

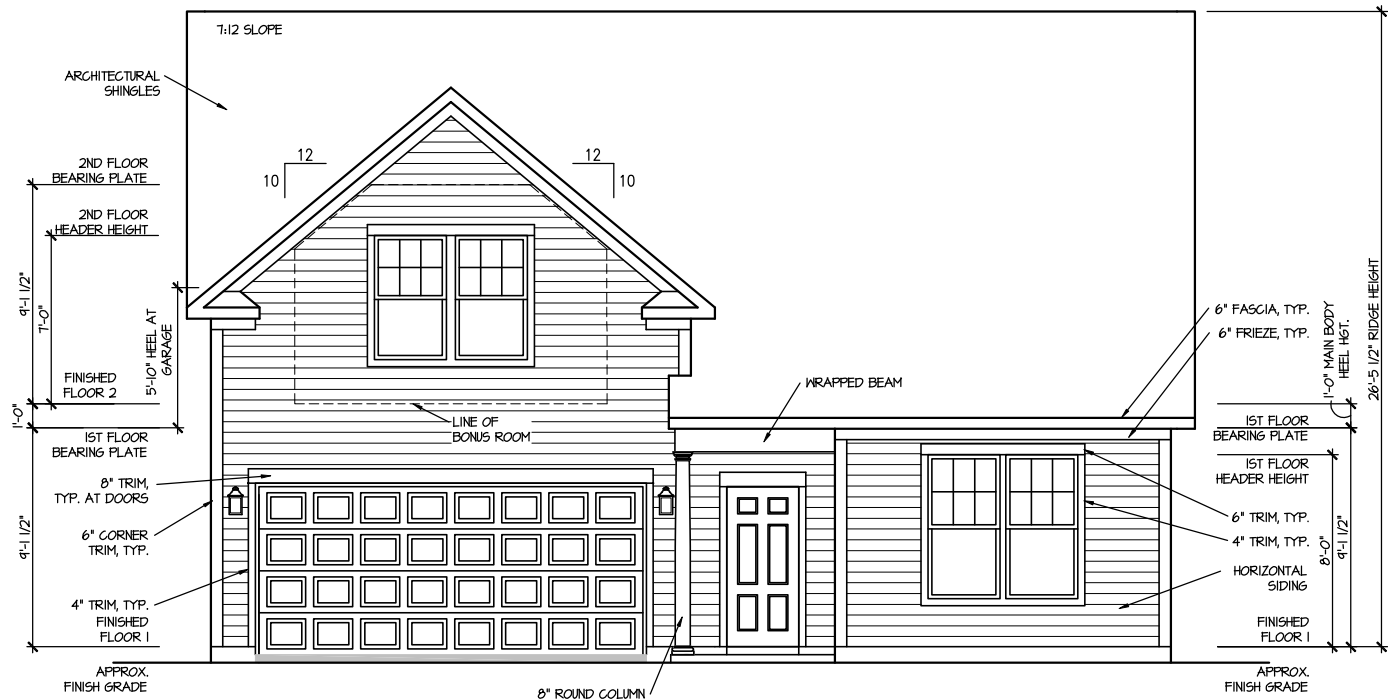
RALEIGH - LOT 00.0179 THE FARM AT NEILL'S CREEK

ELEVATION 1 - GL

LOT SPECIFIC

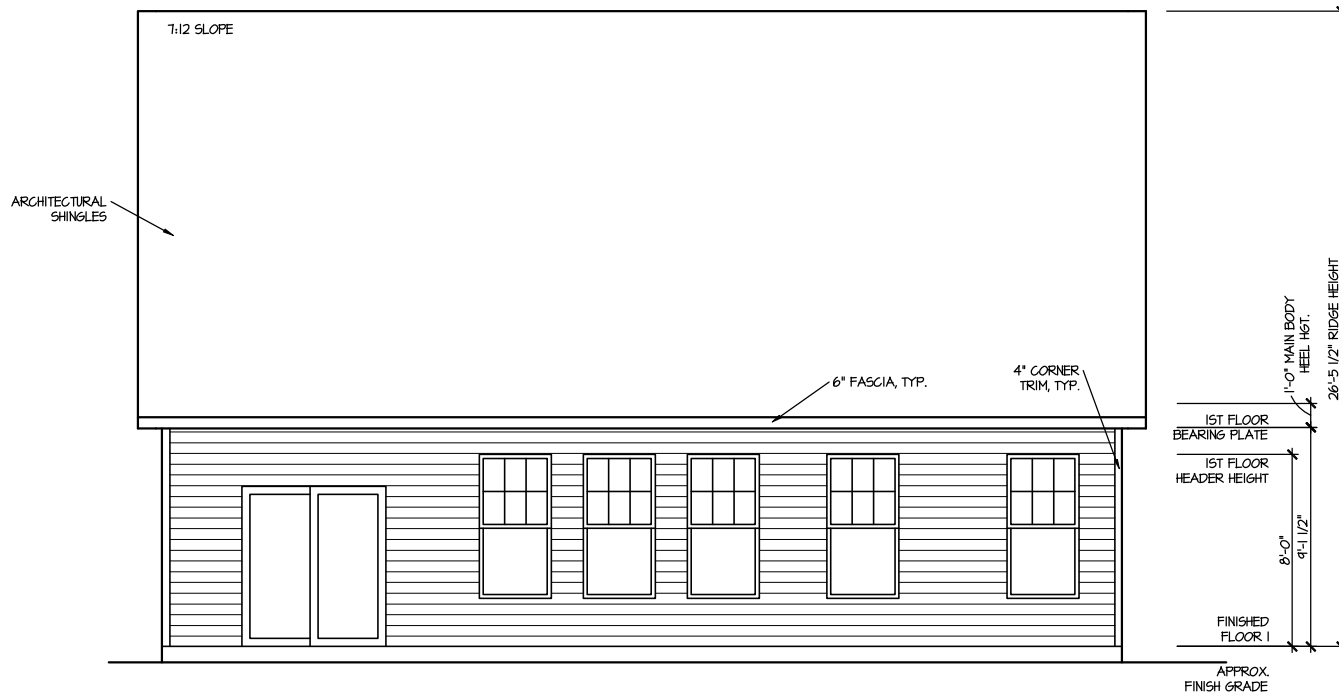
[illegible][illegible][illegible]

FILE: Lot_00.0179.dwg DATE: 3/13/2025 10:17 AM



FRONT ELEVATION I

SCALE: 1/8" = 1'-0"



REAR ELEVATION I

SCALE: 1/8" = 1'-0"

MASTER PLAN INFORMATION

REVISION	DATE	UPDATED DATE
4-RALE	02-24-2022	02-19-2025

DRAWN BY: ITS

DATE: 03/13/2025

PLAN NO. 1777

DRB HOMES

HOUSE NAME: COOPER 3

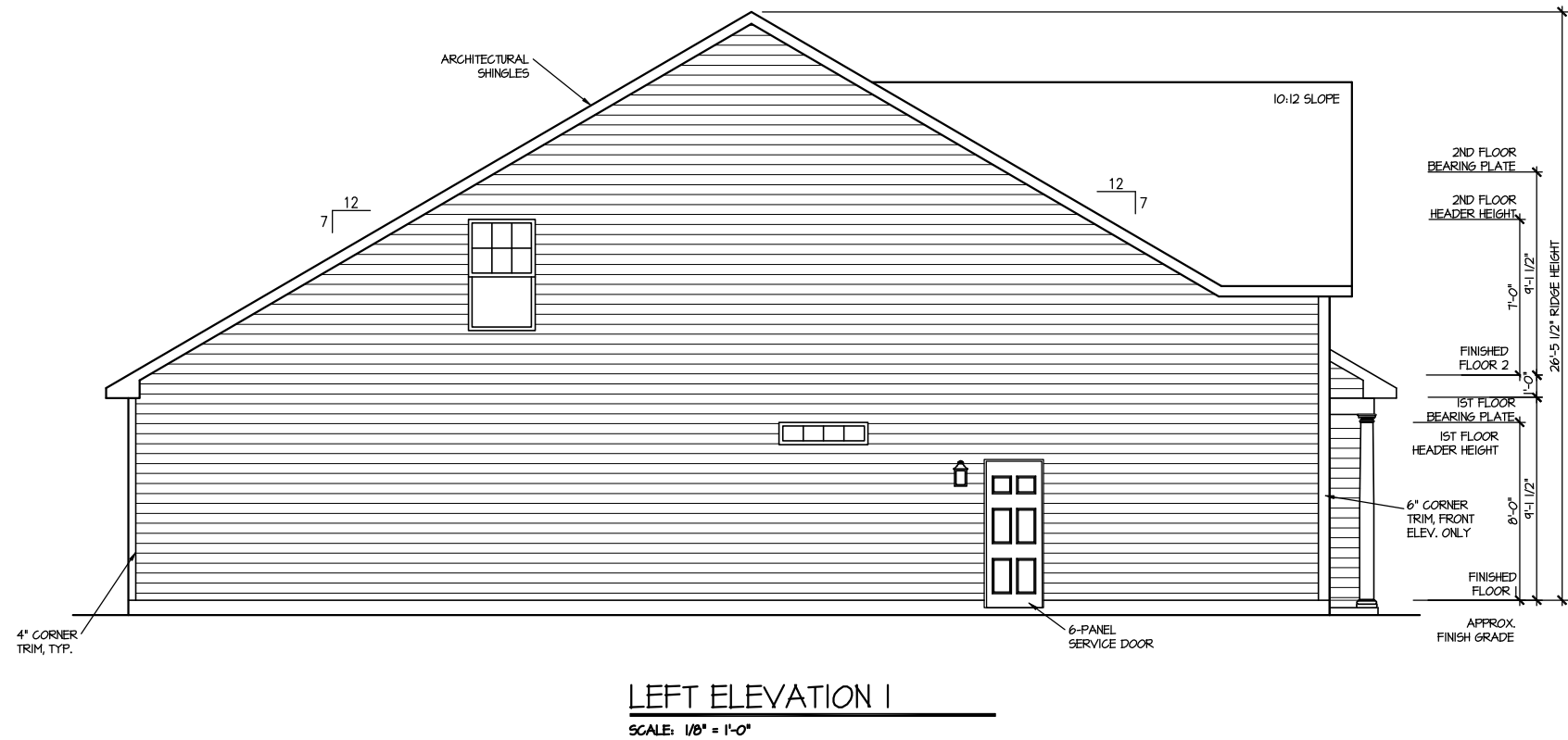
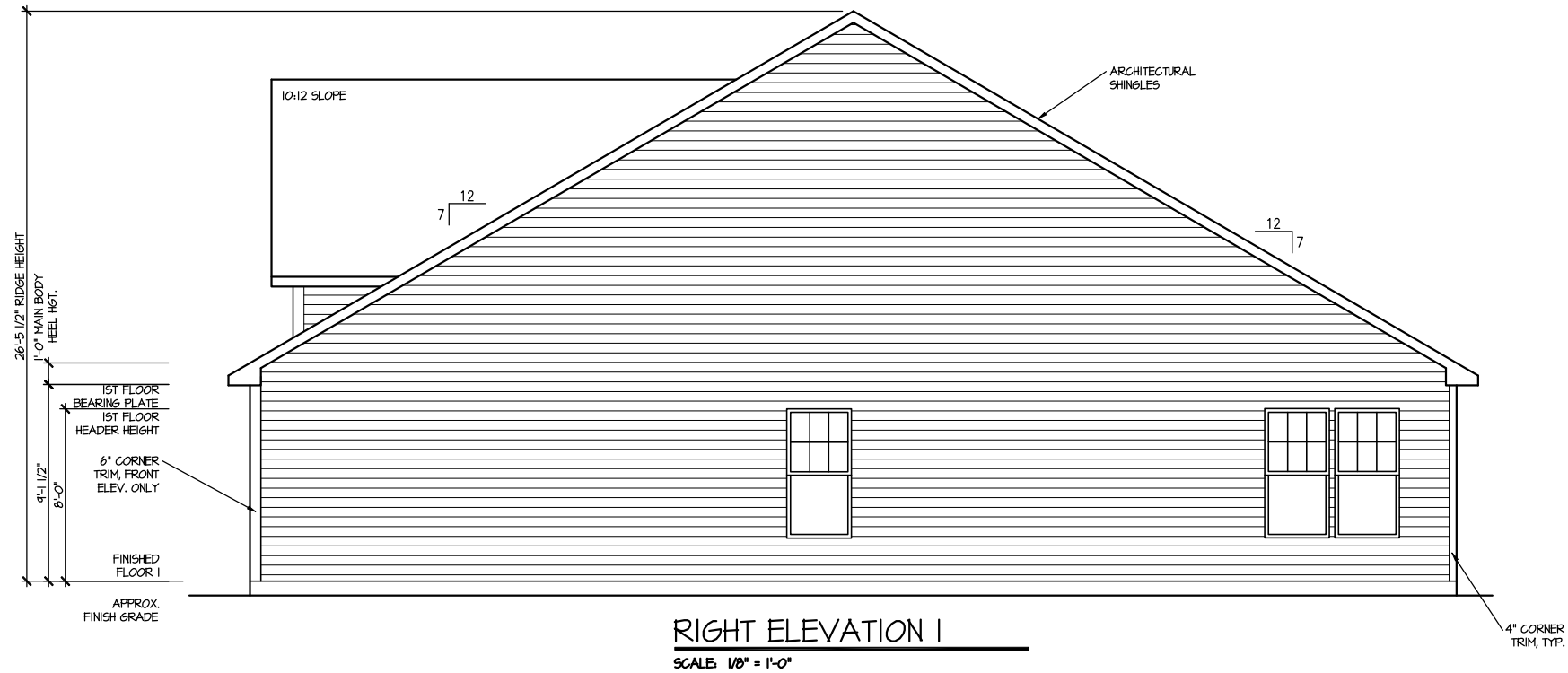
DRAWING TITLE

FRONT & REAR ELEVATIONS

SHEET No.

A.1

FILE: Lot_00.0179.dwg DATE: 3/13/2025 10:17 AM



MASTER PLAN INFORMATION			UPDATED DATE
REVISION	DATE		
4-RALE	02-24-2022		02-19-2025

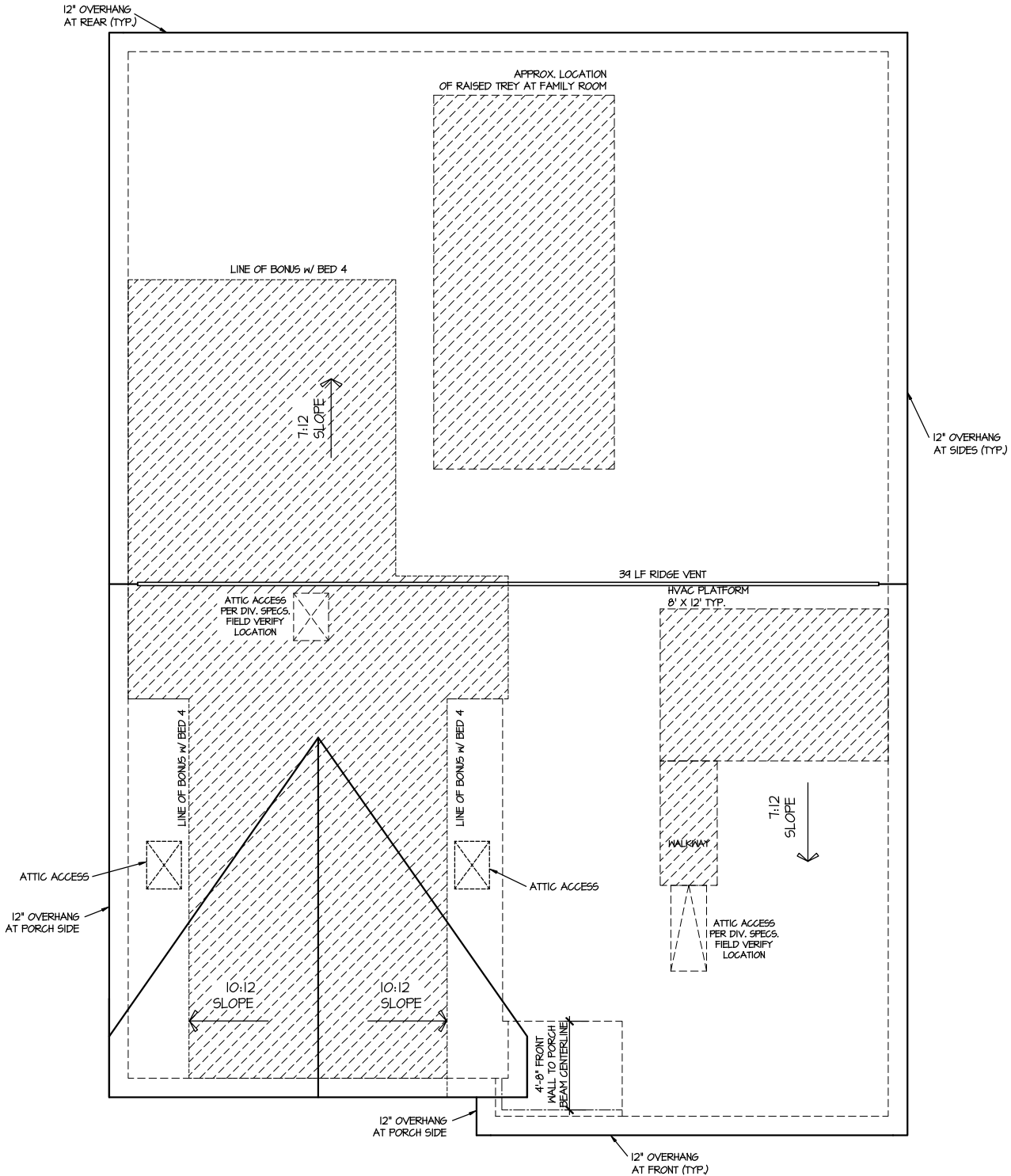
DRAWN BY:	ITS
DATE:	03/13/2025
PLAN NO.	1777

DRB
HOMES

HOUSE NAME:	COOPER 3
DRAWING TITLE	RIGHT & LEFT ELEVATIONS

SHEET No.
A1.2

ROOF VENTILATION CALCULATIONS:
ROOF AREA = 2316 SQ. FT.
OVERALL REQUIRED VENTILATION:
1 TO 150 = 15.44 SQ. FT.
1 TO 300 = 7.72 SQ. FT.
50-80% IN TOP THIRD = 3.86 - 6.18 SQ. FT. (1 TO 300)
NET FREE AREA OF VENTED SOFFIT = 5.7 SQ. IN. / LINEAR FT.
NET FREE AREA OF RIDGE VENT = 19 SQ. IN. / LINEAR FT.
LOWER VENTING: (BOTTOM 2/3 RISE)
14 LINEAR FEET OF SOFFIT X 5.7 SQ. IN. = 2.43 SQ. FT.
UPPER VENTING: (TOP 1/3 RISE)
34 LINEAR FEET OF RIDGE X 19 SQ. IN. = 4.88 SQ. FT.
4.88 SQ. FT. BETWEEN 50% - 80%
(1 TO 300 ALLOWED)
TOTAL ROOF VENTILATION: 7.31 SQ. FT. > 7.72 SQ. FT. (REQ'D)



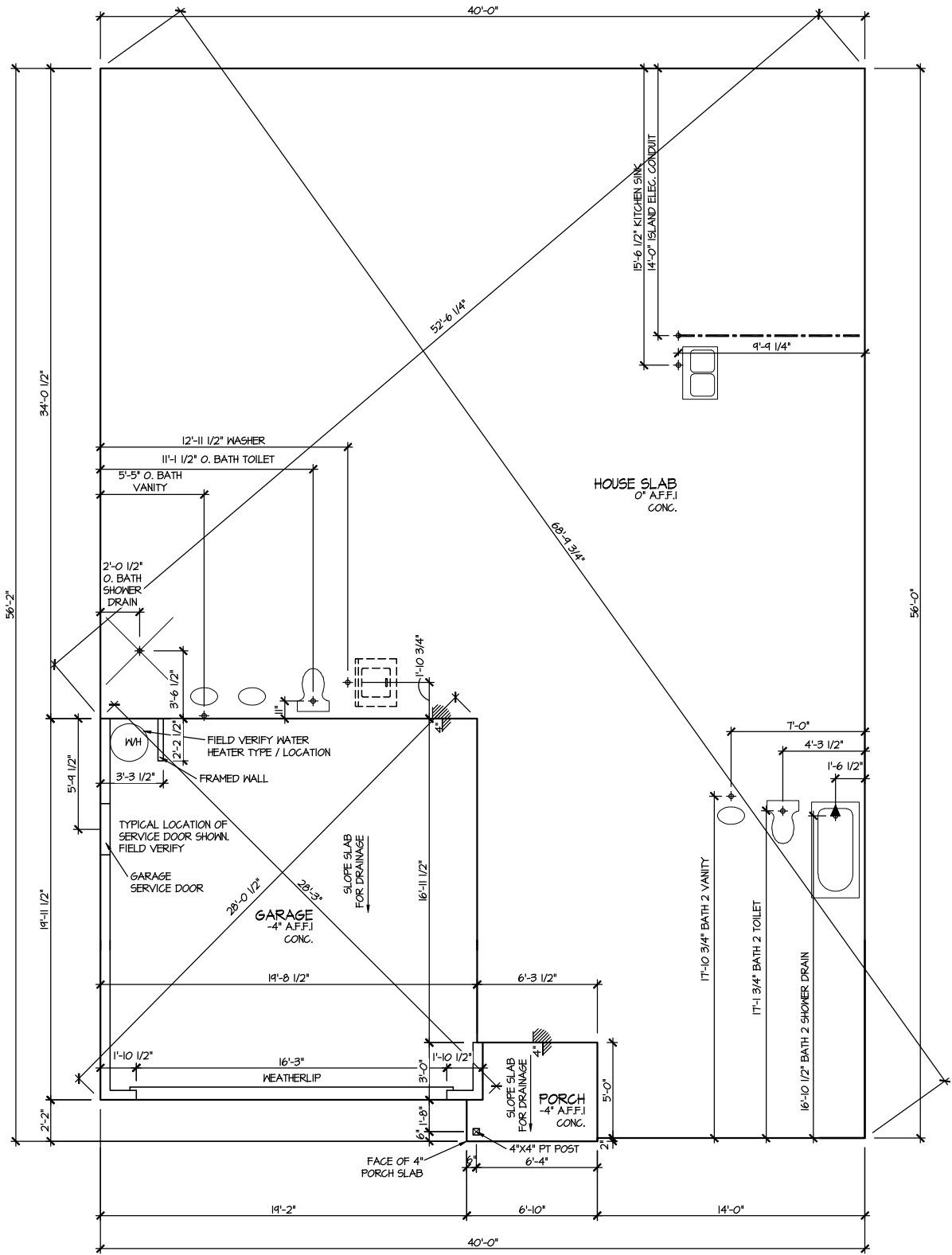
ROOF PLAN ELEV. 1
SCALE: 1/8" = 1'-0"

MASTER PLAN INFORMATION			UPDATED DATE
REVISION	DATE		
4-RALE	02-24-2022		02-19-2025

DRAWN BY:	ITS
DATE:	03/13/2025
PLAN NO.	1777



HOUSE NAME:	COOPER 3
DRAWING TITLE	ROOF PLAN



ELEVATION 1
SLAB PLAN

SCALE: 1/8" = 1'-0"

MASTER PLAN INFORMATION			
REVISION	DATE	UPDATED DATE	
4-RALE	02-24-2022	02-19-2025	

DRAWN BY:	ITS
DATE:	03/13/2025
PLAN NO.	1777

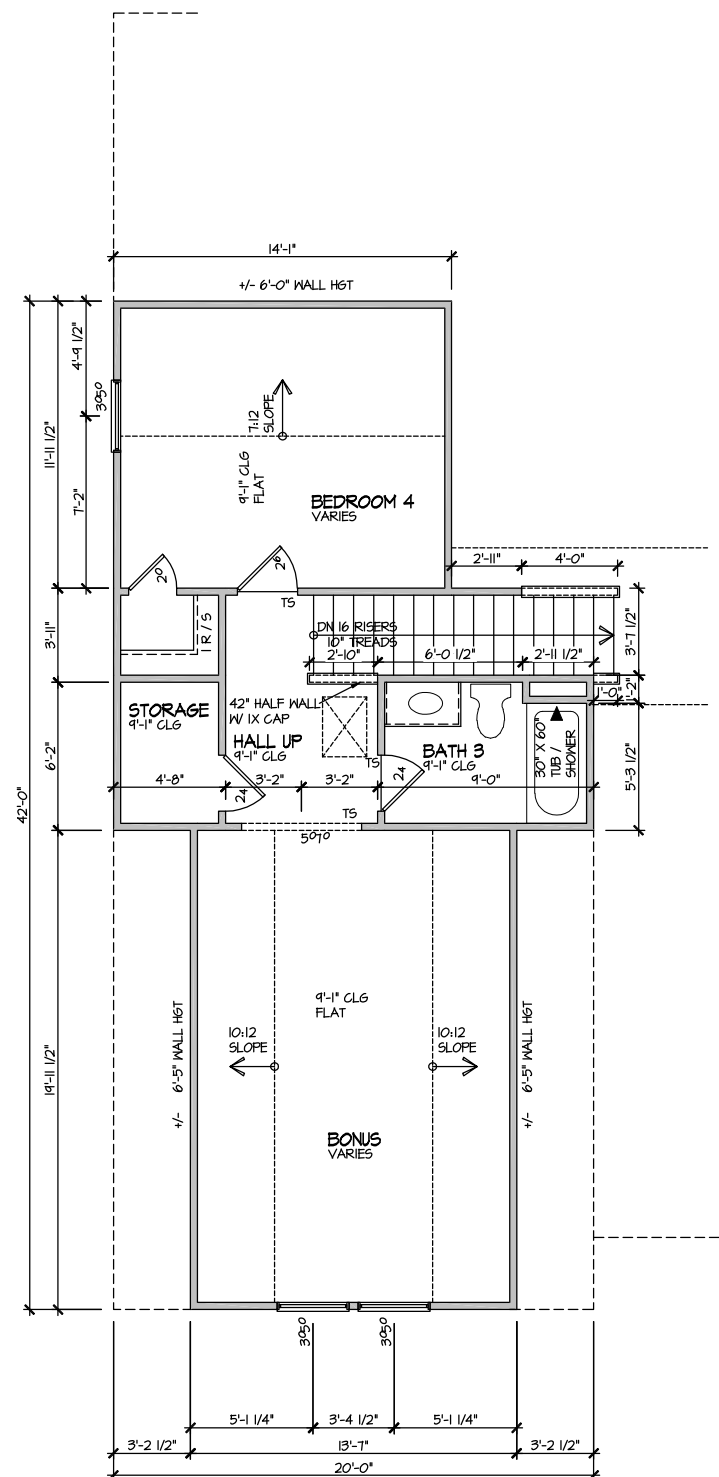


HOUSE NAME:
COOPER 3
DRAWING TITLE
SLAB PLAN

SHEET No.
A2.1

SCALE: 1/8" = 1'-0"

SHEET No. A3.



ELEVATION I
SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

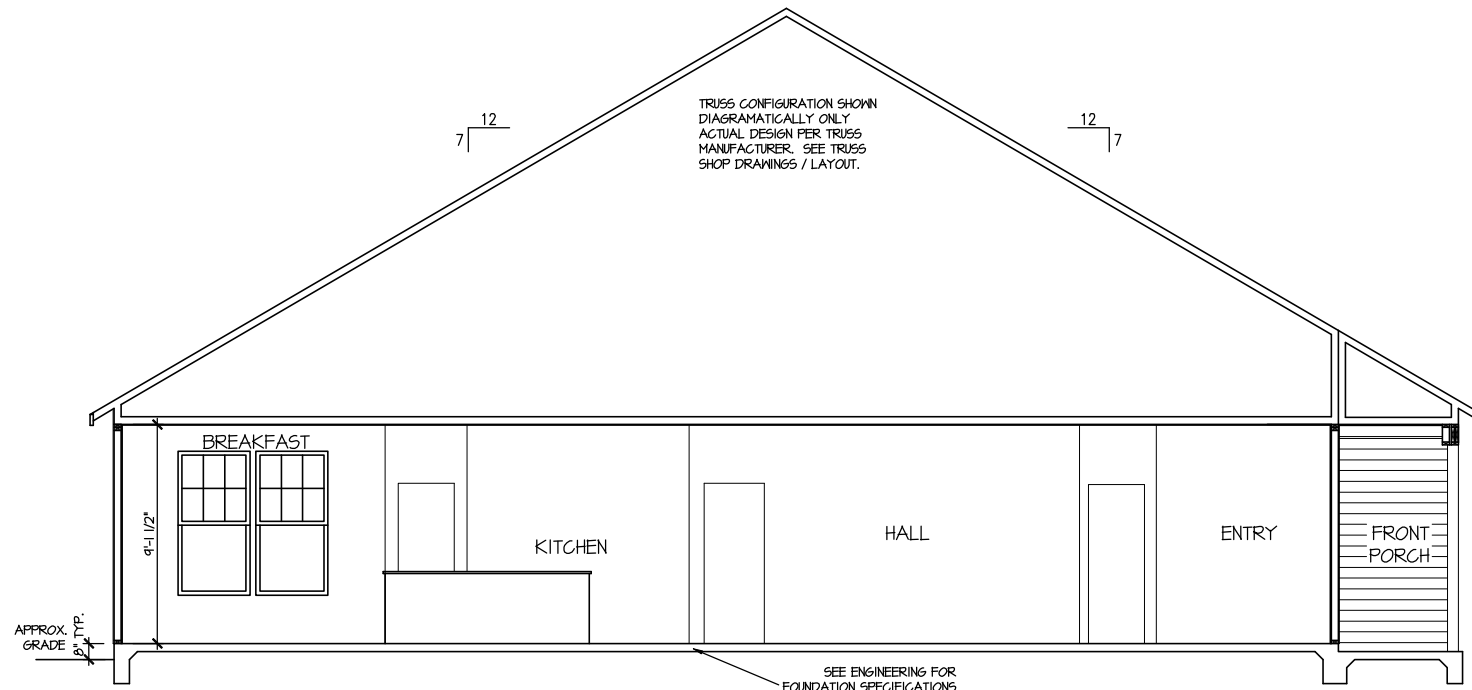
[illegible]

DRAWN BY: ITS
DATE: 03/13/2025
PLAN NO. 1777



HOUSE NAME:	COOPER 3
DRAWING TITLE	SECOND FLOOR PLAN

SHEET No.
A3.2



BUILDING SECTION

SCALE: 1/8" = 1'-0"

MASTER PLAN INFORMATION			UPDATED DATE
REVISION	DATE		
4-RAL	02-24-2022		02-19-2025

DRAWN BY:	ITS
DATE:	03/13/2025
PLAN NO.	1777



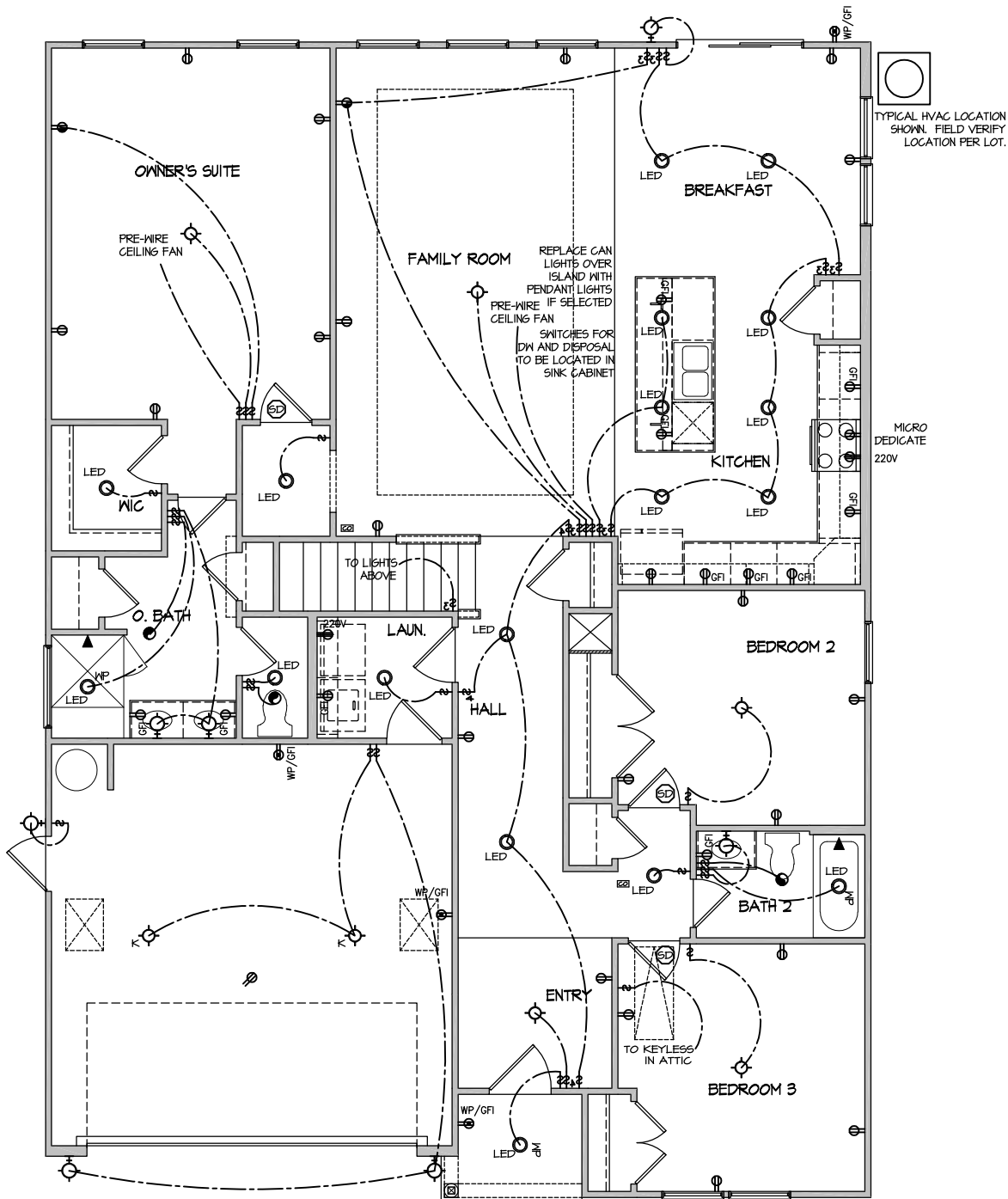
HOUSE NAME:	COOPER 3
DRAWING TITLE	BUILDING SECTION

SHEET No.
A4.1

ELECTRICAL LEGEND

- Ⓢ SINGLE POLE SWITCH
- Ⓢ₃ THREE WAY SWITCH
- Ⓢ₄ FOUR WAY SWITCH
- Ⓢ DUPLEX AFCI RECEPTACLE
- Ⓢ DUPLEX AFCI RECEPTACLE - BOTTOM HALF SWITCHED
- Ⓢ DUPLEX AFCI RECEPTACLE - FLOOR MOUNTED
- 220V Ⓢ RECEPTACLE - 220V
- GFI Ⓢ DUPLEX AFCI RECEPTACLE - GFI
- WP/GFI Ⓢ DUPLEX AFCI RECEPTACLE - WATERPROOF GFI
- Ⓢ SMOKE DETECTOR - WIRED IN SERIES
- Ⓢ EXHAUST FAN MOTOR
- Ⓢ CO DETECTOR
- Ⓢ DOOR CHIME
- Ⓢ LIGHT FIXTURE - WALL MOUNTED
- Ⓢ LIGHT FIXTURE - CEILING MOUNTED
- Ⓢ LIGHT FIXTURE - RECESSED CAN
- Ⓢ LED LIGHT FIXTURE - LED SURFACE MOUNTED
- Ⓢ_P PULLCHAIN LAMPHOLDER
- Ⓢ_K KEYLESS LAMPHOLDER

NOTE: ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE ADOPTED VERSION OF THE NATIONAL ELECTRICAL CODE, THE LOCAL POWER COMPANY AND TO ALL APPLICABLE LOCAL REGULATIONS.



ELECTRICAL PLAN
FIRST FLOOR - ELEV. 1

SCALE: 1/8" = 1'-0"

MASTER PLAN INFORMATION

DRAWN BY: ITS
DATE: 03/13/2025
PLAN NO. 1777

DRB
HOMES

HOUSE NAME: COOPER 3
DRAWING TITLE: FIRST FLOOR ELECTRICAL

SHEET No. 1

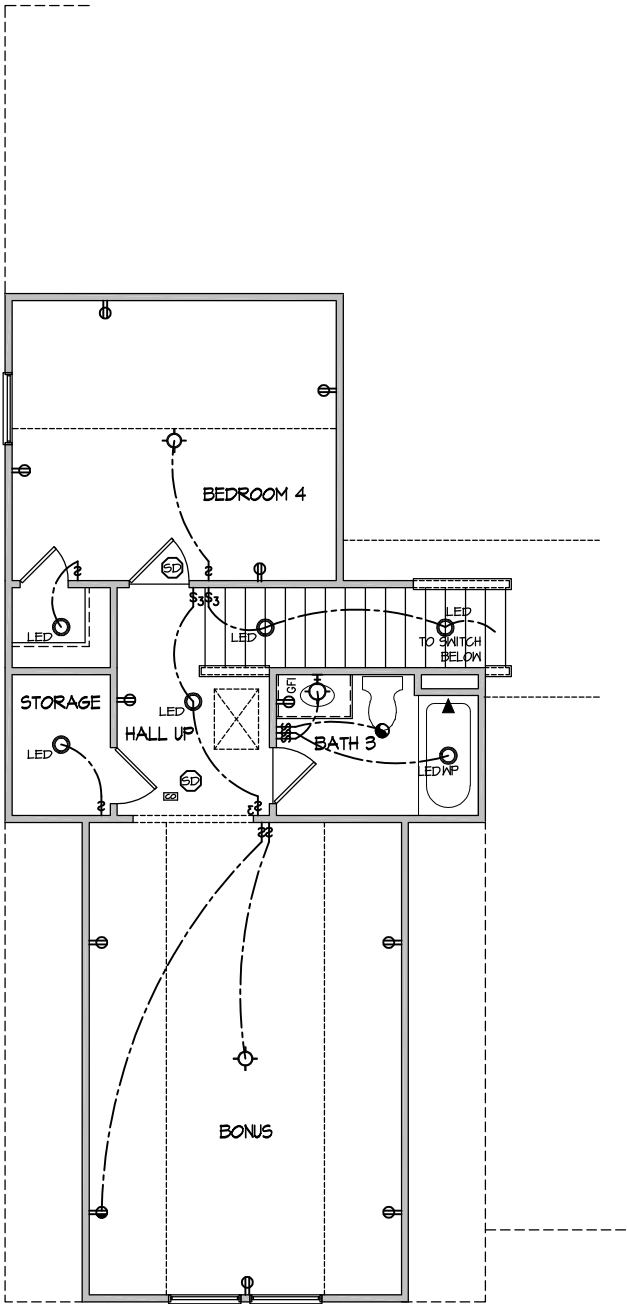
UPDATED DATE
02-19-2025

REVISION
4-RALE
02-24-2022

ELECTRICAL LEGEND

- ϕ SINGLE POLE SWITCH
- ϕ_3 THREE WAY SWITCH
- ϕ_4 FOUR WAY SWITCH
- DUPLEX AFCI RECEPTACLE
- DUPLEX AFCI RECEPTACLE - BOTTOM HALF SWITCHED
- DUPLEX AFCI RECEPTACLE - FLOOR MOUNTED
- RECEPTACLE - 220V
- DUPLEX AFCI RECEPTACLE - GFI
- DUPLEX AFCI RECEPTACLE - WATERPROOF GFI
- SMOKE DETECTOR - WIRED IN SERIES
- EXHAUST FAN MOTOR
- CO DETECTOR
- DOOR CHIME
- LIGHT FIXTURE - WALL MOUNTED
- LIGHT FIXTURE - CEILING MOUNTED
- LIGHT FIXTURE - RECESSED CAN
- LIGHT FIXTURE - LED SURFACE MOUNTED
- PULLCHAIN LAMPHOLDER
- KEYLESS LAMPHOLDER

NOTE: ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE ADOPTED VERSION OF THE NATIONAL ELECTRICAL CODE, THE LOCAL POWER COMPANY AND TO ALL APPLICABLE LOCAL REGULATIONS.



ELECTRICAL PLAN
SECOND FLOOR - ELEV. 1

SCALE: 1/8" = 1'-0"

MASTER PLAN INFORMATION			UPDATED DATE
REVISION	DATE		
4-RALE	02-24-2022		02-19-2025

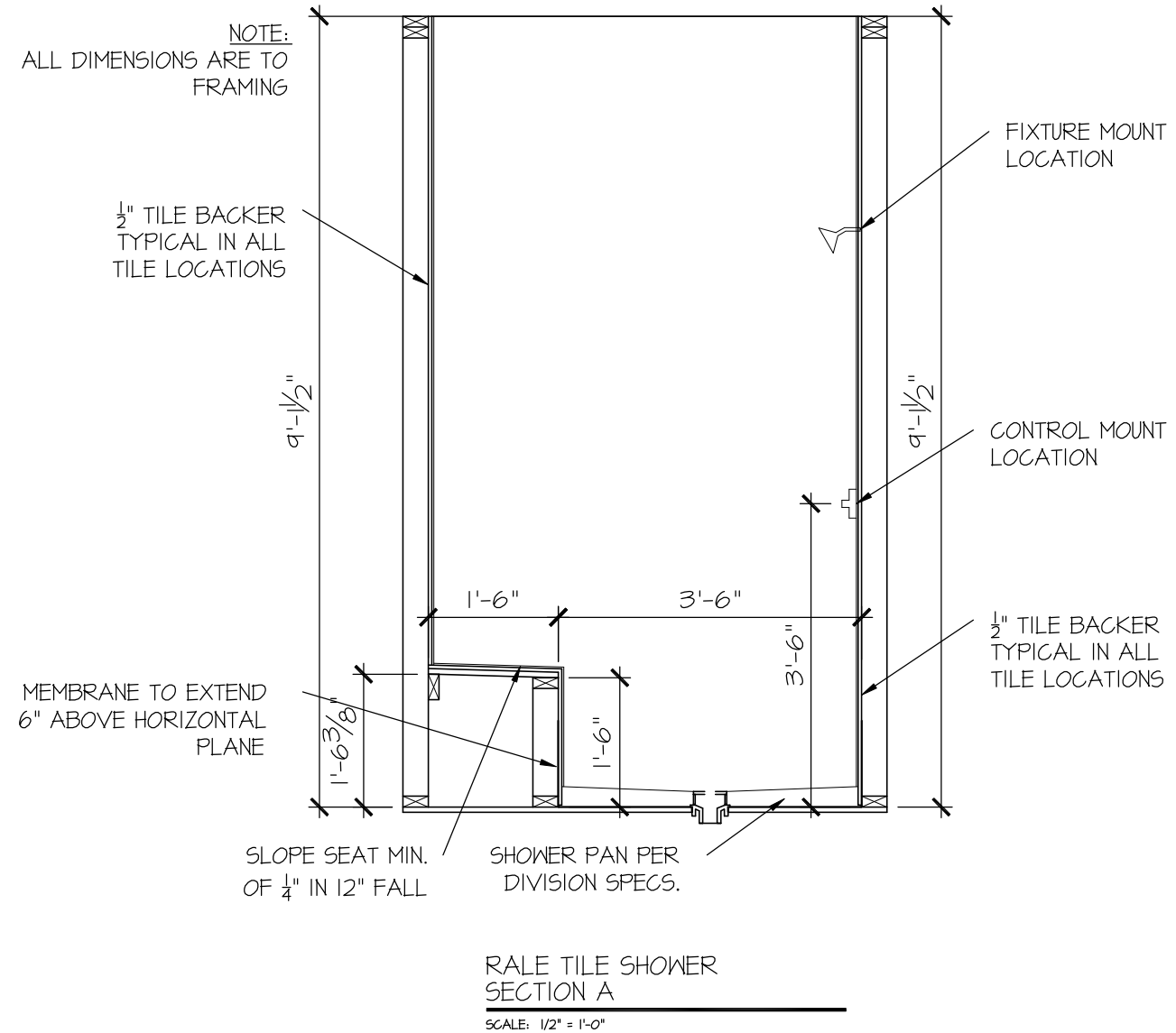
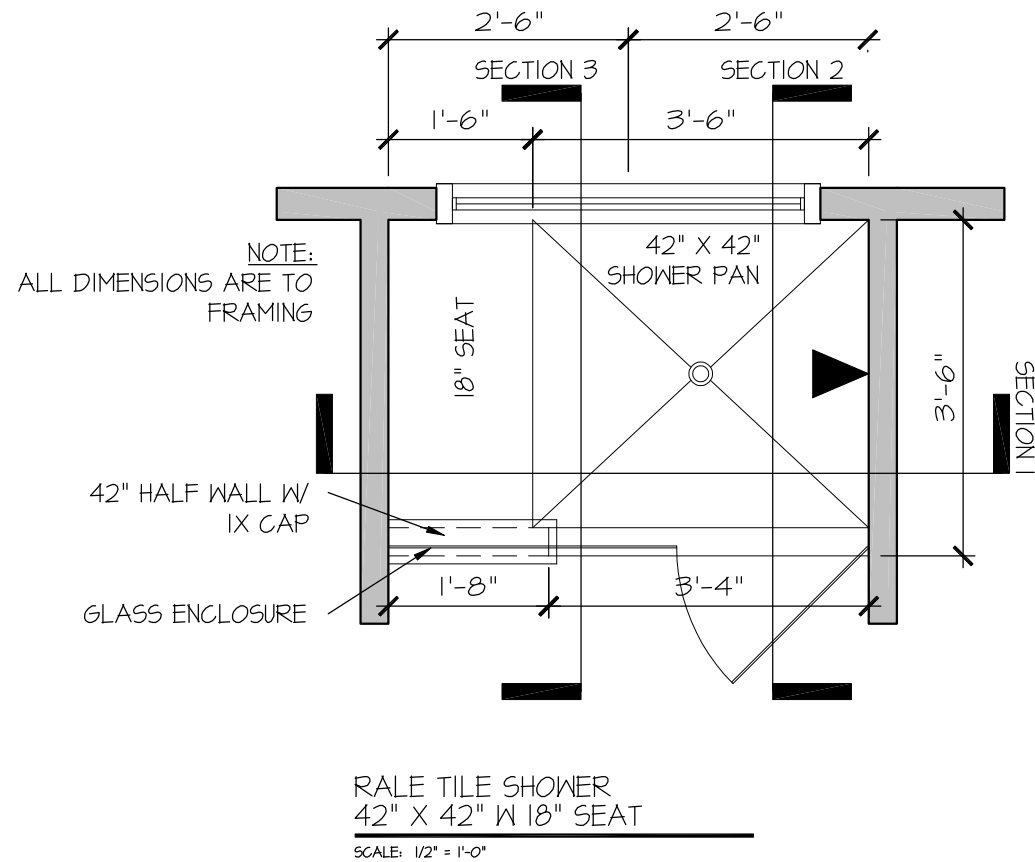
DRAWN BY:	ITS
DATE:	03/13/2025
PLAN NO.	1777



HOUSE NAME:	COOPER 3
DRAWING TITLE	SECOND FLOOR ELECTRICAL

SHEET No.
11.2

FILE: RALE TILE SHOWER DETAIL 8-2022.dwg DATE: 09-19-2022



CONSULTANT LOGO

SEAL

DRAWN BY:
L. BEAVERS
DATE: 9/1/22
PLAN NO.
11 X 17 SCALE
24 X 36 SCALE

DRB
HOMES

HOUSE NAME:

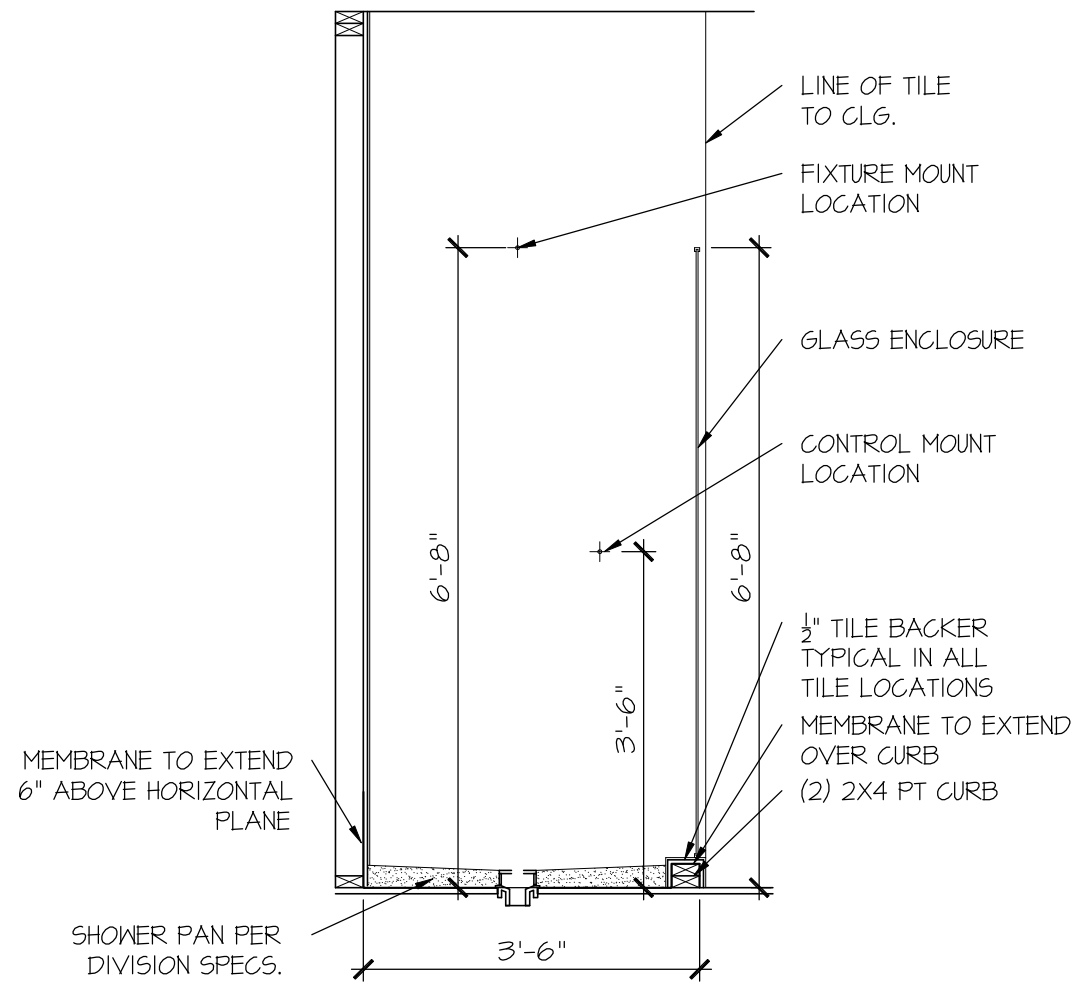
DRAWING TITLE

RALE TILE SHOWER DETAIL

SHEET No.

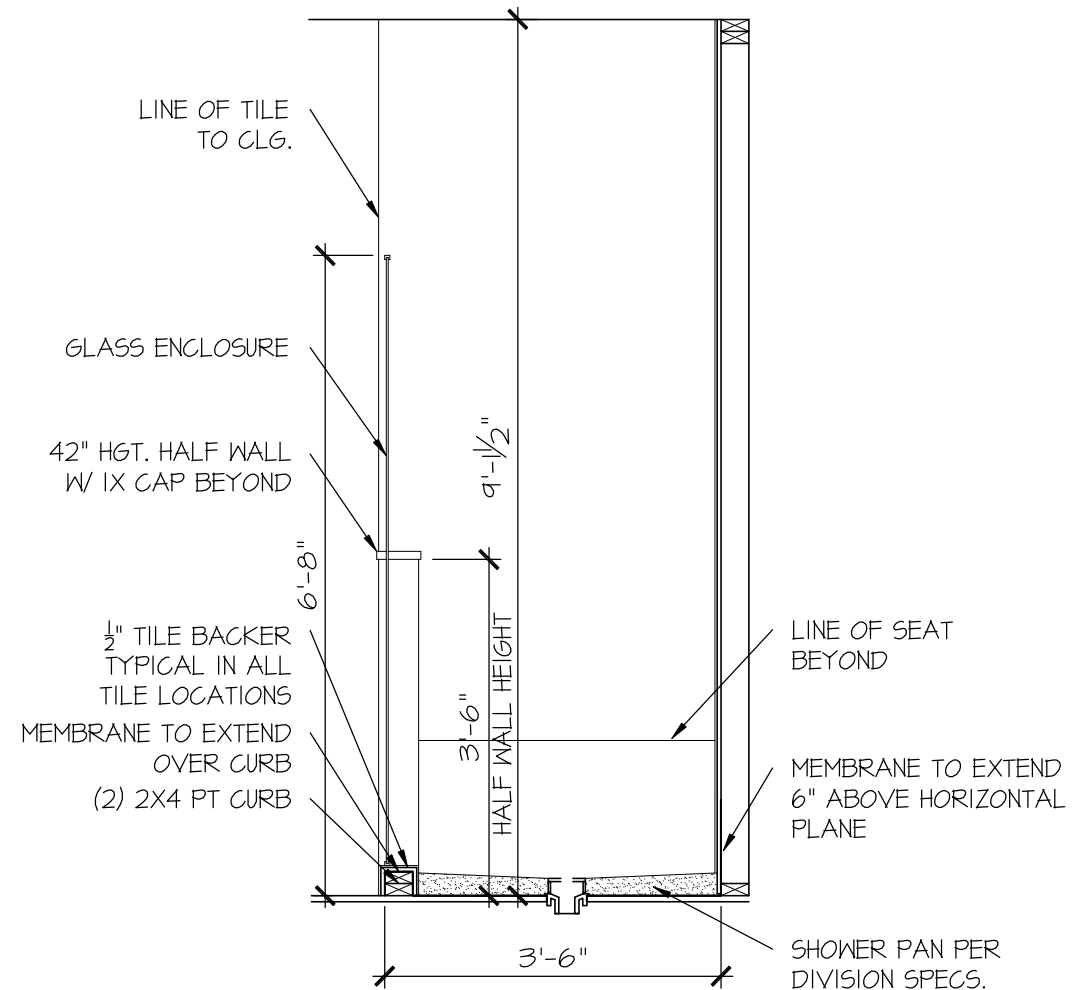
0111

FILE: RALE TILE SHOWER DETAIL 8-2022.dwg DATE: 09-19-2022



RALE TILE SHOWER
SECTION B

SCALE: 1/2" = 1'-0"



RALE TILE SHOWER
SECTION C

SCALE: 1/2" = 1'-0"

CONSULTANT LOGO

SEAL

DRAWN BY:
L. BEAVERS
DATE: 9/1/22
PLAN NO.
11 X 17 SCALE
24 X 36 SCALE

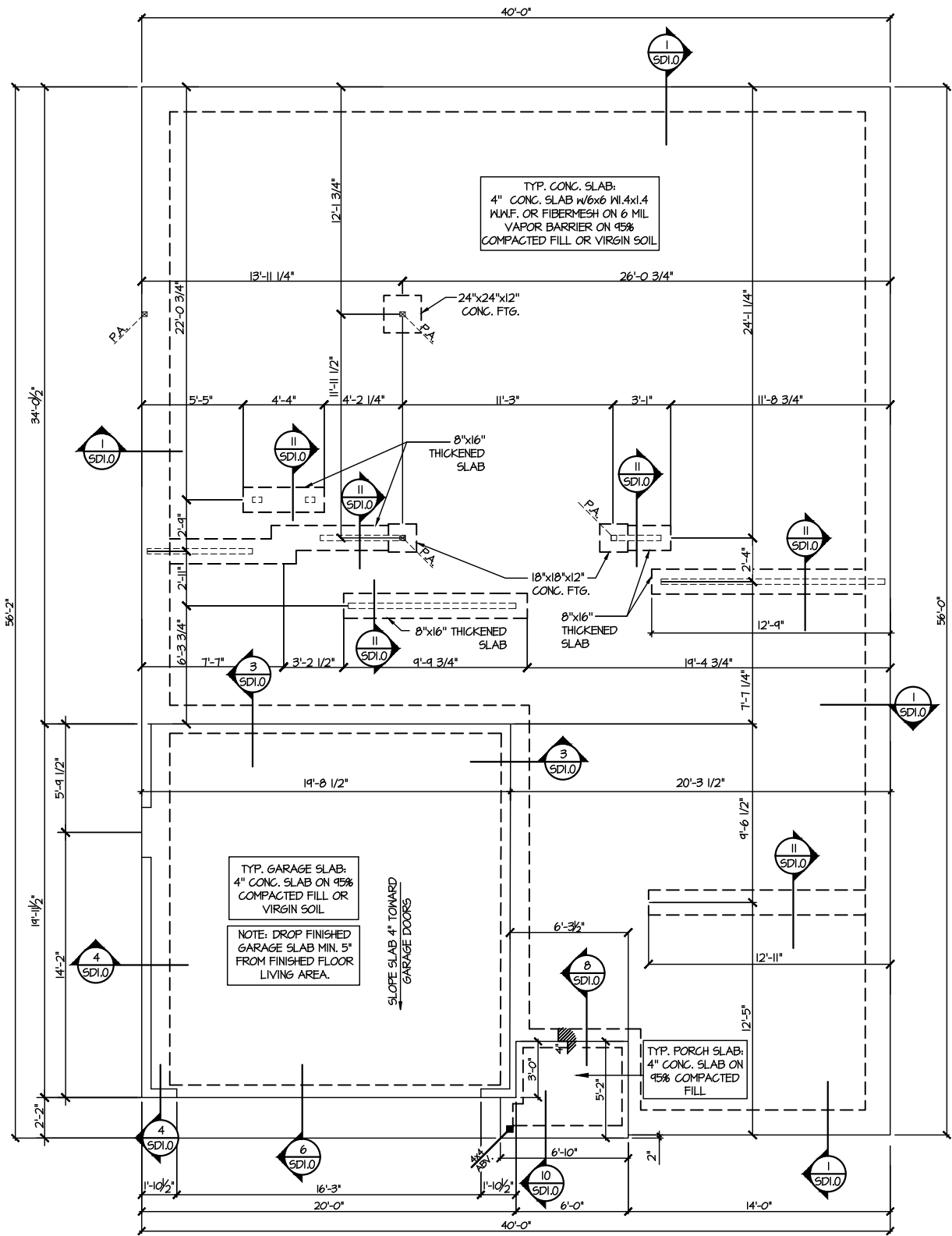
DRB
HOMES

HOUSE NAME:
DRAWING TITLE
RALE TILE SHOWER DETAIL

SHEET No.

01.12

GENERAL STRUCTURAL NOTES
FOUNDATION
<div><div><div>DESIGN IS BASED ON 2018 NORTH CAROLINA STATE BUILDING CODE: RESIDENTIAL CODE.</div><div>FOOTING DESIGN - 2,000 PSF ALLOWABLE SOIL BEARING PRESSURE IS ASSUMED. BUILDER/CONTRACTOR MUST VERIFY.</div><div>FASTEN 2x4/6 SILL PLATES TO FND WITH A MINIMUM OF 2 ANCHORS PER PLATE, 12" MAX. FROM PLATE ENDS - UTILIZING:<ul style="list-style-type: none">1/2" DIA. ANCHOR BOLTS @ 6'-0" O.C., 7" MIN. EMBEDMENT (CONC), 15" MIN. EMBEDMENT (CMU)SIMPSON MASA ANCHOR STRAPS @ 6'-0" O.C. (CONC)SIMPSON MAB23 ANCHOR STRAPS @ 2'-8" O.C. (CMU)(REFER TO DETAILS FOR 10' TALL WALL ANCHOR REQUIREMENTS)</div><div>ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT W/ CONCRETE OR CMU SHALL BE PRESERVATIVE TREATED SOUTHERN PINE #2.</div><div>BUILDER TO VERIFY CORROSION-RESISTANCE COMPATIBILITY OF HARDWARE & FASTENERS IN CONTACT W/ PRESERVATIVE-TREATED WOOD. CONTACT LUMBER & HARDWARE SUPPLIERS TO COORD.</div><div>BASEMENT INTERIOR BEARING WALLS & EXTERIOR WALK-OUT BASEMENT WALLS SHALL BE 2x6 @ 16" O.C. SFF OR 5YP, "STUD" GRADE OR BETTER.</div><div>CONCRETE DESIGN BASED ON ACI 318. CONCRETE SHALL ATTAIN THE FOLLOWING MIN. COMPRESSIVE STRENGTHS IN 28 DAYS, UNO.:<div><div><div><div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div><div></div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1 MONO SLAB FOUNDATION PLAN
SCALE: 1/8"=1'-0"

LEGEND

- INTERIOR BEARING WALL
- BEARING WALL ABOVE
- BEAM / HEADER
- INDICATES SHEAR WALL & EXTENT
- EXTENT OF OVERFRAMING
- 1L METAL HANGER
- INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

**REFER TO SO.0 FOR
TYPICAL STRUCTURAL NOTES
& SCHEDULES**



3/19/25

MULHERN+KULP
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380 Riverside Ave., Building 4 - Asheville, NC 28802
P 715-595-8081 • mulhern+kulp.com
NC LICENSE #C-3825

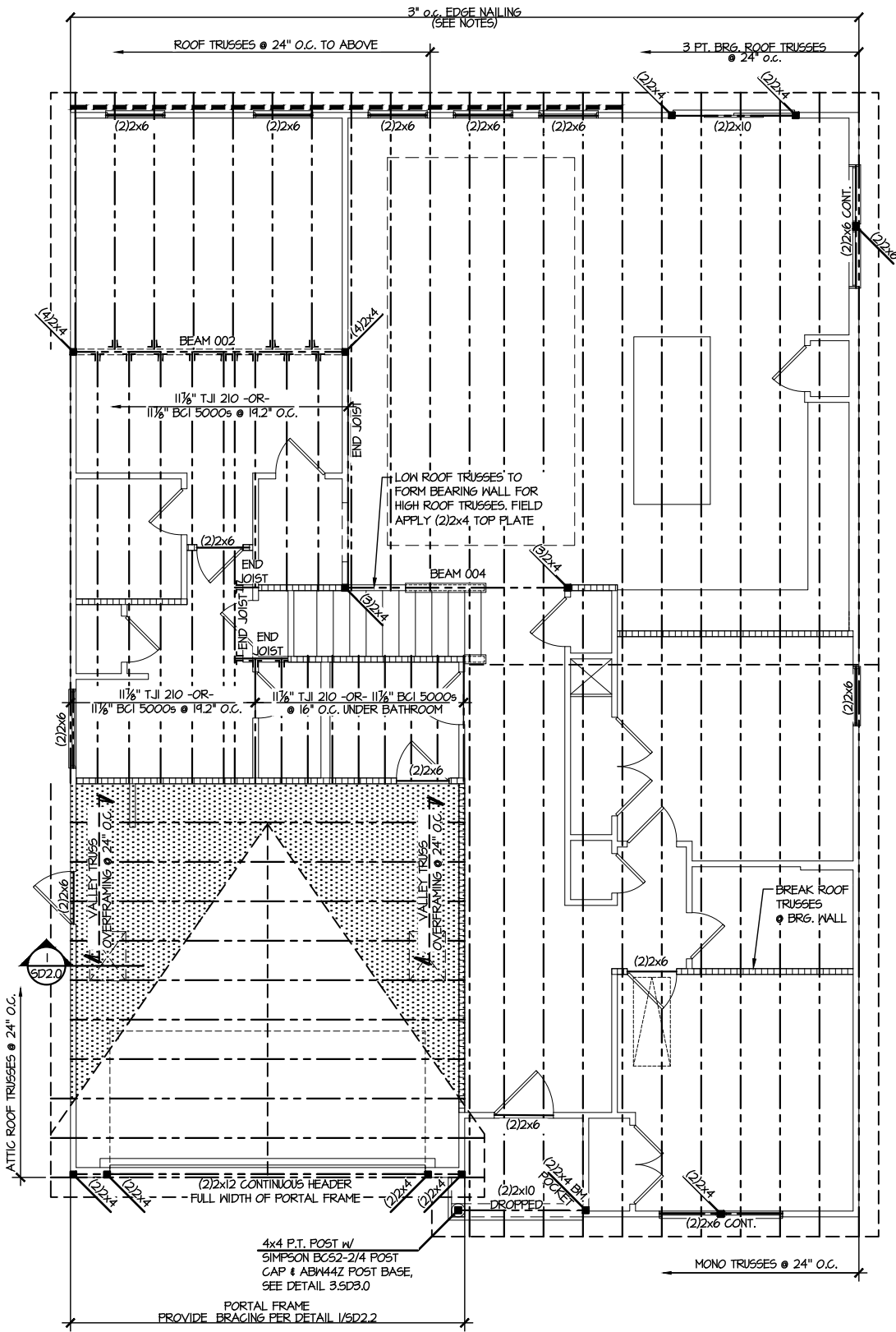
M&K project number:
126-22076
project mgr: JTR
drawn by: JAD
issue date: 03-18-25

REVISIONS:
date: initial:



FOUNDATION PLANS
FARM AT NEIL'S CREEK
LOT 179 - COOPER I
RALEIGH, NC

sheet:
S1.0



SECOND FLOOR/LOW ROOF FRAMING PLAN
SCALE: 1/8"=1'-0"

LEGEND

- INTERIOR BEARING WALL
- BEARING WALL ABOVE
- BEAM / HEADER
- INDICATES SHEAR WALL & EXTENT
- EXTENT OF OVERFRAMING
- JL METAL HANGER
- INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

REFER TO SO.O FOR
TYPICAL STRUCTURAL NOTES
& SCHEDULES

ENGINEERED BEAM MATERIAL SCHEDULE					
BEAM NUMBER	LVL OPTION	PSL OPTION	LSL OPTION	FLITCH OPTION	STEEL OPTION
001	(2)3/4"x11 7/8" - F	3/4"x11 7/8" - F	(3)3/4"x11 7/8" - F	(2)2x12 + (1) 3/4"x11 7/8" STEEL FLITCH PLATES - F	M2x14 - F
002	(3)3/4"x11 7/8" - F	3/4"x11 7/8" - F	(4)3/4"x11 7/8" - F	(2)2x12 + (1) 3/4"x11 7/8" STEEL FLITCH PLATES - F	M2x14 - F
003	(2)3/4"x11 7/8" - F	3/4"x11 7/8" - F	(3)3/4"x11 7/8" - F	(2)2x12 + (1) 3/4"x11 7/8" STEEL FLITCH PLATES - F	M2x14 - F
004	(2)3/4"x11 7/8" - D	3/4"x11 7/8" - D	(2)3/4"x11 7/8" - D	(2)2x10 + (1) 3/4"x11 7/8" STEEL FLITCH PLATES - D	M8x10 - D
<p>BEAM NOTATION:</p> <ul style="list-style-type: none">"F" INDICATES FLUSH BEAM"FT" INDICATES FLUSH TOP BEAM"FB" INDICATES FLUSH BOTTOM BEAM"D" INDICATES DROPPED BEAM"H" INDICATES DROPPED OPENING HEADER <p>REFER TO DETAIL E/5D2.0 FOR TYPICAL FLITCH BEAM CONNECTIONS</p> <p>REFER TO DETAIL D/5D2.0 FOR TYPICAL STEEL BEAM CONNECTIONS</p> <p>FOR FLUSH TOP BEAMS PROVIDE 2X STACKED PLATES BENEATH BEAM AS REQ'D. FASTEN PLATES IN SUCCESSION W/ (2) 3"x0.120" NAILS @ 8" O.C.</p> <p>FOR FLUSH BOTTOM BEAMS PROVIDE 2X STACKED PLATES ATOP BEAM AS REQ'D. FASTEN PLATES IN SUCCESSION W/ (2) 3"x0.120" NAILS @ 8" O.C.</p>					

seal: 3/19/25

NORTH CAROLINA
PROFESSIONAL
SEAL
086012
ENGINEER
JOSEPH T. RICKER

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NC LICENSE #C-3825

M&K project number:
126-22076

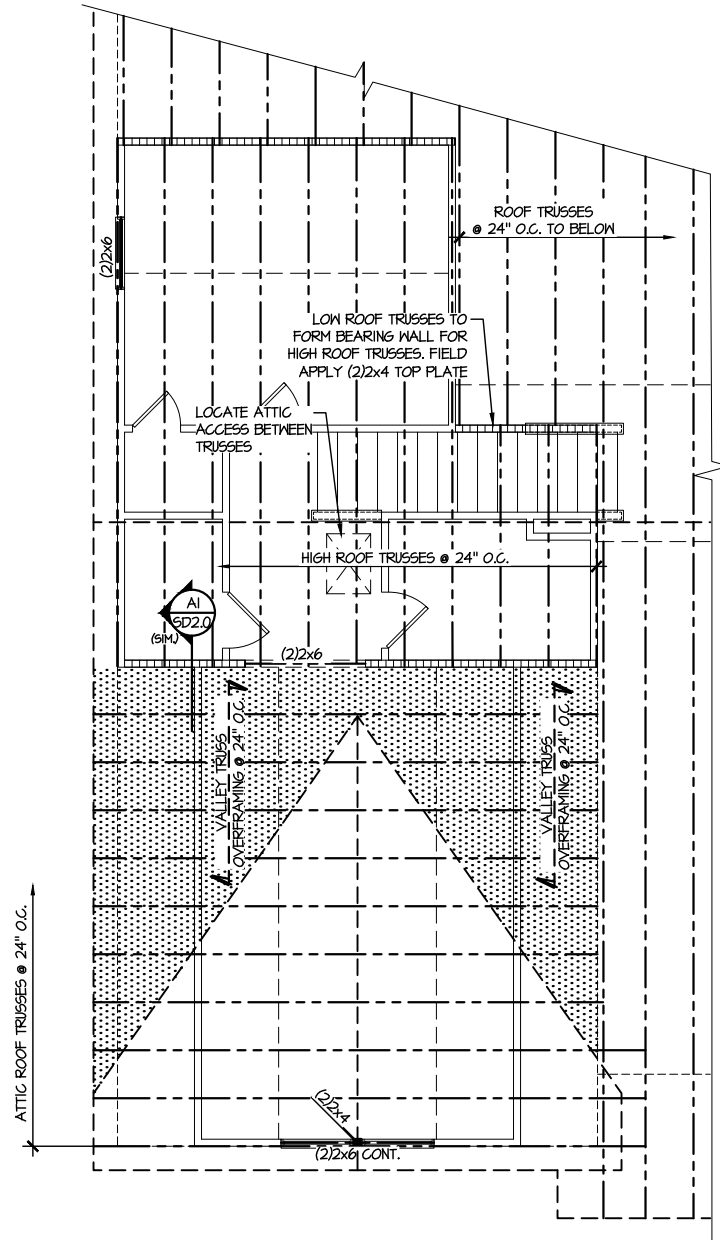
project mgr: JTR
drawn by: JAD
issue date: 03-18-25

REVISIONS:
date: initial:

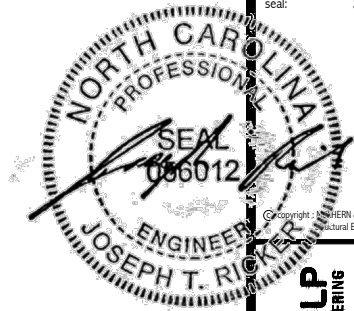


FRAMING PLANS
FARM AT NEIL'S CREEK
LOT 179 - COOPER I
RALEIGH, NC

sheet:
S2.0



HIGH ROOF FRAMING PLAN
SCALE: 1/8"=1'-0"



seal: 3/19/25

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M&K project number:
126-22076
project mgr: JTR
drawn by: JAD
issue date: 03-18-25

REVISIONS:
date: initial:

LEGEND

- INTERIOR BEARING WALL
- BEARING WALL ABOVE
- BEAM / HEADER
- INDICATES SHEAR WALL & EXTENT
- EXTENT OF OVERFRAMING
- JL METAL HANGER
- INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

**REFER TO SO.0 FOR
TYPICAL STRUCTURAL NOTES
& SCHEDULES**

ENGINEERED BEAM MATERIAL SCHEDULE

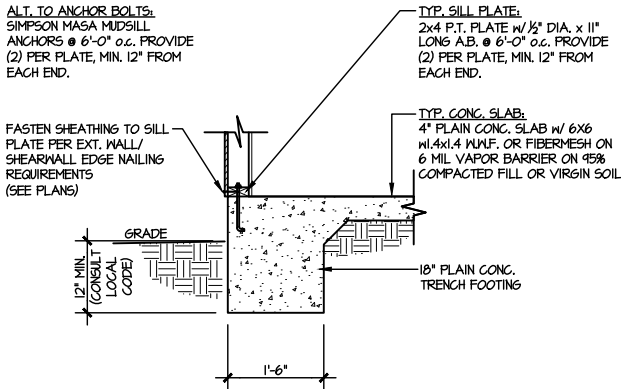
BEAM NUMBER	LVL OPTION	PSL OPTION	LSL OPTION	FLITCH OPTION	STEEL OPTION
001	(2)3/4"x11/8" - F	3/2"x11/8" - F	(3)3/4"x11/8" - F	(2)2x12 + (1) 3/2"x11/8" STEEL FLITCH PLATES - F	M2x14 - F
002	(3)3/4"x11/8" - F	3/4"x11/8" - F	(4)3/4"x11/8" - F	(2)2x12 + (1) 3/2"x11/8" STEEL FLITCH PLATES - F	M2x14 - F
003	(2)3/4"x11/8" - F	3/2"x11/8" - F	(3)3/4"x11/8" - F	(2)2x12 + (1) 3/2"x11/8" STEEL FLITCH PLATES - F	M2x14 - F
004	(2)3/4"x11 1/4" - D	3/2"x11 1/4" - D	(2)3/4"x11/8" - D	(2)2x10 + (1) 3/2"x11/8" STEEL FLITCH PLATES - D	M8x10 - D

- BEAM NOTATION:**
 - "F" INDICATES FLUSH BEAM
 - "FT" INDICATES FLUSH TOP BEAM
 - "FB" INDICATES FLUSH BOTTOM BEAM
 - "D" INDICATES DROPPED BEAM
 - "H" INDICATES DROPPED OPENING HEADER
- REFER TO DETAIL D/S/D2.0 FOR TYPICAL FLITCH BEAM CONNECTIONS
- REFER TO DETAIL E/S/D2.0 FOR TYPICAL STEEL BEAM CONNECTIONS
- FOR FLUSH TOP BEAMS PROVIDE 2X STACKED PLATES BENEATH BEAM AS REQ'D. FASTEN PLATES IN SUCCESSION W/ (2) 3"x0.120" NAILS @ 8" O.C.
- FOR FLUSH BOTTOM BEAMS PROVIDE 2X STACKED PLATES ATOP BEAM AS REQ'D. FASTEN PLATES IN SUCCESSION W/ (2) 3"x0.120" NAILS @ 8" O.C.

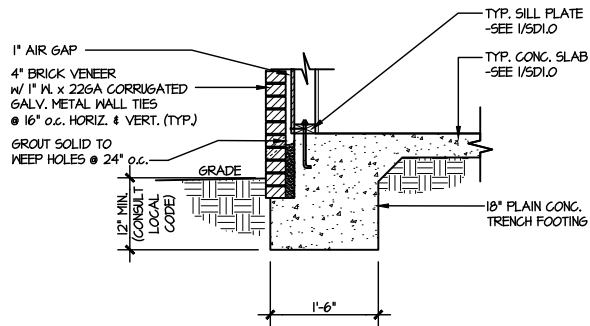
DRB
HOMES

ROOF FRAMING PLANS
FARM AT NEIL'S CREEK
LOT 179 - COOPER I
RALEIGH, NC

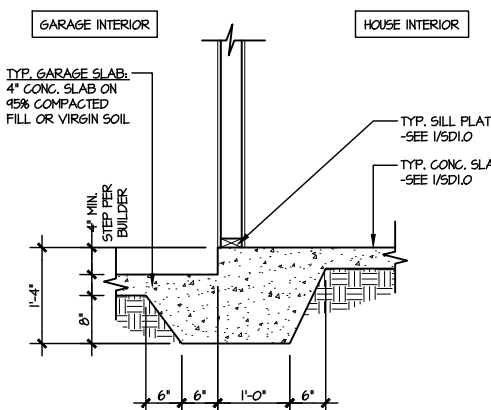
sheet:
S2.0



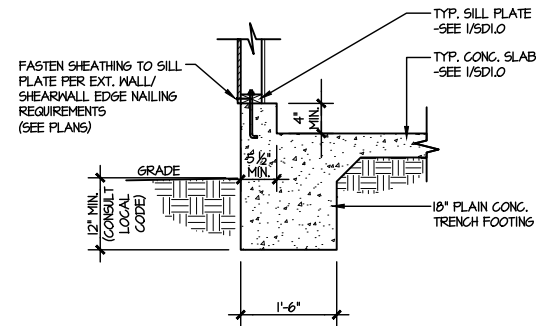
1 TYPICAL SLAB ON GRADE
PERIMETER FOOTING
SCALE: 3/8"=1'-0"



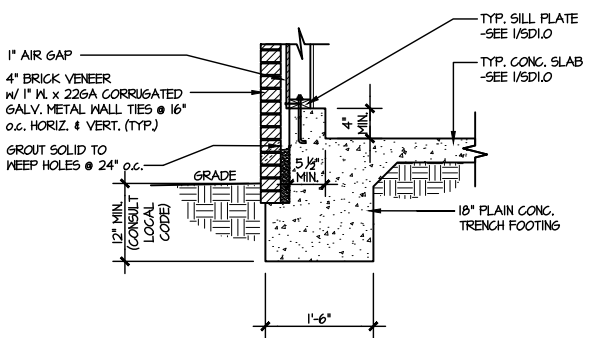
2 TYPICAL SLAB ON GRADE
PERIMETER FOOTING
SCALE: 3/8"=1'-0"



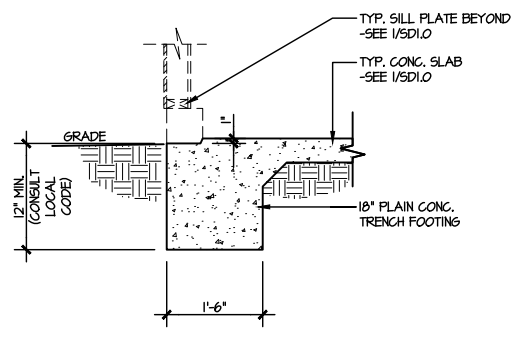
3 TYPICAL MONOLITHIC INTERIOR
GARAGE FOOTING
SCALE: 3/8"=1'-0"



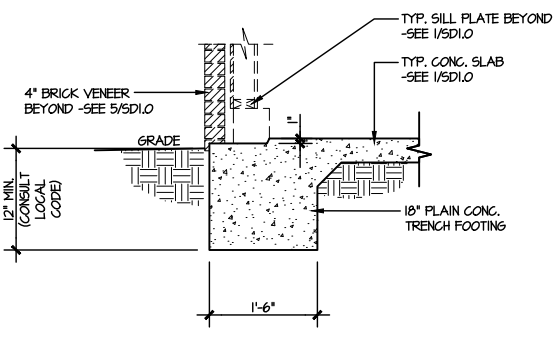
4 TYPICAL SLAB ON GRADE GARAGE
PERIMETER FOOTING
SCALE: 3/8"=1'-0"



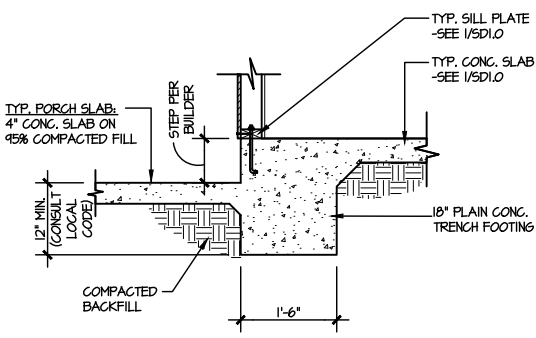
5 TYPICAL SLAB ON GRADE GARAGE
PERIMETER FOOTING
SCALE: 3/8"=1'-0"



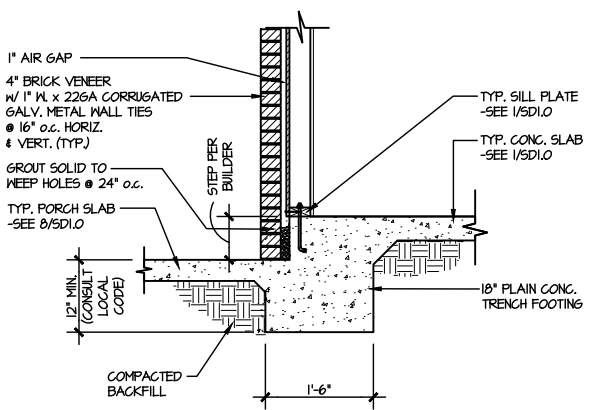
6 TYPICAL SLAB ON GRADE GARAGE
ENTRY @ PERIMETER FOOTING
SCALE: 3/8"=1'-0"



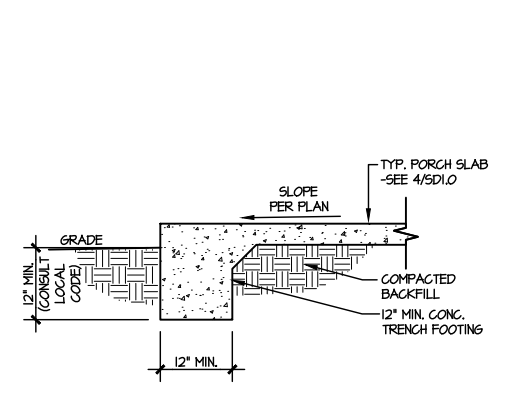
7 TYPICAL SLAB ON GRADE GARAGE
ENTRY @ PERIMETER FOOTING
SCALE: 3/8"=1'-0"



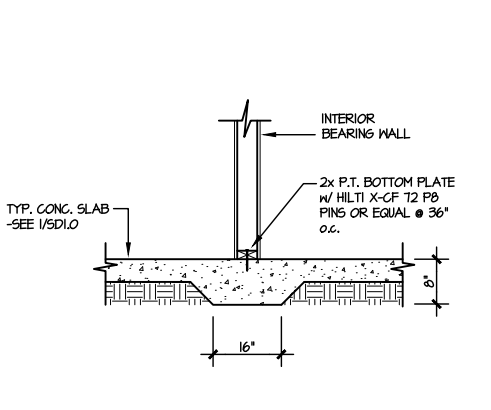
8 TYPICAL SLAB ON GRADE PERIMETER
FOOTING @ PORCH/PATIO
SCALE: 3/8"=1'-0"



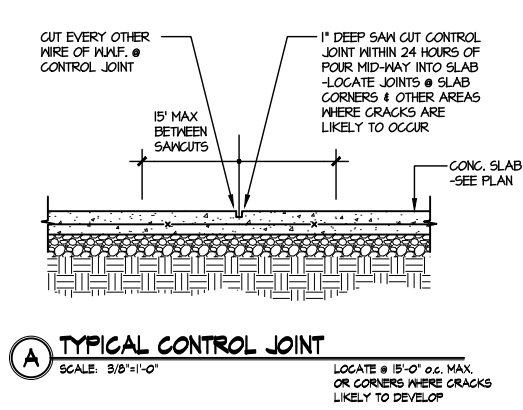
9 TYPICAL SLAB ON GRADE PERIMETER
FOOTING @ PORCH/PATIO
SCALE: 3/8"=1'-0"



10 TYPICAL FOOTING @ PORCH SLAB
SCALE: 3/8"=1'-0"



11 TYPICAL THICKENED SLAB @
INTERIOR BEARING WALL
SCALE: 3/8"=1'-0"

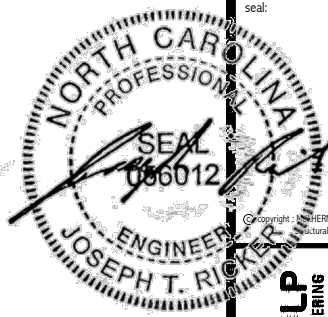


A TYPICAL CONTROL JOINT
SCALE: 3/8"=1'-0"

LOCATE @ 15'-0" o.c. MAX.
OR CORNERS WHERE CRACKS
LIKELY TO DEVELOP

LETTERED DETAILS ARE TYPICAL FOR
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("CUT") ON THE PLANS.



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M&K project number:
126-22076

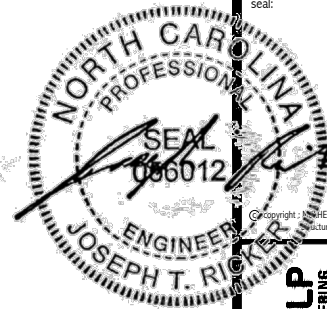
project mgr: JTR
drawn by: JAD
issue date: 03-18-25

REVISIONS:
date: initial:

DRB
HOMES

FOUNDATION DETAILS
FARM AT NEIL'S CREEK
LOT 179 - COOPER I
RALEIGH, NC

sheet:
SD1.0



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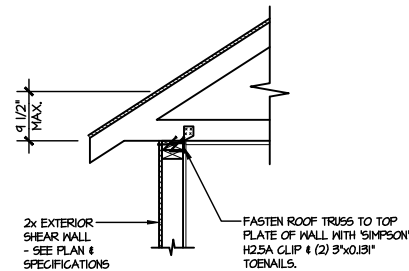
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126-22076
project mgr: JTR
drawn by: JAD
issue date: 03-18-25

REVISIONS:
date: initial:

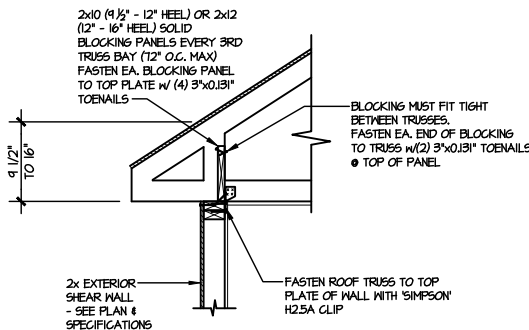
DRB
HOMES

FRAMING DETAILS
FARM AT NEIL'S CREEK
LOT 179 - COOPER I
RALEIGH, NC

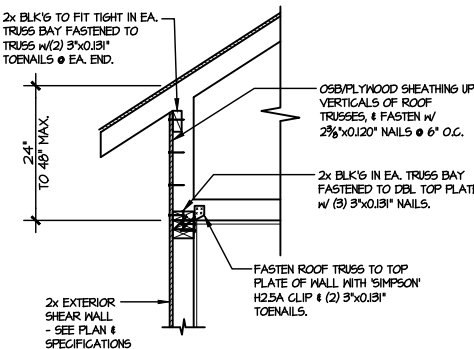
sheet:
SD2.0



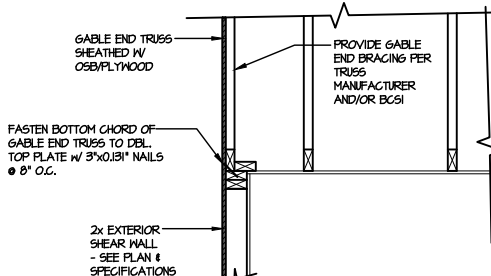
AI TYPICAL SHEAR
TRANSFER DETAIL @ ROOF
SCALE: 3/8"=1'-0"
HEEL HEIGHT LESS THAN 9 1/2"
NO BLOCKING REQ'D



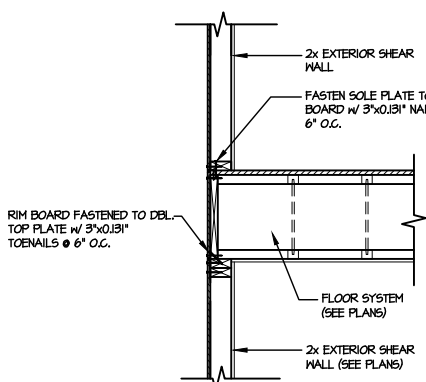
A2 TYPICAL SHEAR
TRANSFER DETAIL @ ROOF
SCALE: 3/8"=1'-0"
HEEL HEIGHT BETWEEN 9 1/2" - 16"
BLOCKING REQ'D



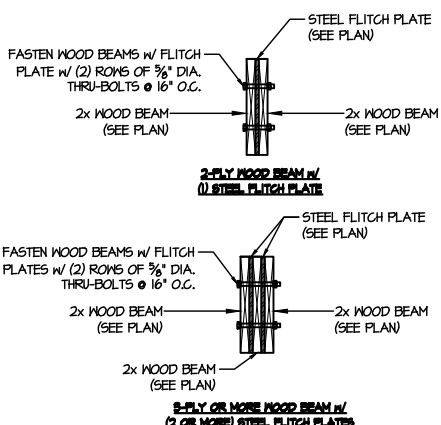
A3 TYPICAL SHEAR TRANSFER
DETAIL @ RAISED HEEL TRUSS
SCALE: 3/8"=1'-0"
HEEL HEIGHT UP TO 48" MAX.



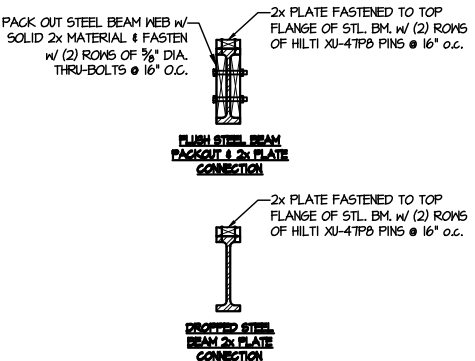
B TYPICAL GABLE END DETAIL
SCALE: 3/8"=1'-0"



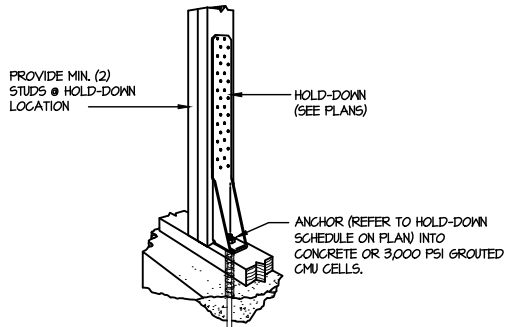
C TYPICAL SHEAR TRANSFER DETAIL
BETWEEN FLOORS @ EXTERIOR WALL
SCALE: 3/8"=1'-0"



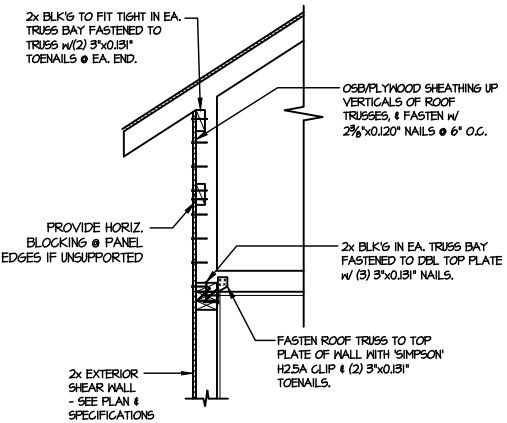
D TYPICAL FLITCH BEAM CONNECTION DETAIL
SCALE: 3/4"=1'-0"



E TYPICAL STEEL BEAM CONNECTION DETAIL
SCALE: 3/4"=1'-0"



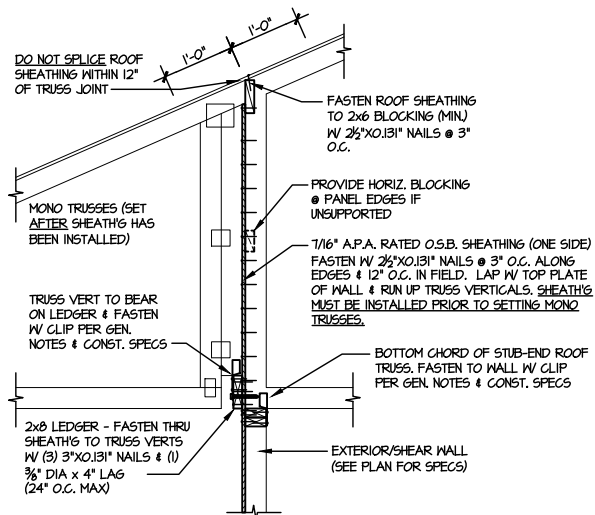
FI TYPICAL HOLD DOWN INSTALLATION
SCALE: N.T.S.



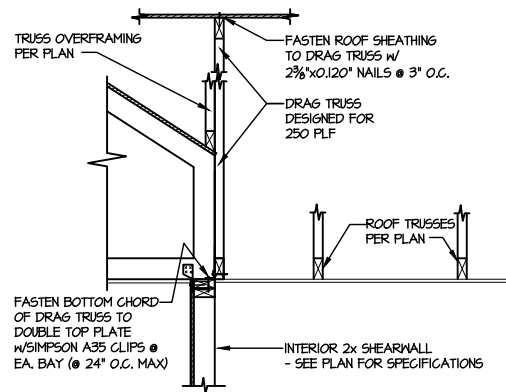
I TYPICAL SHEAR TRANSFER
DETAIL @ RAISED HEEL TRUSS
SCALE: 3/8"=1'-0"
HEEL HEIGHT GREATER THAN 48"

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

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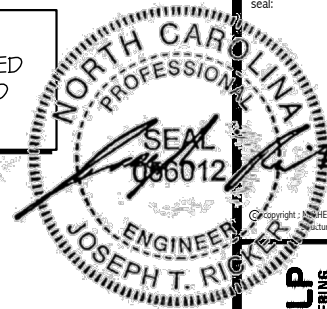
1 SHEAR TRANSFER DETAIL @
BREAK IN TRUSSES OVER SHEAR WALL
SCALE: 3/4"=1'-0" - 22x8 1/2"=1'-0" - 1x17



2 SHEAR TRANSFER DETAIL
AT INTERIOR SHEARWALL BELOW
SCALE: 3/4"=1'-0"

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issue date: 03-18-25

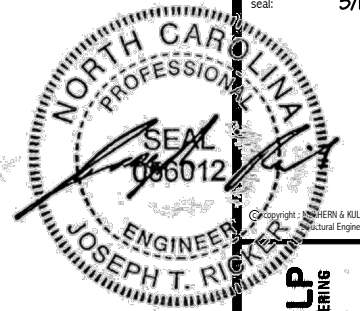
REVISIONS:	
date:	initial:



FRAMING DETAILS
FARM AT NEIL'S CREEK
LOT 179 - COOPER I
RALEIGH, NC

sheet:
SD2.1

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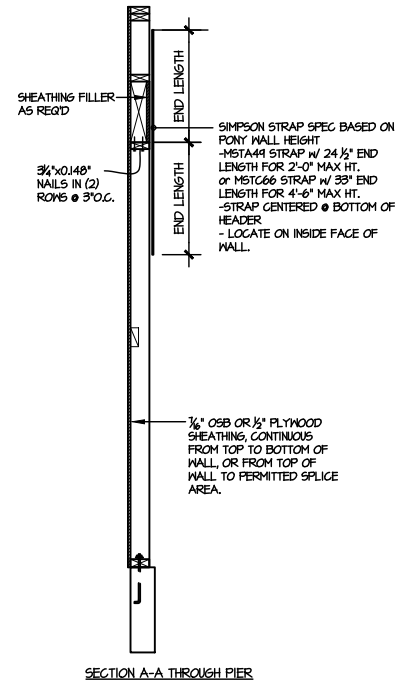
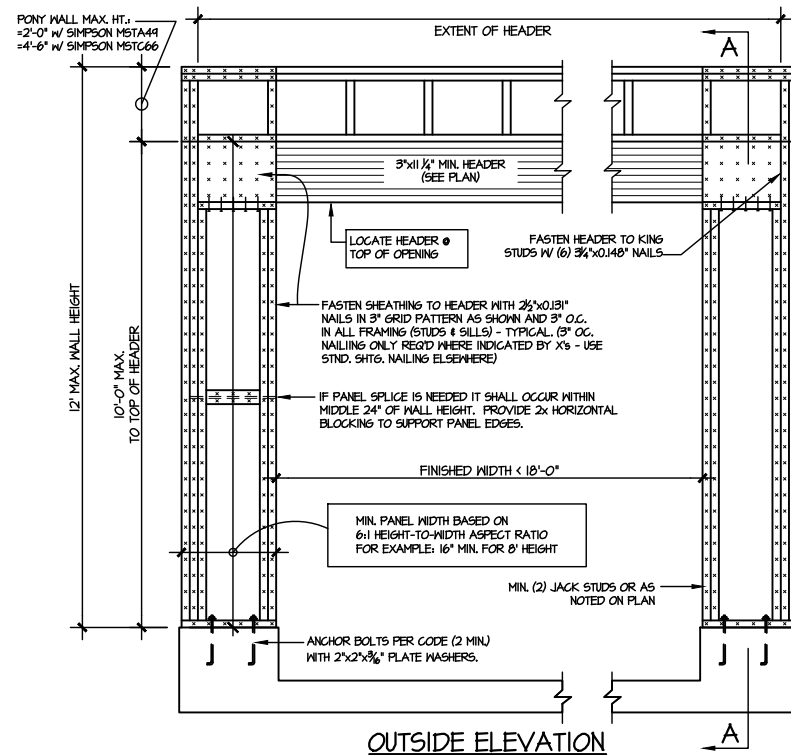
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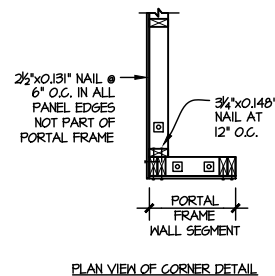
DRB
HOMES

FRAMING DETAILS
FARM AT NEIL'S CREEK
LOT 179 - COOPER I
RALEIGH, NC

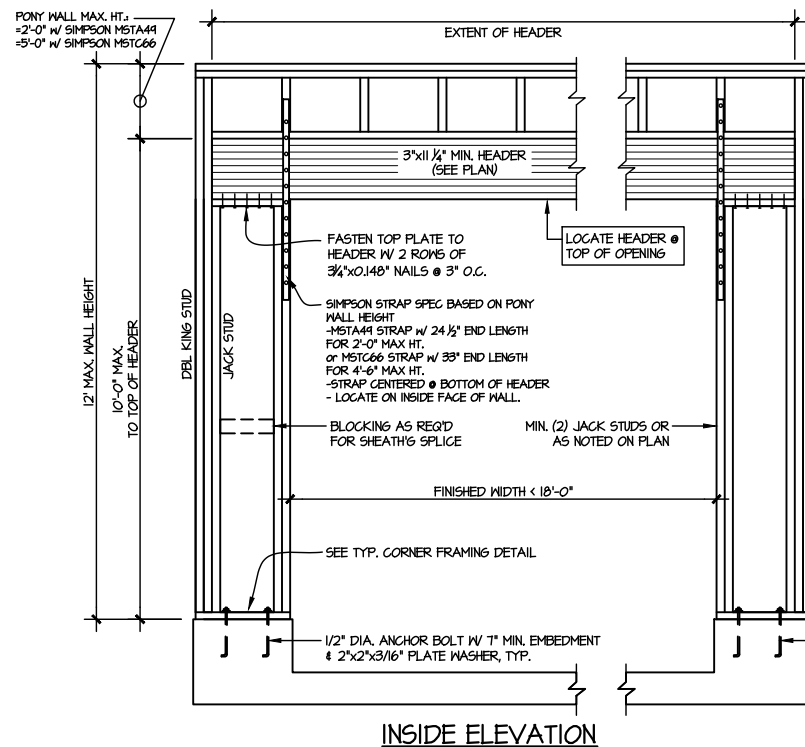
sheet:
SD2.2



NOTE: ALL SHEATHABLE AREAS OF EXTERIOR WALL SHALL BE FULLY SHEATHED WITH 1/2" PLYWOOD OR 3/4" OSB.



ALTERNATIVES TO 1/2" DIA. ANCHOR BOLT:
1) 1/2" DIA. x 6" LONG SIMPSON TITEN HD
2) 1/2" DIA. THREADED ROD EPOXY SET w/ 4 1/2" EMBED. (MIN UTILIZING HILTI HY200 EPOXY ANCHORING SYSTEM (OR EQUAL))

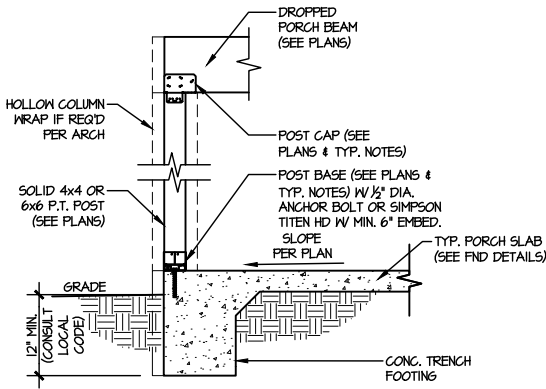


TWO SIDED GARAGE PORTAL FRAME BRACING
ELEVATION ON CONCRETE STEM

SCALE: N.T.S.

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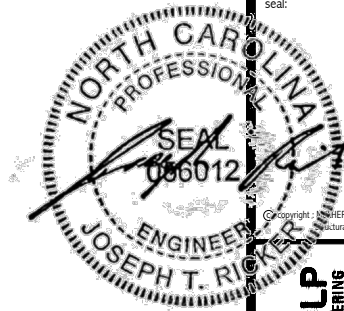
NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.



3 TYPICAL PORCH
POST CONNECTION DETAIL
SCALE: NONE SLAB ON GRADE SHOWN
(SIM. @ CRAWL & BSMT.)

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

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issue date: 03-18-25

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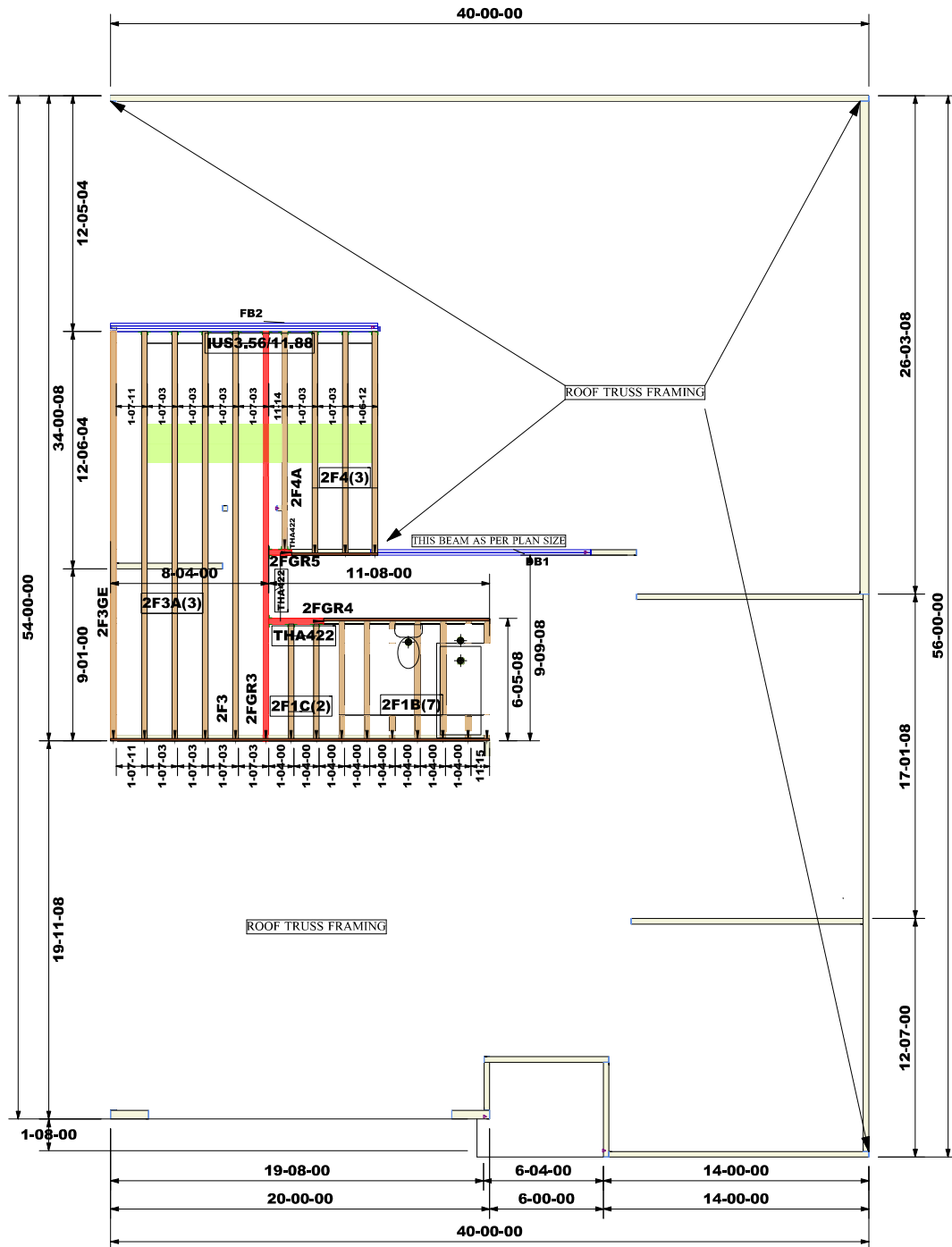


FRAMING DETAILS

FARM AT NEIL'S CREEK
LOT 179 - COOPER I
RALEIGH, NC

sheet:
SD3.0

OWF TRUSS LAYOUT
SCALE: NTS



- * EXTERIOR DIMENSIONS ARE TO STUD
- * INSTALLATION OF STRONGBACKS RECOMMENDED (NOT REQUIRED)
- * INSTALL 2X4 NAILER ON ALL TOP RIBBON NOTCH CONDITIONS.

SECOND FLOOR FRAMING

ELEV. 1

Truss Connector Total List		
Qty	Product	Manuf
5	THA422	Simpson
9	IUS3.56/11.88	Simpson

Products				
Net Qty	Plies	Product	Length	PlotID
3	3	1 3/4" x 11 7/8" (2.0E 3100) LVL	16-00-00	FB2
2	2	1 3/4" x 11 7/8" (2.0E 3100) LVL	12-00-00	DB1

THE FARM AT NEILL'S CREEK (NC)(RAL) LOT 00.0179 PHASE
MODEL-1776-1-COOPER 3
GARAGE LEFT SIDE
OPTIONAL BONUS ROOM
W/ BEDROOM FRAMING

Job #:

2503-3677

Designer:

Sayan Roy

Robbie Zarobinski

WARNING:

CONVENTIONAL FRAMING, SECTION AND/OR PERMANENT SHEATHING IS NOT THE RESPONSIBILITY OF THE TRUSS DESIGNER, PLATE MANUFACTURER, OR TRUSS MANUFACTURER. PERSONS ERECTING TRUSSES ARE CAUTIONED TO SEEK PROFESSIONAL ADVICE REGARDING THE PROPER LIFTING WHICH ALWAYS REQUIRED TO PREVENT TOPKICKS AND BOMBING DURING ERECTION; AND PERMANENT SHEATHING MAY BE REQUIRED IN SPECIFIC AREAS TO PREVENT CRACKING WOOD TRUSSES. COMMENTARY AND RECOMMENDATIONS' (SCS1) FOR FURTHER INFORMATION.

TRUSSES SHALL BE INSTALLED IN A STRAIGHT AND FLUSH POSITION WHERE NO SHEATHING IS APPLIED. SHEATH TO TOP AND/OR BOTTOM CHORDS, THEY SHALL BE SECURED AS SPECIFIED ON THE TRUSSER'S DRAWINGS. TRUSSES SHALL BE HANDLED WITH REASONABLE CARE DURING ERECTION TO PREVENT DAMAGE OR PERSONAL INJURY.

NOTE:

IT IS THE RESPONSIBILITY OF THE BUILDING DESIGNER/ARCHITECT TO PROVIDE AN APPROPRIATE CONNECTION FOR TRUSSES TO SUPPORTING STRUCTURE PER RECTIONS SHOWN ON TRUSS CONNECTIONS, SPECIAL CONSIDERATIONS FOR TRUSSES, INCLUDING PLASTICITY AND SAND TRUSS CONNECTIONS) ON TRUSS PAGES BE REDESIGNED BY BUILDER ON APPROVED LAYOUT PRIOR TO FABRICATION.

THIS COMPANY IS A TRUSS MANUFACTURER/ER RESPONSIBILITIES ARE LIMITED TO THOSE DESCRIBED IN AISC-A1995 "DESIGN RESPONSIBILITY" ACCORDING TO DISCREET/ANT RESPONSIBILITY AND/OR LIABILITY FOR CONSTRUCTION DESIGN, DRAWINGS, DOCUMENT, INCLUDING THE INSTALLATION, AND BRACING TRUSSES MANUFACTURED BY THIS COMPANY.

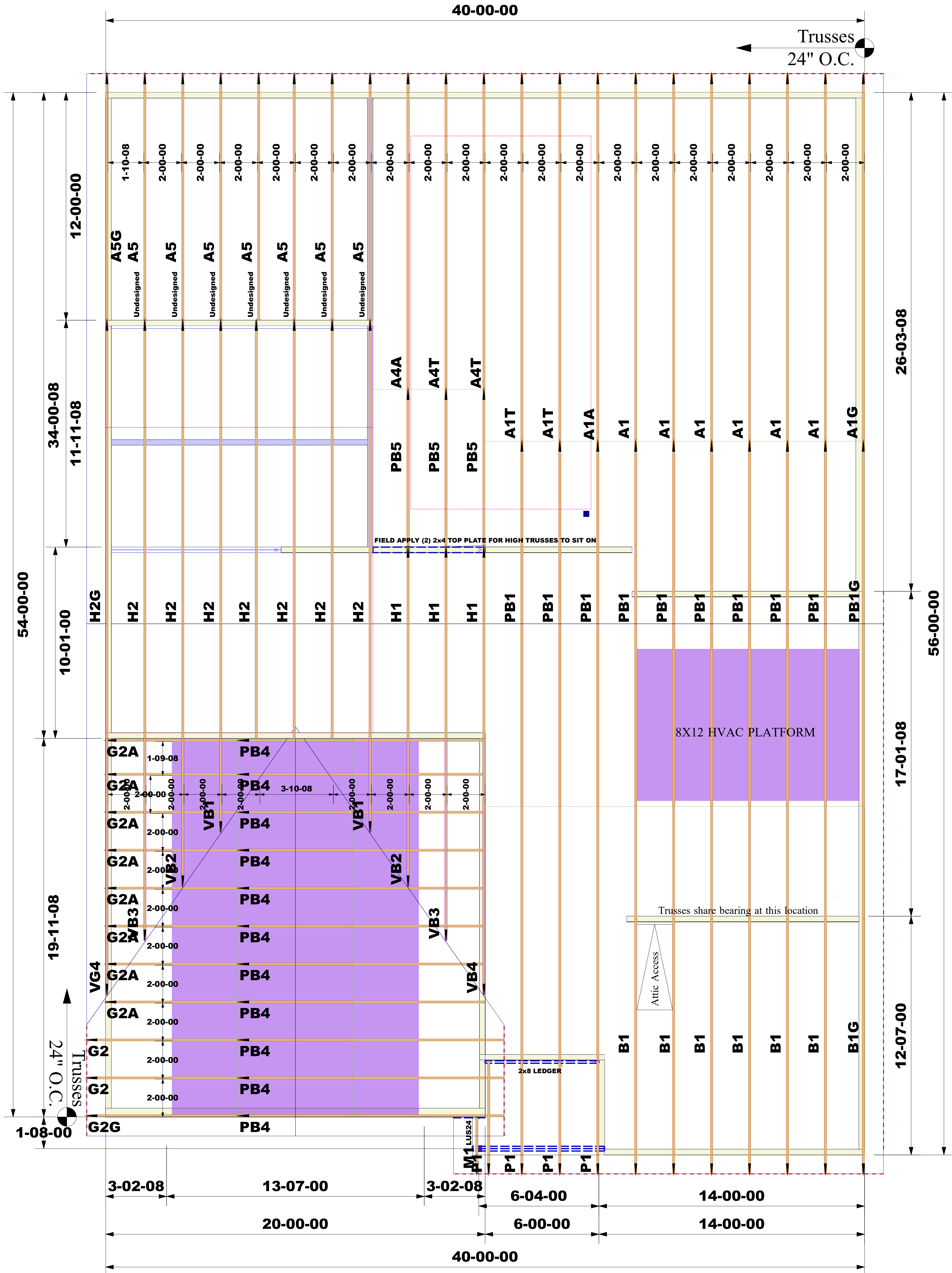
Customer: DRB Raleigh

Job Name: The Farm at Neill's Creek Lot
00.0179 OWF

Lot #: Lot 00.0179

Model Name: Cooper 3







Truss Connector Total List		
Qty	Product	Manuf
3	LUS24	Simpson
85	H2.5A	Simpson

*EXTERIOR DIMENSIONS ARE TO STUD.
*INSTALL SIMPSON H2.5A HURRICANE ANCHORS AT EACH BEARING POINT

ELEV. 1

ROOF FRAMING PLAN

The Farms at Neill's Creek (NC)(RAL) Lot.179
Garage Left
Cooper 3
Elev.1
OPT. Bonus Room
Tray Ceiling Family Room

Job #:		WARNING: CONVENTIONAL FRAMING, ERECTION AND/OR PERMANENT BRACING IS NOT THE RESPONSIBILITY OF THE TRUSS DESIGNER, PLATE MANUFACTURER, OR THE TRUSS MANUFACTURER. PERSONS ERECTING TRUSSES ARE CAUTIONED TO SEEK PROFESSIONAL ADVICE REGARDING THE ERECTION BRACING WHICH IS ALWAYS REQUIRED TO PREVENT TOPPLING AND DOMINATING DURING ERECTION, AND PERMANENT BRACING WHICH MAY BE REQUIRED IN SPECIFIC APPLICATIONS. SEE "BRACING WOOD TRUSSES COMMENTARY AND RECOMMENDATIONS" (BCSI 1) FOR FURTHER INFORMATION. TRUSSES SHALL BE INSTALLED IN A STRAIGHT AND PLUMB POSITION WHERE NO SHEATHING IS APPLIED DIRECTLY TO TOP AND/OR BOTTOM CHORDS, THEY SHALL BE BRACED AS SPECIFIED ON THE ENGINEERED DESIGN. TRUSSES SHALL BE HANDLED WITH REASONABLE CARE DURING ERECTION TO PREVENT DAMAGE OR PERSONAL INJURY.	NOTE: IT IS THE RESPONSIBILITY OF THE BUILDING DESIGNER OR ARCHITECT TO PROVIDE AN APPROPRIATE CONNECTION FOR TRUSSES TO SUPPORTING STRUCTURE PER REACTIONS SHOWN ON TRUSS ENGINEERING. SPECIAL CONSIDERATIONS FOR MECHANICAL EQUIPMENT AND/OR PLUMBING (AND THEIR CONNECTIONS) IN TRUSS SPACE MUST BE DIAGRAMMED BY BUILDER ON APPROVED TRUSS LAYOUT PRIOR TO FABRICATION. THIS COMPANY IS A TRUSS MANUFACTURER WHOSE RESPONSIBILITIES ARE LIMITED TO THOSE DESCRIBED IN WTCA 1-1995 "DESIGN RESPONSIBILITIES". ACCORDINGLY, IT DISCLAIMS ANY RESPONSIBILITIES AND/OR LIABILITY FOR THE CONSTRUCTION DESIGN, DRAWINGS, DOCUMENTS INCLUDING THE INSTALLATION, AND BRACING OF TRUSSES MANUFACTURED BY THIS COMPANY.	Customer: DRB Raleigh		 Third-Party Quality Assurance Licensee TPI Plant W974 Structural, LLC 201 Poplar Avenue Thurmont, MD 21788 Phone: 301-271-7591	
2503-3678				Job Name: Station Pointe			
Designer:				Lot #: Lot 00.01790172			
Sai Kris				Model Name: Cooper #The Farm at Neill's Creek			
Sales Rep:		Lot 00.0179 Roof					
Robbie Zarobinski							