COOPER 3-RALE

RALEIGH - LOT 00.0179 THE FARM AT NEILL'S CREEK

(MODEL# 1777)

ELEVATION 1 - GL

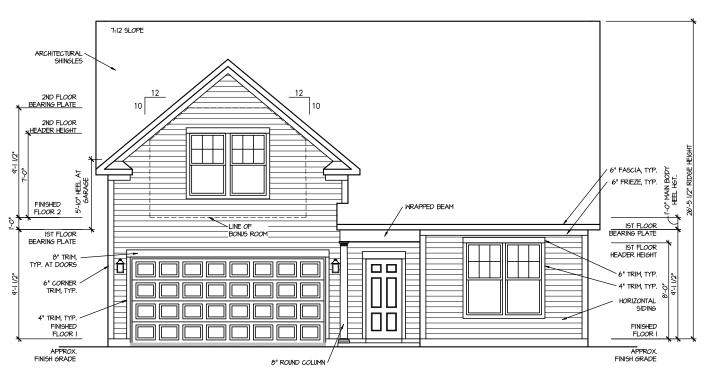


AREA CALCULATIONS ELEVATION 1 FIRST FLOOR GARAGE FRONT PORCH - ELEVATION 1 OPTIONS BONUS ROOM BEDROOM 4 TOTAL TOTAL TOTAL COVERED / UNHEATED UNCOVERED UNCOVERED					
ELEVATION 1 HEATED UNHEATED UNCOVERED FIRST FLOOR 1777 SF GARAGE 394 SF FRONT PORCH — ELEVATION 1 33 SF OPTIONS BONUS ROOM 430 SF BEDROOM 4 168 SF					
ELEVATION 1 HEATED UNHEATED UNCOVERED FIRST FLOOR 1777 SF GARAGE 394 SF FRONT PORCH — ELEVATION 1 33 SF OPTIONS BONUS ROOM 430 SF BEDROOM 4 168 SF	AREA CALCULATIONS			001/5050 /	
FIRST FLOOR 1777 SF GARAGE 394 SF FRONT PORCH — ELEVATION 1 33 SF OPTIONS BONUS ROOM 430 SF BEDROOM 4 168 SF			LIEATED	COVERED /	LINICOVEDED
GARAGE 394 SF FRONT PORCH — ELEVATION 1 33 SF OPTIONS BONUS ROOM 430 SF BEDROOM 4 168 SF				UNHEATED	UNCOVERED
FRONT PORCH — ELEVATION 1 33 SF OPTIONS BONUS ROOM 430 SF BEDROOM 4 168 SF			1/// SF	704.05	
OPTIONS BONUS ROOM					
BONUS ROOM 430 SF BEDROOM 4 168 SF	FRONT PORCH - ELEVATION 1			33 SF	
BONUS ROOM 430 SF BEDROOM 4 168 SF					
BEDROOM 4 168 SF					
TOTAL 2375 SF 427 SF	BEDROOM 4		168 SF		
TOTAL 2375 SF 427 SF					
TOTAL 2375 SF 427 SF					
		TOTAL	2375 SF	427 SF	

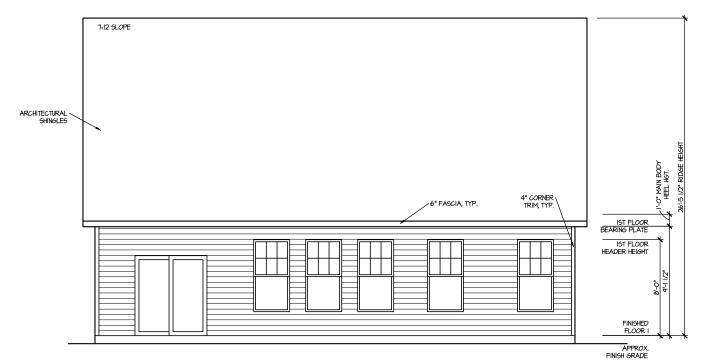
127 Appleseed Drive

		•
LOT	SDECIEIC	
	SPECIFIC	
1	LOT 00.0179	THE FARM AT NEILL'S CREEK COOPER 3 REV. RALE 4 ELEVATION 1
		COOPER 3 REV. RALE 4 ELEVATION 1
2	ADDRESS	127 APPLESEED DR LILLINGTON, SC 27546
<u> </u>		
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1	 	
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INDEX	
1	



FRONT ELEVATION I



REAR ELEVATION I

DRAWN BY:

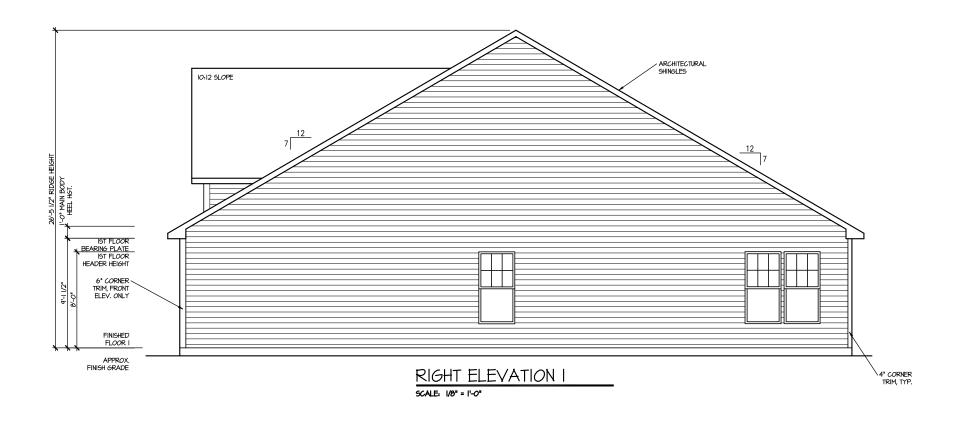
DATE: 03/13/2025 PLAN NO. 1777

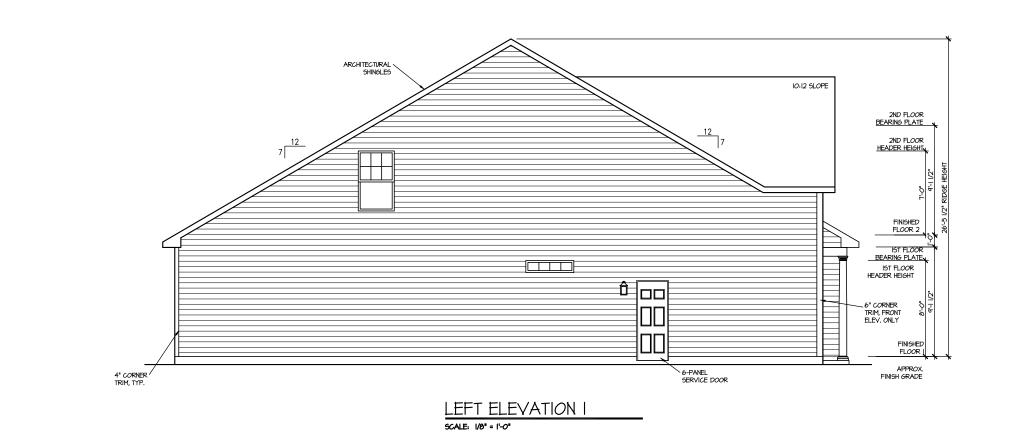


HOUSE NAME:
COOPER
DRAWING TITLE

SHEET No.

A|.





DRAWN BY: ITS DATE: 03/13/2025 PLAN NO. 1777



HOUSE NAME:
COOPER 3
DRAWING TITLE
RIGHT & LEFT ELEVATIONS

SHEET No

SHEET No.

ROOF VENTILLATION CALCULATIONS:
ROOF AREA = 239 50 EF,
ROOF ALEX BEGINSTON STATEMENT OF THE STATEMENT OF THE

LOHER VENTING. (BOTTOM 2/3 RDS)

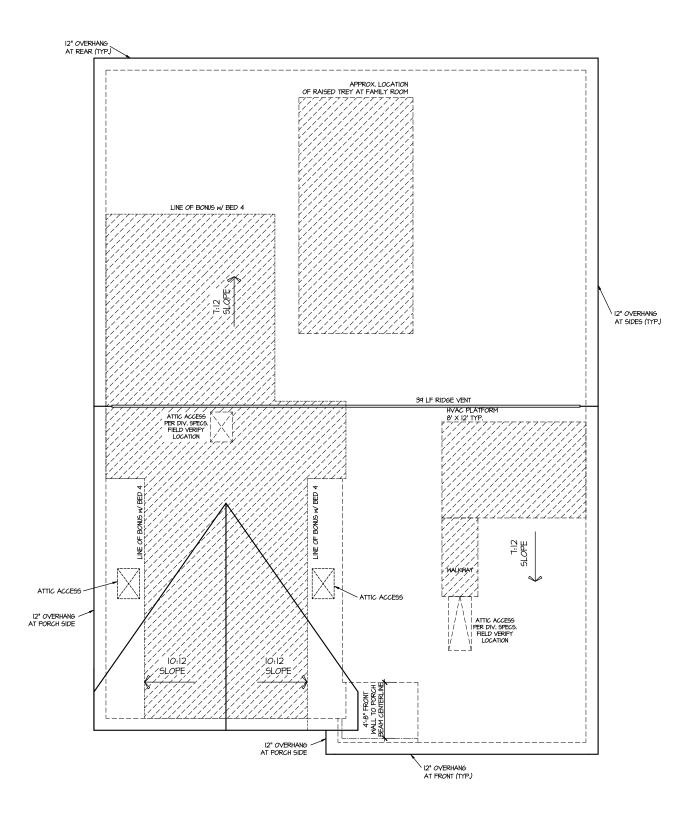
T4 LINEAR FIET OF SOFFIT X 5.1 5c. N. = 2.43 5c. FT.

14 LINEAR FIET OF ROSE X 10 5c. N. = 4.06 5c. FT.

15 LINEAR FIET OF ROSE X 10 5c. N. = 4.06 5c. FT.

16 30 50 ALLOWED)

TOTAL ROOF VENTLATION. 10 15c. FT. > 1.72 5c. FT. (Rot)



DRAWN BY: DATE: 03/13/2025

PLAN NO. 1777

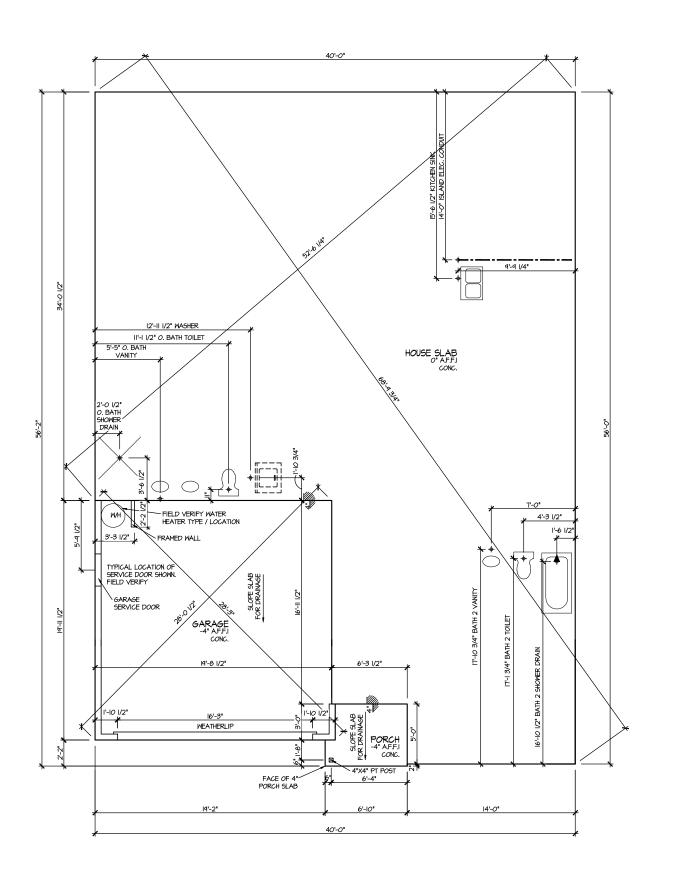


8 HOUSE NAME:
COOPER
DRAWING TITLE

SHEET No.

ROOF PLAN ELEV. I

AI.3



DRAWN BY: DATE: 03/13/2025

PLAN NO. 1777



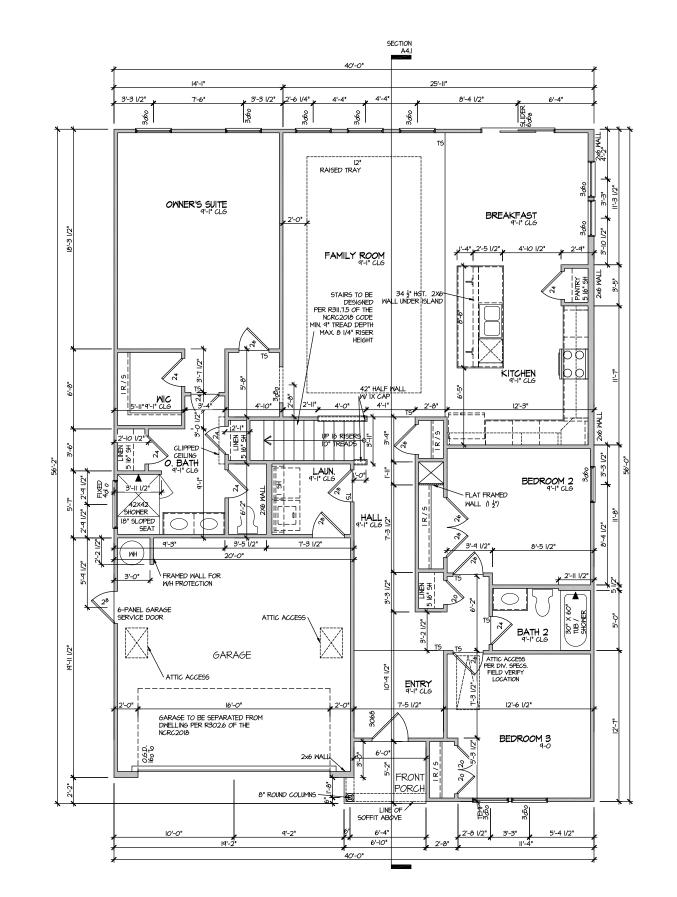
3 HOUSE NAME: COOPER DRAWING TITLE SLAB PLAN

SHEET No.

ELEVATION I SLAB PLAN

SCALE: 1/8" = 1'-0"

A2.1



ELEVATION I FIRST FLOOR PLAN SCALE: 1/8" = 1'-0" MASTER PLAN INFORMATION

MASTER PLAN INFORMATION

REVISION DATE

O2-19-20

DATE:
03/13/2025

PLAN NO.
1277

1277

1277

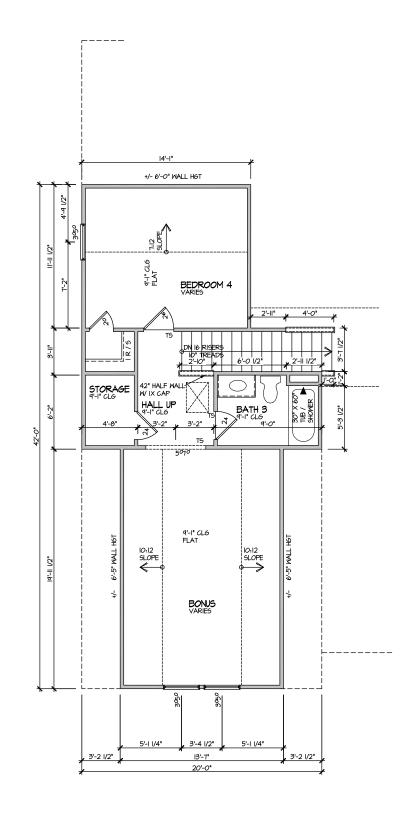
PLAN PARIE
03/13/2025

TOM FOR

HOUSE NAME:
COOPER 3
DRAWING TITLE
FIRST FLOOR PLAN

SHEET No.

A3.



ELEVATION I SECOND FLOOR PLAN SCALE: 1/8" = 1'-0"

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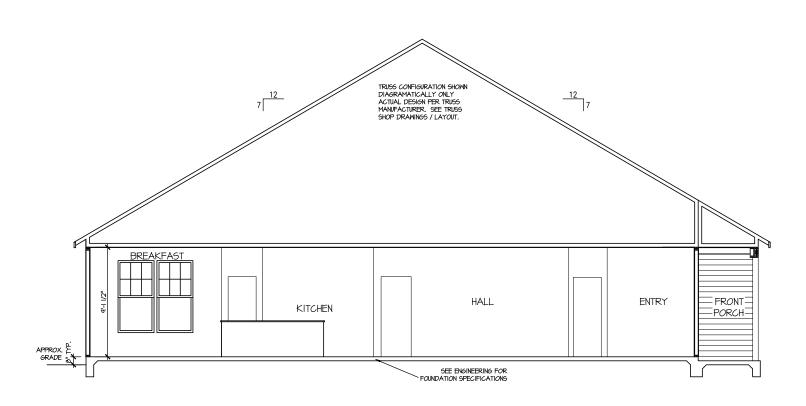
DATE: 03/13/2025 PLAN NO. 1777



HOUSE NAME:
COOPER
DRAWING TITLE
SECOND FLO

SHEET No.

A3.2



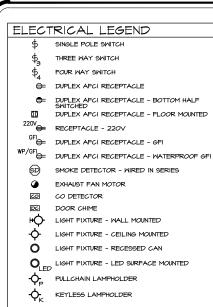
BUILDING SECTION SCALE: 1/8" = 1/-0"

DRAWN BY: DATE: 03/13/2025 PLAN NO. 1777

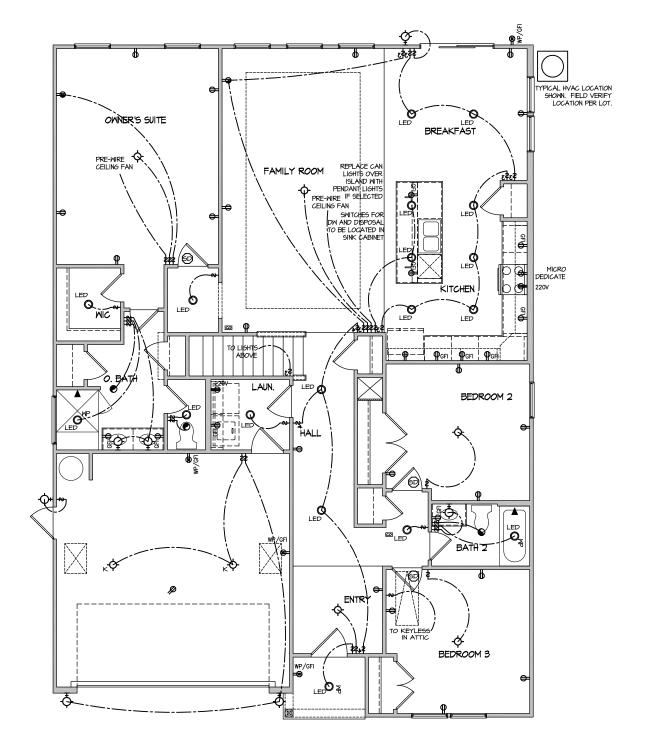


9 〒0 □ HOUSE NAME:
COOPER
DRAWING TILE
BUILDING SE

> SHEET No. A4.1



NOTE: ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE ADOPTED VERSION OF THE NATIONAL ELECTRICAL CODE, THE LOCAL POWER COMPANY AND TO ALL APPLICABLE LOCAL REGULATIONS.



ELECTRICAL PLAN FIRST FLOOR - ELEV. I

E: 1/8" = 1'-0"

HOUSE NAME:
COOPER
DRAWING TITLE
FIRST FLOC

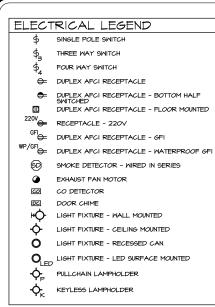
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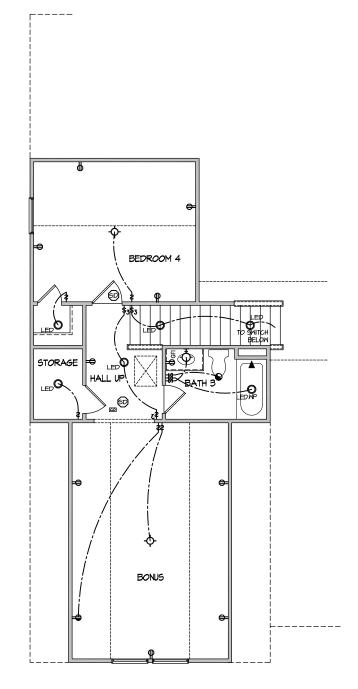
DRAWN BY:

PLAN NO. 1777

DATE: 03/13/2025



NOTE. ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE ADOPTED VERSION OF THE NATIONAL ELECTRICAL CODE, THE LOCAL POWER COMPANY AND TO ALL APPLICABLE LOCAL REGULATIONS.



ELECTRICAL PLAN SECOND FLOOR - ELEV. I SCALE: 1/8' = 1'-0'

	•
UPDATED DATE 02-19-2025	
MASTER PLAN INFORMATION REVISION DATE 4-RALE 02-24-2022	
DRAWN BY: ITS	

DRAWN BY: ITS DATE: 03/13/2025 PLAN NO. 1777



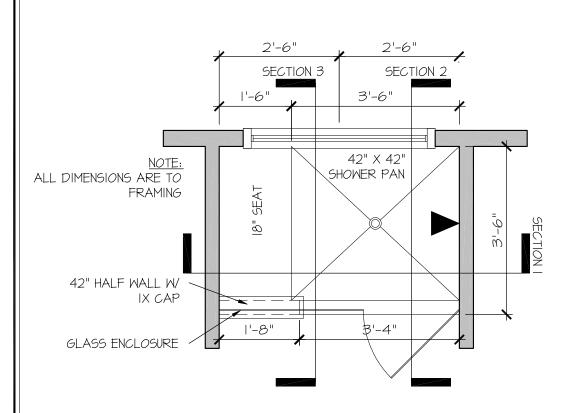
FLOOR ELECTRICAL

HOUSE NAME:
COOPER
DRAWING TITLE
SECOND FLC

2

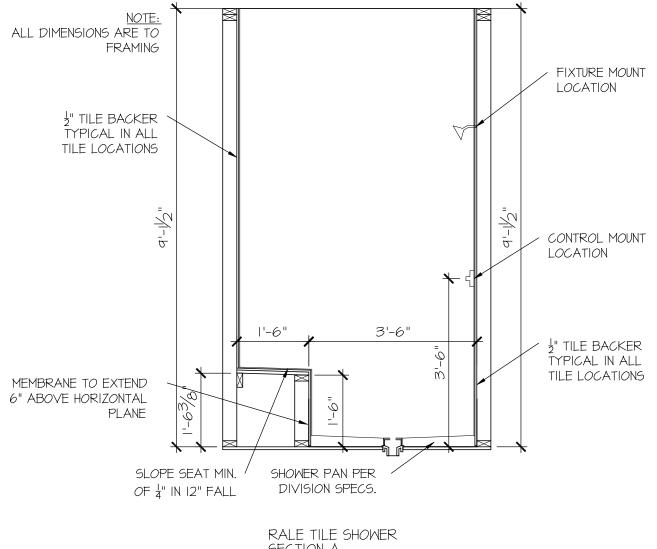
SHEET No.

≣1.2



RALE TILE SHOWER 42" X 42" W 18" SEAT

SCALE: 1/2" = 1'-0"



SECTION A

SCALE: 1/2" = 1'-0"

CONSULTANT LOGO

DRAWN BY: L. BEAVERS DATE: 9/1/22 PLAN NO.

11 X 17 SCALE

24 X 36 SCALE



DETAIL SHOWER RALE

SHEET No.



SEAL

DRAWN BY:
L. BEAVERS
DATE: 9/1/22

PLAN NO.

24 X 36 SCALE

~ "

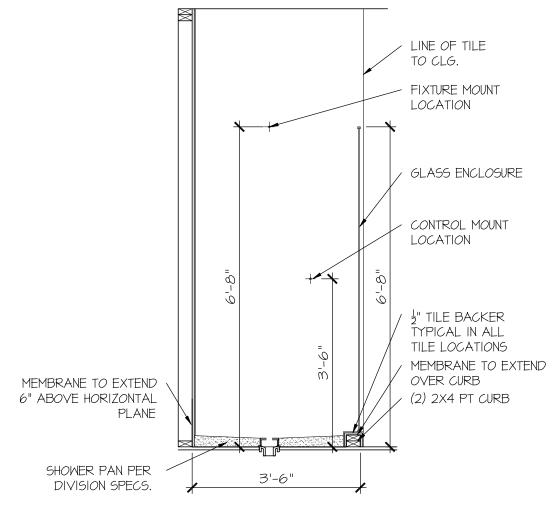


E ILE SHOWER DETAIL

OUSE NAME:

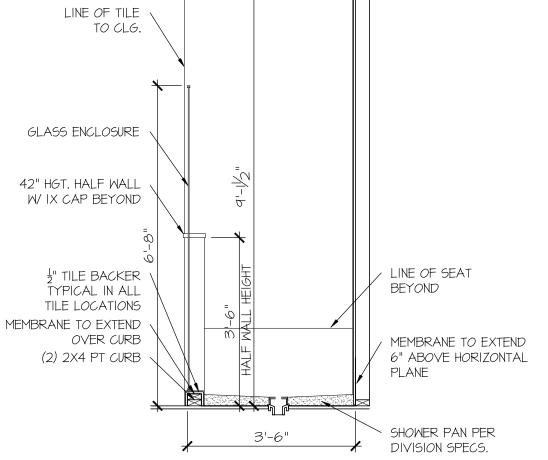
SHEET No.

P||.2



SCALE: 1/2" = 1'-0"





SCALE: 1/2" = 1'-0"

FOUNDATION

- DESIGN IS BASED ON 2018 NORTH CAROLINA STATE BUILDING CODE: RESIDENTIAL CODE.
- FOOTING DESIGN 2,000 PSF ALLOWABLE SOIL BEARING PRESSURE IS ASSUMED. BUILDER/CONTRACTOR MUST VERIFY
- FASTEN 2x4/6 SILL PLATES TO FND WITH A MINIMUM OF 2 ANCHORS PER PLATE 12" MAX FROM PLATE ENDS - LITH 17ING
- (CONC.) 15" MIN EMBEDMENT (CMU)
- SIMPSON MASA ANCHOR STRAPS @ 6'-0" O.C. (CONC)
- (REFER TO DETAILS FOR IO' TALL WALL ANCHOR REQUIREMENTS)
- ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT W/ CONCRETE OR CMU SHALL BE PRESERVATIVE TREATED SOUTHERN PINE #2.
- BUILDER TO VERIFY CORROSION-RESISTANCE COMPATIBILITY OF HARDWARE & FASTENERS IN CONTACT W/ PRESERVATIVE-TREATED WOOD, CONTACT LUMBER & HARDWARE SUPPLIERS TO COORD.
- BASEMENT INTERIOR BEARING WALLS & EXTERIOR WALK-OUT BASEMENT WALLS SHALL BE 2x6 @ 16" O.C. SPF OR SYP, "STUD" GRADE OR BETTER.
- CONCRETE DESIGN BASED ON ACL 318 CONCRETE SHALL ATTAIN THE FOLLOWING MIN. COMPRESSIVE STRENGTHS IN 28 DAYS, U.N.O.: 4,000 psi: FOUNDATION WALLS
 - 2,500 psi: FOOTINGS & INTERIOR SLABS ON GRADE 3,000 psi: GARAGE & EXTERIOR SLABS ON GRADE
- BASEMENT FOUNDATION WALL DESIGN BASED ON:
- . 9' OR IO' HEIGHT (AS NOTED ON PLANS)
- TALLER WALLS MUST BE ENGINEERED.
- NOMINAL WIDTH (9 ½" FOR 10" THICK WALL).
- BASEMENT WALL DESIGN IS BASED ON 60 PCF BACKFILL SOIL TYPE CLASSIFICATIONS (SC, ML-CL, OR CL).
- BASEMENT WALLS SHALL BE BRACED, PRIOR TO BACKFILLING, BY ADEQUATE TEMPORARY BRACING OR INSTALL 1st FLOOR DECK.
- PROVIDE (2) #5 BARS AROUND ALL SIDES OF OPENINGS IN CONCRETE BSMT. FND. WALL WITH 2" CLEAR. REINFORGEMENT SHALL EXTEND 12" PAST CORNER OF OPENING IN ALL DIRECTIONS
- FOR OPENINGS UP TO 36", PROVIDE MINIMUM IO" CONCRETE DEPTH OVER OPENING OR (3)2x10 W (2)2x6 JACK STUDS, U.N.O.
- LARGER OPENINGS SHALL BE PER PLAN.
- ALL CONCRETE EXPOSED TO THE WEATHER SHALL NOT HAVE LESS THAN 5% OR MORE THAN 7% AIR ENTRAINMENT
- ALL FOOTINGS SHALL BEAR AT LEAST 12" BELOW FINISH GRADE.
- FOOTINGS AND SLABS ON GRADE SHALL BEAR ON VIRGIN SOIL OR 95% COMPACTED FILL.
- PROVIDE CONTROL JOINTS AT ALL INSIDE CORNERS OF SLAB EDGES, AND OTHER LOCATIONS WHERE SLAB CRACKS ARE LIKELY TO DEVELOP
- JOINTS SHALL BE LOCATED @ 10'-0" O.C. (RECOMMENDED) OR 15'-O" OC (MAXIMUM)
- JOINT GRID PATTERN SHALL BE AS CLOSE TO SQUARES AS POSSIBLE (I.I RATIO) WITH A MAXIMIM OF I.I.S PATIO
- · CONTROL JOINTS SHALL NOT BE INSTALLED IN STRUCTURAL
- CONCRETE MASONRY UNITS (CMU) SHALL BE ASTM C90 WITH A MIN. COMPRESSIVE STRENGTH OF 1900 psi (Fm=1500 psi). MORTAR SHALL BE ASTM C270, TYPE S. CMU DESIGN PER ACI 530 & 530.1.
- CMU FOUNDATION WALLS SHALL HAVE 'DUR-O-WALL' HORIZONTAL JOINT REINFORCEMENT (OR EQUAL) - 9 GA. MINIMUM @ 16" O.C.
- PROVIDE 2x8 x 16" LONG P.T. PLATE ON TOP OF ALL CRAW SPACE PIERS. ALL PIERS SHALL BE GROUTED SOLID.
- PROVIDE 2x6 P.T. PLATE ON INTERIOR CRAWL SPACE WALLS, FASTENED PER ANCHORAGE SPECIFICATION NOTED ABOVE.
- DIMENSIONS BY OTHERS, BUILDER TO VERIFY.
- BUILDER TO VERIFY THAT MODEL HAS BEEN ADEQUATELY TREATED BY A LICENSED AND BONDED PEST CONTROL COMPANY FOR SUBTERRANEAN TERMITES. METHOD AND TYPE OF TREATMENT TO BE DETERMINED BY PEST CONTROL COMPANY

GENERAL STRUCTURAL NOTES

- DESIGN IS BASED ON 2018 NORTH CAROLINA STATE BUILDING CODE RESIDENTIAL CODE.
- WOOD FRAME ENGINEERING IS BASED ON NDS, "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" - LATEST EDITION.
- DESIGN LOADS ROOF

DEAD = 7 PSF T.C., 10 PSF B.C.

LOAD DURATION FACTOR = 1.25

FLOOR LIVE = 40 PSF (30 PSF @ SI FEPING AREAS) DEAD = 10 PSF (1-JOISTS & SOLID SAWN) IO PSF T.C., 5 PSF B.C. (TRUSSES) (ADD'L IO PSF @ TILE)

LATERAL 120 MPH, EXPOSURE B. SEISMIC A/B.

2,000 PSF ASSUMED ALLOWABLE BEARING PRESSURE (TO BE VERIFIED BY BUILDER)

GENERAL FRAMING

- ALL TYP. NAIL FASTENER REQUIREMENTS ARE NOTED IN STANDARD CONNECTIONS TABLE OR ON PLANS ALL NAILS SPECIFIED ARE MIN NAILS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS FOR MAX CHARTED CAPACITY. NOTE: HANGERS USE COMMON NAIL DIAMETERS NOT TYPICAL FRAMING GUN NAILS.
- REFER TO FASTENING SCHEDULE TABLE R602.3(1) FOR ALL
- EXT & INT BRG WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS 16" O.C. SPF OR SYP "STUD" GRADE LUMBER, OR BETTER, UN.O.
 WALLS OVER 12' TALL SHALL BE PER PLAN.
- ALL HEADERS, BEAMS & OTHER STRUCTURAL MEMBERS SHALL BE SPRICE-PINE-FIR #2 (SPF) OR SOUTHERN PINE #2 (SYP) LIMBER, OR BETTER (KILN-DRIED), ALL HEADERS HAVE BEEN DESIGNED BASED ON CALCULATED LOADS & SIZED ACCORDINGLY, CODE TABLES HAVE NOT BEEN USED.
- ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED. WITH 2x 'STUD' GRADE MEMBERS SPACED @ 16" O.C. (MAX., U.N.O.)
- . HEADERS IN NON-LOAD BEARING WALLS SHALL BE (1)2x4/6 FLAT @ OPENINGS UP TO 4', (2)2x4/6 FLAT UP TO 8'
- ALL FRAMING LUMBER SHALL BE DRIED TO 15% MC (KD-15).
- ENGINEERED LUMBER BEAMS TO MEET OR EXCEED THE FOLLOWING "LSL" - Fb=2325 psi; Fv=310 psi; E=1.55x10^6 psi
- 'LVL' Fb=2600 psi; Fv=285 psi; E=2.0xl0^6 ps
- 'PSL' FB=2900 PSI; FV=290 PSI; E=2.0XI0^6 PSI M+K SHALL BE FULLY INDEMNIFIED FOR ANY AND ALL ISSUES
- RESULTING FROM OR RELATED TO ANY BUILDING COMPONENT IF THE OWNER DOES NOT SUBMIT THE COMPONENT SHOP DRAWINGS TO M+K FOR STRUCTURAL REVIEW PRIOR TO FABRICATION DELIVERY OR
- FOR 2 & 3 PLY BEAMS OF FOUAL WIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF 3"x0.120" NAILS @ 8" O/C OR 2 ROWS 1/4"x31/5" SIMPSON SDS SCREWS (OR 3½" TRUSSLOK SCREWS) @ 16" O/C, USE A MINIMUM OF 3 ROWS FOR BEAM DEPTHS OF 14" OR GREATER. APPLY FASTENING AT BOTH FACES FOR 3-PLY CONDITION. LOCATE TOP & BOTTOM NAILS/SCREWS 2" FROM EDGE. SOLID 3 1/2" OR 5 1/4" BEAMS ARE ACCEPTABLE, USE 2 ROWS OF NAILS FOR 2x6 \$ 2x8
- FOR 4 PLY BEAMS OF EQUAL WIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF 1/2"x6" SIMPSON SDS SCREWS (OR 6 3/4" TRUSSLOK SCREWS) @ 16" O/C. USE A MINIMUM OF 4 ROWS FOR BEAM DEPTHS OF 14" OR GREATER APPLY FASTENING AT BOTH FACES (ONE SIDE ONLY FOR TRUSSLOK SCREWS). LOCATE TOP AND BOTTOM SCREW 2" FROM EDGE. A SOLID 7" BEAM IS ACCEPTABLE.
- ALL HEADERS SHALL BE SUPPORTED BY (1)2x JACK STUD & (1)2x KING STUD, MINIMUM.
- THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK STUDS REQUIRED, U.N.O., ALL MULTI-PLY STUDS TO BE FASTENED TOGETHER W/ 3"X0.I3I"
- NAILS @ 24" O.C. (MIN.), EACH PLY. PROVIDE SOLID BLOCKING IN FLOOR SYSTEM UNDER ALL POSTS
- CONTINUOUS TO FND./BEARING. BLOCKING TO MATCH POST ABOVE
- FASTEN 2x WOOD PLATES TO TOP FLANGE OF STEEL BEAMS WITH P.A.F.'s ('HILTI' X-CF PINS OR EQUAL) @ 16" O.C. STAGGERED, OR I/2" DIA. BOLTS @ 48" O.C. STAGGERED.
- ALL EXTERIOR 4x4 WOOD POSTS SHALL HAVE SIMPSON BCS2-2/4 CAP & ABM44Z BASE, U.N.O.

FLOOR FRAMING

- -JOISTS/TRUSSES SHALL BE DESIGNED BY MANUF. TO MEET OR EXCEED 1 /480 LIVE LOAD DEELECTION CRITERIA (EXCLUDES MARBLE FLOORS - CONTACT M&K FOR MARBLE FLOOR DESIGNS)
- AT I-JOIST FLOORS, PROVIDE I I/8" MIN, OSB RIM BOARD.
- METAL HANGERS SHALL BE SPECIFIED BY MANUFACTURER, U.N.O.
- FLOOR SHEATHING SHALL BE 23/32" A.P.A. RATED 'STURD-I-FLOOR' 24" O.C., EXPOSURE I (OR APPROVED EQUAL) WITH TONGUE AND GROOVE EDGES. FASTEN TO FRAMING MEMBERS W GLUE AND
- 2 1" x 0 131" NAIL S @ 6"04 @ PANEL EDGES & @ 12"04 FIELD
- 2 3" × 0 120" NAILS @ 4" OC @ PANEL EDGES & @ 8" OC FIELD
- 2 3" x 0.113" NAILS @ 3" O.C. @ PANEL EDGES & @ 6" O.C. IN FIELD. #6 x 2" MIN. SCREWS @ 6" O.C. @ PANEL EDGES & @ 12" O.C. FIELD.

ROOF FRAMING

- BAY WINDOWS & SHED ROOFS (UP TO 6' SPAN) CAN BE 2x4 OR 2x6 RAFTERS & CEILING JOISTS @ 16/24" O.C.
- FASTEN EACH ROOF TRUSS TO TOP PLATE W SIMPSON H2.5T CLIP (OR APPROVED EQUAL.) © ALL BEARING POINTS. PROVIDE (2) H2.5T CLIPS AT 2-PLY GIRDER TRUSSES, (3) H2.5T CLIPS AT 3-PLY GIRDER TRUSSES & ROOF BEAMS - AT ALL BEARING POINTS.
- METAL HANGERS SHALL BE SPECIFIED BY THE MANUFACTURER, U.N.O.
- ERECT AND INSTALL ROOF TRUSSES PER WTCA & TPI'S BCSI I-08 "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING & BRACING OF METAL PLATE CONNECTED WOOD TRUSSES."
- SUPPORT PORCH & SHORT SPAN ROOF TRUSSES (MAX 7' SPAN) W 2x4 LEDGER FASTENED TO:
 - RIM BOARD w/ (2) 3"x0.131" NAILS @ 16" O.C. MAX. (1-JOISTS) TRUSS VERTICALS w/ (3) 3"x0.131" NAILS @ 19.2" O.C. MAX. (FLOOR TRUSSES)
- ROOF SHEATHING SHALL BE 1/16" A.P.A. RATED SHEATHING 24/16 EXPOSURE I (OR APPROVED EQUAL). FASTEN TO FRAMING MEMBERS
- W/2 !" V O ISI" NAILS & 6"OC & PANEL EDGES & & ID" OC FIELD
- w/ 2 🐉 x 0.120" NAILS 🙍 4"o.c. 🙍 PANEL EDGES 🕻 🗖 8" O.C. FIELD. - W/ 2 🖁 X O.II3" NAILS @ 3"O.C. @ PANEL EDGES \$ @ 6" O.C. FIELD.

HOLD-DOWN SCHEDULE

SYMBOL	SPECIFICATION			
► HD-I	SIMPSON HTT4 HOLD-DOWN * (5/6" DIA. ANCHOR)			
► HD-2	SIMPSON MSTC66 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM UN.O.) -OR- MSTC66BB ALTERNATE			
► HD-3	SIMPSON STHD14/STHD14RJ			

* UTILIZE THE SSTB24 ANCHOR BOLT @ ALL MONOSLAB & INTERIOR RAISED FOOTING THICKNESS REQUIRED.

EPOXY-SET ALTERNATE FOR MONOSLAB & INTERIOR RAISED SLAB CONDITIONS ONLY: UTILIZE SIMPSON 'SET' EPOXY SYSTEM TO FASTE HREADED ROD INTO CONCRETE FOUNDATION, PROVIDE 10" (FOR 5/8" DIA.) OR 15" (FOR 1/8" DIA.) MIN. EMBEDMENT INTO CONCRETE. INSTALL PER MANUF. INSTRUCTIONS. MINIMUM 16" FOOTING THICKNESS REQ'D.

ADDITIONAL NOTES FOR TRUSS \$ I-JOIST MANUFACTURER

DO NOT LOCATE ANCHORS WITHIN I 3/4" OF EDGE OF CONCRETE.

ROOF TRUSS FLOOR TRUSS AND ENGINEERED JOISTS SHALL BE DESIGNED TO MEET THE DIFFERENTIAL DEFLECTION CRITERIA BELOW UNI ESS.

TRUSSES/JOISTS SHALL BE DESIGNED SO THAT DIFFERENTIAL DEFLECTION BETWEEN ADJACENT PARALLEL TRUSSES/JOISTS OR GIRDER TRUSSES/FLUS BEAMS DO NOT EXCEED THE FOLLOWING: ROOF TRUSSES

- I/4" DEAD LOAD
- FLOOR TRUSSES, ATTIC TRUSSES, & I-JOISTS:
- C. FLOOR TRUSSES & ATTIC TRUSSES ADJACENT TO FLOOR FRAMING BY OTHERS: LIMIT ABSOLUTE TRUSS DEFLECTION TO 3/16" DEAD LOAD. (NOT DIFFERENTIAL DEFLECTION)

LATERAL BRACING & SHEAR WALL SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM:

THE DESIGN WAS COMPLETED PER 2015 IBC (SECTION 1609) & ASCE 7-10. AS PERMITTED BY R301.13 OF THE 2018 NCSBC:RC, OR THE SIMPLIFIED PRESCRIPTIVE PROCEDURE IN ACCORDANCE WITH THE 2015 IRC. IF THE PARAMETERS OF SECTION R60212 COMPLY ACCORDINGLY, THIS MODEL, AS DOCUMENTED AND

DESIGN WIND UPLIFT LOADS HAVE BEEN CALCULATED UTILIZING ASCE 7-10 (ACCEPTED ENGINEERING PRACTICE) AS ALLOWED PER 2018 NCSBC:RC SECTION R802.II.I.I. THIS MODEL HAS BEEN DETAILED WHERE REQUIRED & ENGINEERED TO RESIST THE WIND UPLIFT LOAD PATH PER SECTIONS R602.3.5¢ R802.II.

EXT. WALL SHEATHING SPECIFICATION

- 7/16" OSB OR 15/32" PLYWOOD: FASTEN SHEATHING W/ 2 % "XO.II3" NAILS ● 6" O.C. AT EDGES & ● 12" O.C. IN THE PANEL FIELD. TYP, U.N.C
- HORIZONTAL BLOCKING OF EXT WALL SHEAR WALL PANEL EDGES IS NOT REQUIRED BY THIS DESIGN EXCEPT FOR THOSE AREAS SPECIFICALLY NOTED.
- ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED AND ARE CONSIDERED SHEAR WALLS.
- ・ALT. STAPLE CONNECTION SPEC: 1 名" 16 GA STAPLES (1/6" CROWN) @ 3" O.C. AT EDGES & @ 6" O.C IN FIELD.

BLOCKED PANEL EDGES

AT DESIGNATED AREAS - FASTEN SHEATHING w/ 2 %" x 0.113" NAILS @ 6" O.C. AT ALL PANEL EDGES AND 12" O.C. IN THE PANEL FIELD OR 1 %" 16 GA STAPLES (%" CROWN) @ 3" O.C. AT EDGES & @ 6" O.C. IN FIELD. ALL SHEATHING PANELS SHALL BE ORIENTED AND INSTALLED FULL HEIGHT OF SHEAR WALL OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL FDGES & FDGE FASTENING

WOOD STRUCTURAL WALL SHEATHING TO FRAMING w/ 8d NAILS @ 3" O.C. NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC. ALL SHEATHING PANELS SHALL BE ORIENTED AND INSTALLED FULL HEIGHT OF SHEAR WALL OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. EDGE FASTENING.

- SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING, IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN, IT WILL BE SPECIFICALLY NOTED ON PLAN.
- DESIGN ASSUMES 16" O.C MAX. STUD SPACING, U.N.O.

INDICATES EXTENT OF INT. OSB SHEARWAL

INDICATES HOLDOWN BELOW

) MPH WIND IN 2018 NCSBC:R(

(120 MPH WIND SPEED IN ASCE 7-10 WIND MAP, PER IRC R301.21.1) EXP. B. RISK CAT. 2 & SEISMIC CAT. A/B.

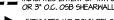
DETAILED HEREWITHIN, IS ADEQUATE TO RESIST

THE CODE REQUIRED LATERAL FORCES.

3" O.C. EDGE NAILING

• AT DESIGNATED AREAS - FASTEN PANEL EDGES OF

- ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.
- PRE-MANUFACTURED PANELIZED WALLS: FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED W/ OSB OR PLYWOOD W/ 3" x 0.120" NAILS @ 4" O.C. (THRU ONE SIDE ONLY)



VENEER LINTEL SCHEDULE

SPAN (MAX)	HEIGHT OF VENEER ABOVE LINTEL	STEEL ANGLE SIZE	
3'-0"	20 FT. MAX	L3"x3"x¼"	
	3 FT. MAX	L3"x3"x¼"	
6'-0"	I2 FT. MAX	L4"x3"x1/4"	
	20 FT. MAX	L5"x3½"x%"	
	3 FT. MAX	L4"x4"x¼" *	
8'-0"	I2 FT. MAX	L5"x3½"x%"	
	I6 FT. MAX	L6"x31½"x3%"	
9'-6"	I2 FT. MAX	L6"x3½"x%"	
16'-0"	2 FT. MAX	L7"x4"x½" **	
	3 FT. MAX	L8"x4"x½" **	

LL LINILES: 16' SHALL JAPPORT 2 %' - 3 ½' VENEER W 40 paf MAXIMUM WEIGHT. 16' SHALL HAVE 4' MIN BEARING 16' SHALL HAVE 6' MIN BEARING 16' SHALL NOT BE FASTINED BACK 10' HEADER. 16' SHALL BE FASTINED BACK 10' MODD HEADER. 11 WALL **04**0'0.6.

- w/ $\slash\hspace{-0.6em}$ DIA. x 3 $\slash\hspace{-0.6em}$ LONG LAG SCREWS IN 2" LONG VERTICALLY SLOTTED HOLES.
- IAX, VENEER HT. APPLIES TO ANY PORTION OF BRICK OVER THE
- OPENING.
 VILLINITELS SHALL BE LONG LEG VERTICAL.
 HEN SUPPORTING VENEER (3" HIDE THE EXTERIOR TOE OF THE
 HORIZONTAL LEG MAY BE CUT IN THE FIELD TO BE 3 %," MIDE OVER
 THE BEARING LENGTH CALLY, THIS IS TO ALLOW FOR MORTAR JOINT

e structural plans for any lintel condition not

LEGEND

- IIIIIIIII INTERIOR BEARING WAI I
- BEAM / HEADER
- ■ INDICATES SHEAR WALL & EXTENT
- EXTENT OF OVERFRAMING
- JL METAL HANGER
- * INDICATES POST ABOVE, PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

NON-BEARING HEADER SCHEDULE

SPAN	2x4 NON-BEARING PARTITION WALL	2x6 NON-BEARING PARTITION WALL
P TO 3'-0"	(I)2x4 FLAT	(I)2x6 FLAT
P TO 6'-0"	(2)2x4	(3)2×4
P TO 8'-0"	(2)2x6	(3)2×6
7 TO 12'-0"	(2)2x8	(3)2x8

 ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 2x 'STUD' GRADE MEMBERS

ENGINEERED BEAM MATERIAL SCHEDULE

BEAM NUMBER	LVL OPTION	PSL OPTION	LSL OPTION	FLITCH OPTION	STEEL OPTION
001	(2)13/4"x117/6" - F	3½"xII%" - F	(3)134"x1136" - F	(2)2xl2 + (l) %"xll4" STEEL FLITCH PLATES - F	WI2xI4 - F
002	(3)134"x1136" - F	5¼"xII%" - F	(4)1¾"x11%" - F	(2)2xl2 + (l) %"xll4" STEEL FLITCH PLATES - F	WI2xI4 - F
003	(2)194"x1176" - F	3½"xll⅓" - F	(3)194"x11%" - F	(2)2xl2 + (l) %"xl以" STEEL FLITCH PLATES - F	WI2xI4 - F
004	(2)i¾"xII ¼" - D	3½"x ¼" - D	(2)1¾"x11%" - D	(2)2xl0 + (l) %"xl以" STEEL FLITCH PLATES - D	MØXIO - D

SPACED @ 24" OC (MAX)

- BEAM NOTATION:
 "F" INDICATES FLUSH BEAM
- "FT" INDICATES FLUSH TOP BEAM "FB" INDICATES FLUSH BOTTOM BEAM
- "D" INDICATES DROPPED BEAM - "H" INDICATES DROPPED OPENING HEADER
 REFER TO DETAIL D/SD2.0 FOR TYPICAL FLITCH BEAM CONNECTIONS
- REFER TO DETAIL E/SD2.0 FOR TYPICAL STEEL BEAM CONNECTIONS
- FOR FLUSH TOP BEAMS PROVIDE 2X STACKED PLATES BENEATH BEAM AS REQ'D. FASTEN
- PLATES IN SUCCESSION W (2) 3"X0.120" NAILS @ 8" O.C. FOR FLUSH BOTTOM BEAMS PROVIDE 2x STACKED PLATES ATOP BEAM AS REQ'D. FASTEN PLATES IN SUCCESSION w/ (2) 3"x0.120" NAILS @ 8" O.C

H CAR EESSIO

SENSINE ERNH



1&K project numbe 126-22076

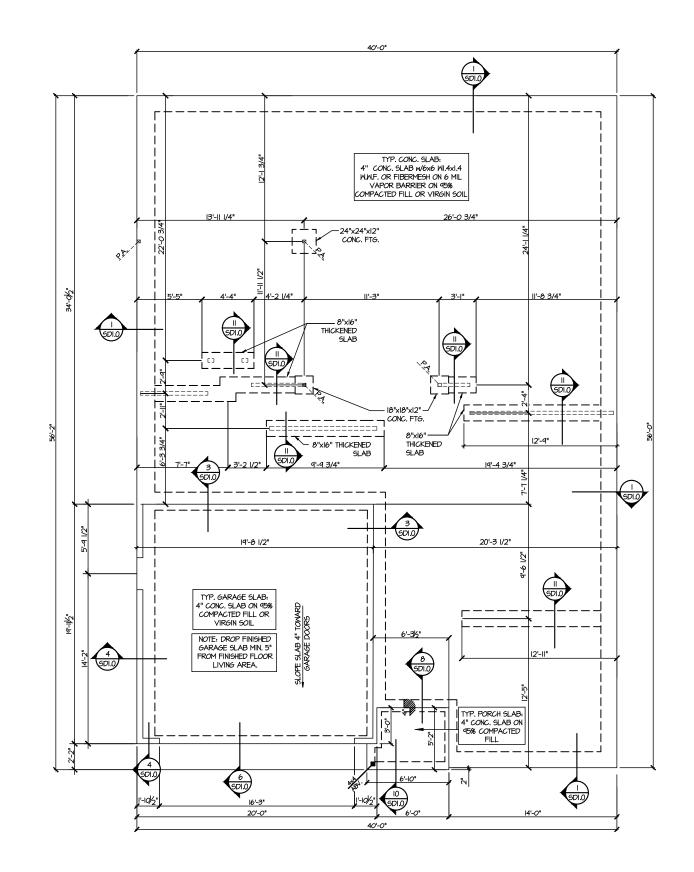
JTR rawn by: JAC sue date: 03-18-2

REVISIONS initial:



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MONO SLAB FOUNDATION PLAN SCALE: 1/8"=1'-0"

3/19/25 H CAR

MULHERN+KULP
RESIDENTIAL STRUCTURAL ENSINEERING

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M&K project number: 126-22076

JTR drawn by: issue date: 03-18-25

CREEK

LEGEND

- INTERIOR BEARING WALL
- □===□ BEARING WALL ABOVE
- BEAM / HEADER
- = = INDICATES SHEAR WALL & EXTENT
- EXTENT OF OVERFRAMING

JL METAL HANGER

* INDICATES POST ABOVE, PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE,

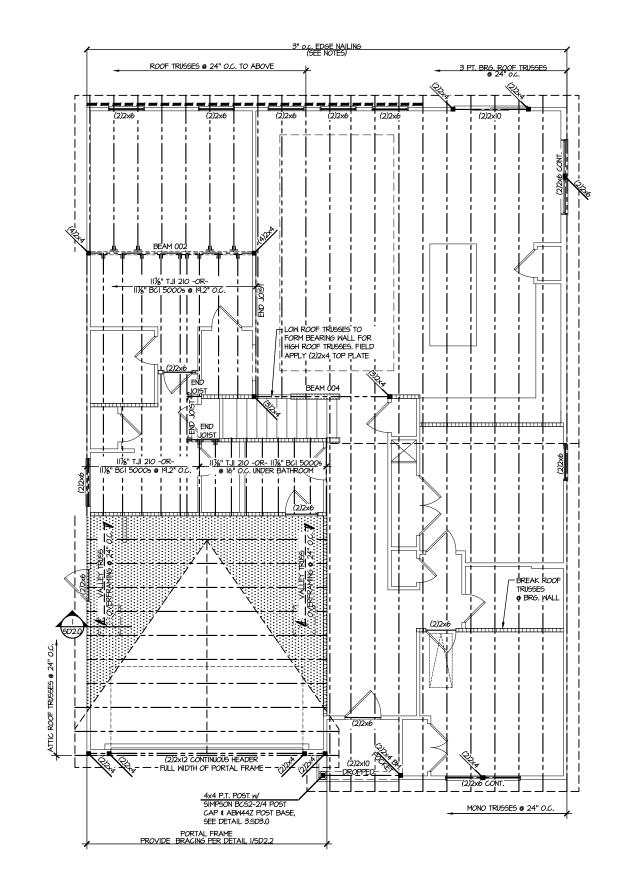
INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

S1.0

FARM AT NEIL'S Lot 179 - cooper 1 raleigh, nc

OUNDATION



SECOND FLOOR/LOW ROOF FRAMING PLAN SCALE: 1/8"=1'-0"

3/19/25 H CAR

MUCHERN+KULP

RESIDENTIAL STRUCTURAL ENGINEERING



M&K project number 126-22076

JTR drawn by: issue date: 03-18-25

REVISIONS:

initial:

LEGEND

- INTERIOR BEARING WALL
- □===□ BEARING WALL ABOVE
- BEAM / HEADER
- = = INDICATES SHEAR WALL & EXTENT
- EXTENT OF OVERFRAMING

JL METAL HANGER

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INDICATES HOLD-DOWN OR STRAP.
REFER TO SCHEDULE.

REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

	ENGINEERED BEAM MATERIAL SCHEDULE							
BEAM NUMBER	LVL OPTION	PSL OPTION	LSL OPTION	FLITCH OPTION	STEEL OPTION			
001	(2)13/4"x117/6" - F	3½"xII%" - F	(3)1¾"x11%" - F	(2)2xl2 + (l) 🐉 "xll" STEEL FLITCH PLATES - F	WI2xI4 - F			
002	(3)13/4"x117/6" - F	5¼"×II%" - F	(4)1¾"x11%" - F	(2)2xl2 + (l) %"xll4" STEEL FLITCH PLATES - F	WI2xI4 - F			
003	(2)134"x1136" - F	3½"×II%" - F	(3)1¾"x11%" - F	(2)2xl2 + (l) %"xl以" STEEL FLITCH PLATES - F	WI2xI4 - F			
004	(2)194"xII ¼" - D	3½"xII ¼" - D	(2)134"x1136" - D	(2)2xl0 + (I) %"xll以" STEEL FLITCH PLATES - D	MBXIO - D			

- BEAM NOTATION:

 "F" INDICATES FLUSH BEAM

 "F" INDICATES FLUSH BOTON BEAM

 "F" INDICATES FLUSH BOTTOM BEAM

 "P" INDICATES DROPPED BEAM

 "H" INDICATES DROPPED DEAM

 "H" INDICATES DROPPED BEAM

 "H" INDICATES PLUSH DROPPED BEAM

 -
- PLATES IN SUCCESSION W (2) 3"XO.120" NAILS @ 8" O.C.
 FOR FLUSH BOTTOM BEAMS PROVIDE 2X STACKED PLATES ATOP BEAM AS REQ'D. FASTEN
 PLATES IN SUCCESSION W (2) 3"XO.120" NAILS @ 8" O.C.

CREE AT NEIL'S (
COOPER 1 FARM LOT 179 - CO RALEIGH, N

MUCHERN+KULP

RESIDENTIAL STRUCTURAL ENSINEERING

STRUCTURAL ARTINITY THE PROPERTY OF THE PROP

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M&K project number: 126-22076

JTR drawn by: JAD issue date: 03-18-25

REVISIONS:

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- INTERIOR BEARING WALL
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- = = INDICATES SHEAR WALL & EXTENT
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REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES \$ SCHEDULES

	ENGINEERED BEAM MATERIAL SCHEDULE						
BEAM NUMBER	LVL OPTION	PSL OPTION	LSL OPTION	FLITCH OPTION	STEEL OPTIO		
001	(2)1¾"x11¾" - F	3½"x11%" - F	(3)1¾"x11¾" - F	(2)2xl2 + (l) %"xl以" STEEL FLITCH PLATES - F	WI2xI4 - F		
002	(3)1¾"x11%" - F	5¼"×11%" - F	(4)1¾"x11%" - F	(2)2xl2 + (l) %"xl以" STEEL FLITCH PLATES - F	WI2xI4 - F		
003	(2)1¾"x11¾" - F	3½"xII%" - F	(3)1¾"x11¾" - F	(2)2xl2 + (l) %"xll4" STEEL FLITCH PLATES - F	WI2xI4 - F		
004	(2)134"xII ¼" - D	3½"x ¼" - D	(2)13/4"x11%" - D	(2)2xl0 + (l) %"xl以" STEEL FLITCH PLATES - D	W6X10 - D		

- BEAM NOTATION:

 "F" INDICATES FLUSH BEAM
 "FT" INDICATES FLUSH BEAM
 "FT" INDICATES FLUSH BOTTOM BEAM
 "FB" INDICATES FLUSH BOTTOM BEAM
 "TO" INDICATES FLUSH BOTTOM BEAM
 "TO" INDICATES DROPPED DEAM
 "T" INDICATES DROPPED DEAM
 TYPICAL FLITCH BEAM CONNECTIONS
 REFER TO DETAIL DSD2.0 FOR TYPICAL STEEL BEAM CONNECTIONS
 FOR FLUSH TOP BEAMS PROVIDE 2X STACKED PLATES BENEATH BEAM AS REQ'D. FASTEN
 PLATES IN SUCCESSION W (2) 3"X0.120" NAILS @ 8" OC.

ROOF TRUSSES 24" O.C. TO BELOW

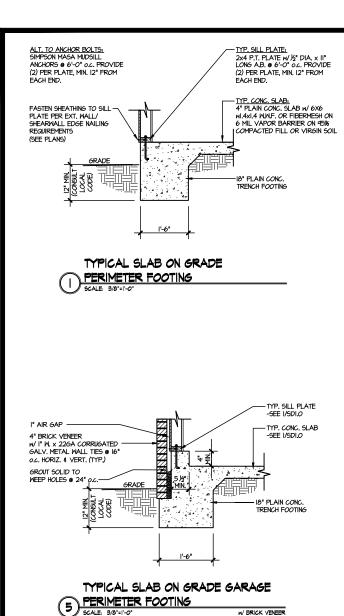
FORM BEARING WALL FOR HIGH ROOF TRUSSES. FIELD APPLY (2)2x4 TOP PLATE

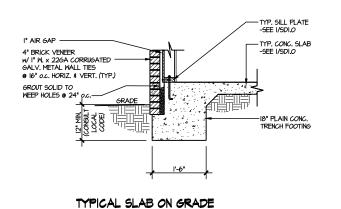
LOCATE ATTIC ACCESS BETWEEN TRUSSES

HIGH ROOF FRAMING PLAN

FARM AT NEIL'S LOT 179 - COOPER 1 RALEIGH, NC

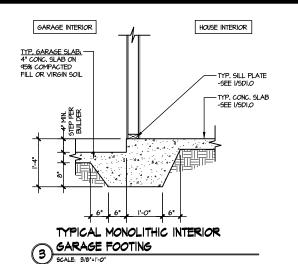
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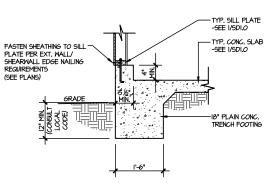




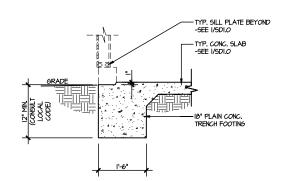
PERIMETER FOOTING

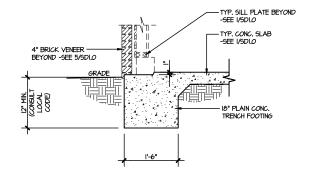
SCALE: 3/8"=1"-0"

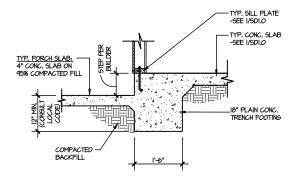




TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING SCALE: 3/8"=1"-0"





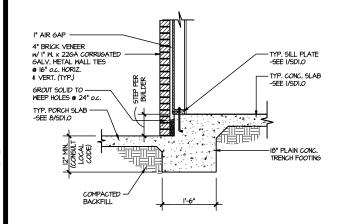






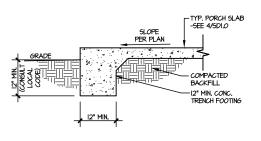
TYPICAL SLAB ON GRADE GARAGE ENTRY @ PERIMETER FOOTING

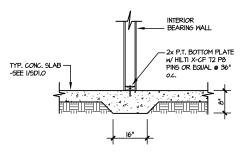
TYPICAL SLAB ON GRADE PERIMETER 8 FOOTING @ PORCH/PATIO SCALE: 3/8"=1'-0"

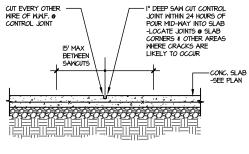


TYPICAL SLAB ON GRADE PERIMETER

FOOTING @ PORCH/PATIO







TYPICAL FOOTING @ PORCH SLAB

TYPICAL THICKENED SLAB @ NITERIOR BEARING WALL

TYPICAL CONTROL JOINT SCALE: 9/8"=1"-0" LOCATE @ 15'-O" o.c. MAX, OR CORNERS WHERE CRACKS LIKELY TO DEVELOP

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.

AT

ARM LOT

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M&K project number: 126-22076

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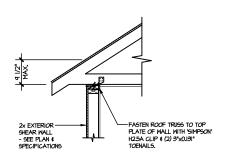
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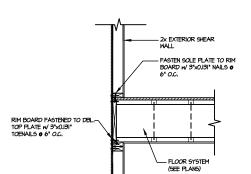
SEPH T. R

OFESSIO



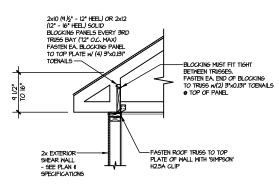
TYPICAL SHEAR

TRANSFER DETAIL @ ROOF Al TRANSFER HEEL HEIGHT LESS THAN 9½" NO BLOCKING REQ'D



TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ EXTERIOR WALL SCALE: 3/8'=1'-0'

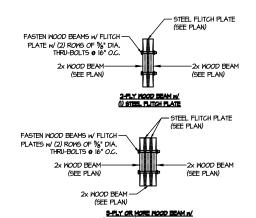
2x EXTERIOR SHEAR



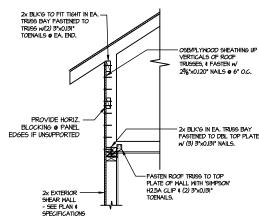
TYPICAL SHEAR

TRANSFER DETAIL @ ROOF
SCALE: 3/8'=1'-0' HEEL HEIGHT BETWEEN 9/

HEEL HEIGHT BETWEEN 9 ½" - 16" BLOCKING REQ'D



TYPICAL FLITCH BEAM CONNECTION DETAIL SCALE 944-91-0*

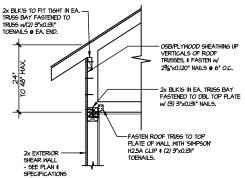


TYPICAL HOLD DOWN INSTALLATION SCALE: N.T.S.

- HOLD-DOWN (SEE PLANS)

- Anchor (refer to hold-down schedule on Plan) into concrete or 3,000 psi grouted





TYPICAL SHEAR TRANSFER DETAIL @ RAISED HEEL TRUSS SCALE: 3/8':|'-0' HEEL HEIGHT UP TO 48" MAX.

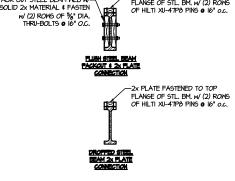
GABLE END TRUSS: SHEATHED W OSB/PLYWOOD - PROVIDE GABLE END BRACING PER FASTEN BOTTOM CHORD OF— GABLE END TRUSS TO DBL. TOP PLATE w/ 3"x0.131" NAILS & 8" O.C. 2x FXTFRIOR SHEAR WALL
- SEE PLAN &
SPECIFICATIONS

TYPICAL GABLE END DETAIL

SCALE: 9/0"=1"-0"

—2x PLATE FASTENED TO TOP FLANGE OF STL. BM, W/ (2) ROWS OF HILTI XU-4TP8 PINS ● 16" o.c. PACK OUT STEEL BEAM WEB W/SOLID 2x MATERIAL & FASTEN w/ (2) ROWS OF 3/8" DIA. THRU-BOLTS @ 16" O.C. -2x PLATE FASTENED TO TOP FLANGE OF STL. BM. w/ (2) ROWS OF HILTI XU-4TP8 PINS @ 16" o.c.

TYPICAL STEEL BEAM CONNECTION DETAIL SCALE 944-1-07



 \bigcup DETAIL Ŋ

NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

PROVIDE MIN. (2) STUDS @ HOLD-DOWN LOCATION —

A F NEIL'S (
COOPER 1

3/19/2

MULHERN+KU
RESIDENTIAL STRUCTURAL ENGINE

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M&K project number:

drawn by:

REVISIONS

126-22076

issue date: 03-18-2!

JTR

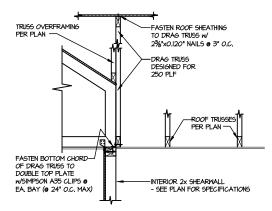
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H CAR

SEPH T. R

FARM / LOT 179 - (RALEIGH, 1

SHEAR TRANSFER DETAIL @ BREAK IN TRUSSES OVER SHEAR WALL



SHEAR TRANSFER DETAIL

AT INTERIOR SHEARWALL BELOW

8042 944-140

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

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OR SOFES SEPH T. RI

3/19/25

MUCHERNAL KULP



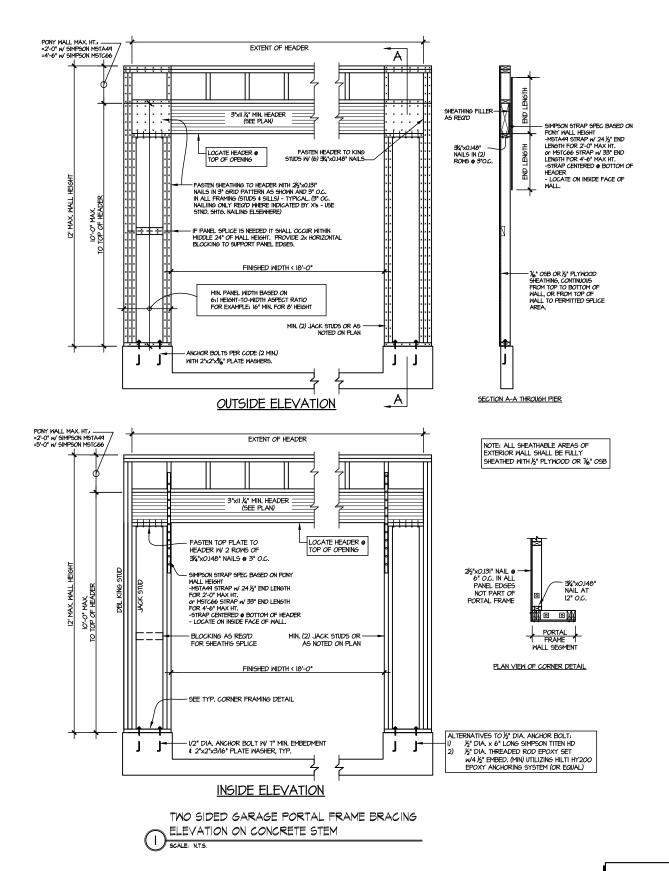
M&K project number: 126-22076

JTR drawn by: JAD issue date: 03-18-25

REVISIONS:

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CREEK FRAMING DETAILS FARM AT NEIL'S (LOT 179 - COOPER 1



3/19/25 TH CAR

MULHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERING Y

M&K project number:

126-22076

JTR drawn by: issue date: 03-18-25

REVISIONS:

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RAMING DETAILS FARM AT NEIL'S (LOT 179 - COOPER 1 RALEIGH, NC

NUMBERED DETAILS ARE PLAN

SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED

("CUT") ON THE PLANS.

SD2.2

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

MUCHERN+KULP

RESIDENTIAL STRUCTURAL ENGINEERING Y

M&K project number: 126-22076

JTR drawn by: issue date: 03-18-25

FARM AT NEIL'S CREEK LOT 179 - COOPER 1 RALEIGH, NC

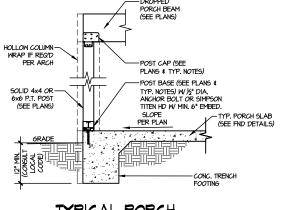
FRAMING DETAILS

NUMBERED DETAILS ARE PLAN

SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED

("CUT") ON THE PLANS.

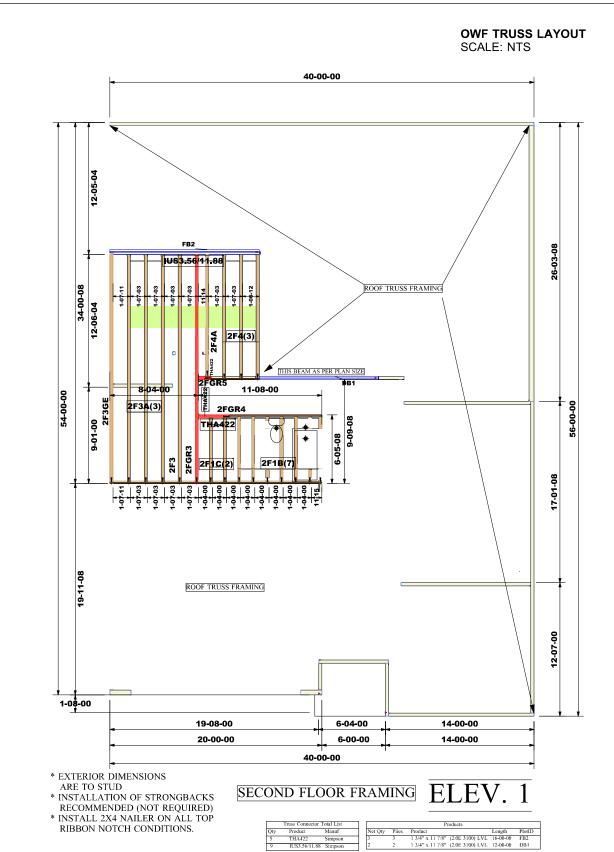
SD3.0



TYPICAL PORCH
POST CONNECTION DETAIL
SCALE: NONE SLAB ON GRADE SHOW SLAB ON GRADE SHOWN (SIM. e CRAWL & BSMT.)

> ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

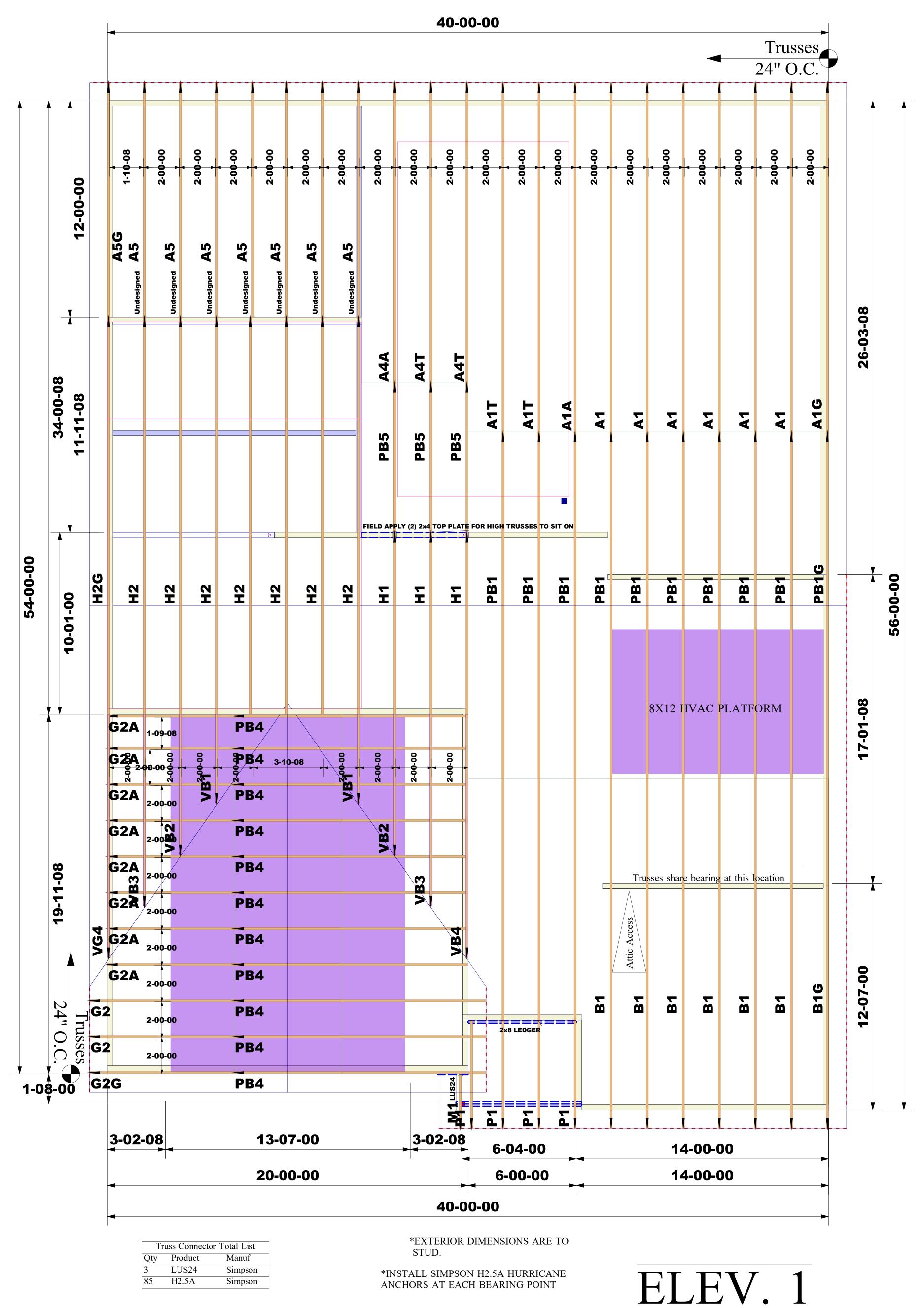
LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN



THE FARM AT NEILL'S CREECK (NC)(RAL) LOT 00.0179 PHASE MODEL-1776-1-COOPER 3 GARAGE LEFT SIDE OPTIONAL BONUS ROOM

W/ BEDROOM FRAMING

Job #: 2503-3677	WARNING: CONVENTIONAL FRANCE, CRECTION AND/OR PERSIAMENT SIACE NO IS NOT THE RESPONSIBILITY OF PERSIAMENT SIACE NO IS NOT THE RESPONSIBILITY OF PERSIA MANUFACTURES. PERSONS RECEIVED TRUSSES ARE CAUTIONED TO SERVE PROFESSIONAL AUGUS RESIAMENT OF SERVED SERVED MANUFALL BOOKSONS OF SERVED SERVED NO INC. BOOKSONS OF SERVED SERVED NO INC. BOOKSONS OF SERVED NO INC. BOOKSON SERVED NO INC. BOOK	FOR MECHANICAL EQUIPMENT AND OR PLUMBING	Customer: DRB Raleigh Job Name: The Farm at Neill's Creek Lot 00.0179 OWF	Third-Party Quality Assurance Licensee TPI Plant W974	6
Designer: Sayan Roy	APPLICATIONS. SEE "HEACING WOOD TRUDSES COMMENTARY AND RECOMMENDATIONS" (BCSI 1) FOR FURTHER INFORMATION. TRUSSES SHALL BE INSTALLED BY A STRAIGHT AND PLUME PORTION WHERE NO SHEATHING IS APPLIED DERICILLY TO TO AND OR BOTTOM CHORGE, THEY	THIS COMPANY IS A TRUSS MANUFACTURER WHOSE REPONDISHINGS ARE LIMITED TO THOSE DESCRIBED IN WITCH 1995 TRESTOR RESPONSIBILITIES ACCORDINGLY, IT DISCLAMS ANY RESPONSIBILITIES AND OR LIARLITY FOR THE CONSTRUCTION DESIGN, DRAWINGS, DOCUMENTS	<u>Lot #:</u> Lot 00.0179	Structural, LLC 201 Poplar Avenue Thurmont, MD 21788	
Sales Rep: Robbie Zarobinski	SHALL BE BRACED AS SPCIFED ON THE BRIGHRERED DES BH. TRUSSES SHALL BE HANDLED WITH REAGONABLE CARE BURNO ERECTION TO PREVENT DAMAGE OR PERSONAL BUJURY.	INCLUDING THE HISTALLATION, AND BRACING OF TRUSSES MANUFACTURED BY THE COMPANY.	Model Name: Cooper 3	Phone: 301-271-7591	



ROOF FRAMING PLAN

The Farms at Neill's Creek (NC)(RAL) Lot.179
Garage Left
Cooper 3
Elev.1
OPT. Bonus Room
Tray Ceiling Family Room

Job #: 2503-3678	CONVENTIONAL FRAMING, ERECTION AND/OR PERMANENT BRACING IS NOT THE RESPONSIBILITY OF THE TRUSS DESIGNER, PLATE MANUFACTURER, OR THE	NOTE: IT IS THE RESPONSIBILITY OF THE BUILDING DESIGNER OR ARCHITECT TO PROVIDE AN APPROPRIATE CONNECTION FOR TRUSSES TO	Customer: DRB Ralei
	TRUSS MANUFACTURER. PERSONS ERECTING TRUSSES ARE CAUTIONED TO SEEK PROFESSIONAL ADVICE REGARDING THE ERECTION BRACING WHICH IS ALWAYS REQUIRED TO PREVENT TOPPLING AND DOMINOING DURING ERECTION; AND PERMANENT BRACING WHICH MAY BE REQUIRED IN SPECIFIC	SUPPORTING STRUCTURE PER REACTIONS SHOWN ON TRUSS ENGINEERING. SPECIAL CONSIDERATIONS FOR MECHANICAL EQUIPMENT AND/OR PLUMBING (AND THEIR CONNECTIONS) IN TRUSS SPACE MUST BE DIAGRAMMED BY BUILDER ON APPROVED TRUSS LAYOUT PRIOR TO FABRICATION.	Job Name: Station Po
Designer: Sai Kris	APPLICATIONS. SEE "BRACING WOOD TRUSSES COMMENTARY AND RECOMMENDATIONS" (BCSI 1) FOR FURTHER INFORMAITON. TRUSSES SHALL BE INSTALLED IN A STRAIGHT AND PLUMB POSITION WHERE NO SHEATHING IS APPLIED	THIS COMPANY IS A TRUSS MANUFACTURER WHOSE RESPONSIBILITIES ARE LIMITED TO THOSE DESCRIBED IN WTCA 1-1995 "DESIGN RESPONSIBILITIES". ACCORDINGLY, IT DISCLAIMS ANY RESPONSIBILITIES AND/OR LIABILITY FOR THE CONSTRUCTION DESIGN.	Lot #: Lot 00.01790172
Sales Rep: Robbie Zarobinski	DIRECTLY TO TOP AND/OR BOTTOM CHORDS, THEY SHALL BE BRACED AS SPCIFIED ON THE ENGINEERED DESIGN. TRUSSES SHALL BE HANDLED WITH REASONABLE CARE DURING ERECTION TO PREVENT DAMAGE OR PERSONAL INJURY.	CONSTRUCTIION DESIGN, DRAWINGS, DOCUMENTS INCLUDING THE INSTALLATION, AND BRACING OF TRUSSES MANUFACTURED BY THIS COMPANY.	Model Name: Cooper Lot 00.0179 Roof

