

LOT INFORMATION:

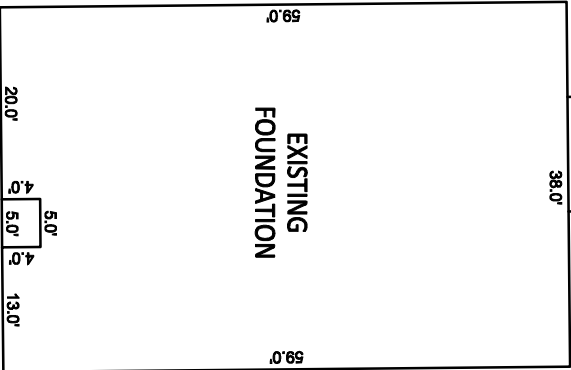
PIN: 9680-59-5916.000  
REFERENCE: DB 4272, PG. 2686-2688  
TOTAL LOT AREA = 0.592 AC = 25,817 SF  
FOUNDATION = 2,362 SF  
EXISTING IMPERVIOUS = 2,362 SF  
PERCENT IMPERVIOUS = 9.15 %

BUILDING SETBACKS

FRONT - 35'  
REAR - 25'  
SIDE - 10'  
CORNER SIDE - 20'

NOW OR FORMERLY  
TOMAS R. MARTINEZ  
& LUCY NALLELY RUBIO  
DB. 3763, PG. 915  
PIN: 9680-59-3860.000

BK. 2025, PG. 115



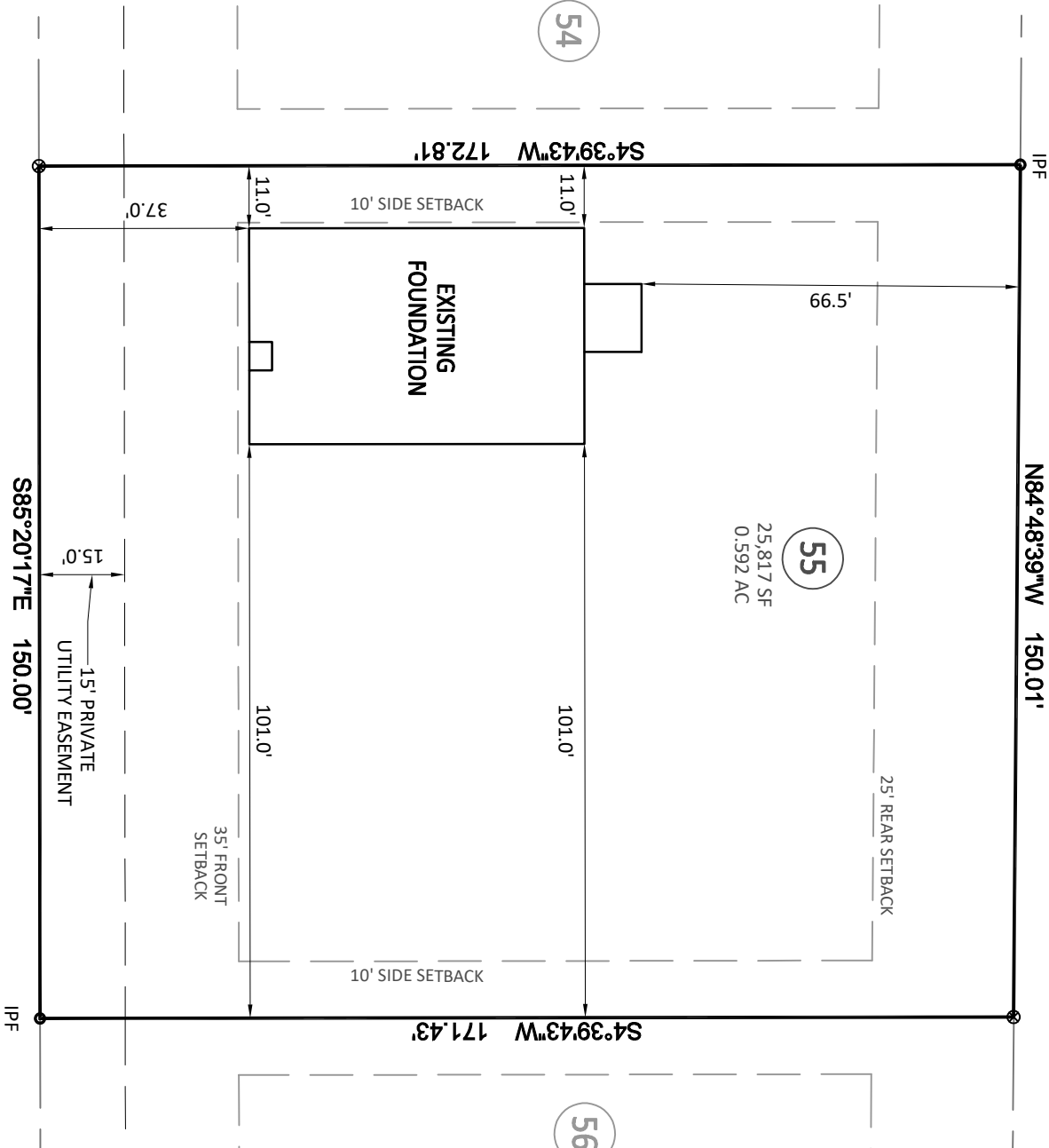
INSET SCALE: 1"=20'

NOTES:

1. THIS SURVEY WAS PREPARED BY BATEMAN CIVIL SURVEY CO., UNDER THE SUPERVISION OF STEVEN P. CARSON, PLS.
2. THIS PLAN HAS BEEN PREPARED FOR LAYOUT AND PERMITTING PURPOSES ONLY.
3. PROPERTY LINES SHOWN WERE TAKEN FROM EXISTING FIELD EVIDENCE, EXISTING DEEDS AND PLATS OF PUBLIC RECORD, AND INFORMATION SUPPLIED TO THE SURVEYOR BY THE CLIENT.
4. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES AND ALL BEARINGS ARE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM UNLESS OTHERWISE SHOWN.
5. THIS MAP IS NOT FOR RECORDATION AND SHOULD BE REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS.
6. THE BASIS OF NORTH AND ALL EASEMENTS, RIGHTS-OF-WAYS, BUFFERS, SETBACKS AND ADJOINERS, ETC., REFERENCED IN TITLE BLOCK.
7. NO INVESTIGATION INTO THE EXISTENCE OF JURISDICTIONAL WETLANDS, FLOOD ZONES OR RIPARIAN BUFFERS PERFORMED BY THIS FIRM. ALL LINES SHOWN, IF ANY, ARE SCALED FROM THE RECORDED PLAT.
8. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
9. ZONING IS RA-20.
10. BUILDER/DEVELOPER: SMITH DOUGLAS HOMES  
3412 APEX PEAKWAY  
APEX, NC 27502

MILDRED PLACE

60' PUBLIC R/W



REFERENCE: BK. 2025, PG. 73



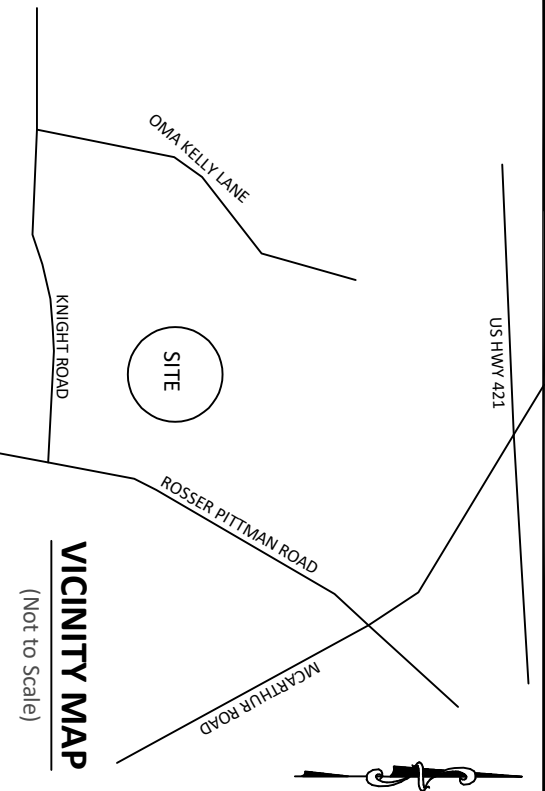
Bateman Civil Survey Company

Engineers • Surveyors • Planners

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NCBELS Firm No. C-2378



VICINITY MAP

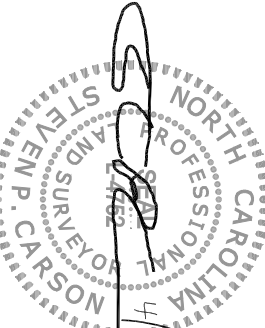
(Not to Scale)

LEGEND

1. STEVEN P. CARSON, CERTIFY THAT THIS PLAT WAS  
PO = COVERED FRONT PORCH DRAWN UNDER MY DIRECT SUPERVISION FROM A  
SP = SCREENED PORCH/PATIO SURVEY MADE UNDER MY SUPERVISION (PLAT BOOK  
CP = COVERED PORCH/PATIO REFERENCED IN TITLE BLOCK); THAT THE BOUNDARY  
WD = WOOD DECK  
SN = SIDEWALK  
PW = CONC DRIVEWAY  
P = CONC PATIO  
X = COMPUTED POINT  
X = MAG NAIL FOUND  
● = FIRE HYDRANT  
● = IRON PIPE SET (IPS)  
● = DRILL HOLE FOUND  
● = WATER METER  
● = CLEAN OUT  
AC = AIR CONDITIONER  
● = SEWER MANHOLE  
● = ELECTRIC BOX  
● = CABLE BOX  
● = TELEPHONE PEDESTAL  
CB = CATCH BASIN/CURB INLET  
IC = IRRIGATION CONTROLLER  
● = LIGHT POLE  
● = UTILITY POLE  
● = IRON PIPE/REBAR FOUND (IPF)

DI = DRAIN INLET  
WV = WATER VALVE  
● = STREET SIGN  
YI = YARD INLET  
G = GAS METER  
E = ELECTRIC METER

This map is of an existing parcel of land and is only intended for the parties and purposes shown. This map not for recordation. No title report provided.



FOUNDATION SURVEY

FOR

SMITH DOUGLAS HOMES

HARRINGTON PLACE - PHASE 3 - LOT 55

79 MILDRED PLACE, BROADWAY, NC

UPPER LITTLE RIVER TOWNSHIP, HARNETT COUNTY

DATE: 4/16/25 DRAWN BY: DOM CHECKED BY: SPC

REFERENCE: BK. 2025, PG. 115

BCS# 230119

SCALE: 1" = 30'