

[illegible]

ACCESS AFF	ACCESS TO ATTIC OR CRAWL SPACE ABOVE FLOOR	DH EQ	DISH WASHER EQUAL	PCKT PERF	POCKET DOOR PERFORATED	T.G. TOM	TOP CHORD TOP OF WALL
BD	BOARD	FDN	FOUNDATION	PL	PLATE	TRANS	TRANSOM
BDRM	BEDROOM	FV	FOUNDATION VENT	PT	PRESSURE TREATED FOR EXPOSURE	TYP	TYPICAL
BM	BEAM	GL	GLASS (DOOR)	PL	POINT LOAD (SOLID BLOCK)		
CAB	CABINETS / CABINETY	HB	HOSE BIB	R+S	ROD + SHELF (CLOSETS)	UON	UNLESS OTHERWISE NOTED
C-J	CONTROL JOINT	HDR	DOOR / WINDOW / OPENING HEADER	REF	REFRIGERATOR		
CL	CENTERLINE	HVAC	HEATING, VENTING & AIR CONDITION	REINF	REINFORCEMENT	V.B.	VAPOR BARRIER
CMU	CONCRETE MASONRY UNIT			RM	ROOM	VAN	VANITY
CO	CLEAR OPENING	KWALL	KNEEWALL				
COL	COLUMN	LVL	LAMINATED VENEER LUMBER	SEG-M	SEGMENTED	W	WIDE
CONG	CONCRETE			SHWR	SHOWER	W/	WITH
CSMT	CASEMENT	MANF	MANUFACTURED	SHLY(S)	SHELVE(S)		
DBL	DOUBLE	MAS	MASONRY	SPEC(D)	SPECIFICATION / SPECIFIED		
DIAM	DIAMETER	NIC	NOT IN CONTRACT	SQ	SQUARE	#SP	NUMBER OF STUD POCKETS @ WINDOW/DOOR JAMB
DH/H	DOUBLE HUNG / SINGLE HUNG WINDOW	OC	ON CENTER	SST	SIMPSON STRONG-TIE OR EQUAL		
DN	DOWN	OH	OVERHANG	SUBFLR	SUB-FLOOR		
DP	DEEP	OPNG	OPENING	SYF	SOUTHERN YELLOW PINE		

PROJECT INFO

NAME OF PROJECT: CC 2645 - RIVERMIST

PROJECT ADDRESS: TBD

PROPOSED USE: RESIDENTIAL

CONTACT: CAVINESS & GATES

CODE COMPLIANCE: 2018 NC STATE RESIDENTIAL BUILDING CODE

PROJECT COORDINATOR: TBD

DESIGNER: TODD TUCKER, AIBD, CPBD

BUILDING DESCRIPTION

FIRST FLOOR, HEATED:	1510 SF	3rd GAR GARAGE:	266 SF
SECOND FLOOR, HEATED:	1185 SF	GOLF CART GARAGE:	108 SF
TOTAL, HEATED:	2695 SF	GARAGE WORK AREA:	46 SF
FRONT PORCH:	100 SF	12x10 COVERED PORCH:	120 SF
FRONT PORCH w/ EXTENSION:	178 SF	12x12 COVERED PORCH:	144 SF
GARAGE:	501 SF	12x14 COVERED PORCH:	168 SF
BUILDING HEIGHT:	+/- 30'-11"		
NUMBER OF FLOOR:	2 STORIES		

DESIGN LOADS

ROOF LOADS:	20 PSF LIVE, 10 PSF DEAD
ATTIC LOADS:	20 PSF LIVE (SEE TRUSS DWG6S FOR CAROLINA-6), 10 PSF DEAD
FIRST FLOOR:	40 PSF LIVE, 10 PSF DEAD
UPPER FLOOR:	20 PSF LIVE, 15 PSF DEAD
WIND LOAD:	FOR ASCE 7-10 TBD

*** ALL GARAGE PORTAL WALLS TO BE FRAMED WITH 2x6 STUDS

FOUNDATION VENT CALCULATIONS R408	
CRAWL SPACE AREA: <u>1510</u> SF	
1 SQUARE FOOT OF VENT PER 1500 SF OF FOUNDATION AREA*	
INSTALL VENT WITH MINIMUM OF 60 SQUARE INCHES NET FREE AREA	
<u>1510 / 1500 = 1.1</u> TOTAL SQUARE FEET OR MINIMUM <u>3</u> VENTS (MAY REQUIRE MORE VENTS TO COMPLY WITH VENTS @ EACH CORNER OF THE BUILDING)	
* CALCS BASED ON USING A VAPOR RETARDER & INSTALLING A VENT WITHIN 36" OF EA CORNER	

SECTION SHEET		SECTION MARK		SLOPE UP PITCH
SECTION SHEET		DETAIL MARK		EARTH
	TITLE MARK		INSULATION	
	INTERIOR BEARING WALL		STANDARD WALL	

ATTIC AREA: 2011 SF
 RIDGE VENTS*: 50 L.F. / 1.25 S.F. (56%)
 SOFFIT VENT*: 84 L.F. / 5.75 S.F. (44%)
 RATIO: $\frac{13}{2011} = \frac{1}{155}$

<u>ATTIC VENT CALCULATIONS R206</u> ATTIC AREA: 2011 SF RIDGE VENTS*: 50 L.F. / 1.25 S.F. (56%) SOFFIT VENT*: 84 L.F. / 5.15 S.F. (44%) RATIO: $\frac{13}{2011} = \frac{1}{155}$ * CALCS BASED ON VENT FREE AREA OF 10 S.I. FOR RIDGE & 4 S.I. FOR SOFFIT	CONTINUOUS RIDGE VENT, TYP	<u>ENERGY COMPLIANCE</u> CLIMATE ZONE: 3A OR 4A COUNTY <u>CHAPTER II ENERGY EFFICIENCY COMPLIANCE (CHECK ONE)</u> ☒ PRESCRIPTIVE CODE ☐ PERFORMANCE CEILING INSULATION: R20 WALL INSULATION: R15 for 2nd / R14 for 2nd FLOOR INSULATION: R14 FOR CRAWL SPACE / R10 FOR SLAB
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CLIMATE ZONE: 3A OR 4A COUNTY

CHAPTER II ENERGY EFFICIENCY COMPLIANCE (CHECK ONE)

☒ PRESCRIPTIVE CODE

☐ PERFORMANCE

CEILING INSULATION: R38

WALL INSULATION: R15 for 2x4 / R19 for 2x6

FLOOR INSULATION: R19 FOR CRAWL SPACE / R10 FOR SLAB

— ROOF SHINGLES

6:12

127

4:12

— HORIZONTAL SIDING

— 8th BAND BOARD

✓ METAL ROOF OPTION

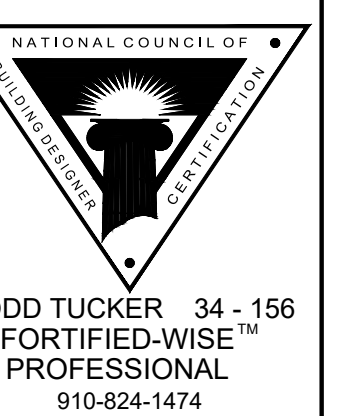
6 OVER 6 GRILLE WINDOW
W/ PANEL SHUTTERS

6" SQUARE COLUMN

1 FRONT ELEVATION "A"
1/2" = 1'-0"

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CC 2695 - REVIEWIST

NOV 19 1964

CC 2695

DATE: JANUARY 2019

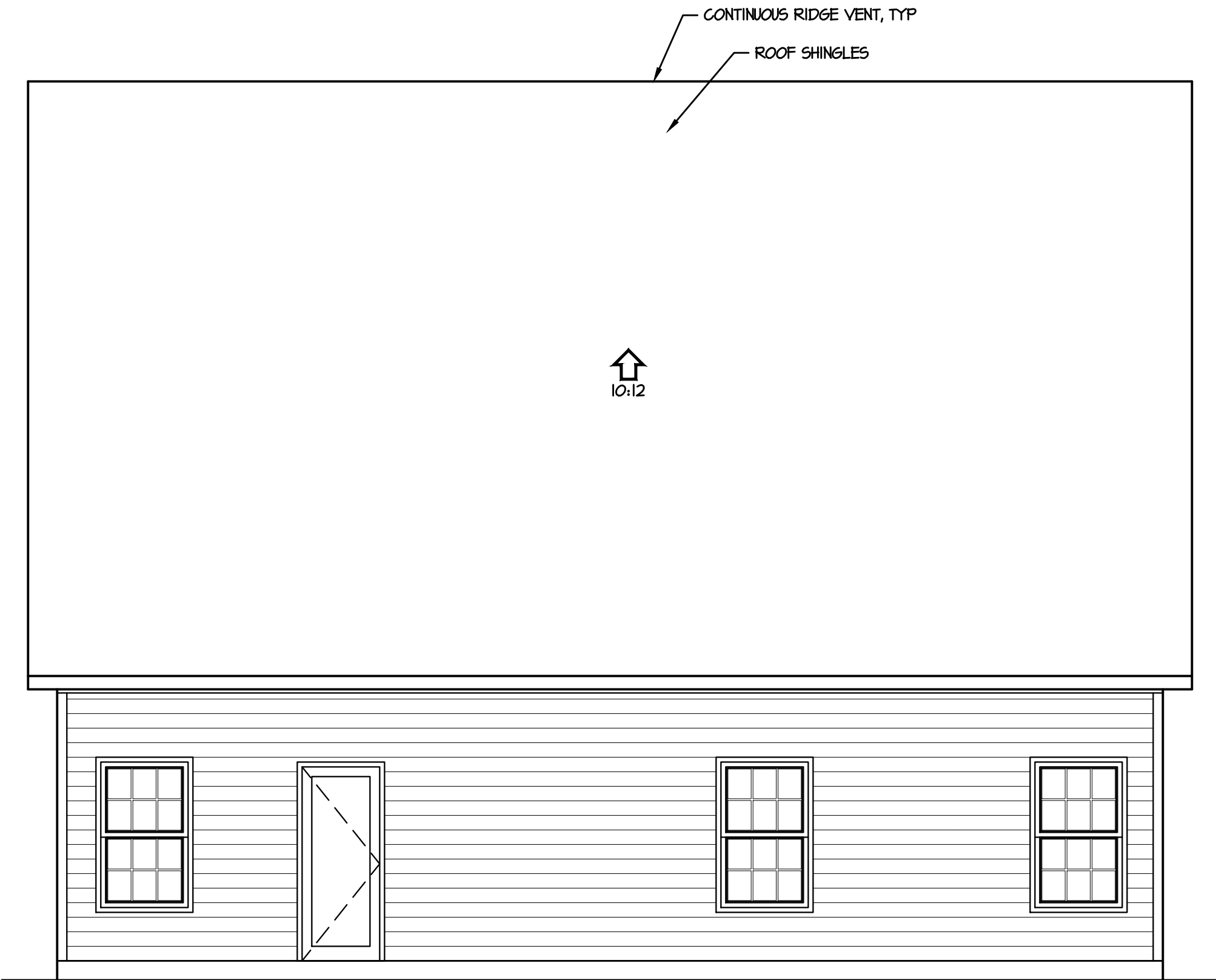
VISIONS:

HEET NO:

1

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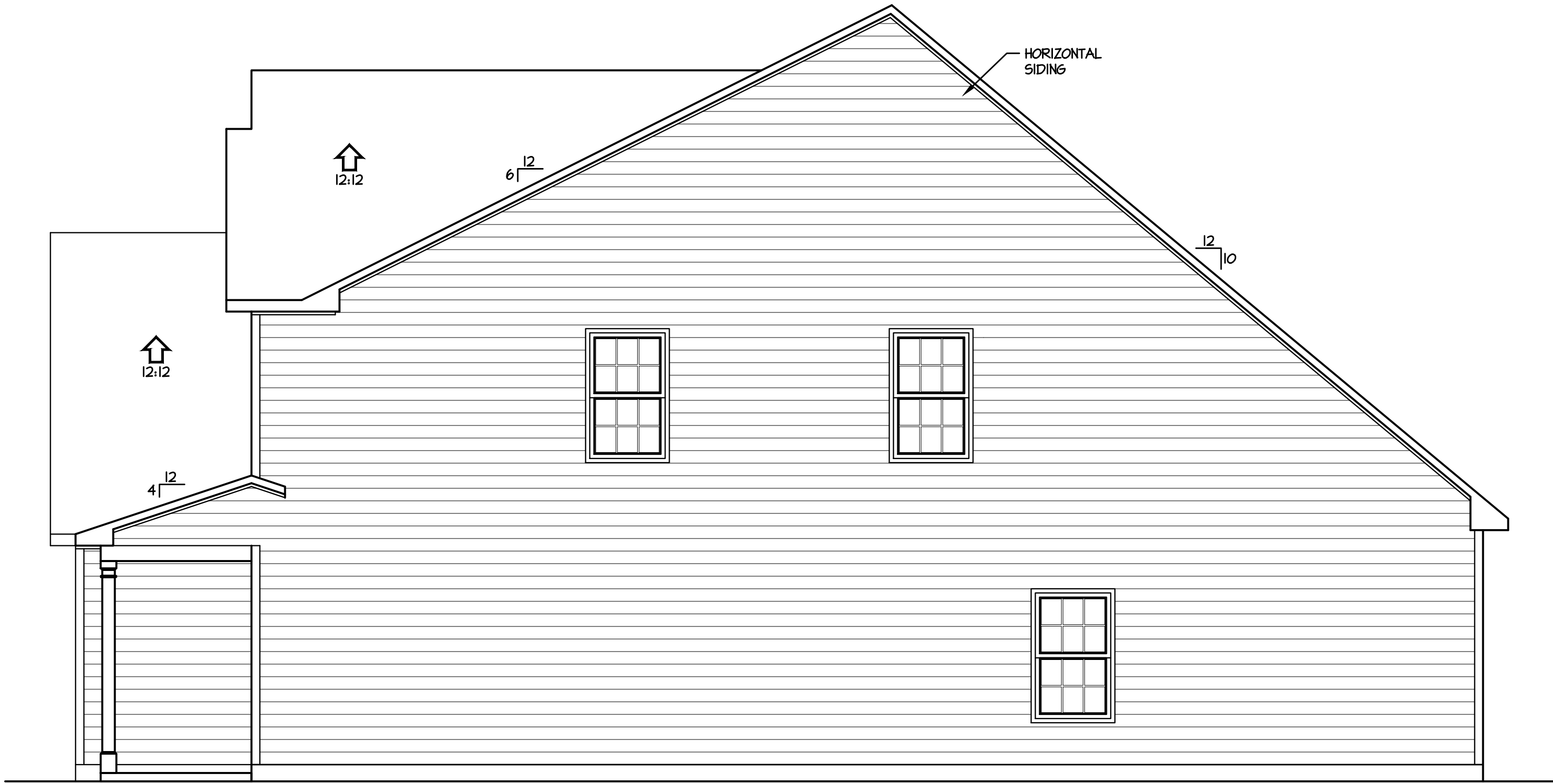
FIELD NOTES



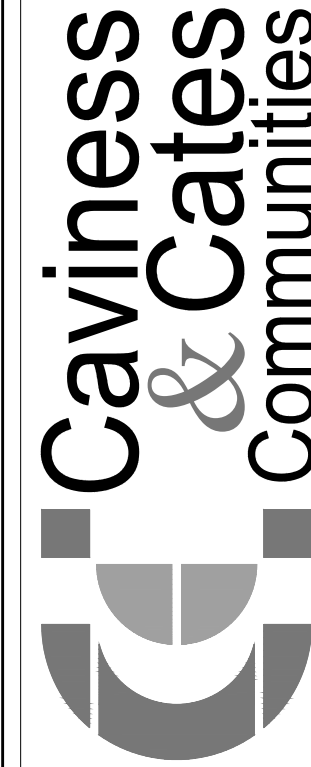
2 REAR ELEVATION
1/4" = 1'-0"



1 LEFT ELEVATION
1/4" = 1'-0"



3 RIGHT ELEVATION
1/4" = 1'-0"



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TODD TUCKER 34 - 156
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PROFESSIONAL
910-824-1474

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CC 2695 - RIVERMIST

PLAN NO:
CC 2695

DATE:
JANUARY 2019

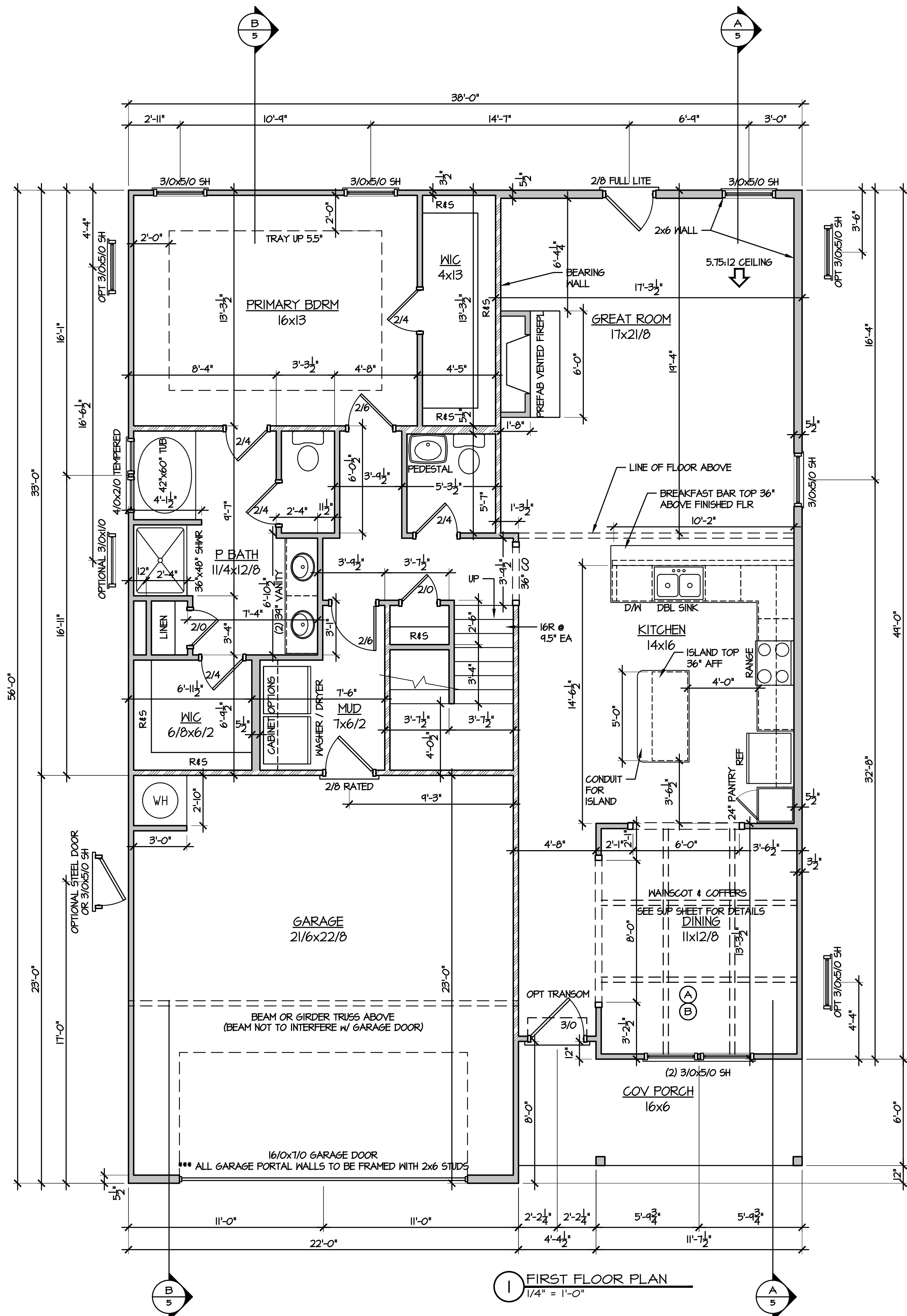
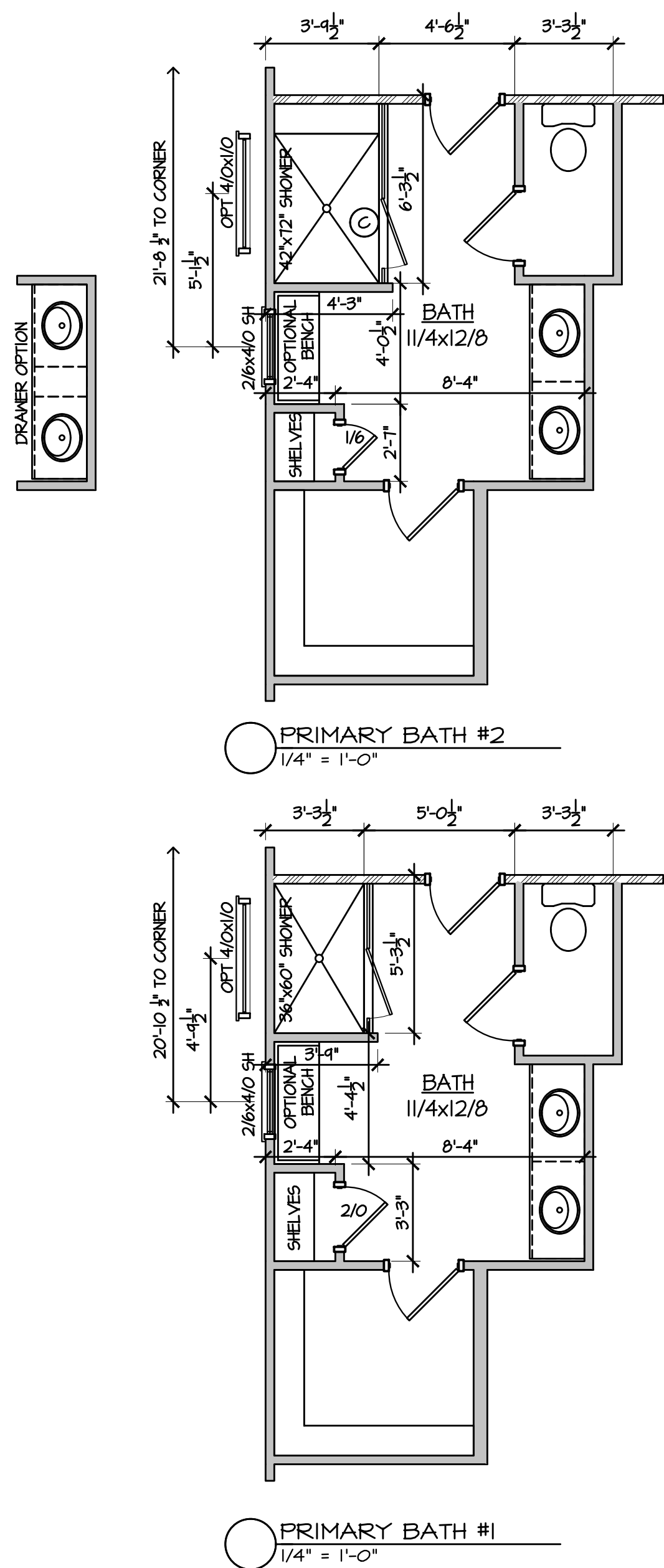
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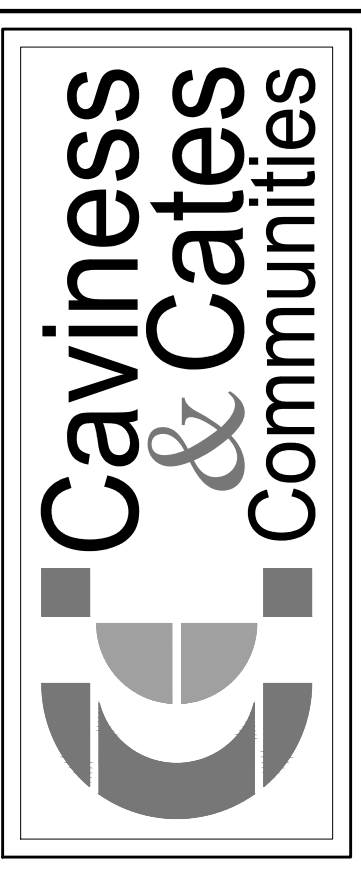
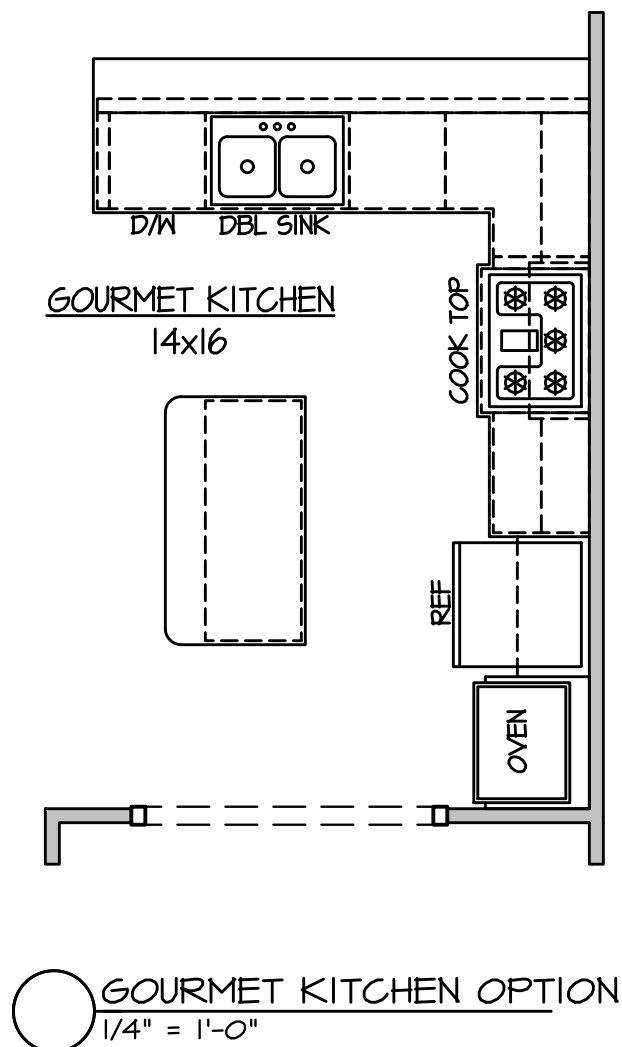
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ELEVATIONS

FIELD NOTES

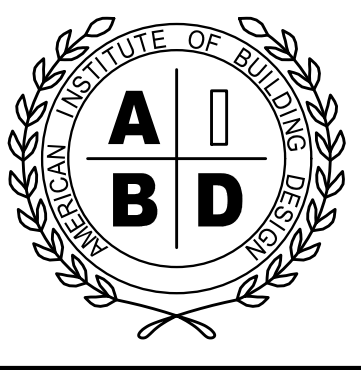


PLAN NOTES:
SEE SHEET 6 FOR ALL INTERIOR DETAILS



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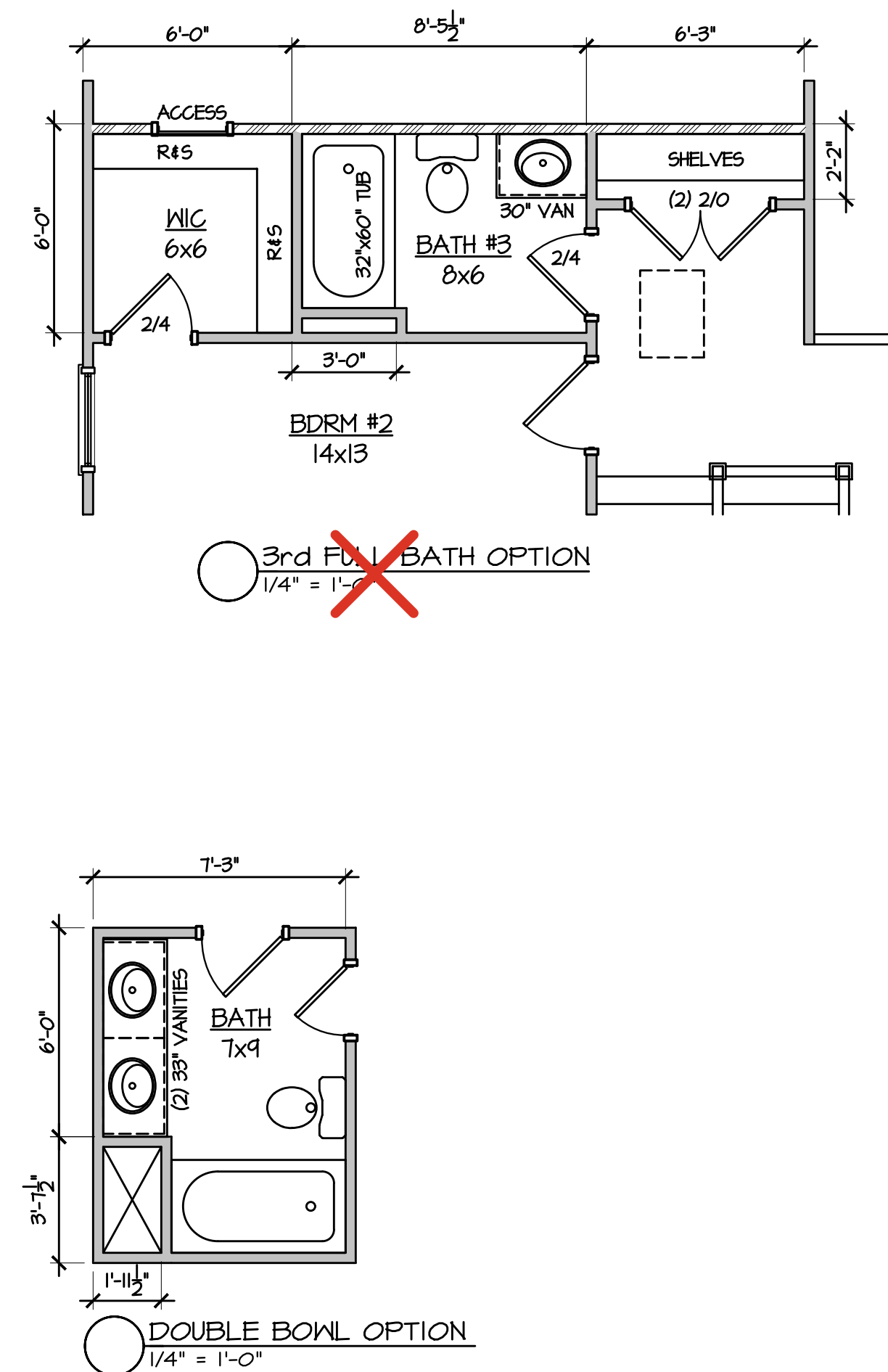
SHEET TITLE:
FIRST FLOOR PLAN

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CC 2695

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JANUARY 2019

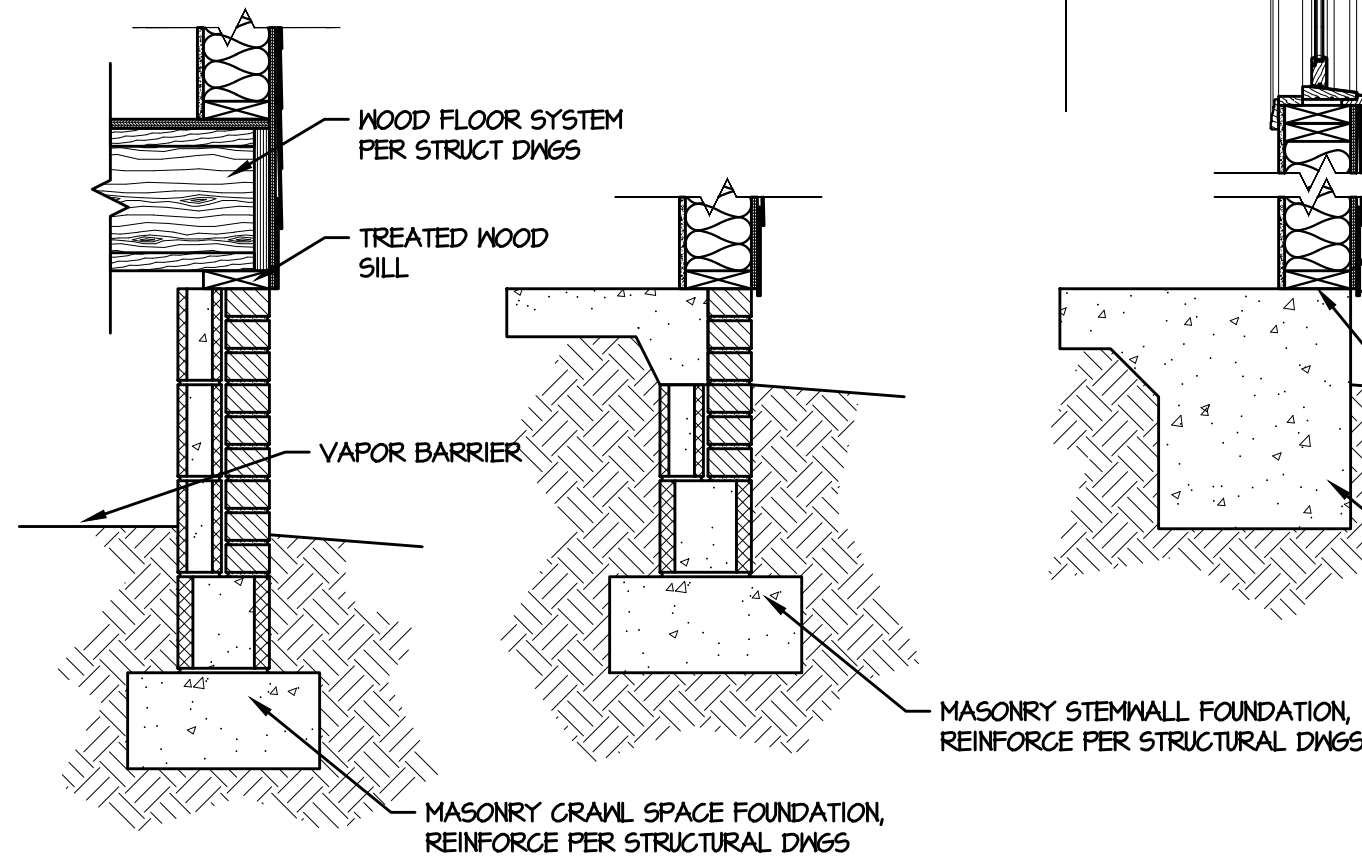
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3

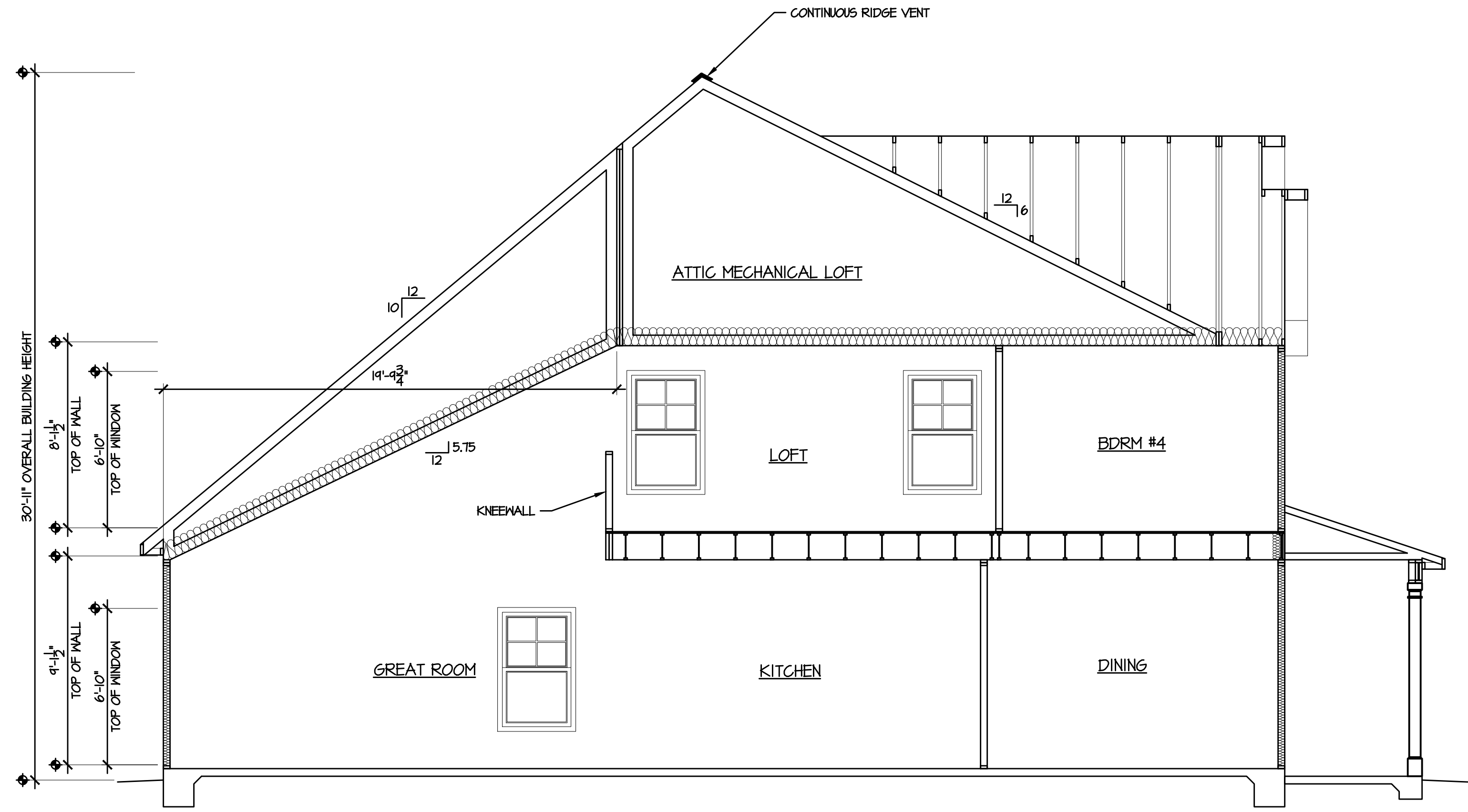
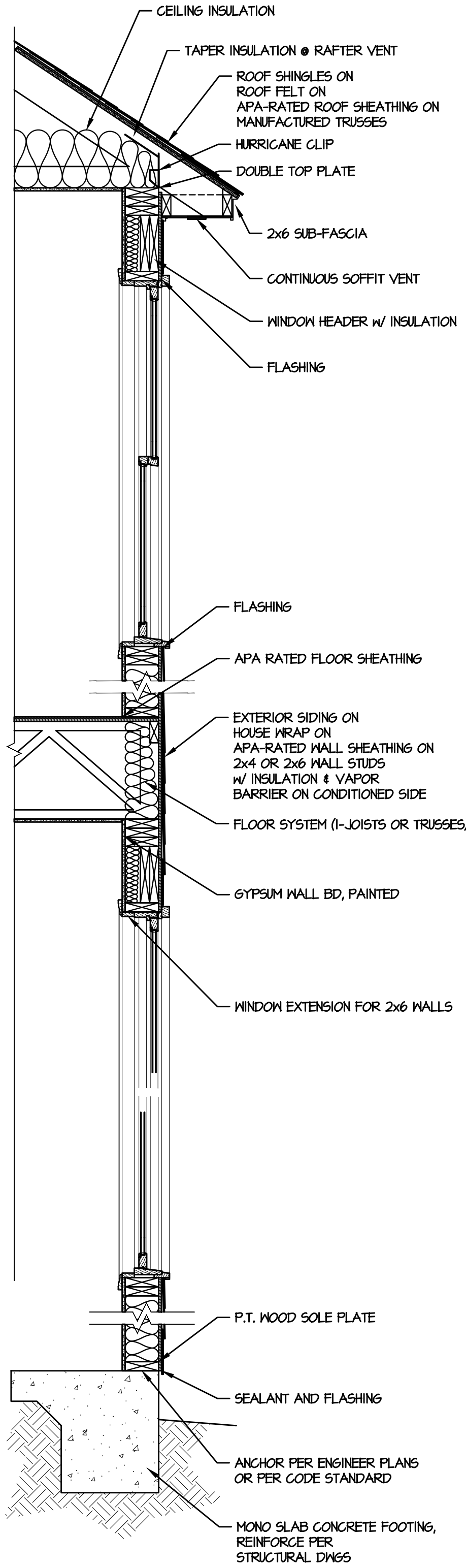


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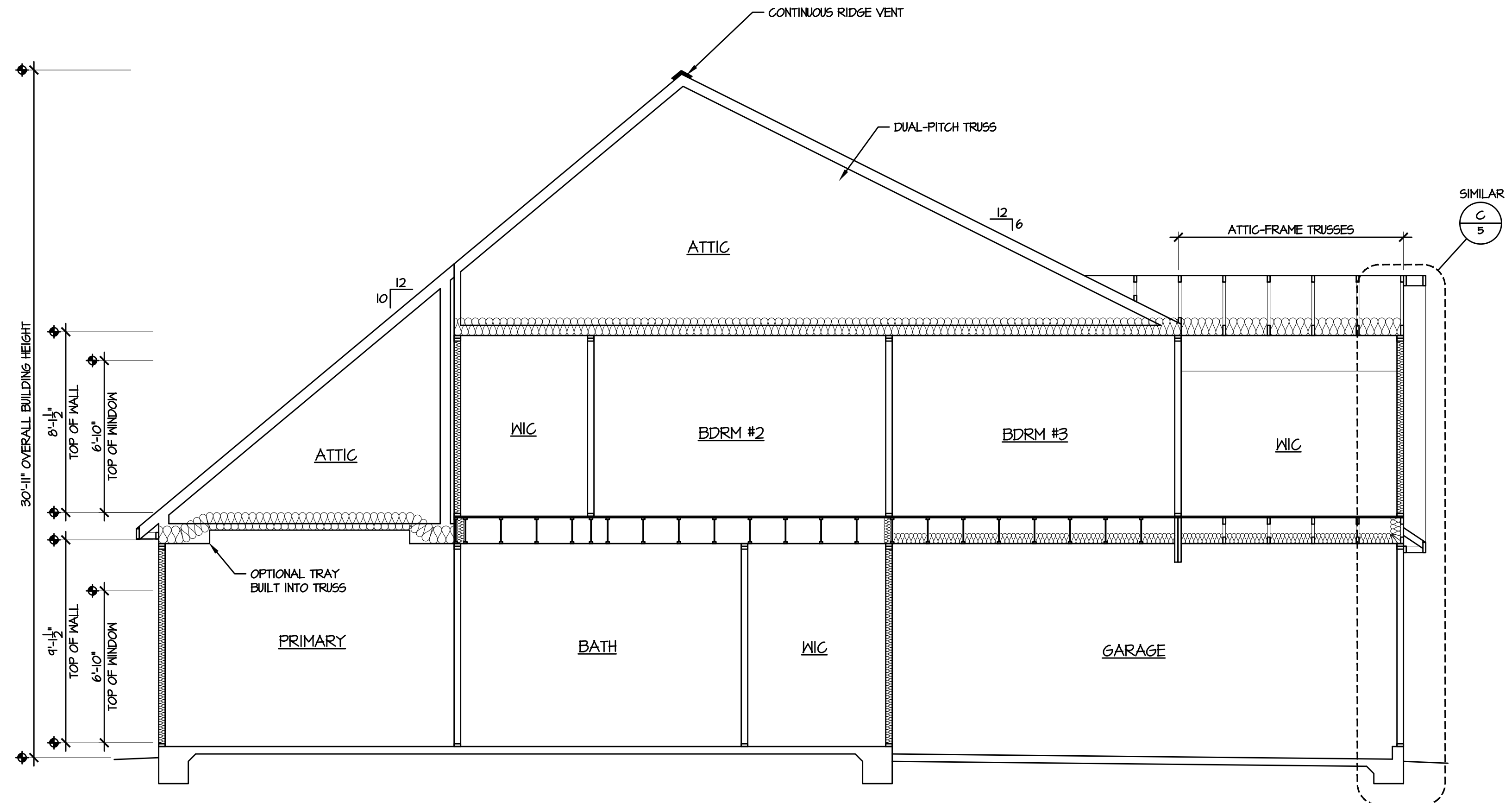
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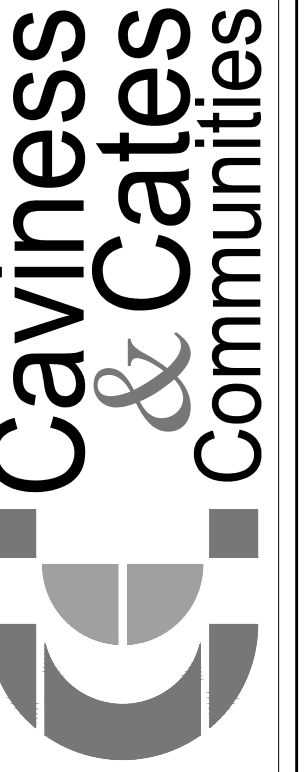
C TYPICAL WALL SECTION
3/4" = 1'-0" TWO STORY



A BUILDING SECTION
1/4" = 1'-0"

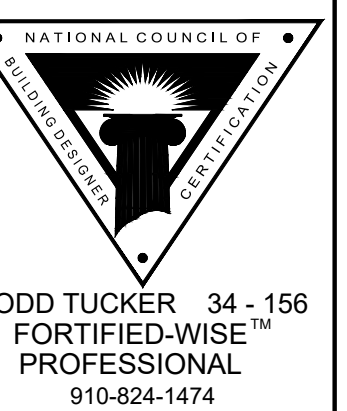
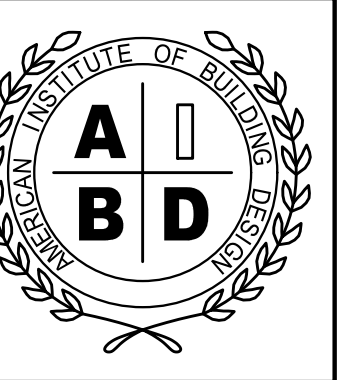


B BUILDING SECTION
1/4" = 1'-0"



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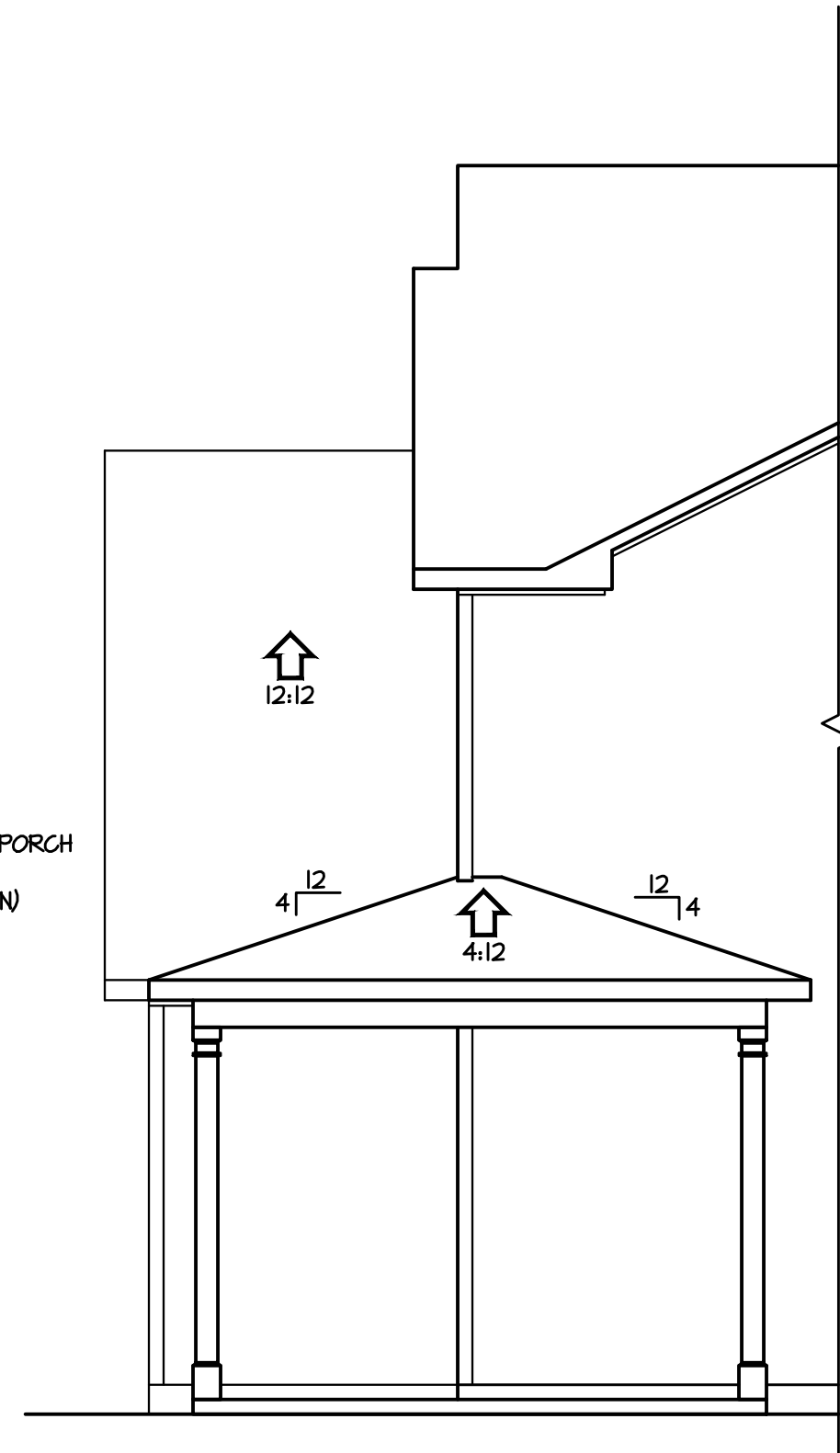
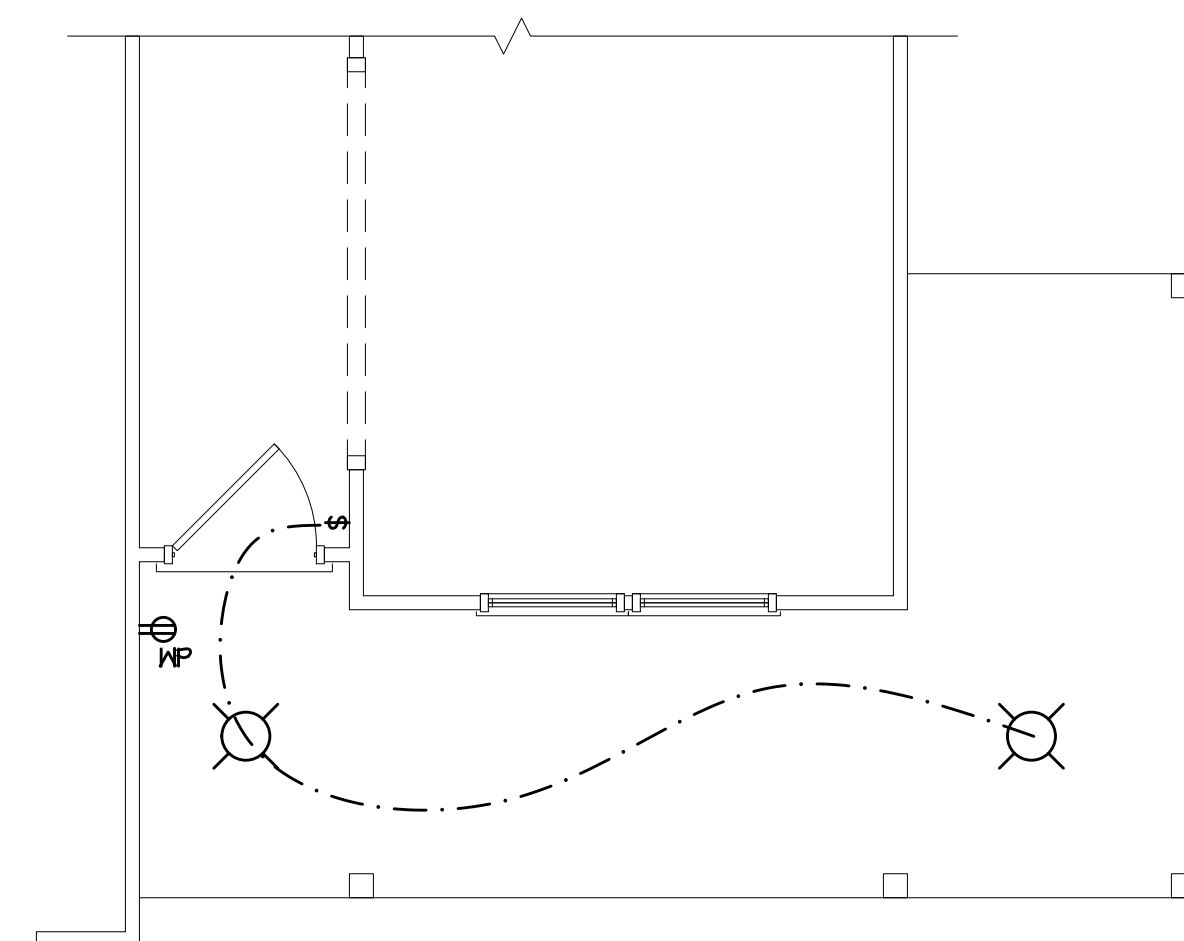
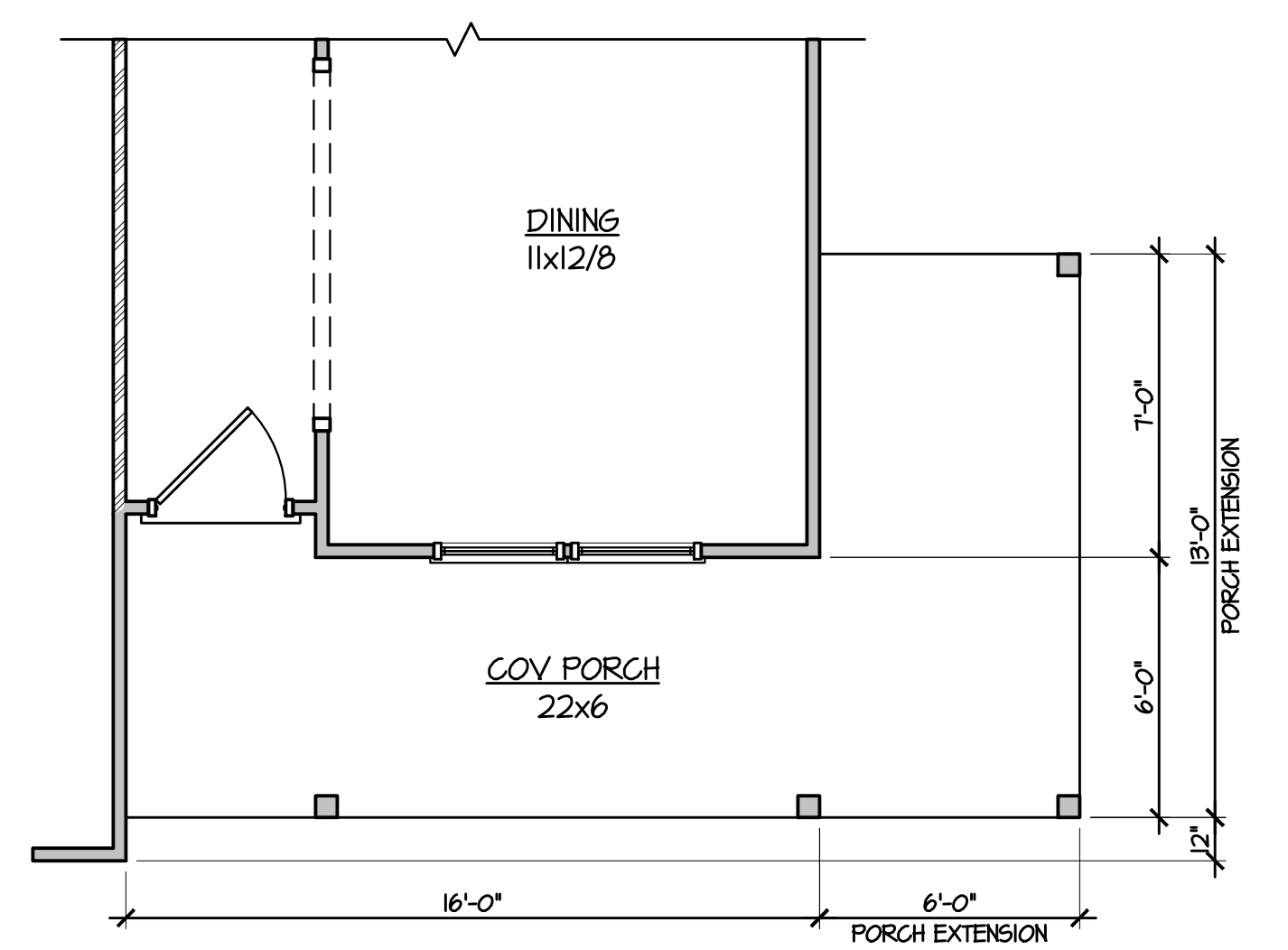
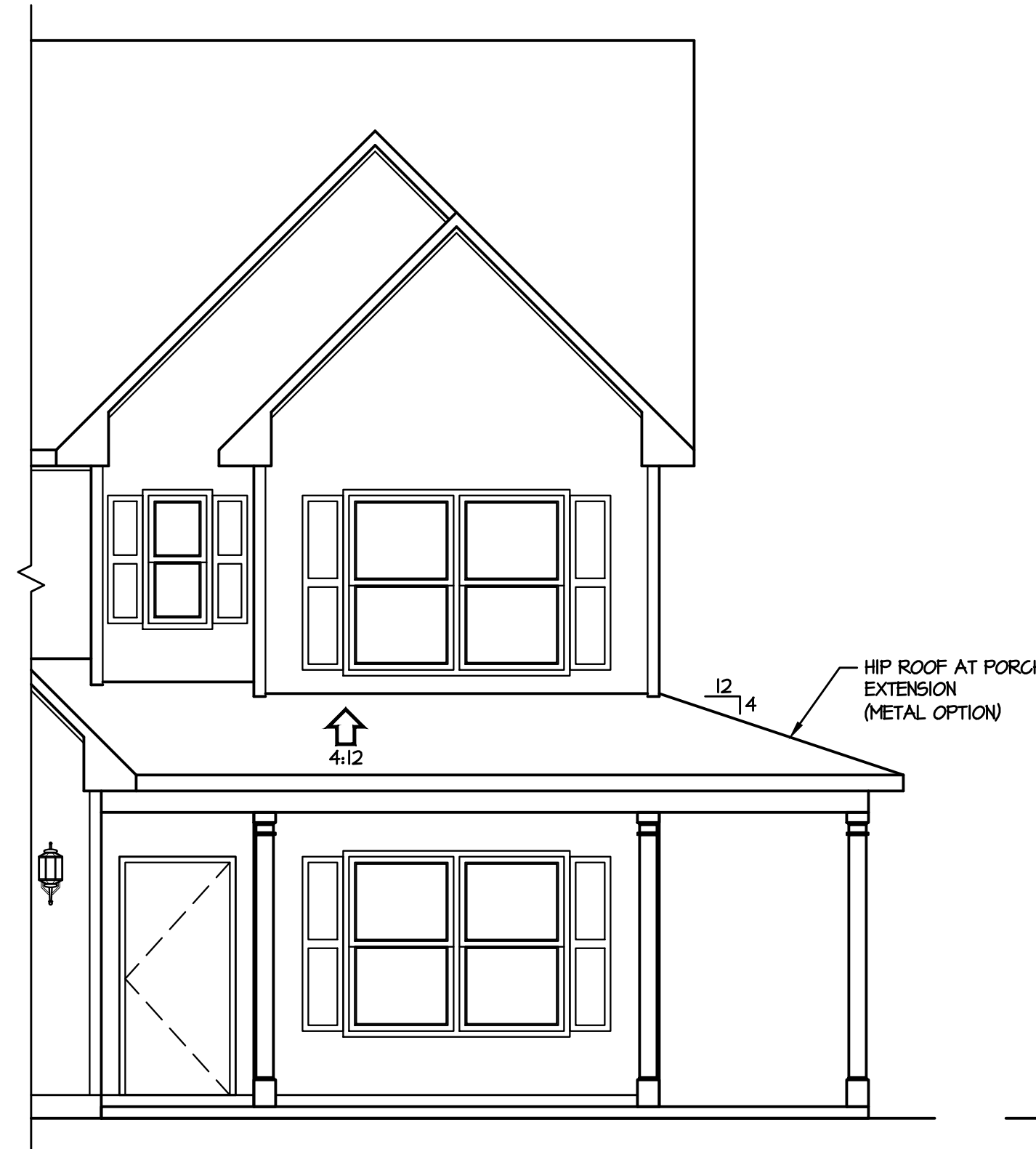
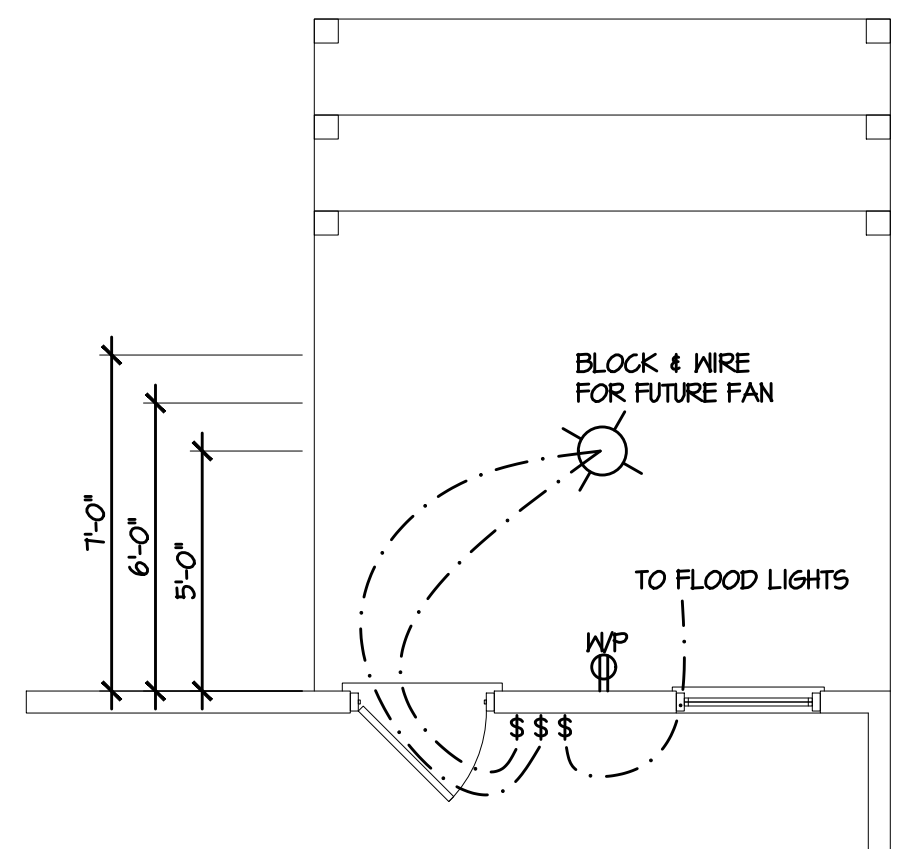
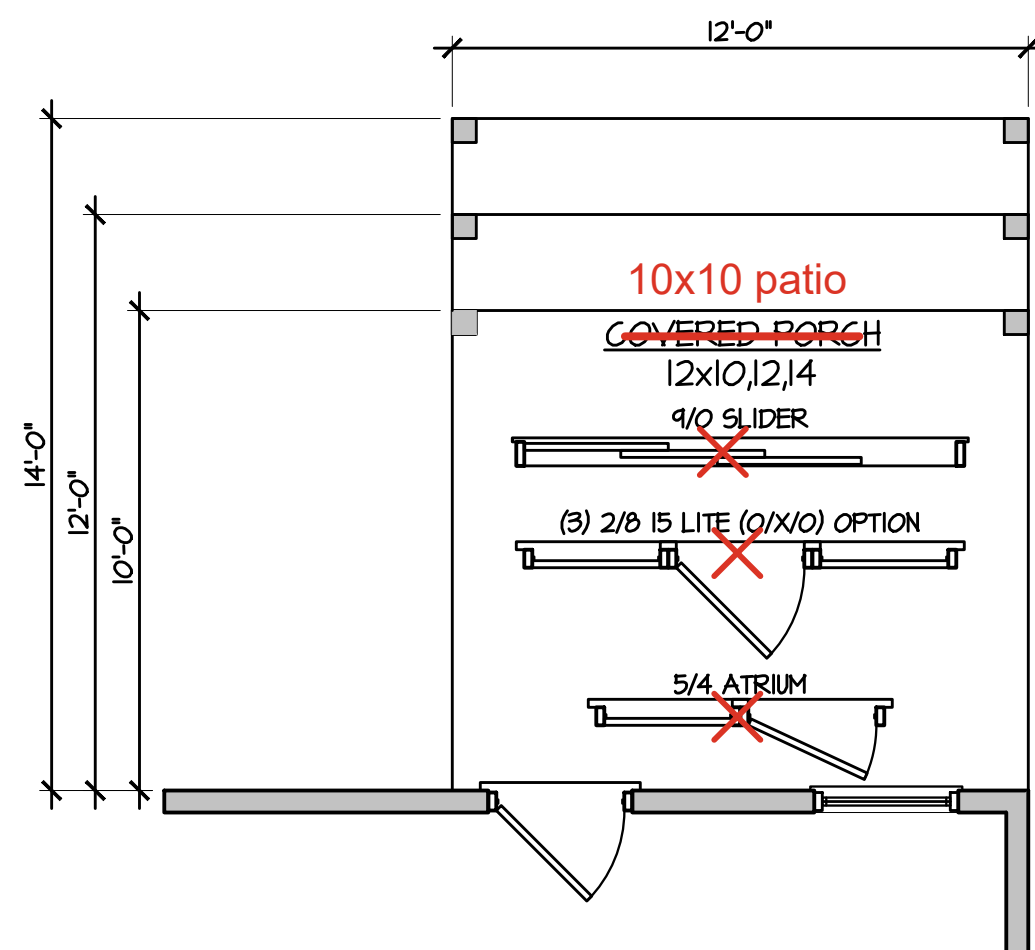
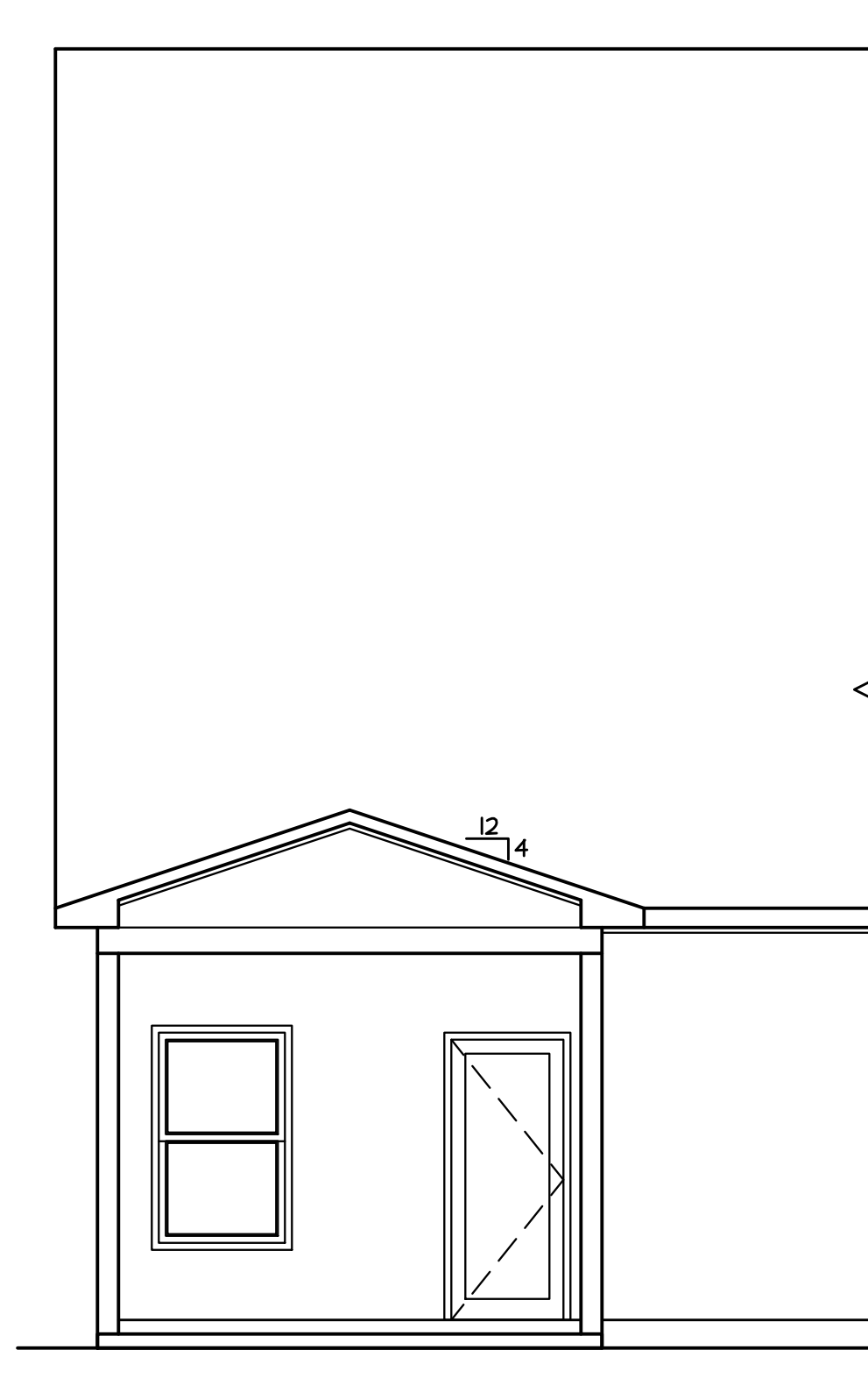
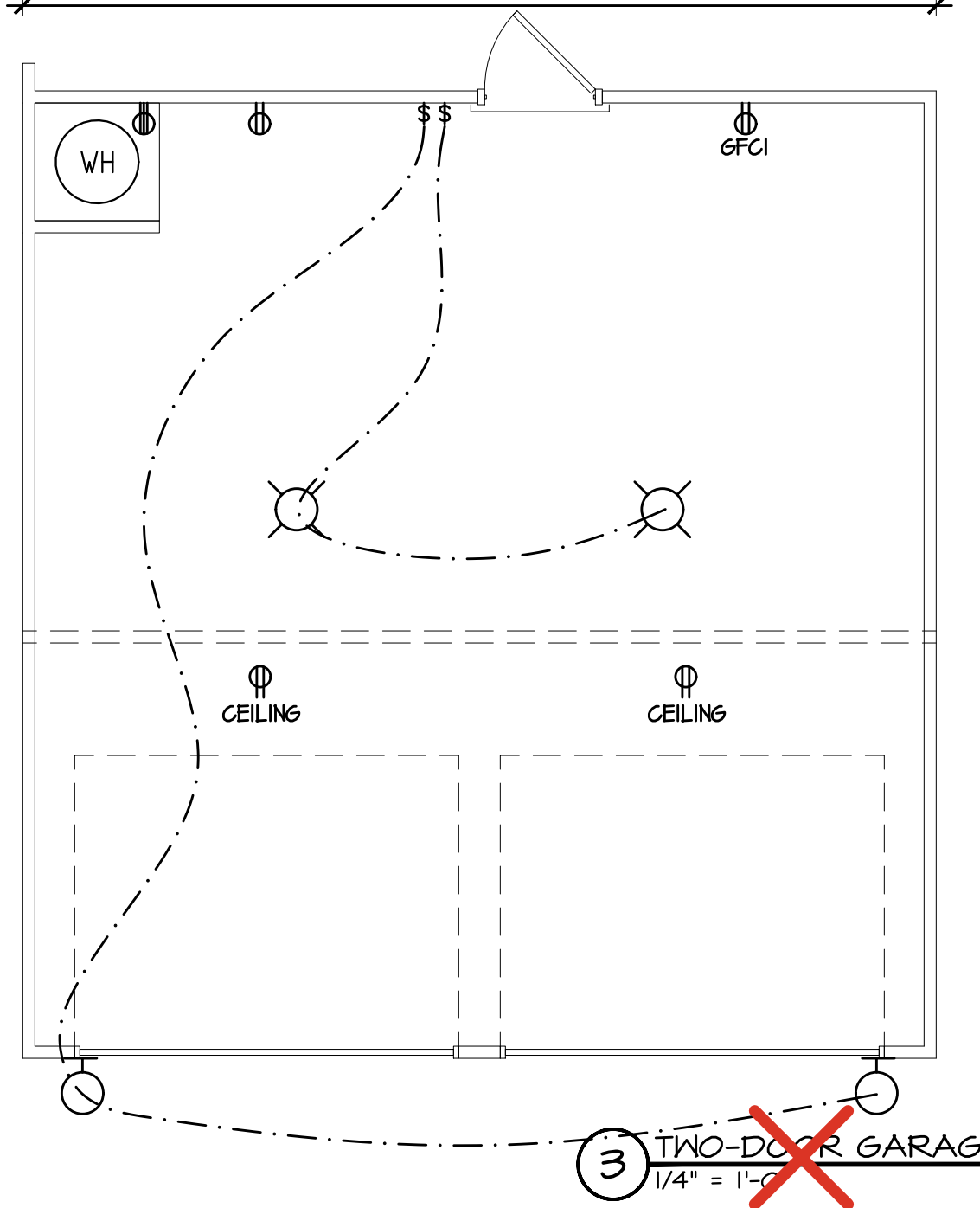
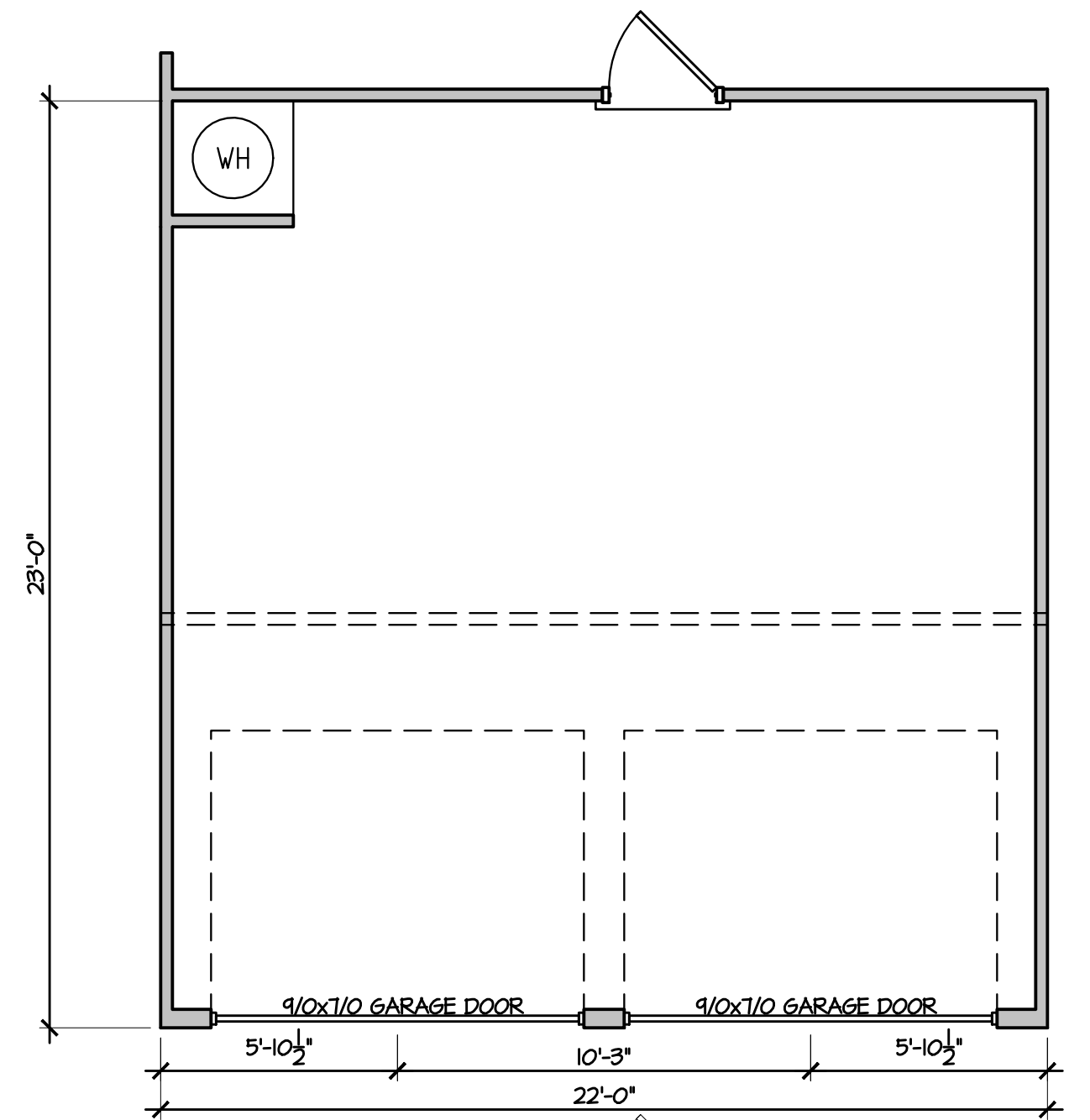
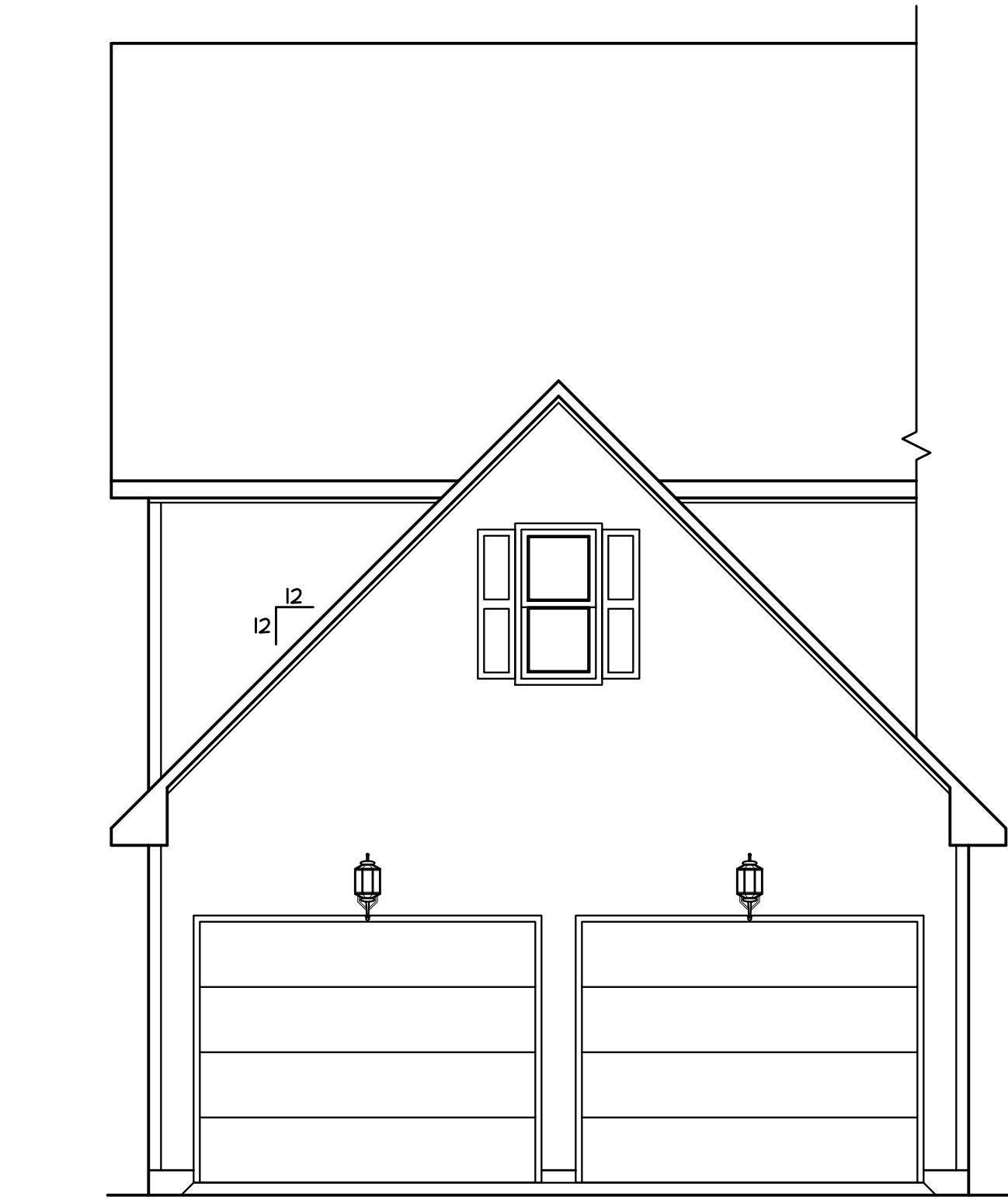
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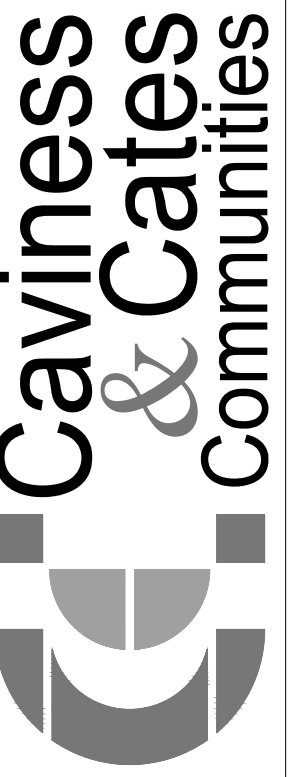
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SECTIONS

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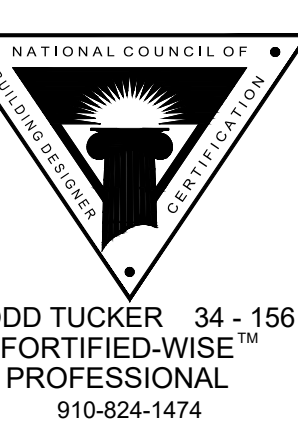


① EXTENDED FRONT PORCH 1/4" = 1'-0"



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STRUCTURAL OPTIONS

PLAN NO:
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SHEET NO:
9