

ADDRESS: 311 SHELBY MEADOW LANE

MAP BOOK 2023, PG'S 248-249

PIN#: 040672 0100

AREA: 27,798 S.F. ~ 0.638 ACRES

SITE DATA TABLE:

ZONING: RA-30  
ZONING CONDITIONS: RESIDENTIAL  
OVERLAY DISTRICT: SINGLE FAMILY  
CURRENT USE: VACANT

BUILDING SETBACKS:

FRONT 35'  
SIDE 10'  
CORNER 20'  
REAR 25'

MAX BLDG HGT 35'

IMPERVIOUS CALCULATIONS:

MAX IMP % 36 %  
LOT AREA 27,798 SF  
MAX IMP AREA 10,007 SF  
PROPOSED AREAS:  
SLAB (HOUSE/POR) 2,869 SF  
DECK/PAT/AC 9 SF  
DRIVE/WALK 1,236 SF  
TOTAL IMP 4,114 SF

FRONT YARD COVERAGE:

YARD 10,955 SF  
FLATWORK 1,556 SF  
COVERAGE 14.2 %

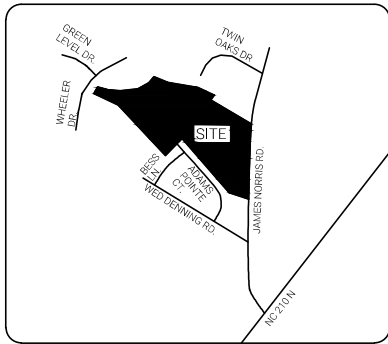
BUILDER CALCULATIONS:

ON LOT FLATWORK 1,245 SF  
R/W FLATWORK 320 SF  
SOD ON LOT 23,684 SF  
SEED/STRAW ON LOT 27,112 SF  
SOD OFF LOT 3,212 SF

FLOOD NOTE: This property lies within flood zone "X" according to FEMA FIRM#: 3720066200J, effective on 10/03/2006.

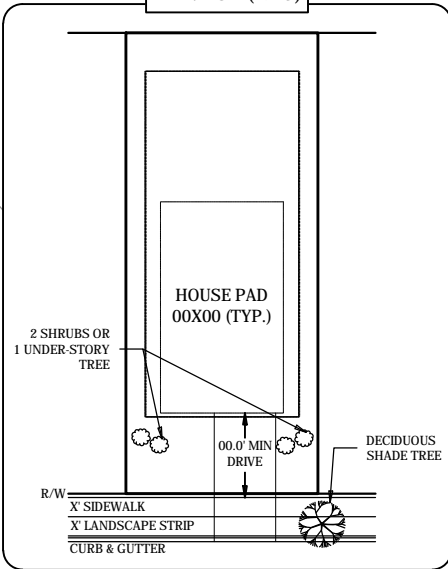
30' 20' 10' 0' 30'

GRAPHIC SCALE: 1" = 30'

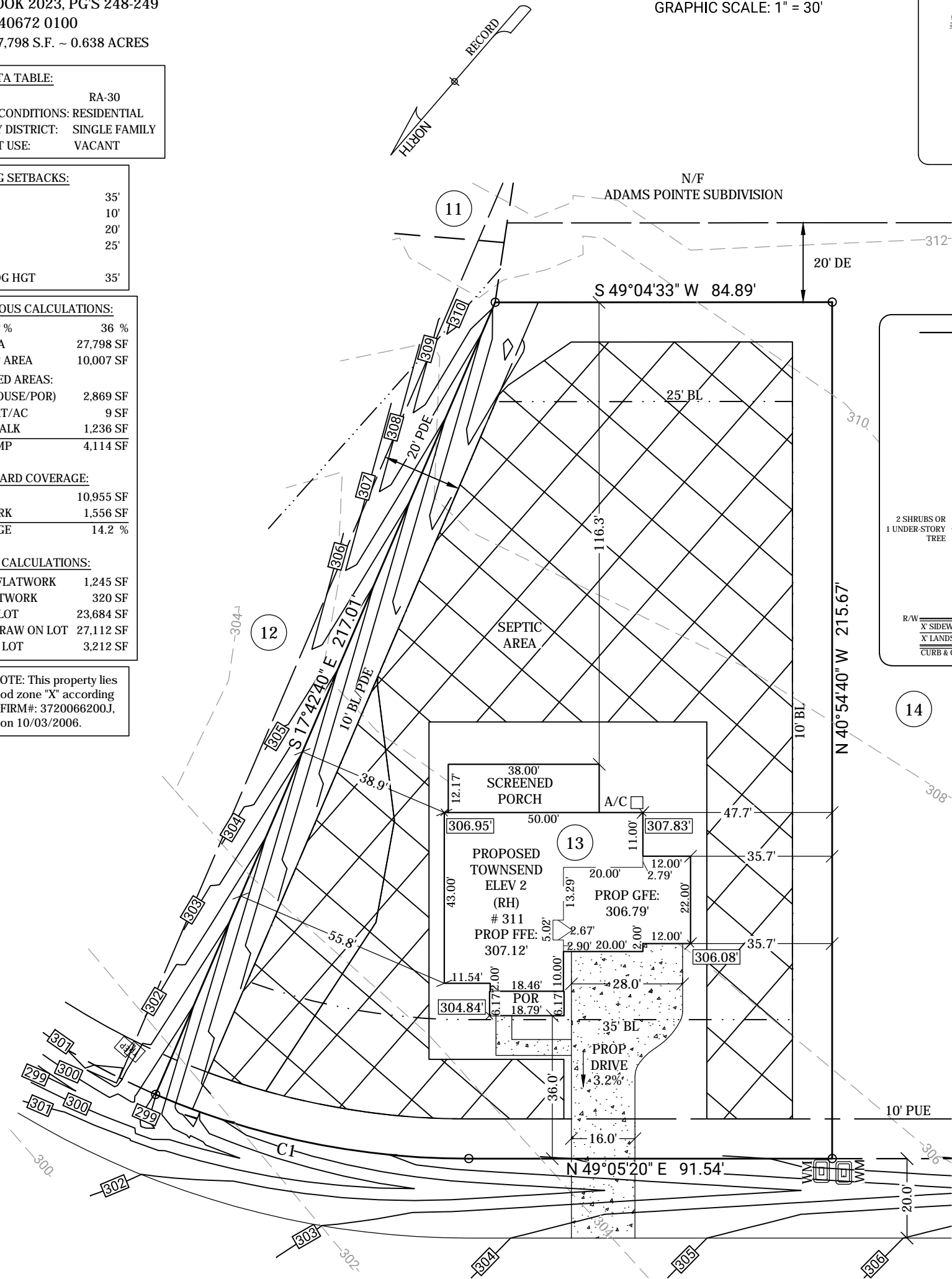


VICINITY MAP - NTS

TYP. LOT (NTS)



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SHELBY MEADOW LANE  
60' PUBLIC R/W  
UTILITY

DEVELOPER:

DRB GROUP  
1101 Slater Rd, Suite 300  
Durham, NC 27703  
984-204-1379

LEGEND

N/F Now or Formerly  
BL Building Line  
FFE Finished Floor Elevation  
GFE Garage Floor Elevation  
PROP Proposed  
A/C Air Conditioning  
R/W Right of Way  
POR Porch  
SP Screened Porch  
PAT Patio  
TP Telephone Pedestal  
EP Electric Pedestal  
PB Phone Box  
TBOX Telephone Box  
CATV Cable TV  
CO Clean Out  
CI Curb Inlet  
WM Water Meter  
FH Fire Hydrant  
MH Manhole  
SSMH Sanitary Sewer Manhole  
PUE Public Utility Easement

PDE Public Drainage Easement  
DE Drainage Easement  
PIN Parcel Identification Number  
HGT Height  
AVG Average  
FY Front Yard  
IMP Impervious  
NTS Not to Scale  
P.999 Proposed Grade  
999 Existing Grade  
Front Grassed Area

| Curve | Radius  | Length | Chord  | Chord Bearing |
|-------|---------|--------|--------|---------------|
| C1    | 200.00' | 81.04' | 80.48' | N 60°41'47" E |

HOUSE PLAN INFO (FOR CLIENT USE)

PLAN NAME: \_\_\_\_\_  
STORIES: \_\_\_\_ FOUNDATION: SLAB CRAWL BSMT  
FACADE: VINYL HARDY BRICK STONE OTHER  
PLAN OPTIONS: \_\_\_\_\_  
SLAB SF: \_\_\_\_ TOTAL SF: \_\_\_\_ MEAN HEIGHT: \_\_\_\_

GENERAL NOTES: No field work has been performed. This Map or Plat is subject to any additional easements or restrictions of record. Contact utility contractor for location prior to construction (if applicable). This plat is for exclusive use by client. Use by third parties is at their own risk. Dimensions from house to property lines should not be used to establish fences. City sidewalks, driveway approaches, and other improvements inside the city's right of way are provided for demonstration purposes only. consult the development plans for actual construction. This plat has been calculated for closure and is found to be accurate within one foot in 10,000+ feet.

SUB: Honeycutt Hills  
LOT: 13  
Angier, Harnett County, North Carolina

SITE PLAN FOR:

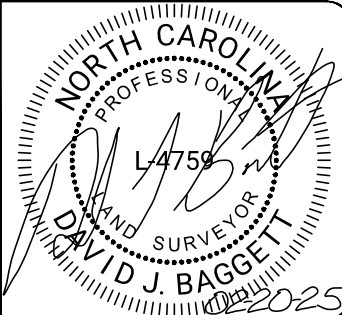
DRB DAN RYAN  
DRB GROUP HOMES

PLAT DATE: 02/20/2025  
20250207155 FC: N/A



C+C BUILDING SOLUTIONS  
A NORTH CAROLINA SUBSIDIARY OF CARTER + CLARK

Corporate Headquarters:  
1735 North Brown Road, Suite 400  
Lawrenceville, GA 30043  
866.637.1048  
FIRM LICENSE: F-1461



REVISION CHART

| 1 | 02/20/25 | SITE PLAN |
|---|----------|-----------|
| 2 | 00/00/24 | ---       |
| 3 | 00/00/24 | ---       |
| 4 | 00/00/24 | ---       |
| 5 | 00/00/24 | ---       |
| 6 | 00/00/24 | ---       |
| 7 | 00/00/24 | ---       |
| 8 | 00/00/24 | ---       |
| 9 | 00/00/24 | ---       |