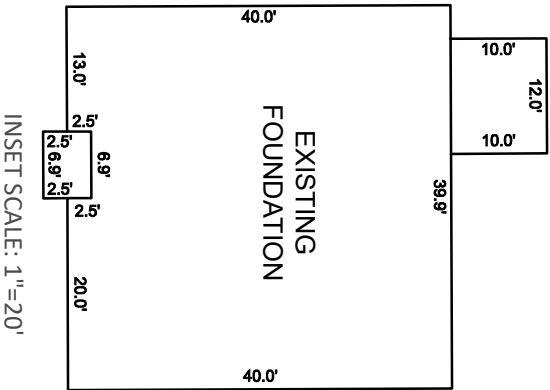


LOT INFORMATION:

PIN: 9574-11-1495,000
REFERENCE: DB, 4281, PGS. 1324
TOTAL LOT AREA = 0.459 AC = 20,000 SF
FOUNDATION = 1,736 SF
EXISTING IMPERVIOUS = 1,736 SF
PERCENT IMPERVIOUS = 8.68%
MAXIMUM LOT IMPERVIOUS = 5.683 SF

BUILDING SETBACKS
FRONT - 35'
SIDE - 10'
REAR - 25'
STREET SIDE - 20'



15

14

13

NOW OR FORMERLY
SAMANTHA LABBE
DB. 4130, PG. 103

OPEN SPACE A

S81°33'07"W 80.00'

NOW OR FORMERLY
SKYLER MASON RUSSELL
DB. 3864, PG. 813

25' PRIVATE
DRAINAGE
EASEMENT

25' REAR SETBACK

S8°26'53"E 250.00'

S8°26'53"E 250.00'

EXISTING
FOUNDATION

10' SIDE SETBACK

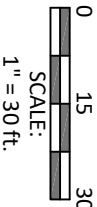
20.0'

20.0'

35' FRONT
SETBACK

21' PRIVATE
UTILITY &
LANDSCAPE
EASEMENT

10. BUILDER/DEVELOPER: SMITH DOUGLAS HOMES
3412 APEX PEAKWAY
APEX, NC 27502



15

14

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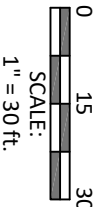
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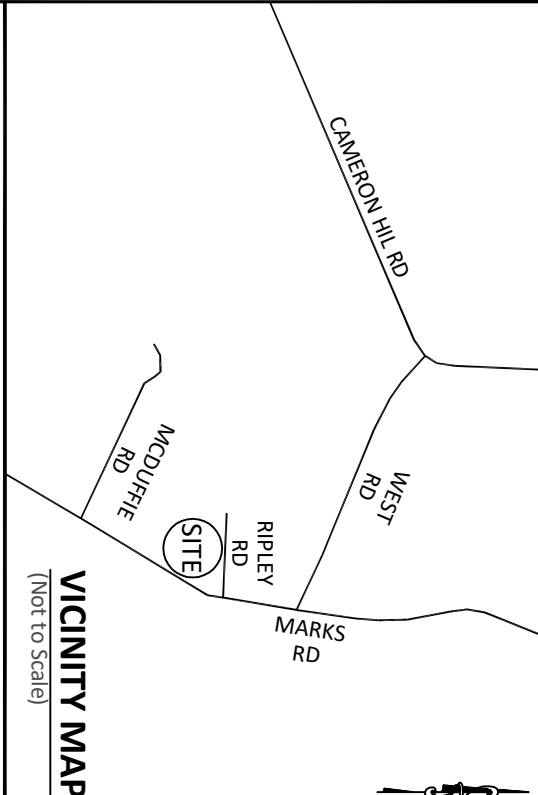


Bateman Civil Survey Company

Engineers • Surveyors • Planners

2524 Reliance Avenue, Apex, NC 27539 Ph: 919.577.1080 Fax: 919.577.1081
www.batemancivilsurvey.com info@batemancivilsurvey.com
NCBELS Firm No. C-2378

VICINITY MAP
(Not to Scale)



LEGEND

- PO = FRONT COVERED PORCH
SP = SCREENED PORCH/PATIO
CP = COVERED PORCH/PATIO
WD = WOOD DECK
SW = SIDEWALK
DW = CONC DRIVEWAY
S = STOOP
X = COMPUTED POINT
X = MAG NAIL FOUND (IPF)
● = IRON PIPE SET (IPS)
● = DRILL HOLE FOUND
WMD = WATER METER
CO = CLEAN OUT
AC = AIR CONDITIONER PAD
● = SEWER MANHOLE
EB = ELECTRIC BOX
● = CABLE BOX
□ = TELEPHONE PEDESTAL
CB = CATCH BASIN/CURB INLET
IC = IRRIGATION CONTROLLER
⊗ = LIGHT POLE
⊙ = UTILITY POLE
⚡ = FIRE HYDRANT
DI = DRAIN INLET
WV = WATER VALVE
X = STREET SIGN
YI = YARD INLET
G = GAS METER
E = ELECTRIC METER
- I, STEVEN P. CARSON, CERTIFY THAT THIS PLAT WAS
DRAWN UNDER MY DIRECT SUPERVISION FROM A
SURVEY MADE UNDER MY SUPERVISION (PLAT BOOK
REFERENCED IN TITLE BLOCK); THAT THE
BOUNDARIES NOT SURVEYED ARE CLEARLY
INDICATED AS DRAWN FROM INFORMATION LISTED
UNDER REFERENCES; THAT THE RATIO OF PRECISION
AS CALCULATED IS 1:10,000; AND THAT THIS MAP
MEETS THE REQUIREMENTS OF THE STANDARD OF
PRACTICE FOR LAND SURVEYING IN NORTH
CAROLINA, L-4752,
DATED 5/14/25
- SEAL
L-4752
5/14/25
STEVEN P. CARSON
PROFESSIONAL SURVEYOR
- This map is of an existing parcel of land
and is only intended for the parties and
purposes shown. This map not for
recordation. No title report provided.

FOUNDATION SURVEY
FOR
SMITH DOUGLAS HOMES

CEDAR POINTE - LOT 14
274 DEODORA LANE, CAMERON, NC
JOHNSONVILLE TOWNSHIP, HARNETT COUNTY

DATE: 5/14/25 DRAWN BY: AHB CHECKED BY: SPC

REFERENCE: BK. 2024, PGS. 275-276

BCS# 240381

SCALE: 1" = 30'