

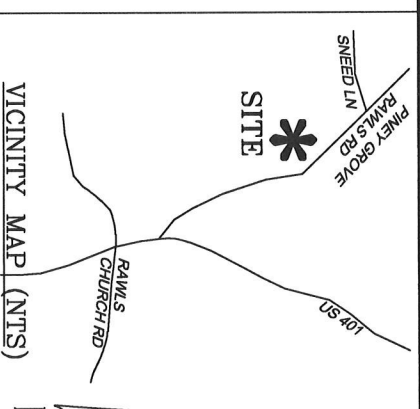
☐ MATHEMATICAL POINT
SUBDIVISION
CONTROL CORNER



GRAPHIC SCALE

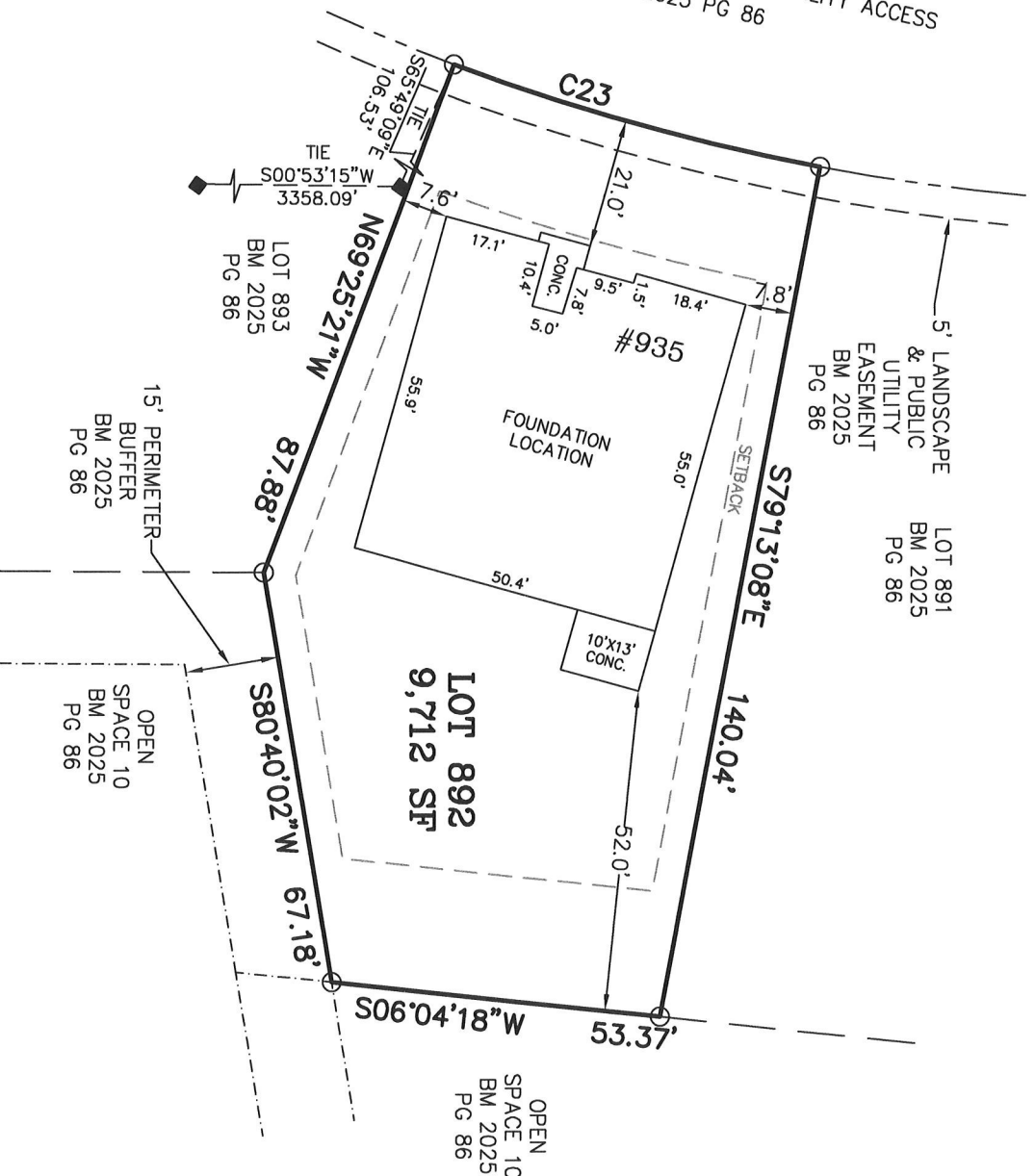
1"=30'

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD
C23	61.65'	360.00'	N15°41'12"E	61.57'



SERENITY WALK PARKWAY
60' PUBLIC RIGHT OF WAY & UTILITY
BM 2025

60' PUBLIC RIGHT OF WAY & UTILITY ACCESS
BM 2025 PG 86



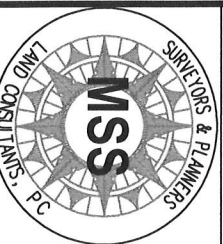
–REFERENCE HARNETT CO. BM 2025, PG 83-86 FOR
BOUNDARY INFORMATION, NORTH INDEX & TIE LINES TO
SUBDIVISION CONTROL CORNERS.
–ZONED: RA-30, RA-40, & CONSERVATION.
SETBACKS, PER BM 2025 PG 83:

43' LOT WIDTH:
FRONT YARD-20', SIDE YARD-4' & 4' OR 0' & 8',
REAR YARD-20', CORNER YARD-12'.
>43' LOT WIDTH:
FRONT YARD-20', SIDE YARD-5', REAR YARD-20',
CORNER YARD-12'.
-PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD
HAZARD AREA AS SCALED FROM THE NFIP FIRM NO.
3720065500L (EFFECTIVE DATE: JULY 19, 2022).

FOUNDATION LOCATION
LOT 892

SERENITY SUBDIVISION, PHASE 3A
HECTOR'S CREEK TOWNSHIP, HARNETT COUNTY, NC

DAVID WEEKLEY HOMES
CONVEYED FOR
1901 N. HARRISON AVENUE, SUITE 200
CARY, NC 27513



MSS LAND CONSULTANTS, PC

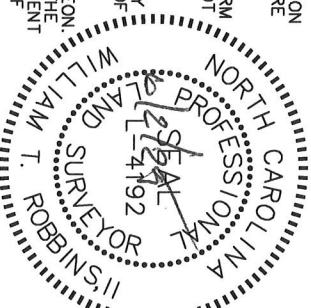
"Committed to Total Quality Service"

EST. 1998

6118 St. Giles St
(Suite E)
Raleigh, NC 27612
Phone (919) 510-4464
Fax (919) 510-9102
Email: hayes@mmsland.com

DATE: 05/21/2025	SCALE: 1"=30'	DRAWN:BP	CHECK:	FILE: DWH-22-02
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I HEREBY CERTIFY THAT THIS FOUNDATION IS CORRECT AS SHOWN AND THAT THERE ARE NO ENCROACHMENTS UNLESS OTHERWISE SHOWN. THIS IS NOT A SURVEY. THIS PLAT DOES NOT CONFORM TO GS-47-30 AS AMENDED AND IS NOT FOR RECDICATION. THE DIMENSIONS SHOWN HEREON FROM THE PROPERTY LINES TO THE FOUNDATION ARE NOT INTENDED TO MONUMENT THE PROPERTY LINES OR TO GUIDE IN THE ERECTION OF FENCES OR ANY OTHER IMPROVEMENT. THIS SURVEY WAS PREPARED FOR THE PARTIES AND PURPOSE INDICATED HEREON ANY EXTENSION OF THE USE BEYOND THE PURPOSE AGREED TO BETWEEN THE CLIENT AND SURVEYOR EXCEEDS THE SCOPE OF ENGAGEMENT.



WILLIAM T. ROBBINS, II, PLS L-4192