLSPACE FOUNDATION @ INTERIOR GARAGE WALL



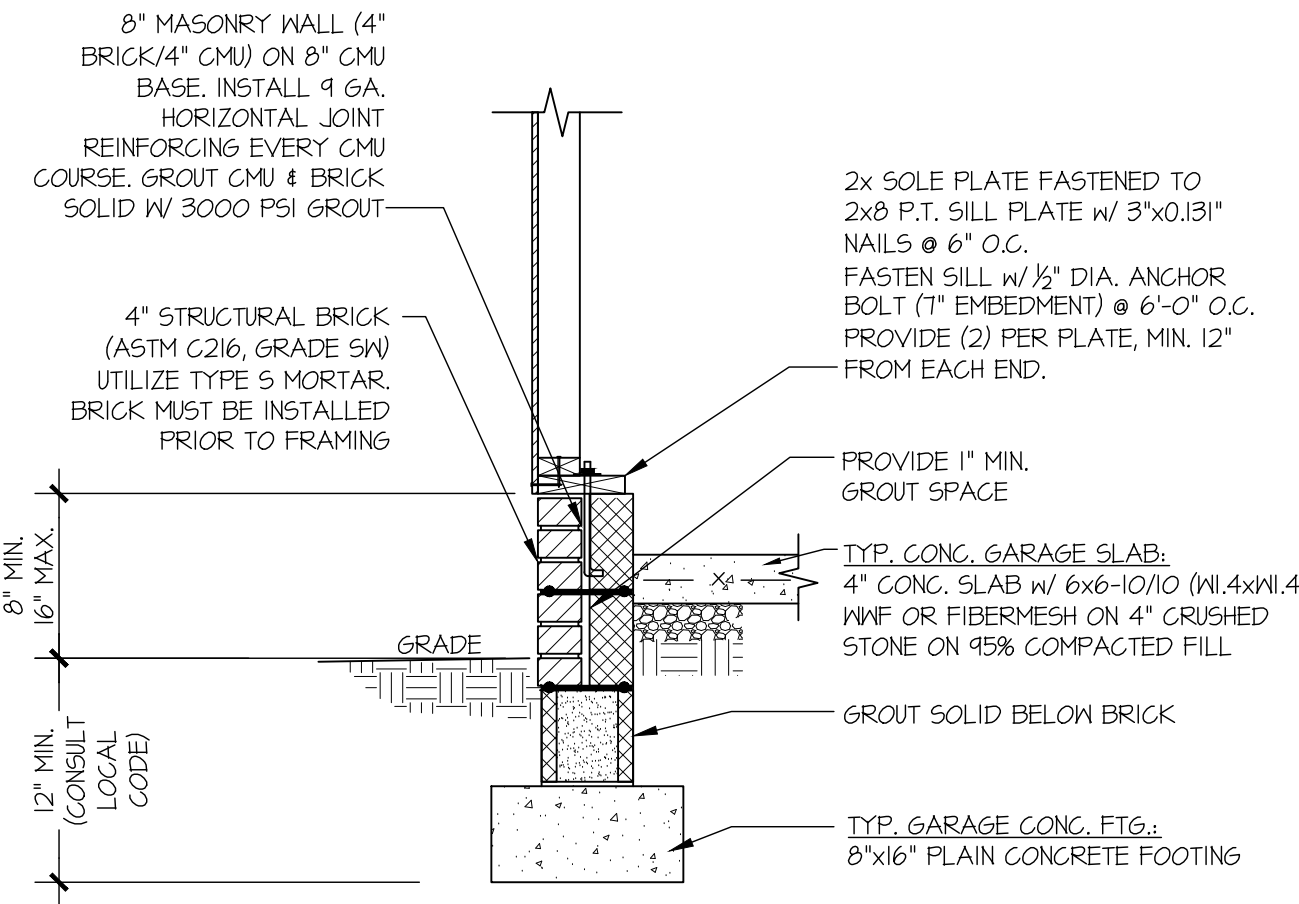
7 TYPICAL CRAWLSPACE FOUNDATION @ FRONT PATIO/COVERED PORCH



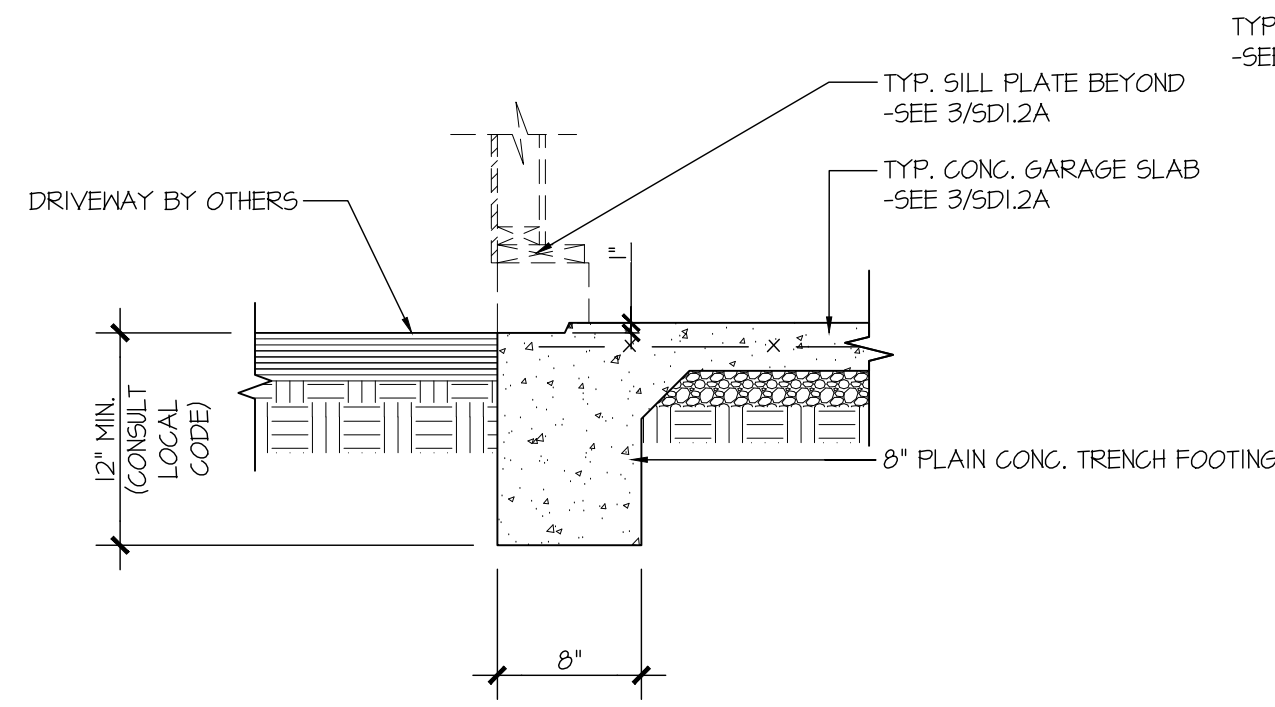
8 TYPICAL CRAWLSPACE FOUNDATION @ INTERIOR PIER



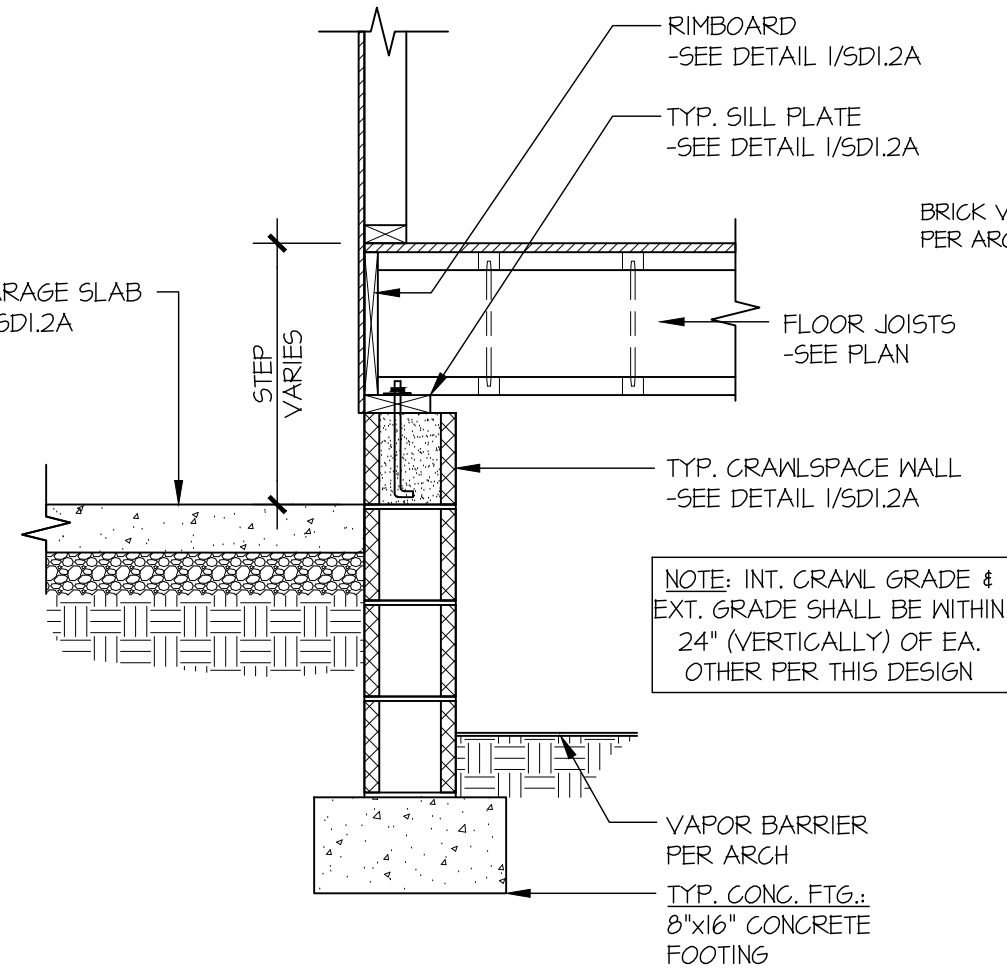
1 TYPICAL CRAWLSPACE FOUNDATION
w/ BRICK WATERTABLE



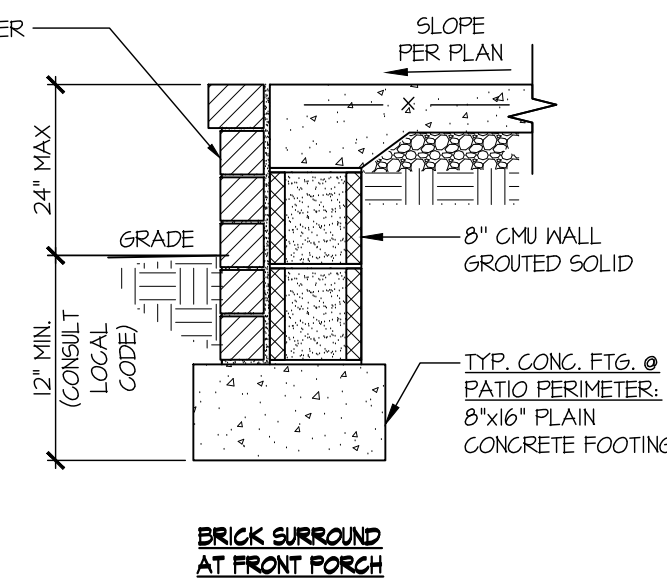
3 TYPICAL CRAWLSPACE FOUNDATION
@ EXTERIOR GARAGE WALL



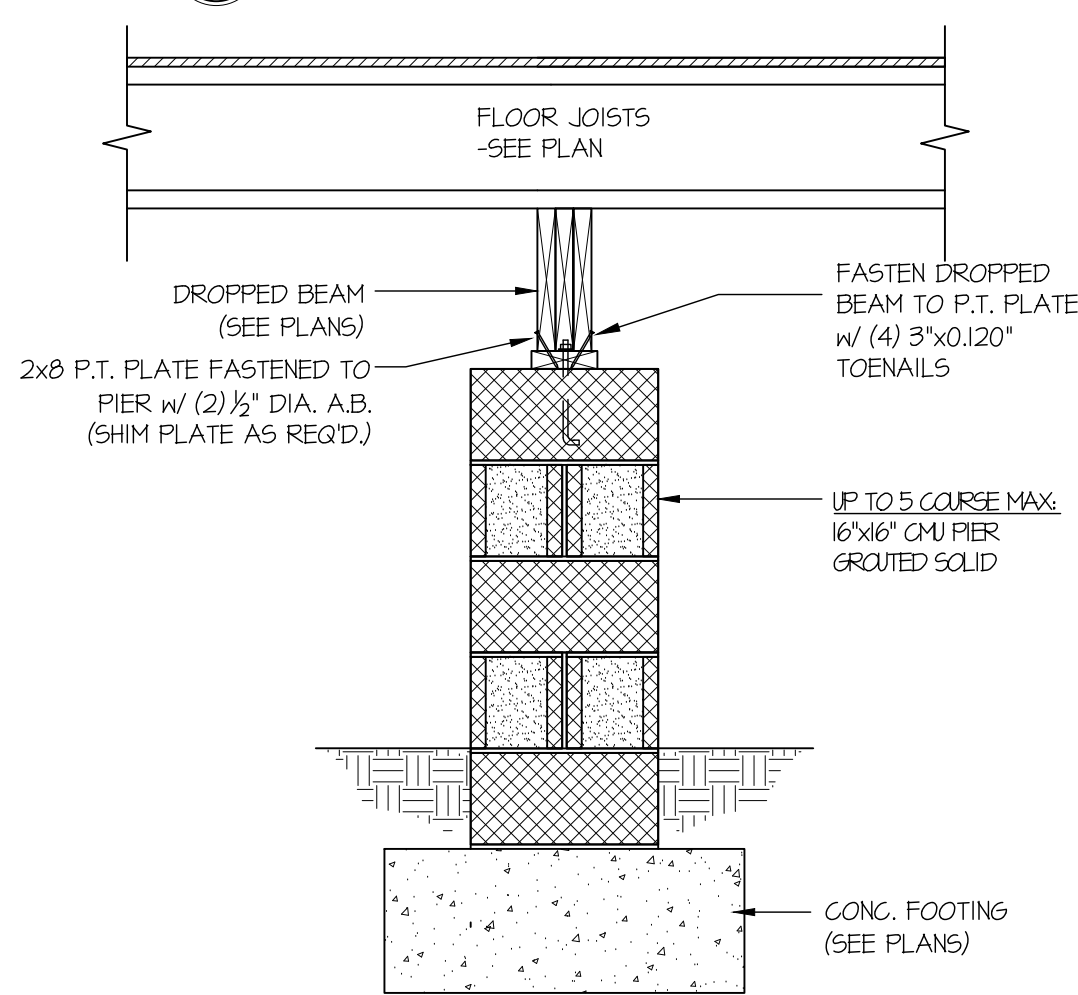
5 TYPICAL SLAB ON GRADE GARAGE
ENTRY @ PERIMETER FOOTING



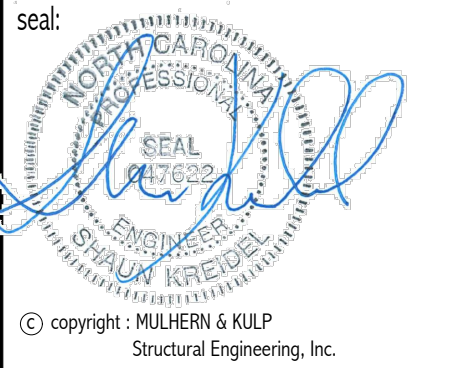
6 TYPICAL CRAWLSPACE FOUNDATION
@ INTERIOR GARAGE WALL



7 TYPICAL CRAWLSPACE FOUNDATION @ FRONT PATIO/COVERED PORCH



5 TYPICAL CRAWLSPACE
FOUNDATION @ INTERIOR PIER



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Mulhern+Kulp project number:
260-22002

project mgr: SMK
drawn by: RKS
issue date: 05.17.2024

REVISIONS:
date: 10/01/2024 initial: SMM
FRANKLIN REVISIONS

DAVIDSON HOMES

FOUNDATION DETAILS

CRAWFORD MODEL

RALEIGH, NC

sheet:
SD1.2A

Tobacco Road Lot 79

seal:

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FRAMING REVISIONS

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FOUNDATION DETAILS
CRAWFORD MODEL
RALEIGH, NC

sheet:
SD2.0

OUTSIDE ELEVATION

PONY WALL MAX. HT.:
=2'-0" w/ SIMPSON MST444
=5'-0" w/ SIMPSON MSTC66

12' MAX. WALL HEIGHT
10'-0" MAX. TO TOP OF HEADER

EXTENT OF HEADER

3"x11 1/2" MIN. HEADER (SEE PLAN)

LOCATE HEADER @ TOP OF OPENING

FASTEN HEADER TO KING STUDS w/ (6) 3/4"x0.148" NAILS

FASTEN SHEATHING TO HEADER WITH 2 1/2"x0.131" NAILS IN 3" GRID PATTERN AS SHOWN AND 3" O.C. IN ALL FRAMING (STUDS & SILLS) - TYPICAL. (3" O.C. NAILING ONLY REQ'D WHERE INDICATED BY X's - USE STD. SHTG. NAILING ELSEWHERE)

IF PANEL SPLICE IS NEEDED IT SHALL OCCUR WITHIN MIDDLE 24" OF WALL HEIGHT. PROVIDE 2x HORIZONTAL BLOCKING TO SUPPORT PANEL EDGES.

FINISHED WIDTH < 18'-0"

MIN. PANEL WIDTH BASED ON 6:1 HEIGHT-TO-WIDTH ASPECT RATIO FOR EXAMPLE: 16" MIN. FOR 8' HEIGHT

MIN. (2) JACK STUDS OR AS NOTED ON PLAN

ANCHOR BOLTS PER CODE (2 MIN) WITH 2"x2"x3/8" PLATE WASHERS.

SECTION A-A THROUGH PIER

SHEATHING FILLER AS REQ'D

3/4"x0.148" NAILS IN (2) ROWS @ 3" O.C.

SIMPSON STRAP SPEC BASED ON PONY WALL HEIGHT
-MST444 STRAP w/ 24 1/2" END LENGTH FOR 2'-0" MAX HT.
or MSTC66 STRAP w/ 33" END LENGTH FOR 5'-0" MAX HT.
-STRAP CENTERED @ BOTTOM OF HEADER
-LOCATE ON INSIDE FACE OF WALL.

7/8" OSB OR 1/2" PLYWOOD SHEATHING CONTINUOUS FROM TOP TO BOTTOM OF WALL, OR FROM TOP OF WALL TO PERMITTED SPLICE AREA.

INSIDE ELEVATION

PONY WALL MAX. HT.:
=2'-0" w/ SIMPSON MST444
=5'-0" w/ SIMPSON MSTC66

12' MAX. WALL HEIGHT
10'-0" MAX. TO TOP OF HEADER

EXTENT OF HEADER

3"x11 1/2" MIN. HEADER (SEE PLAN)

LOCATE HEADER @ TOP OF OPENING

FASTEN TOP PLATE TO HEADER w/ 2 ROWS OF 3/4"x0.148" NAILS @ 3" O.C.

SIMPSON STRAP SPEC BASED ON PONY WALL HEIGHT
-MST444 STRAP w/ 24 1/2" END LENGTH FOR 2'-0" MAX HT.
or MSTC66 STRAP w/ 33" END LENGTH FOR 5'-0" MAX HT.
-STRAP CENTERED @ BOTTOM OF HEADER
-LOCATE ON INSIDE FACE OF WALL.

BLOCKING AS REQ'D FOR SHEATHING SPLICE

MIN. (2) JACK STUDS OR AS NOTED ON PLAN

FINISHED WIDTH < 18'-0"

SEE TYP. CORNER FRAMING DETAIL

1/2" DIA. ANCHOR BOLT w/ 1" MIN. EMBEDMENT & 2"x2"x3/16" PLATE WASHER, TYP.

PLAN VIEW OF CORNER DETAIL

NOTE: ALL SHEATHABLE AREAS OF EXTERIOR WALL SHALL BE FULLY SHEATHED WITH 1/2" PLYWOOD OR 7/8" OSB

WALL FRAMING SPECIFICATION:
#2x4 WALL: USE #1 #2 GRADE STUDS (OR BETTER)
#2x6 WALL: USE SPF 'STUD' GRADE STUDS (OR BETTER)

2 1/2"x0.131" NAIL @ 6" O.C. IN ALL PANEL EDGES NOT PART OF PORTAL FRAME

3/4"x0.148" NAIL AT 12" O.C.

PORTAL FRAME WALL SEGMENT

ALTERNATIVES TO 1/2" DIA. ANCHOR BOLT:
1) 1/2" DIA. x 6" LONG SIMPSON TITEN HD
2) 1/2" DIA. THREADED ROD EPOXY SET w/ #4 1/2" EMBED. (MIN UTILIZING HILTI HY200 EPOXY ANCHORING SYSTEM (OR EQUAL))

GARAGE PORTAL FRAME BRACING ELEVATION
SCALE: N.T.S.
BOTH SIDES OF GARAGE DOOR
115 MPH WIND SPEED (ULT)

Tobacco Road Lot 79

seal:
NORTH CAROLINA
REGISTERED PROFESSIONAL
ENGINEER
SALVA KREIDT
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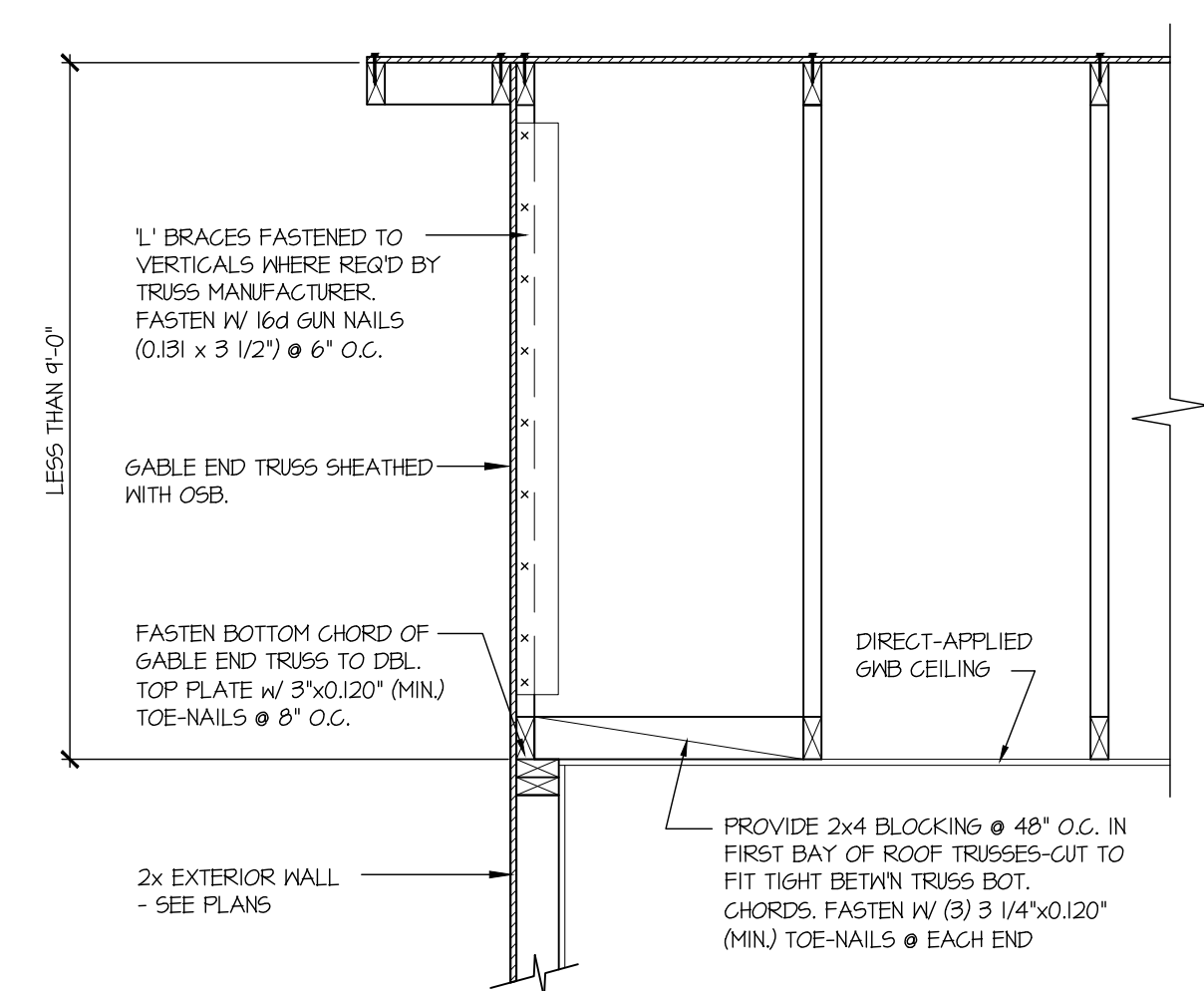
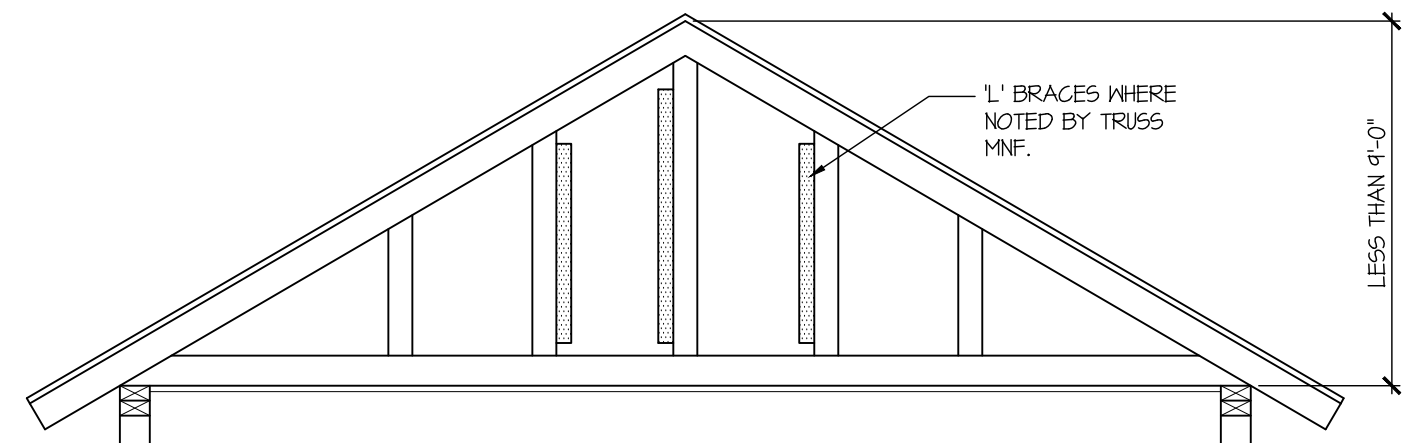
project mgr: **SMK**
drawn by: **RKS**
issue date: **05.17.2024**

REVISIONS:
date: 10/01/2024 initial: SMM
FRANKLIN REVISIONS

DAVIDSON HOMES

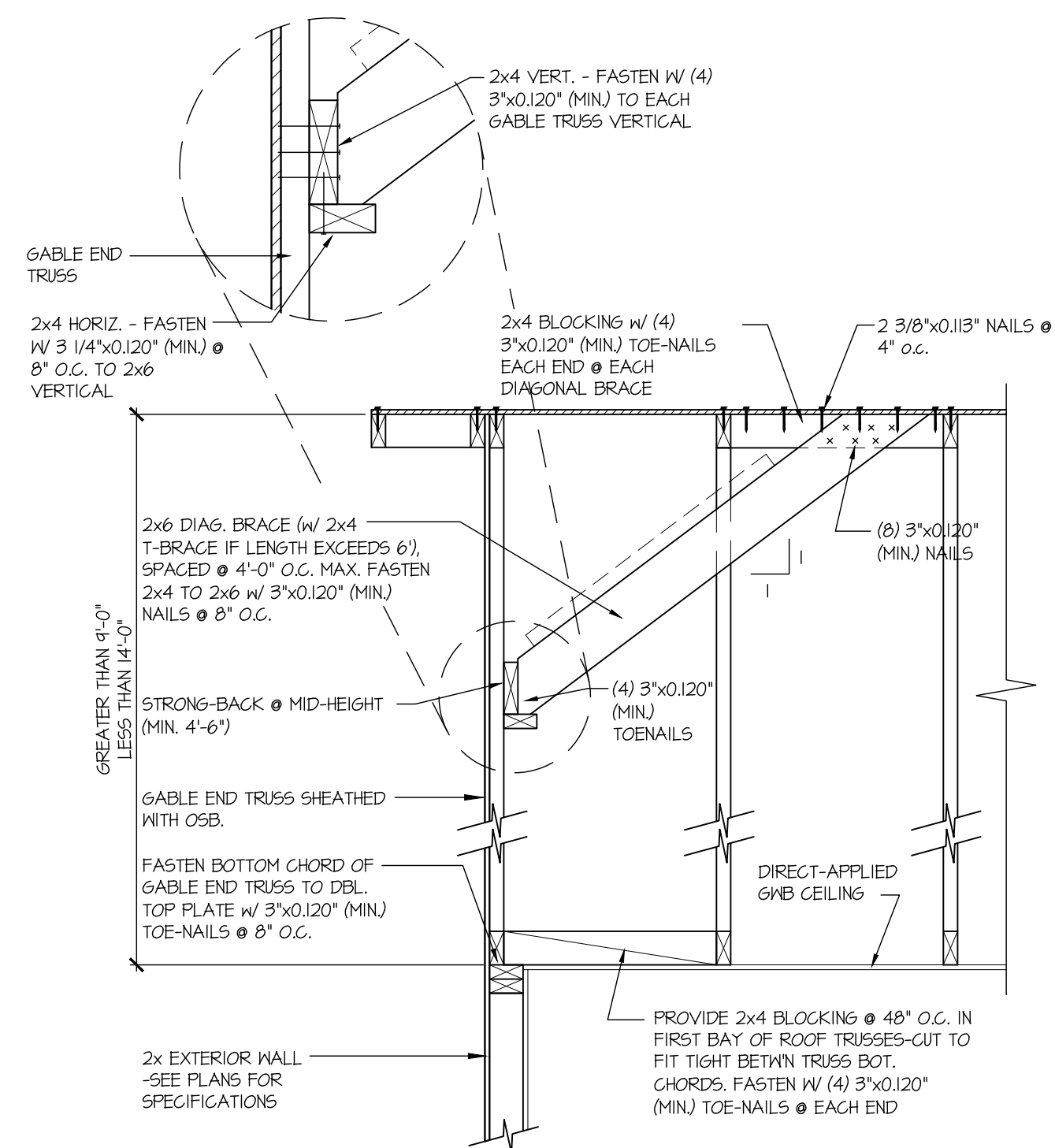
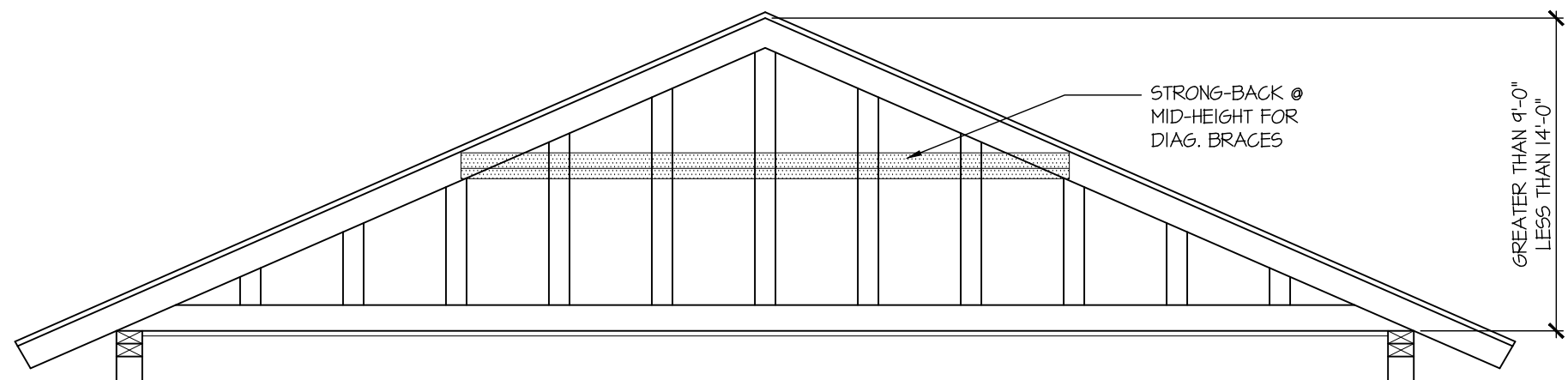
FOUNDATION DETAILS
CRAWFORD MODEL
RALEIGH, NC

sheet:
SD2.1



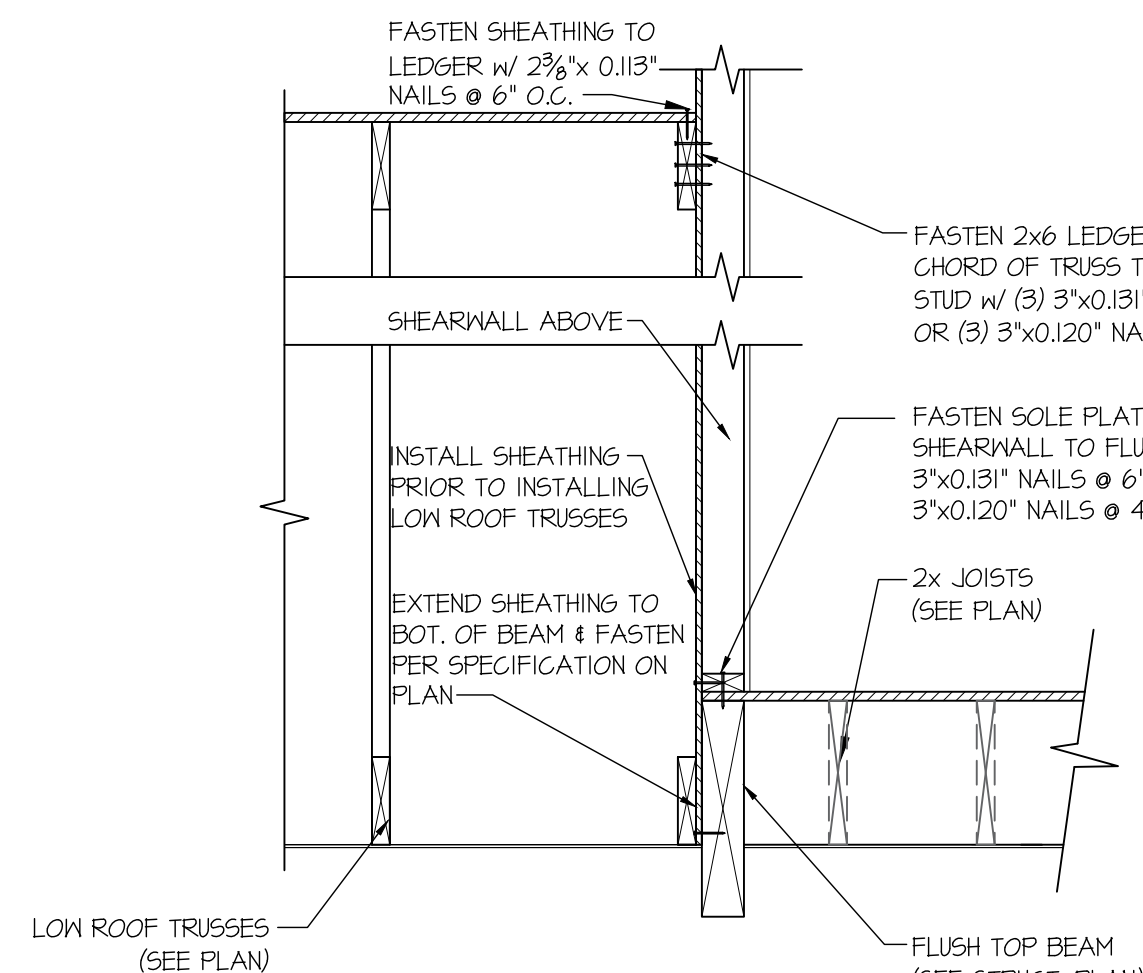
A TYPICAL GABLE END BRACING DETAIL
SCALE: NONE
REQ'D @ GABLE END TRUSS
HEIGHT UP TO 9'-0"

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE
HEIGHT IS LESS THAN 9'-0". 1" BRACES REQUIRED WHERE NOTED BY
TRUSS MANUFACTURER.



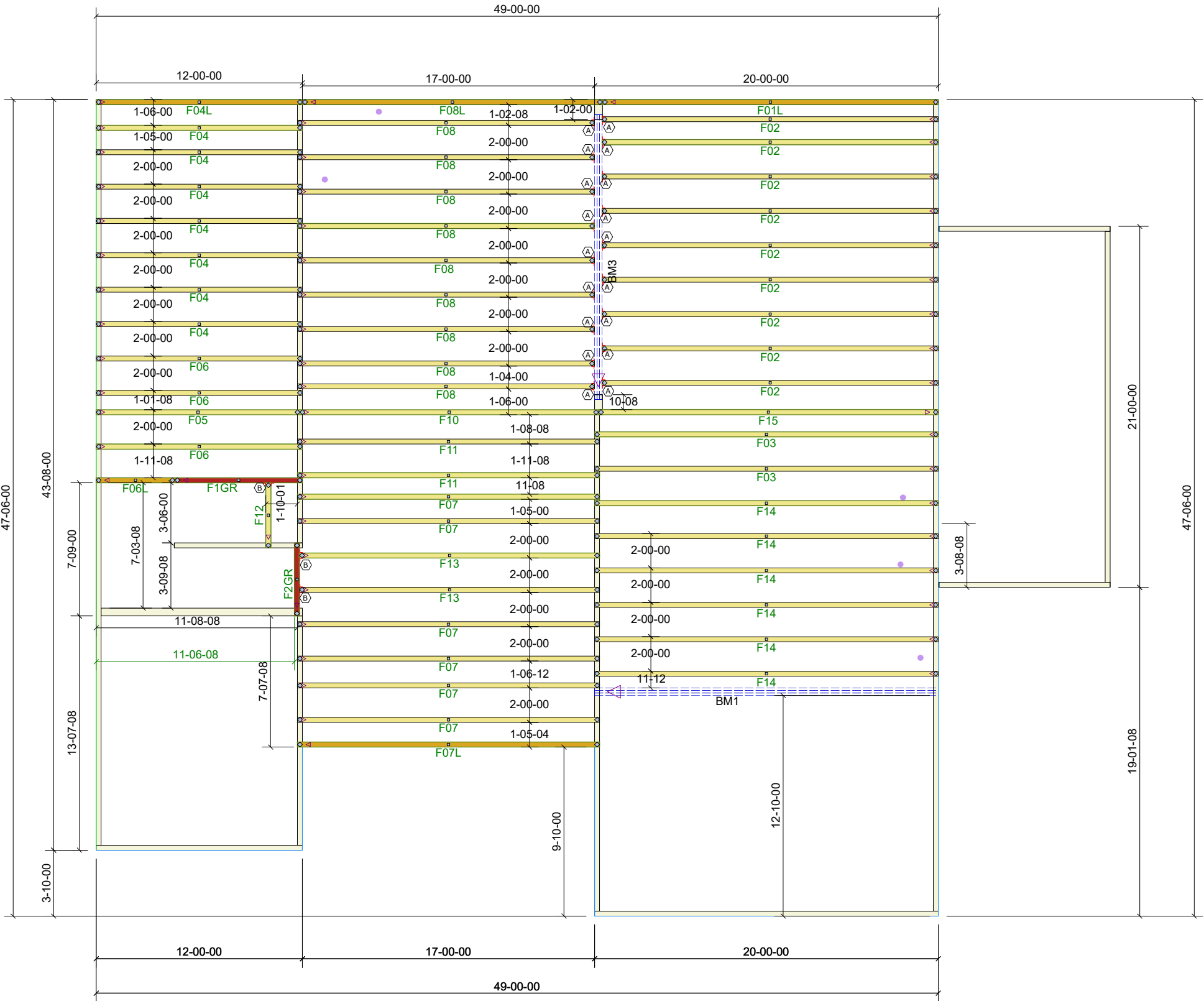
B TYPICAL GABLE END BRACING DETAIL
SCALE: NONE
REQ'D @ GABLE END TRUSS
HEIGHT BETWEEN 9'-0" TO 14'-0"

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE
HEIGHT EXCEEDS 9'-0". 1" BRACES NOT REQUIRED.



C SHEAR TRANSFER DETAIL @
EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"

HANGER LIST		
A	LUS410	18
B	THA422	3
C	-	-



Products					
PlotID	Length	Product	Plies	Net Qty	Fab Type
BM3	18-00-00	1-3/4" x 14" VERSA-LAM® LVL 2.1E 3100 SP	3	3	MFD
BM1	20-00-00	1-3/4" x 16" VERSA-LAM® LVL 2.1E 3100 SP	3	3	MFD

Tobacco Road Lot 79



84 Components
200 Emmett Rd
Dunn NC 28334
United States
Office: (910) 892-8400

Davidson Homes
79 Tobacco Road
CRAWFORD - A - FLOOR
Job# - P01770-24194

Location	2383-Dunn
Designer	Brenda Sierra

DO NOT CUT, NOTCH, OR BORE HOLES
UNLESS SPECIFIC, WRITTEN PERMISSION IS
PROVIDED BY AN AUTHORIZED REPRESENTATIVE OF
84 LUMBER.

TRUSS INSTALLATION REQUIRES TEMPORARY AND
PERMANENT BRACING. GENERAL GUIDANCE IS
PROVIDED IN SBCA DOC's
B-1 and B-3. THESE ARE INCLUDED WITH EACH JOB
IN YOUR TRUSS PACKET.

Sheet # 1 of 1

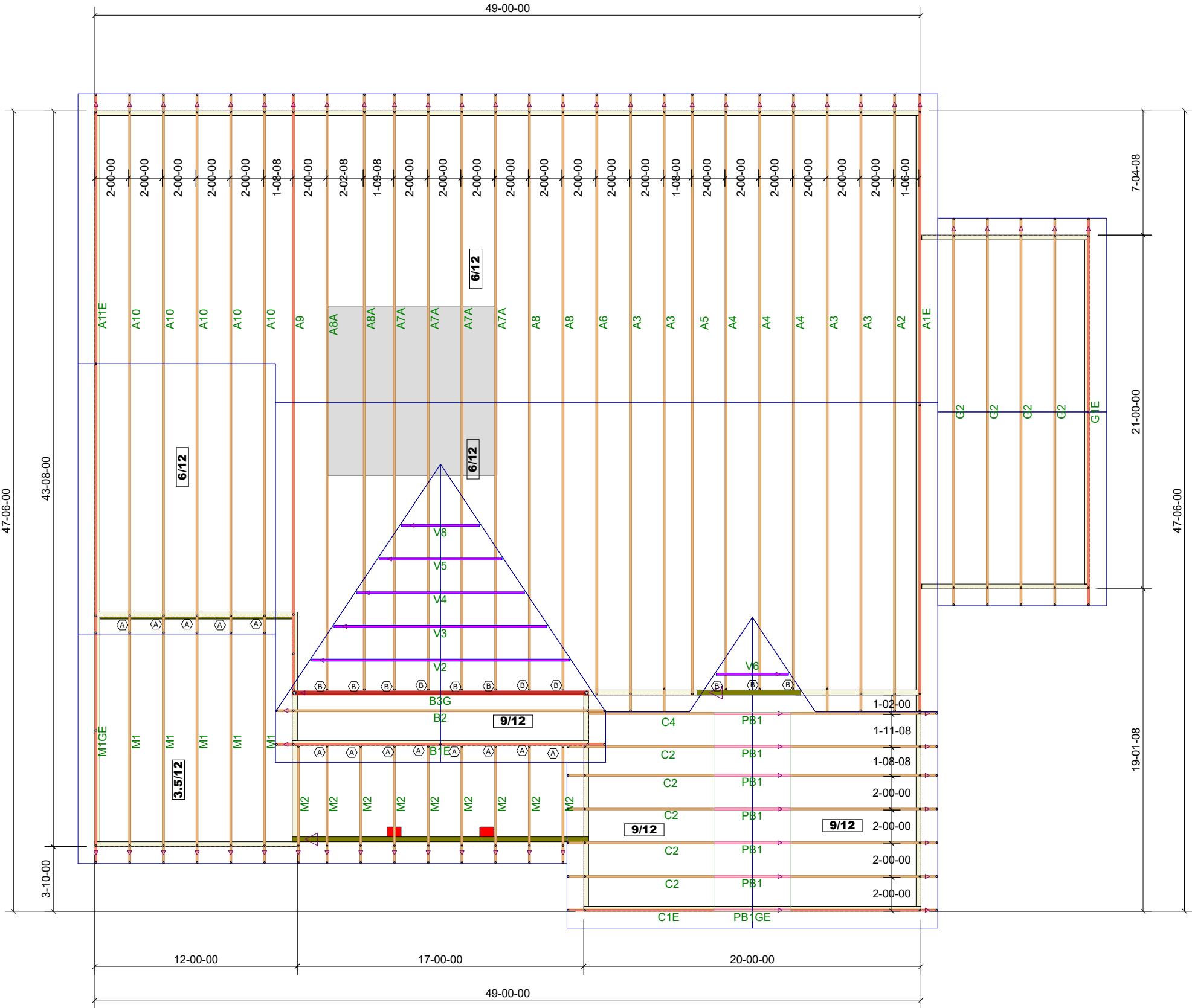
Floor Truss Placement Plan

NOT TO SCALE

DESIGNED DATE

4/8/2025

HANGER LIST		
A	LUS26	14
B	HUS26	11
C	-	-



Tobacco Road Lot 79



84 Components
200 Emmett Rd
Dunn NC 28334
United States
Office: (910) 892-8400

Davidson Homes
79 Tobacco Road
CRAWFORD - A - ROOF
Job# - P01770-24193

Location	2383-Dunn
Designer	Brenda Sierra

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B-1 and B-3. THESE ARE INCLUDED WITH EACH JOB
IN YOUR TRUSS PACKET.

Sheet # 1 of 1

Roof Truss Placement Plan

NOT TO SCALE

DESIGNED DATE

4/8/2025