

RALEIGH - LOT 00.0040 THE FARM AT NEILL'S CREEK

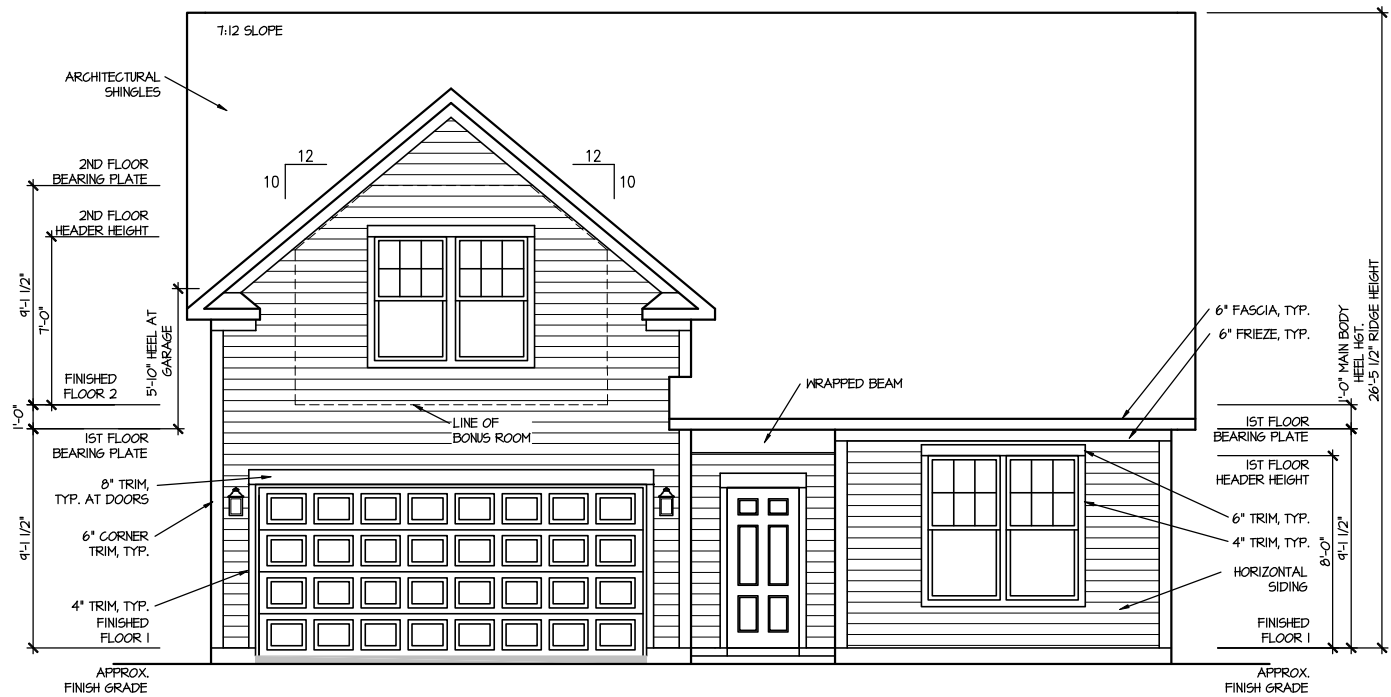
ELEVATION 1 - GL

LOT SPECIFIC

1	LOT 00.0040	THE FARM AT NEILL'S CREEK
		COOPER 3 REV. RALE 4 ELEVATION 1
2	ADDRESS	468 WINDING CREEK DR LILLINGTON, NC 27546

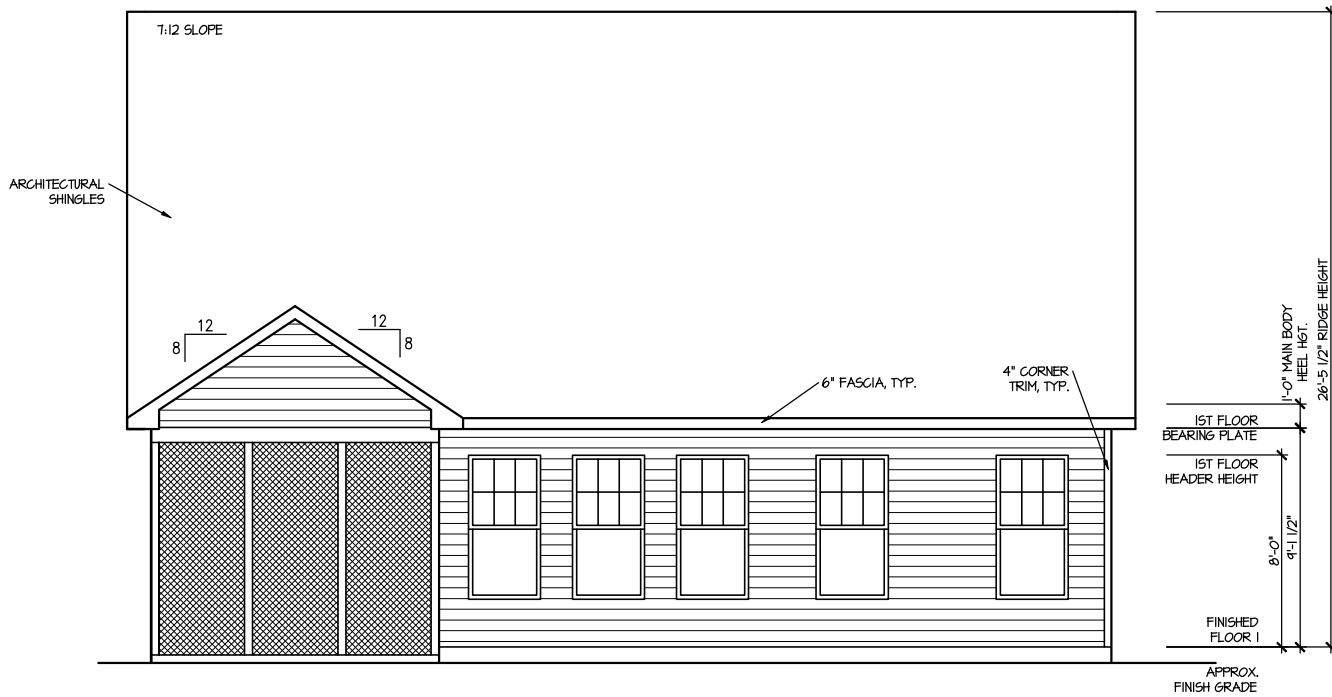
[illegible][illegible][illegible]

FILE: Lot_00.0040.dwg DATE: 2/20/2025 11:14 AM



FRONT ELEVATION I

SCALE: 1/8" = 1'-0"



REAR ELEVATION I

SCALE: 1/8" = 1'-0"

MASTER PLAN INFORMATION

REVISION	DATE	UPDATED DATE
4-RALE	02-24-2022	02-19-2025

DRAWN BY: ITS

DATE: 02/26/2025

PLAN NO. 1777

DRB HOMES

HOUSE NAME:

COOPER 3

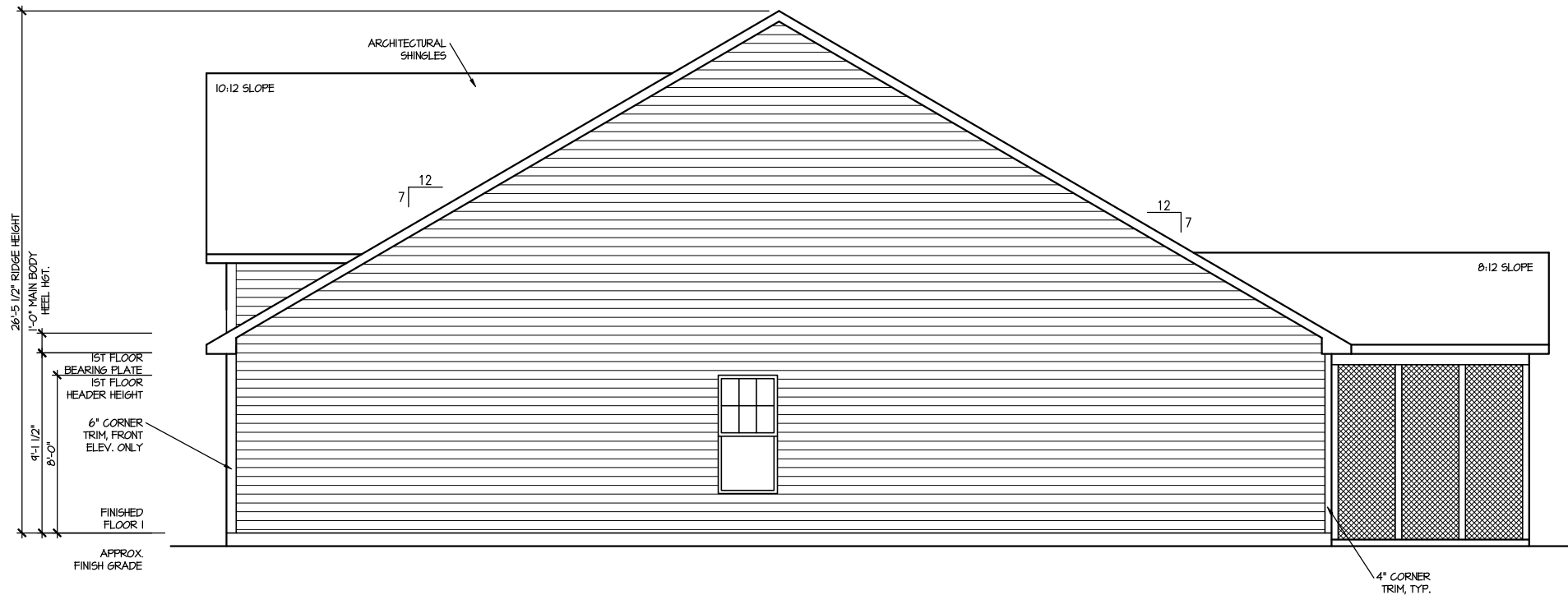
DRAWING TITLE

FRONT & REAR ELEVATIONS

SHEET No.

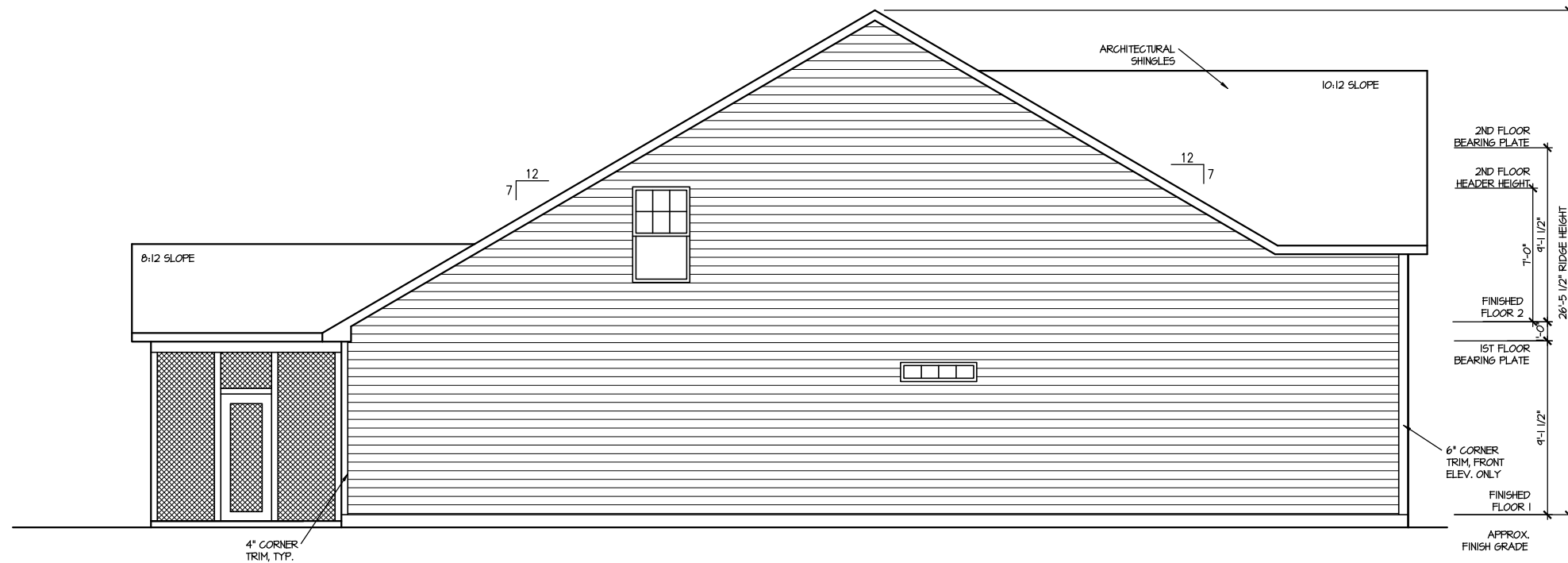
A.1

FILE: Lot_00.0040.dwg DATE: 2/20/2025 11:14 AM



RIGHT ELEVATION I

SCALE: 1/8" = 1'-0"



LEFT ELEVATION I

SCALE: 1/8" = 1'-0"

MASTER PLAN INFORMATION

REVISION	DATE	UPDATED DATE
4-RALE	02-24-2022	02-19-2025

DRAWN BY: ITS

DATE: 02/26/2025

PLAN NO. 1777

DRB HOMES

HOUSE NAME: COOPER 3

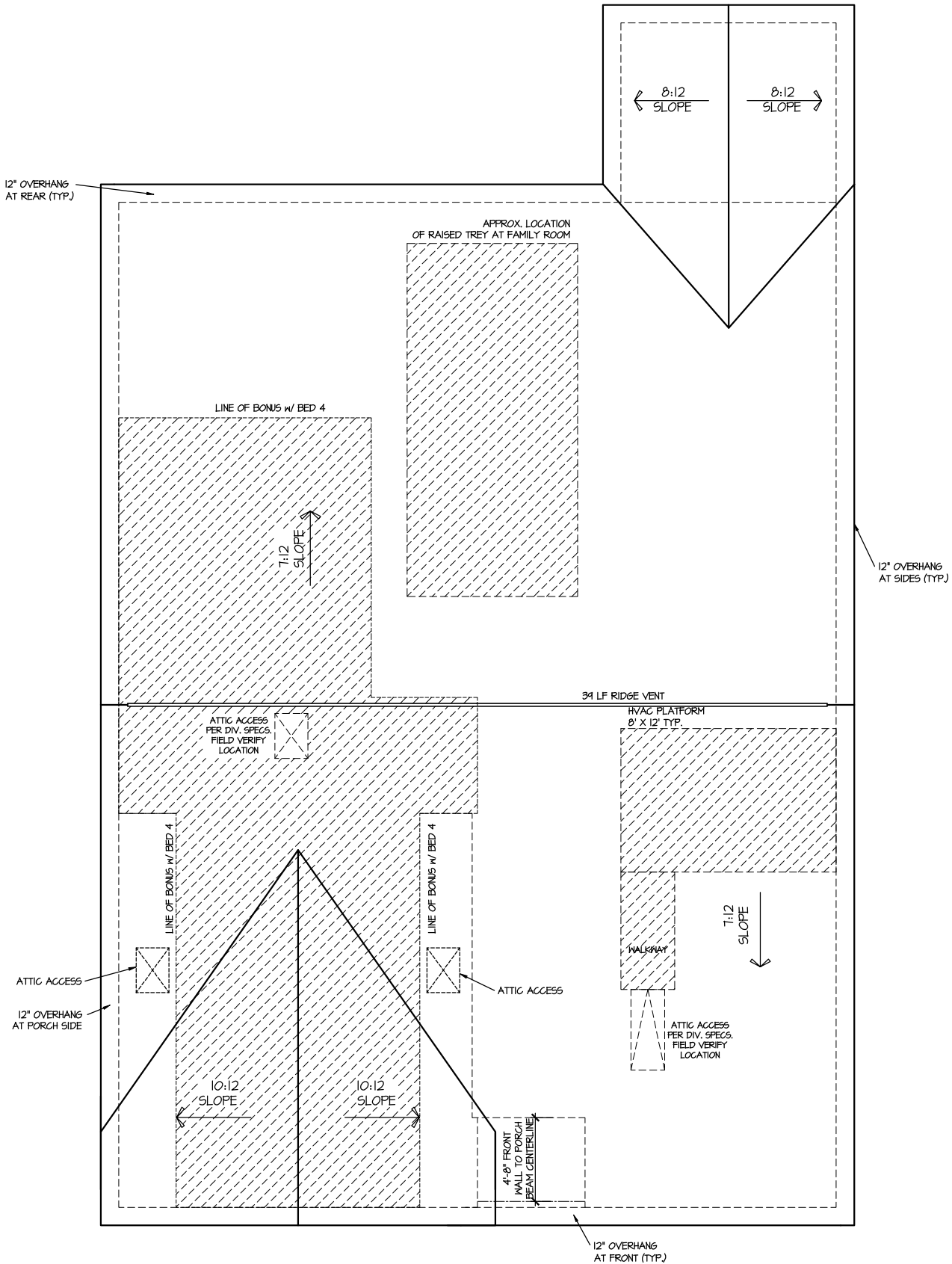
DRAWING TITLE

RIGHT & LEFT ELEVATIONS

SHEET No.

A1.2

ROOF VENTILATION CALCULATIONS:
ROOF AREA = 2316 SQ. FT.
OVERALL REQUIRED VENTILATION:
1 TO 150 = 15.44 SQ. FT.
1 TO 300 = 7.72 SQ. FT.
50-80% IN TOP THIRD = 3.66 - 6.18 SQ. FT. (1 TO 300)
NET FREE AREA OF VENTED SOFFIT = 5.7 SQ. IN. / LINEAR FT.
NET FREE AREA OF RIDGE VENT = 19 SQ. IN. / LINEAR FT.
LOWER VENTING: (BOTTOM 2/3 RISE)
74 LINEAR FEET OF SOFFIT X 5.7 SQ. IN. = 243 SQ. FT.
UPPER VENTING: (TOP 1/3 RISE)
34 LINEAR FEET OF RIDGE X 19 SQ. IN. = 486 SQ. FT.
486 SQ. FT. BETWEEN 50% - 80%
(1 TO 300 ALLOWED)
TOTAL ROOF VENTILATION: 729 SQ. FT. > 7.72 SQ. FT. (REQ'D)



ROOF PLAN ELEV. 1
SCALE: 1/8" = 1'-0"

DRAWN BY:
ITS
DATE: 02/26/2025
PLAN NO.
1777

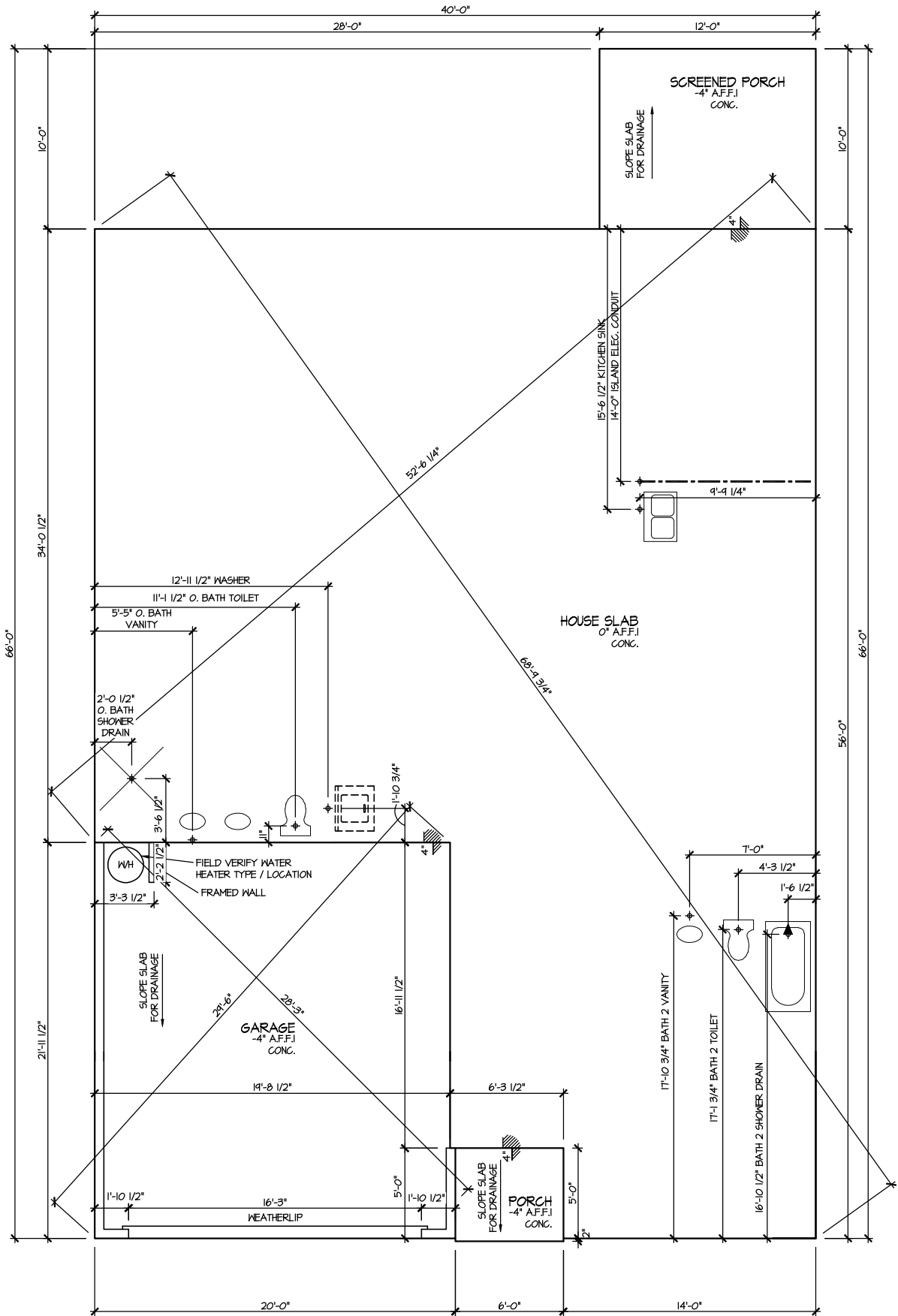


HOUSE NAME:
COOPER 3
DRAWING TITLE
ROOF PLAN

SHEET No.
A.3

MASTER PLAN INFORMATION

REVISION	DATE	UPDATED DATE
4-RALE	02-24-2022	02-19-2025



ELEVATION I
SLAB PLAN

SCALE: 1/8" = 1'-0"

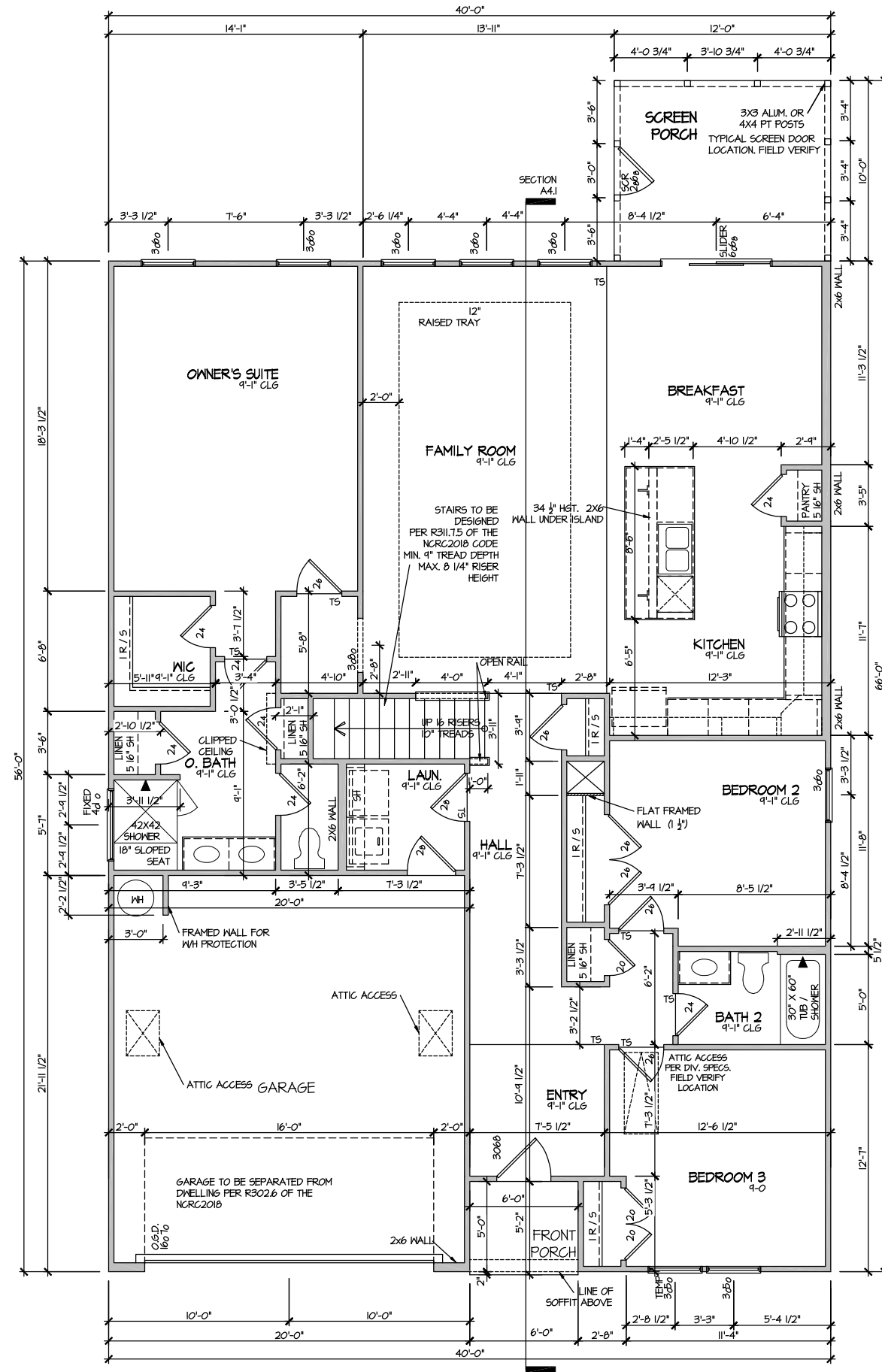
MASTER PLAN INFORMATION			
REVISION	DATE	UPDATED DATE	
4-RALE	02-24-2022	02-19-2025	

DRAWN BY:	ITS
DATE:	02/26/2025
PLAN NO.	1777

DRB
HOMES

HOUSE NAME:
COOPER 3
DRAWING TITLE
SLAB PLAN

SHEET No.
A2.1



ELEVATION 1
FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

MASTER PLAN INFORMATION

REVISION	DATE	UPDATED DATE
4-RALE	02-24-2022	02-19-2025

DRAWN BY: ITS

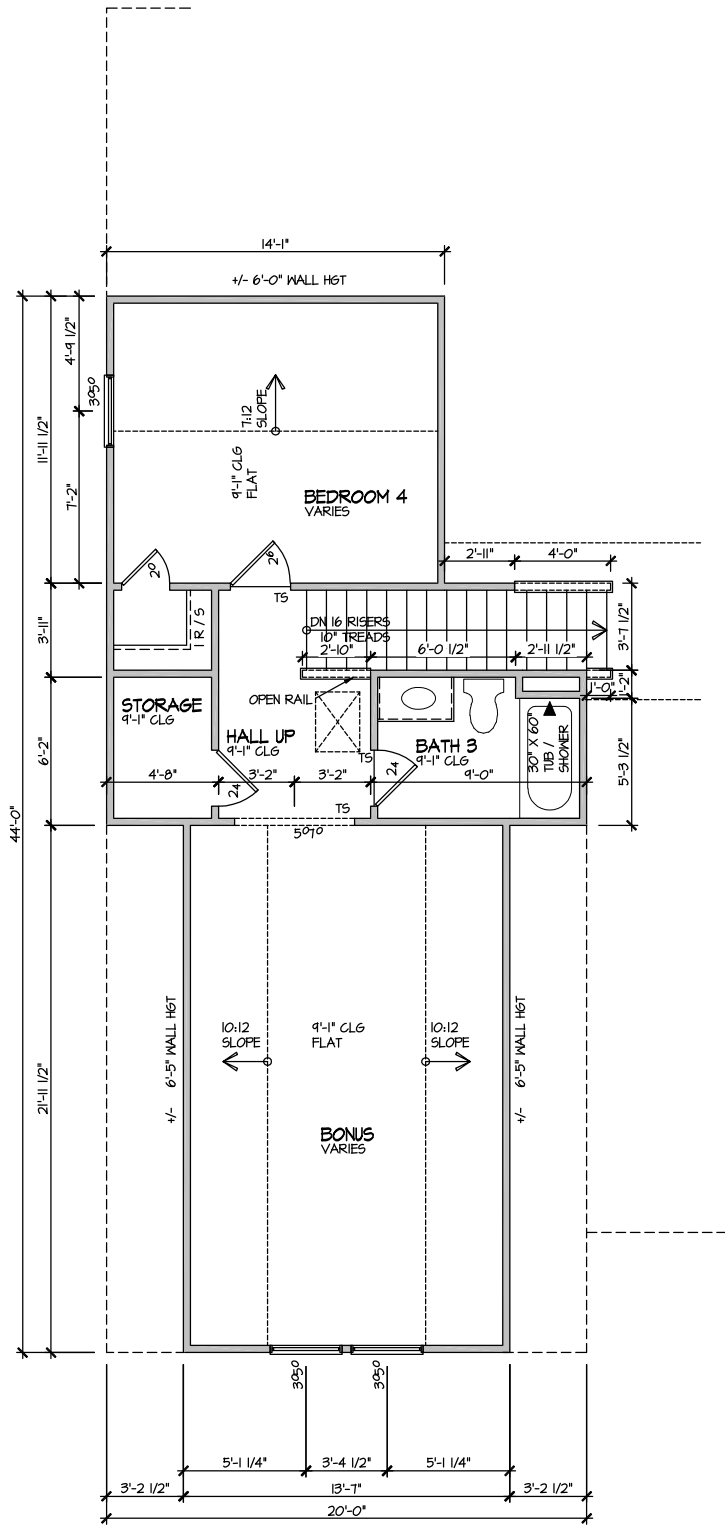
DATE: 02/26/2025

PLAN NO. 1777

DRB
HOMES

HOUSE NAME: COOPER 3
DRAWING TITLE: FIRST FLOOR PLAN

SHEET No. A3.1



ELEVATION I
SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

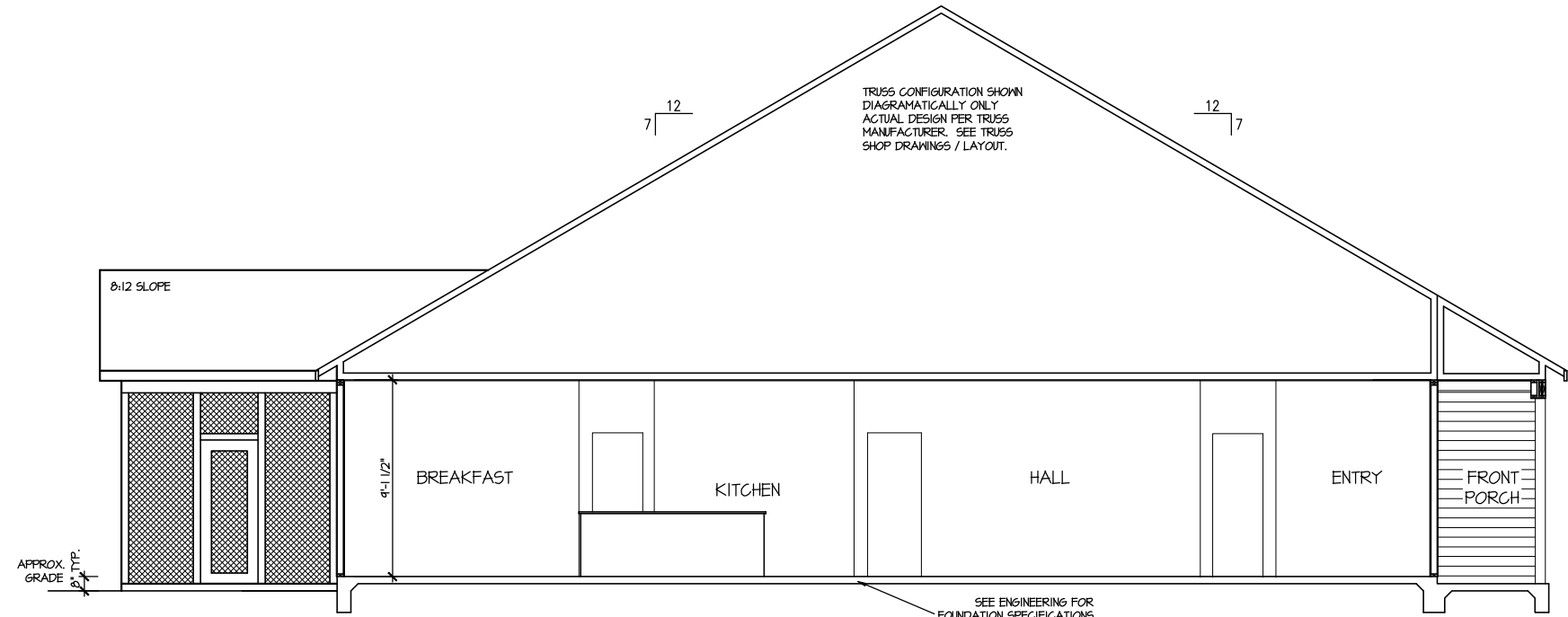
MASTER PLAN INFORMATION			
REVISION	DATE	UPDATED DATE	
4-RALE	02-24-2022	02-19-2025	

DRAWN BY:	ITS
DATE:	02/26/2025
PLAN NO.	1777



HOUSE NAME:	COOPER 3
DRAWING TITLE	SECOND FLOOR PLAN

SHEET No.
A3.2



BUILDING SECTION

SCALE: 1/8" = 1'-0"

FILE: Lot_00.0040.dwg DATE: 2/20/2025 11:14 AM

MASTER PLAN INFORMATION			UPDATED DATE
REVISION	DATE		
4-RALE	02-24-2022		02-19-2025

DRAWN BY:	ITS
DATE:	02/26/2025
PLAN NO.	1777

DRB
HOMES

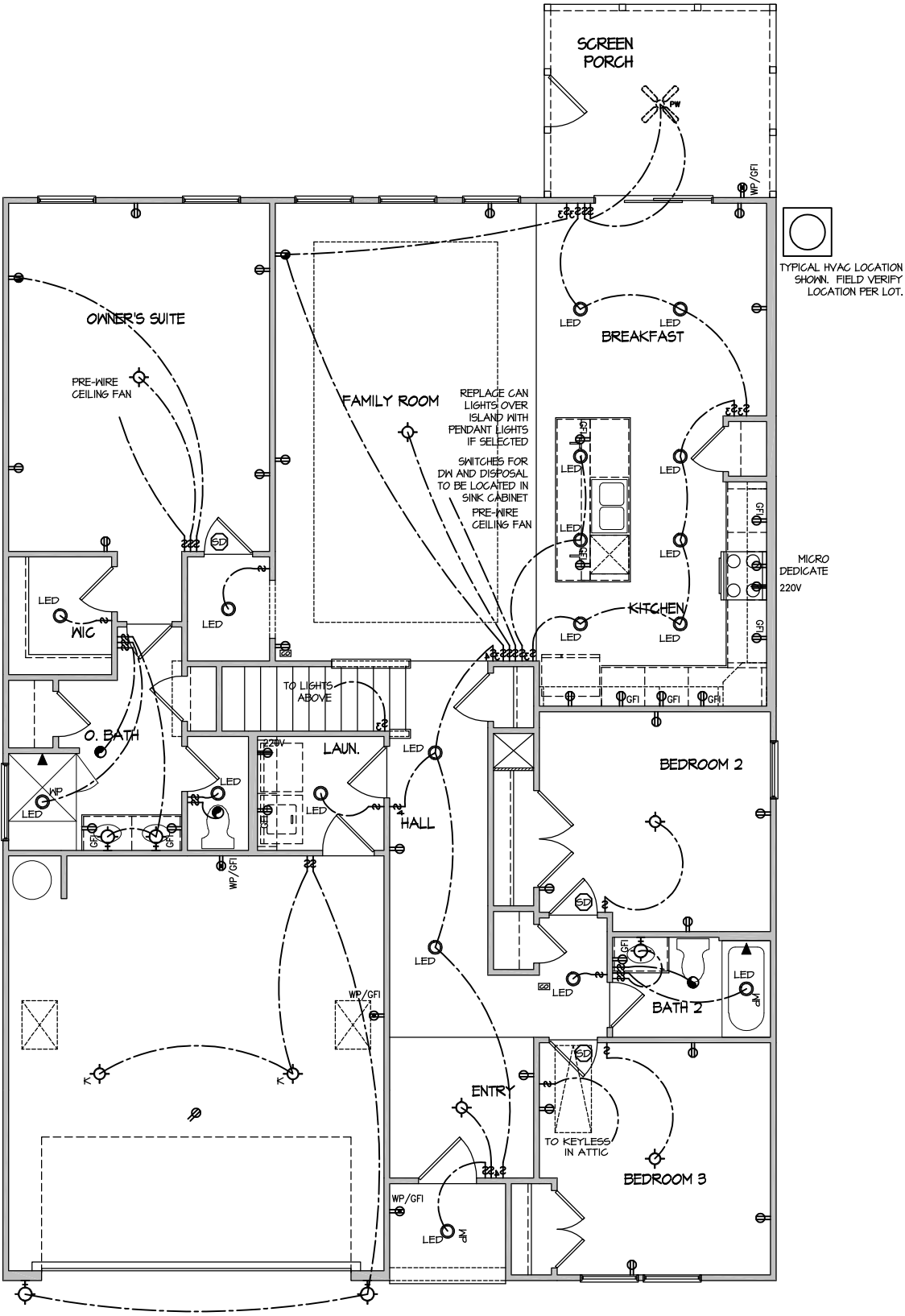
HOUSE NAME:	COOPER 3
DRAWING TITLE	BUILDING SECTION

SHEET No.
A4.1

ELECTRICAL LEGEND

- Ⓢ SINGLE POLE SWITCH
- Ⓢ₃ THREE WAY SWITCH
- Ⓢ₄ FOUR WAY SWITCH
- Ⓢ- DUPLEX AFCI RECEPTACLE
- Ⓢ- DUPLEX AFCI RECEPTACLE - BOTTOM HALF SWITCHED
- Ⓢ- DUPLEX AFCI RECEPTACLE - FLOOR MOUNTED
- 220V Ⓢ RECEPTACLE - 220V
- GFI Ⓢ DUPLEX AFCI RECEPTACLE - GFI
- WP/GFI Ⓢ DUPLEX AFCI RECEPTACLE - WATERPROOF GFI
- Ⓢ SMOKE DETECTOR - WIRED IN SERIES
- Ⓢ EXHAUST FAN MOTOR
- Ⓢ CO DETECTOR
- Ⓢ DOOR CHIME
- Ⓢ LIGHT FIXTURE - WALL MOUNTED
- Ⓢ LIGHT FIXTURE - CEILING MOUNTED
- Ⓢ LIGHT FIXTURE - RECESSED CAN
- Ⓢ_{LED} LIGHT FIXTURE - LED SURFACE MOUNTED
- Ⓢ_P PULLCHAIN LAMPHOLDER
- Ⓢ_K KEYLESS LAMPHOLDER

NOTE: ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE ADOPTED VERSION OF THE NATIONAL ELECTRICAL CODE, THE LOCAL POWER COMPANY AND TO ALL APPLICABLE LOCAL REGULATIONS.



ELECTRICAL PLAN
FIRST FLOOR - ELEV. 1

SCALE: 1/8" = 1'-0"

MASTER PLAN INFORMATION			UPDATED DATE
REVISION	DATE	4-RALE	02-19-2025
4-RALE	02-24-2022		

DRAWN BY:	ITS
DATE:	02/26/2025
PLAN NO.	1777

DRB
HOMES

HOUSE NAME:	COOPER 3
DRAWING TITLE	FIRST FLOOR ELECTRICAL

SHEET No.	11
-----------	----

ELECTRICAL LEGEND

- ⌀

SINGLE POLE SWITCH
- ⌀₃

THREE WAY SWITCH
- ⌀₄

FOUR WAY SWITCH
- ⌀

DUPLEX AFCI RECEPTACLE
- ⌀

DUPLEX AFCI RECEPTACLE - BOTTOM HALF SWITCHED
- ⌀

DUPLEX AFCI RECEPTACLE - FLOOR MOUNTED
- 220V ⌀

RECEPTACLE - 220V
- ⌀

DUPLEX AFCI RECEPTACLE - GFI
- WP/GFI ⌀

DUPLEX AFCI RECEPTACLE - WATERPROOF GFI
- ⌀

SMOKE DETECTOR - WIRED IN SERIES
- ⌀

EXHAUST FAN MOTOR
- ⌀

CO DETECTOR
- ⌀

DOOR CHIME
- ⌀

LIGHT FIXTURE - WALL MOUNTED
- ⌀

LIGHT FIXTURE - CEILING MOUNTED
- ⌀

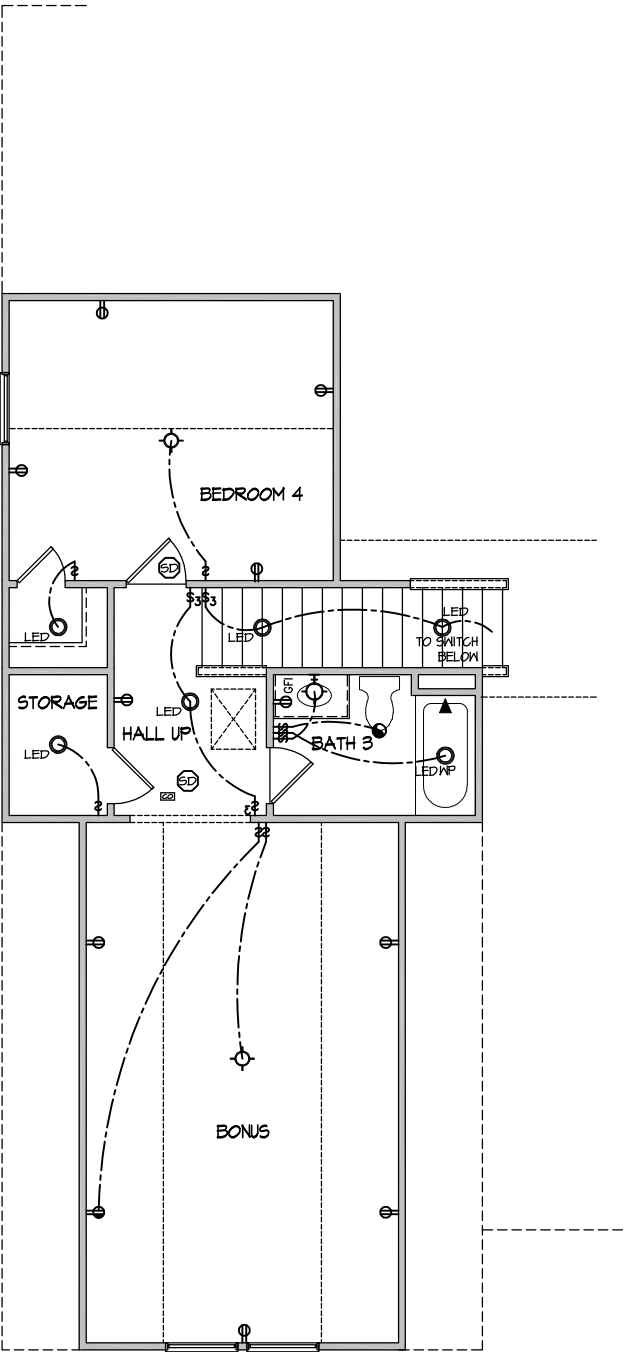
LIGHT FIXTURE - RECESSED CAN
- ⌀_{LED}

LIGHT FIXTURE - LED SURFACE MOUNTED
- ⌀_P

PULLCHAIN LAMPHOLDER
- ⌀_K

KEYLESS LAMPHOLDER

NOTE: ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE ADOPTED VERSION OF THE NATIONAL ELECTRICAL CODE, THE LOCAL POWER COMPANY AND TO ALL APPLICABLE LOCAL REGULATIONS.



ELECTRICAL PLAN
SECOND FLOOR - ELEV. 1

SCALE: 1/8" = 1'-0"

MASTER PLAN INFORMATION			UPDATED DATE	
REVISION	DATE			
4-RALE	02-24-2022			02-19-2025

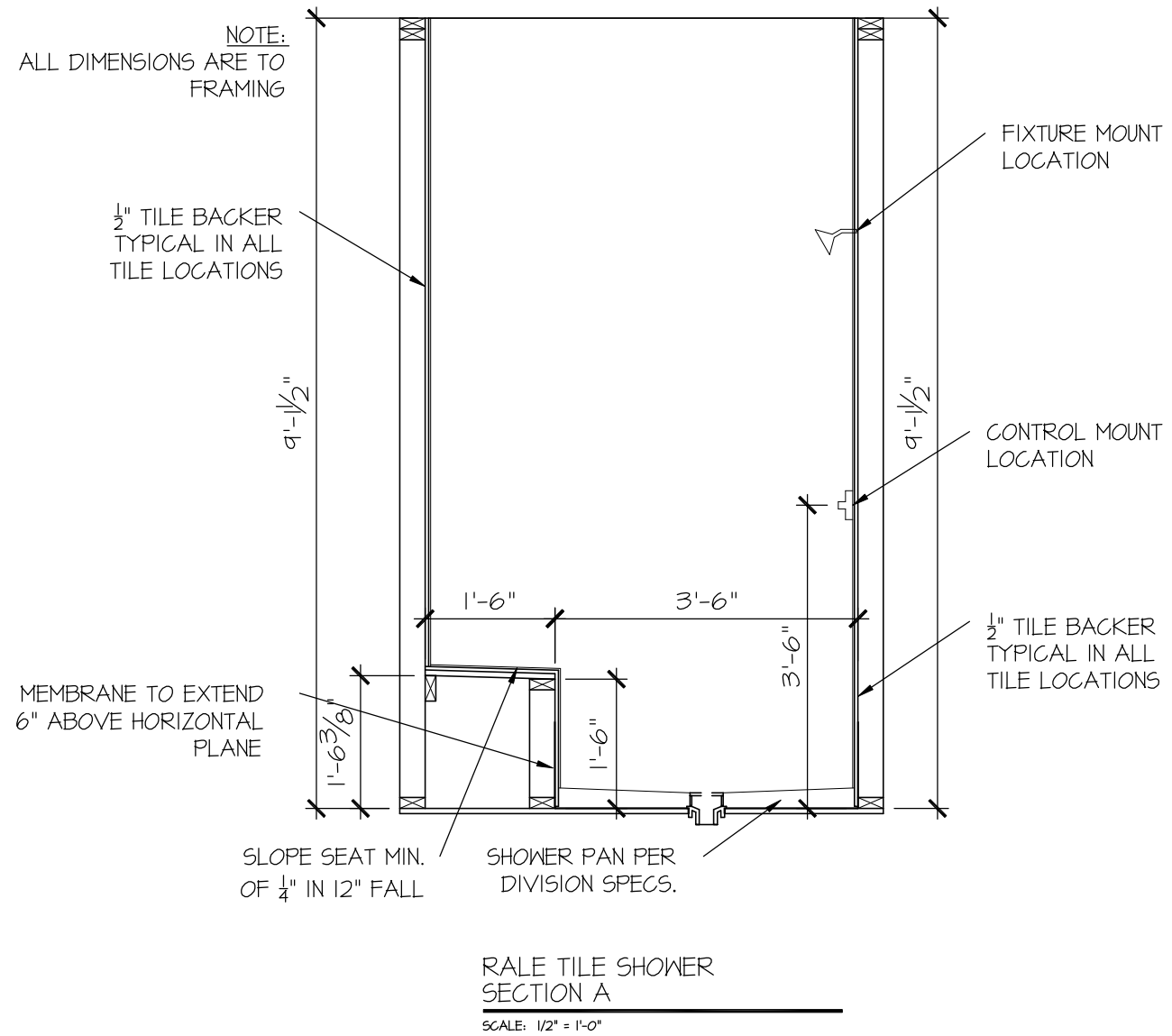
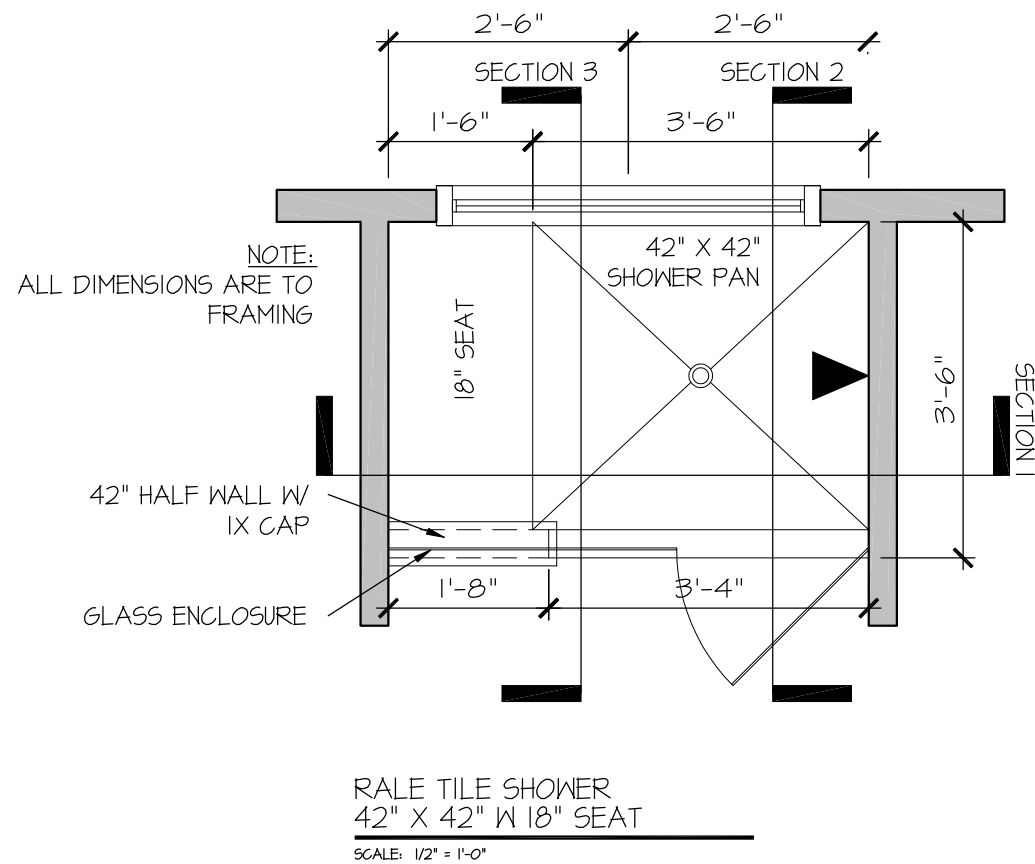
DRAWN BY:		ITS
DATE:		02/26/2025
PLAN NO.		1777

DRB
HOMES

HOUSE NAME:		COOPER 3
DRAWING TITLE		SECOND FLOOR ELECTRICAL

SHEET No.
11.2

FILE: RALE TILE SHOWER DETAIL 8-2022.dwg DATE: 09-19-2022



CONSULTANT LOGO

SEAL

DRAWN BY:
L. BEAVERS
DATE: 9/1/22
PLAN NO.
11 X 17 SCALE
24 X 36 SCALE

DRB
HOMES

HOUSE NAME:

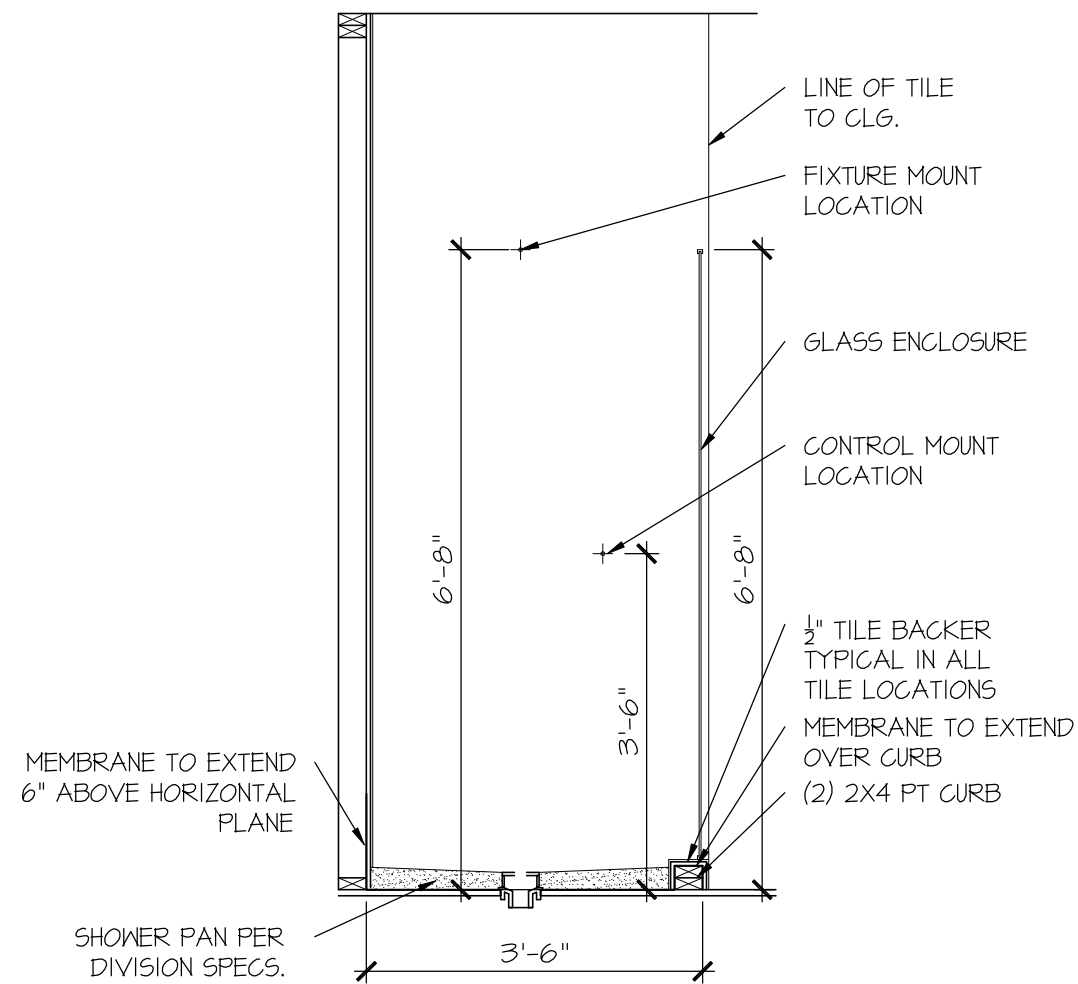
DRAWING TITLE

RALE TILE SHOWER DETAIL

SHEET No.

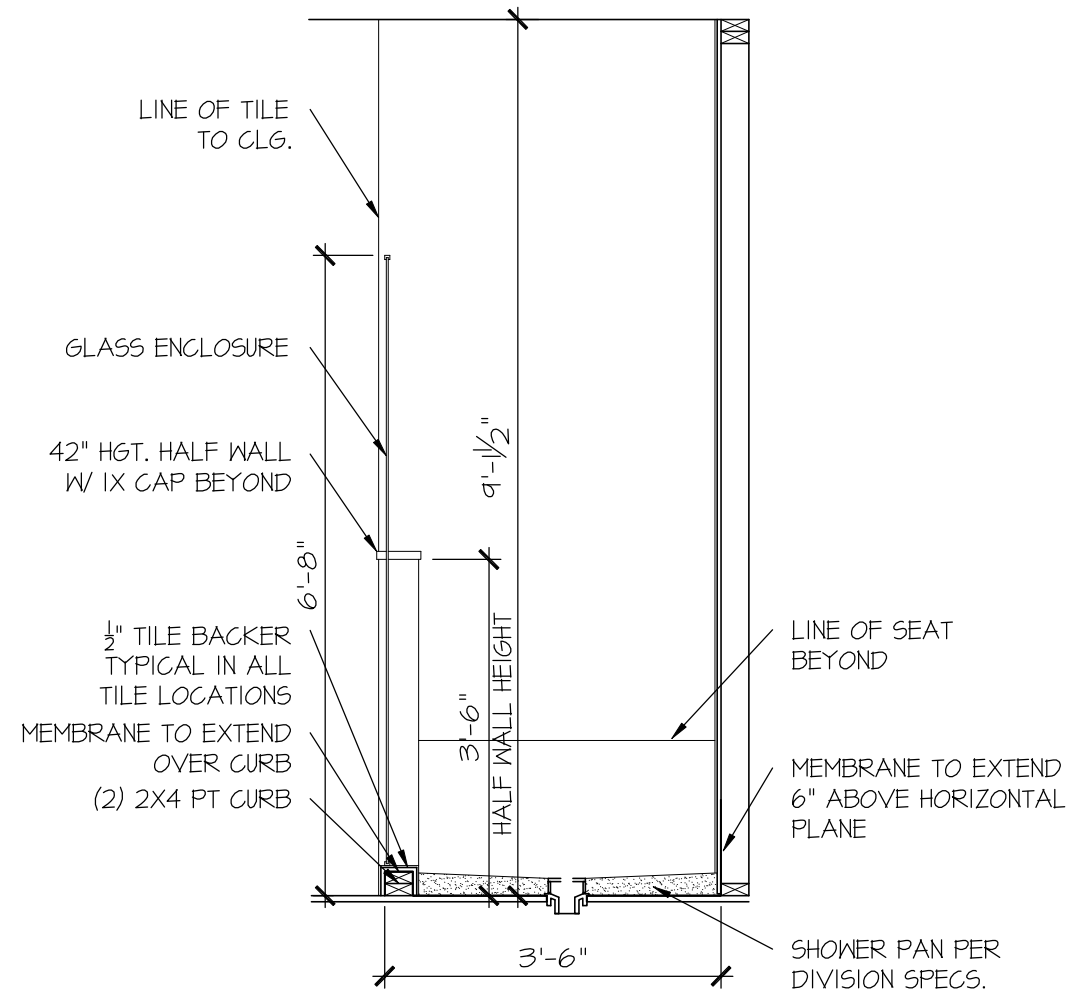
0111

FILE: RALE TILE SHOWER DETAIL 8-2022.dwg DATE: 09-19-2022



RALE TILE SHOWER
SECTION B

SCALE: 1/2" = 1'-0"



RALE TILE SHOWER
SECTION C

SCALE: 1/2" = 1'-0"

CONSULTANT LOGO

SEAL

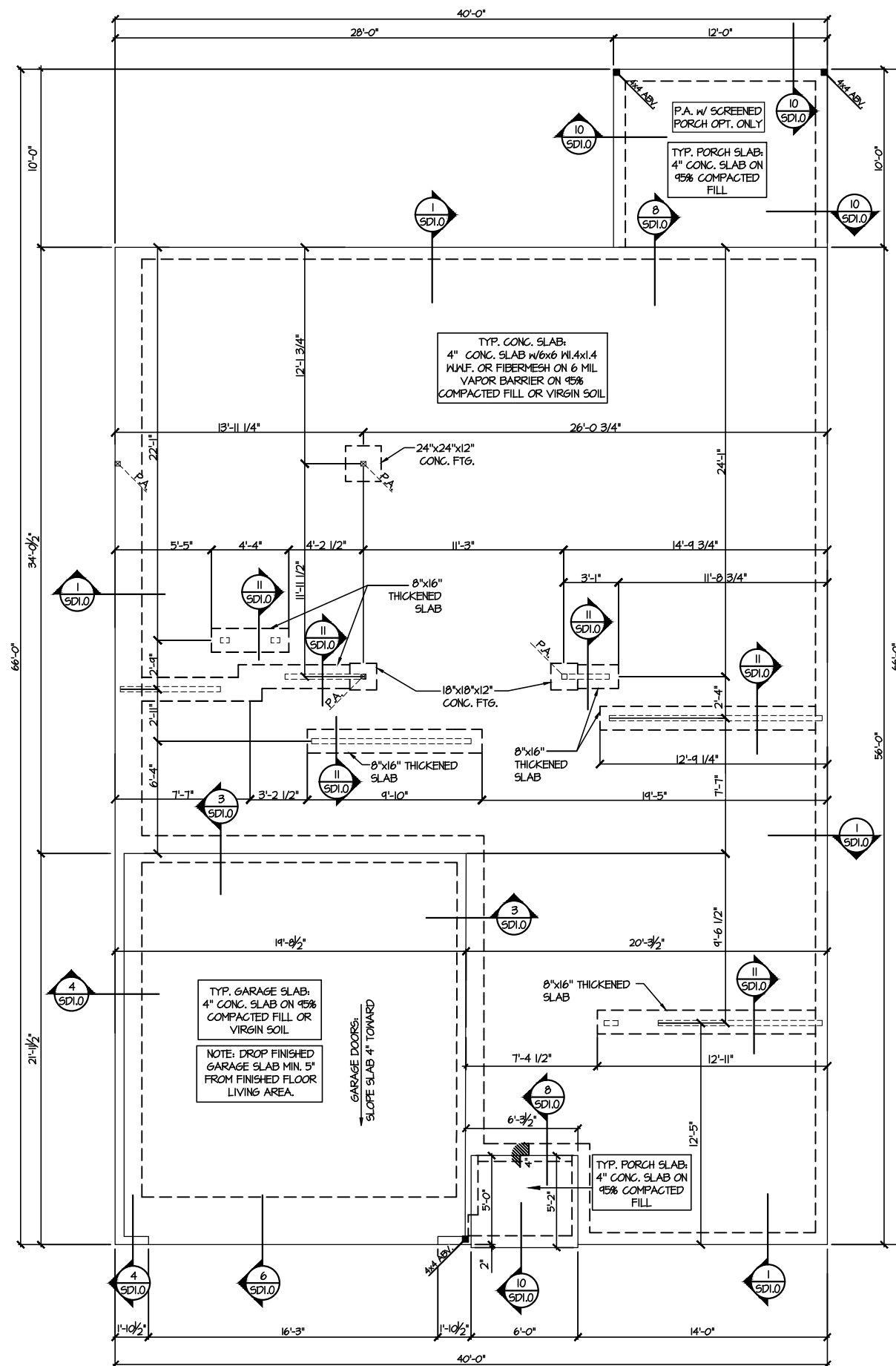
DRAWN BY:
L. BEAVERS
DATE: 9/1/22
PLAN NO.
11 X 17 SCALE
24 X 36 SCALE

DRB
HOMES

HOUSE NAME:
DRAWING TITLE
RALE TILE SHOWER DETAIL






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01.12




1 MONO SLAB FOUNDATION PLAN
SCALE: 1/8"=1'-0"

LEGEND

-  INTERIOR BEARING WALL
-  BEARING WALL ABOVE
-  BEAM / HEADER
-  INDICATES SHEAR WALL & EXTENT
-  EXTENT OF OVERFRAMING

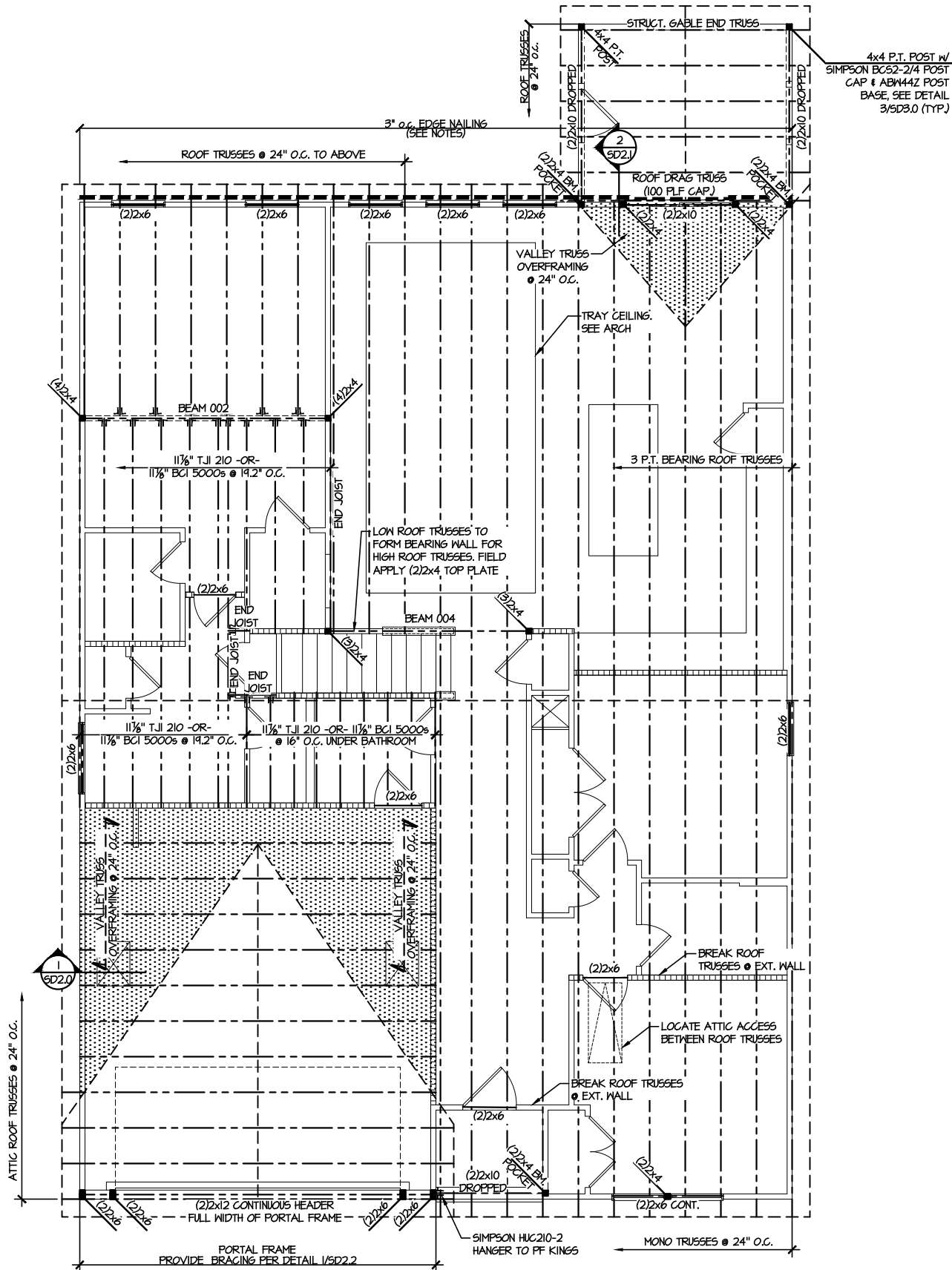
JL METAL HANGER

- * INDICATES POST ABOVE, PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

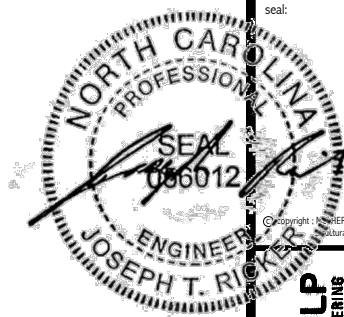
 INDICATES HOLD-DOWN OR STRAP.
REFER TO SCHEDULE.

REFER TO SO.0 FOR
TYPICAL STRUCTURAL NOTES
& SCHEDULES

FILE: RLH - Neil's Creek - Lot 40 - Structurals DATE: 3/10/2025 10:31 AM



1 LOW ROOF/2ND FLOOR FRAMING PLAN
SCALE: 1/8"=1'-0"



MULHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERING
3800 Dismalville Ave., Building 4 • Asheville, NC 28802
P: 712-596-8881 • mulhern+kulp.com
NC LICENSE #C-3825

M&K project number:
126-22076
project mgr: JTR
drawn by: JAD
issue date: 03-10-25

REVISIONS:
date: initial:

LEGEND

- INTERIOR BEARING WALL
- BEARING WALL ABOVE
- BEAM / HEADER
- INDICATES SHEAR WALL & EXTENT
- EXTENT OF OVERFRAMING
- JL METAL HANGER
- INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

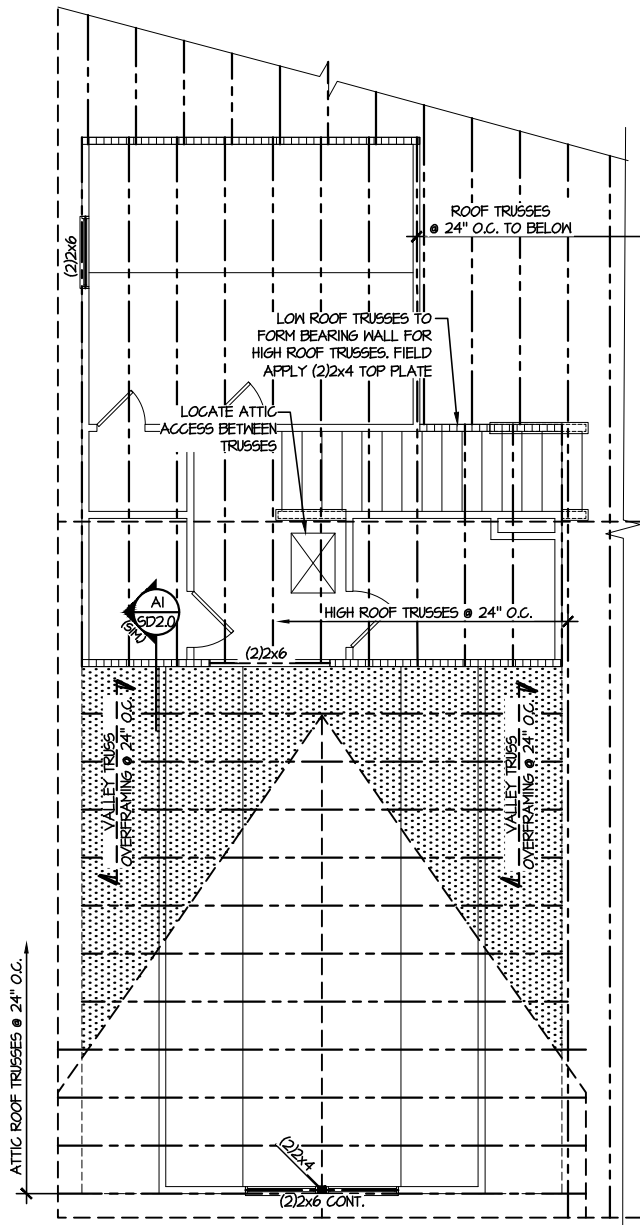
REFER TO SO.O FOR
TYPICAL STRUCTURAL NOTES
& SCHEDULES

ENGINEERED BEAM MATERIAL SCHEDULE					
BEAM NUMBER	LVL. OPTION	PSL. OPTION	LSL. OPTION	FLITCH OPTION	STEEL OPTION
001	(2)3/4"x11 1/8" - F	3/4"x11 1/8" - F	(3)3/4"x11 1/8" - F	(2)2x12 + (1) 3/4"x11 1/8" STEEL FLITCH PLATES - F	M2x14 - F
002	(3)3/4"x11 1/8" - F	3/4"x11 1/8" - F	(4)3/4"x11 1/8" - F	(2)2x12 + (1) 3/4"x11 1/8" STEEL FLITCH PLATES - F	M2x14 - F
003	(2)3/4"x11 1/8" - F	3/4"x11 1/8" - F	(3)3/4"x11 1/8" - F	(2)2x12 + (1) 3/4"x11 1/8" STEEL FLITCH PLATES - F	M2x14 - F
004	(2)3/4"x11 1/8" - D	3/4"x11 1/8" - D	(2)3/4"x11 1/8" - D	(2)2x10 + (1) 3/4"x11 1/8" STEEL FLITCH PLATES - D	M2x10 - D
<p>BEAM NOTATION:</p> <ul style="list-style-type: none">"F" INDICATES FLUSH BEAM"FT" INDICATES FLUSH TOP BEAM"FB" INDICATES FLUSH BOTTOM BEAM"D" INDICATES DROPPED BEAM"H" INDICATES DROPPED OPENING HEADER <p>REFER TO DETAIL E/S/D2.0 FOR TYPICAL STEEL BEAM CONNECTIONS</p> <p>FOR FLUSH TOP BEAMS PROVIDE 2X STACKED PLATES BENEATH BEAM AS REQ'D. FASTEN PLATES IN SUCCESSION W/ (2) 3"x0.120" NAILS @ 8" O.C.</p> <p>FOR FLUSH BOTTOM BEAMS PROVIDE 2X STACKED PLATES ATOP BEAM AS REQ'D. FASTEN PLATES IN SUCCESSION W/ (2) 3"x0.120" NAILS @ 8" O.C.</p>					



ROOF FRAMING PLANS
FARM AT NEIL'S CREEK
LOT 40 - COOPER 1
RALEIGH, NC

sheet:
S2.0

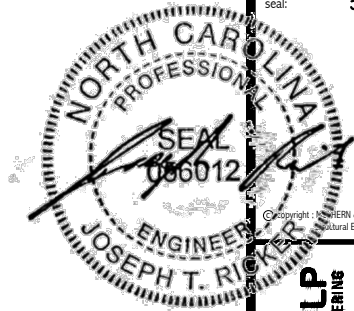


1 HIGH ROOF FRAMING PLAN
SCALE: 1/8"=1'-0"

LEGEND

- [Pattern] INTERIOR BEARING WALL
- [Pattern] BEARING WALL ABOVE
- [Pattern] BEAM / HEADER
- [Pattern] INDICATES SHEAR WALL & EXTENT
- [Pattern] EXTENT OF OVERFRAMING
- .JL METAL HANGER
- * INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- ▶ INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

**REFER TO S0.0 FOR
TYPICAL STRUCTURAL NOTES
& SCHEDULES**





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NC LICENSE #C-3825

M&K project number:
126-22076

project mgr: JTR
drawn by: JAD
issue date: 03-10-25

REVISIONS:	
date:	initial:



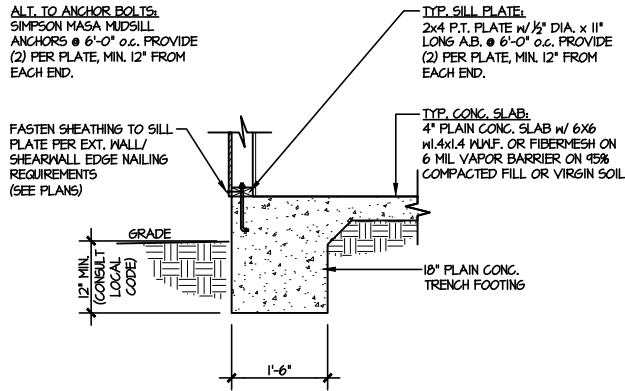
ROOF FRAMING PLANS

FARM AT NEIL'S CREEK

LOT 40 - COOPER 1

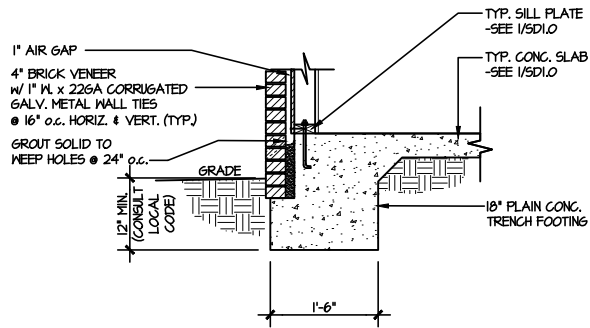
RALEIGH, NC

sheet:
S3.0



1 TYPICAL SLAB ON GRADE
PERIMETER FOOTING

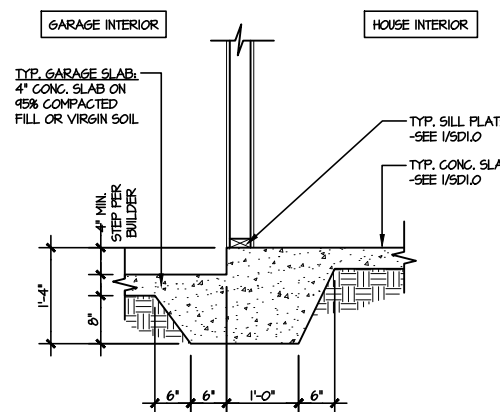
SCALE: 3/8"=1'-0"



2 TYPICAL SLAB ON GRADE
PERIMETER FOOTING

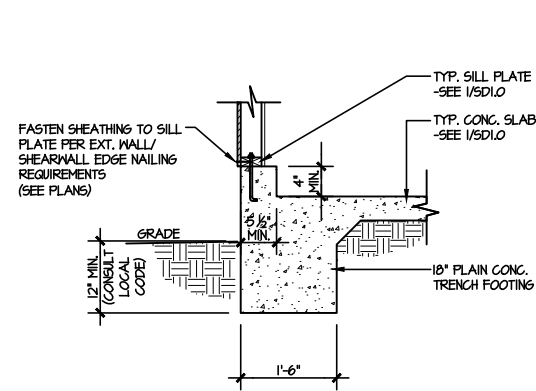
SCALE: 3/8"=1'-0"

w/ BRICK VENEER



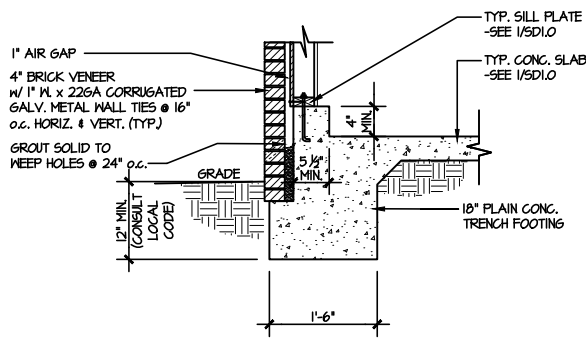
3 TYPICAL MONOLITHIC INTERIOR
GARAGE FOOTING

SCALE: 3/8"=1'-0"



4 TYPICAL SLAB ON GRADE GARAGE
PERIMETER FOOTING

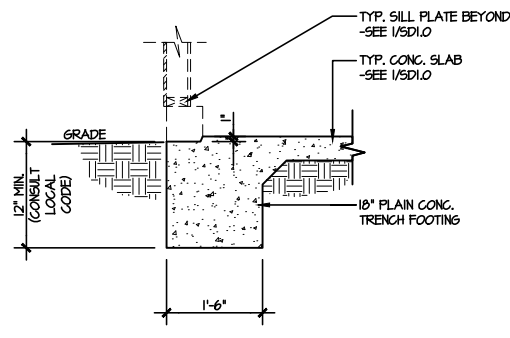
SCALE: 3/8"=1'-0"



5 TYPICAL SLAB ON GRADE GARAGE
PERIMETER FOOTING

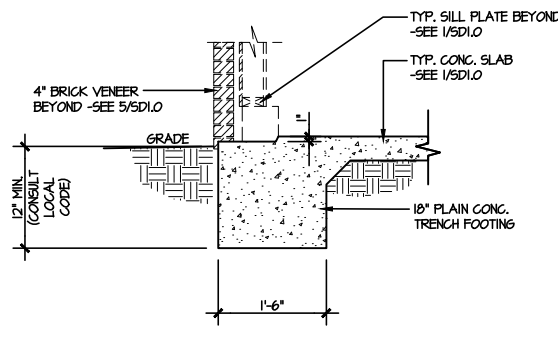
SCALE: 3/8"=1'-0"

w/ BRICK VENEER



6 TYPICAL SLAB ON GRADE GARAGE
ENTRY @ PERIMETER FOOTING

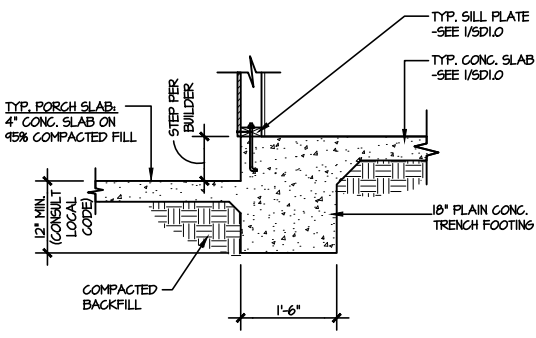
SCALE: 3/8"=1'-0"



7 TYPICAL SLAB ON GRADE GARAGE
ENTRY @ PERIMETER FOOTING

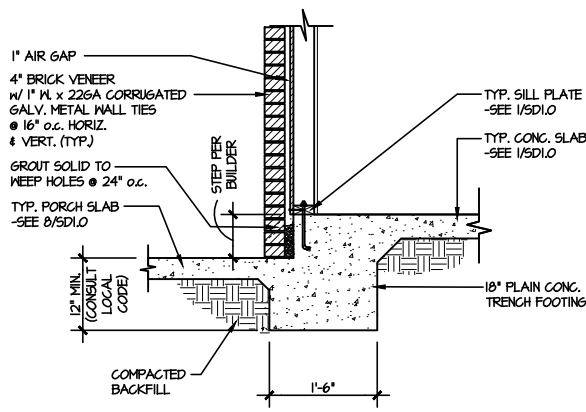
SCALE: 3/8"=1'-0"

w/ BRICK VENEER



8 TYPICAL SLAB ON GRADE PERIMETER
FOOTING @ PORCH/PATIO

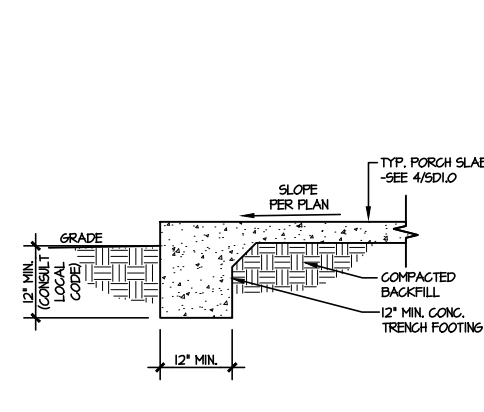
SCALE: 3/8"=1'-0"



9 TYPICAL SLAB ON GRADE PERIMETER
FOOTING @ PORCH/PATIO

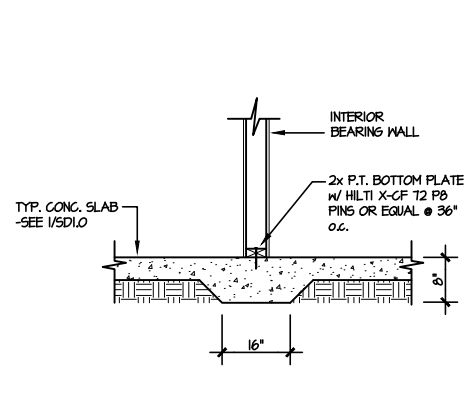
SCALE: 3/8"=1'-0"

w/ BRICK VENEER



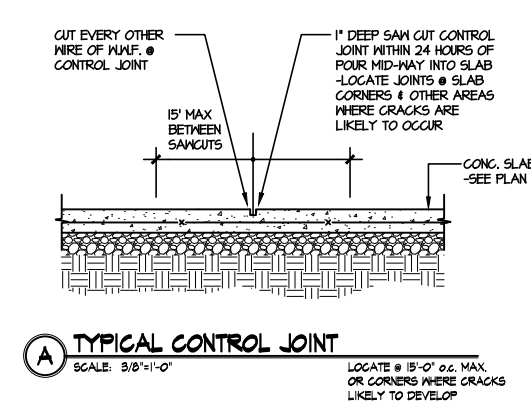
10 TYPICAL FOOTING @ PORCH SLAB

SCALE: 3/8"=1'-0"



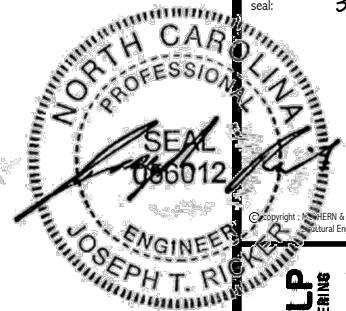
11 TYPICAL THICKENED SLAB @
INTERIOR BEARING WALL

SCALE: 3/8"=1'-0"



LETTERED DETAILS ARE TYPICAL FOR
THIS HOME & SHALL BE IMPLEMENTED IN
ALL APPLICABLE AREAS. THESE
DETAILS ARE NOT "CUT" ON THE PLANS.

NUMBERED DETAILS ARE PLAN
SPECIFIC AND ARE ONLY REQUIRED
WHERE SPECIFICALLY INDICATED
("CUT") ON THE PLANS.



3/10/25

MULHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERING
3905 Dunsmuir Ave., Building 4 - Asheville, NC 28802
P: 726-586-0881 • mulhern+kulp.com



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126-22076
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issue date: 03-10-25

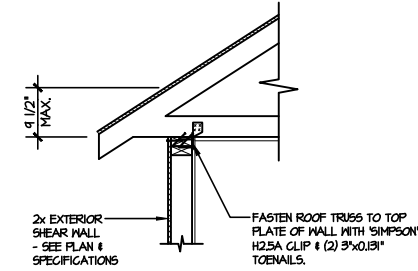
REVISIONS:
date: initial:

DRB
HOMES

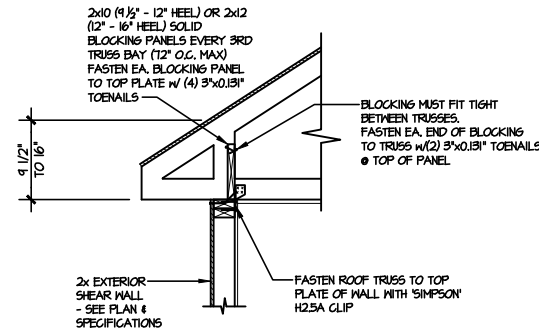
FOUNDATION DETAILS
FARM AT NEIL'S CREEK
LOT 40 - COOPER 1
RALEIGH, NC

sheet:
SD1.0

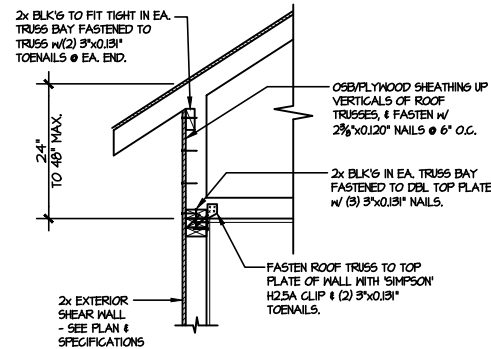
FILE: RLH - Neil's Creek - Lot 40 - Structural DATE: 3/10/2025 10:31 AM



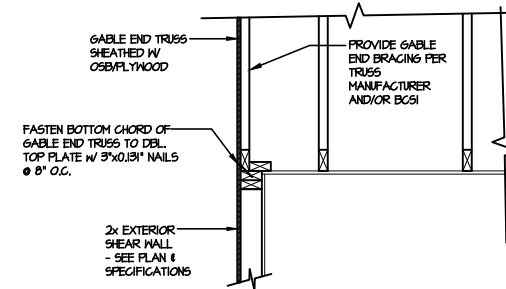
AI TYPICAL SHEAR TRANSFER DETAIL @ ROOF
SCALE: 3/8"=1'-0" HEEL HEIGHT LESS THAN 9 1/2" NO BLOCKING REQ'D



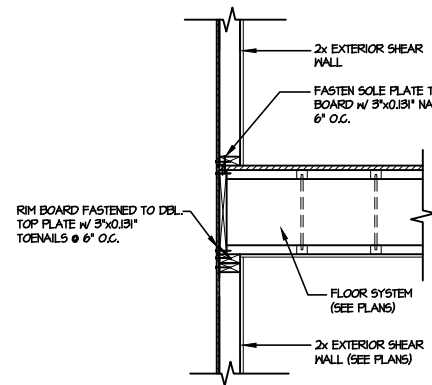
A2 TYPICAL SHEAR TRANSFER DETAIL @ ROOF
SCALE: 3/8"=1'-0" HEEL HEIGHT BETWEEN 9 1/2" - 16" BLOCKING REQ'D



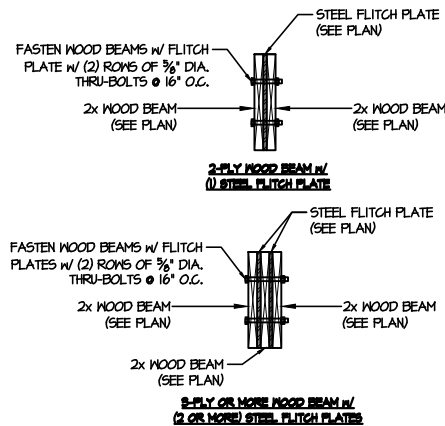
A3 TYPICAL SHEAR TRANSFER DETAIL @ RAISED HEEL TRUSS
SCALE: 3/8"=1'-0" HEEL HEIGHT UP TO 48" MAX.



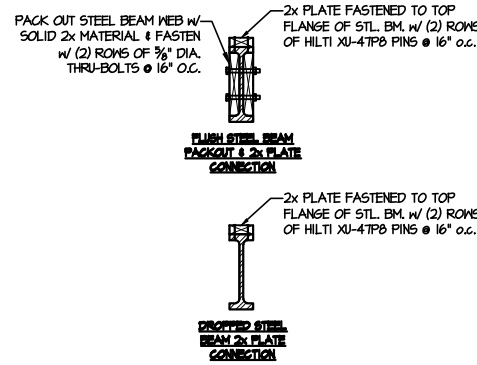
B TYPICAL GABLE END DETAIL
SCALE: 3/8"=1'-0"



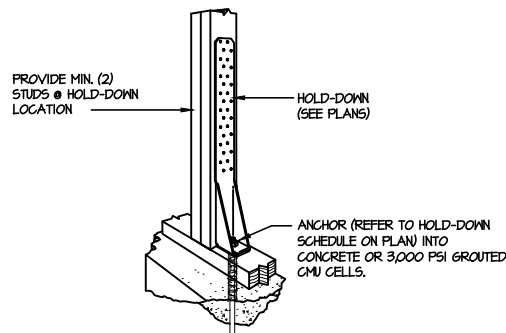
C TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ EXTERIOR WALL
SCALE: 3/8"=1'-0"



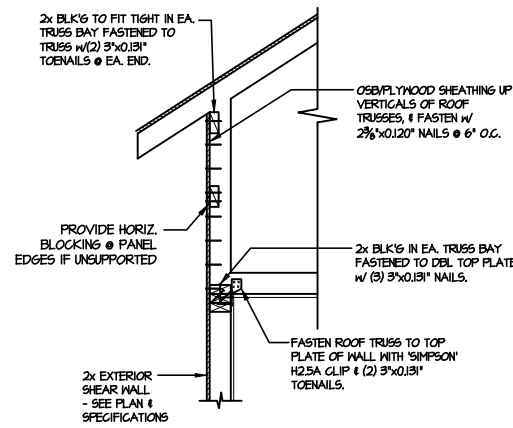
D TYPICAL FLITCH BEAM CONNECTION DETAIL
SCALE: 3/4"=1'-0"



E TYPICAL STEEL BEAM CONNECTION DETAIL
SCALE: 3/4"=1'-0"



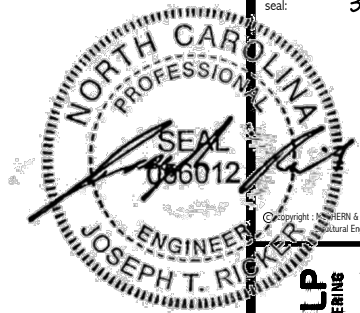
FI TYPICAL HOLD DOWN INSTALLATION
SCALE: N.T.S.



I TYPICAL SHEAR TRANSFER DETAIL @ RAISED HEEL TRUSS
SCALE: 3/8"=1'-0" HEEL HEIGHT GREATER THAN 48"

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.



3/10/25

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RESIDENTIAL STRUCTURAL ENGINEERING
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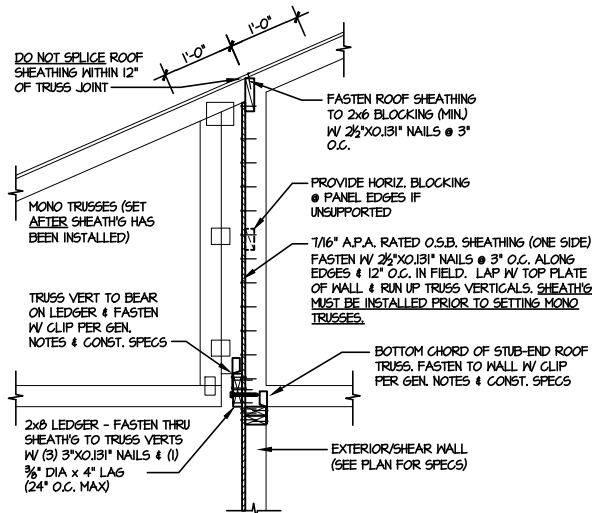
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126-22076
project mgr: JTR
drawn by: JAD
issue date: 03-10-25

REVISIONS:
date: initial:

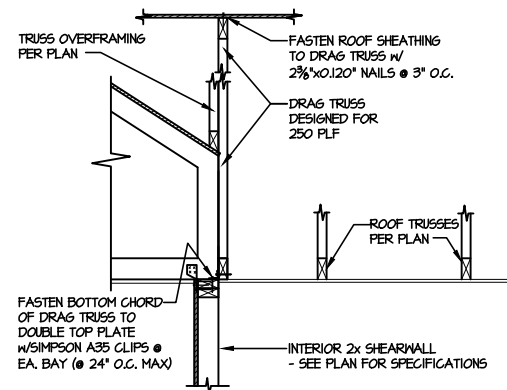
DRB
HOMES

FRAMING DETAILS
FARM AT NEIL'S CREEK
LOT 40 - COOPER 1
RALEIGH, NC

sheet:
SD2.0



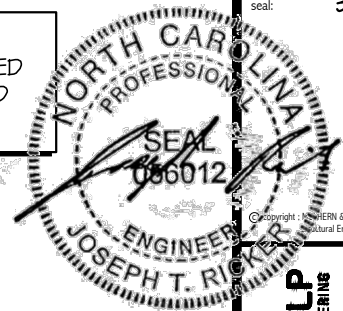
1 SHEAR TRANSFER DETAIL @
BREAK IN TRUSSES OVER SHEAR WALL
SCALE: 3/4"=1'-0" - 22084
3/8"=1'-0" - 11x17



2 SHEAR TRANSFER DETAIL
AT INTERIOR SHEARWALL BELOW
SCALE: 3/4"=1'-0"

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seal: 3/10/25

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N.C. LICENSE #C-3825

M&K project number:
126-22076

project mgr: JTR
drawn by: JAD
issue date: 03-10-25

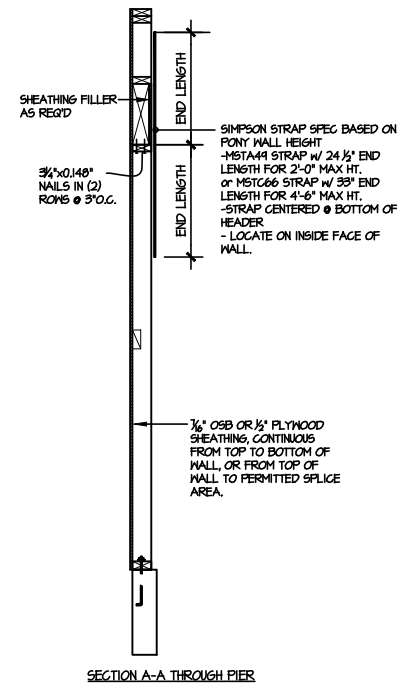
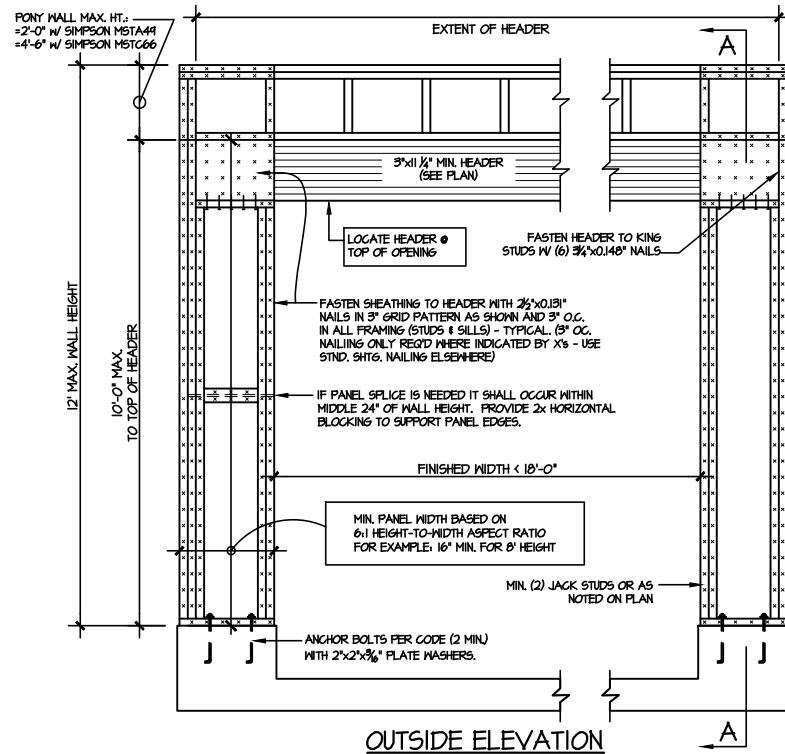
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date: initial:

DRB
HOMES

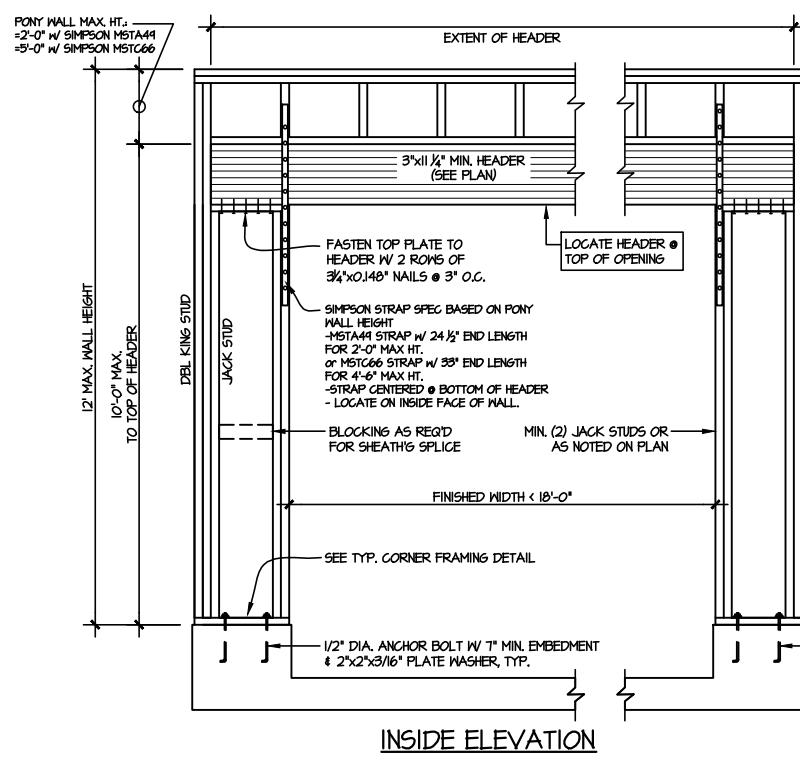
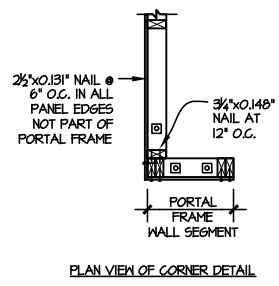
FRAMING DETAILS
FARM AT NEIL'S CREEK
LOT 40 - COOPER 1
RALEIGH, NC

sheet:
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FILE: RLH - Neil's Creek - Lot 40 - Structural DATE: 3/10/2025 10:32 AM

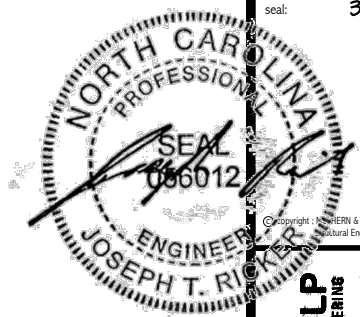


NOTE: ALL SHEATHABLE AREAS OF EXTERIOR WALL SHALL BE FULLY SHEATHED WITH 1/2" PLYWOOD OR 3/4" OSB



- ALTERNATIVES TO 1/2" DIA. ANCHOR BOLT:
- 1) 1/2" DIA. x 6" LONG SIMPSON TITEN HD
 - 2) 1/2" DIA. THREADED ROD EPOXY SET w/ 4 1/2" EMBED. (MIN) UTILIZING HILTI HY200 EPOXY ANCHORING SYSTEM (OR EQUAL)

1 TWO SIDED GARAGE PORTAL FRAME BRACING ELEVATION ON CONCRETE STEM
SCALE: N.T.S.



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NC LICENSE #C-3825

M&K project number:
126-22076
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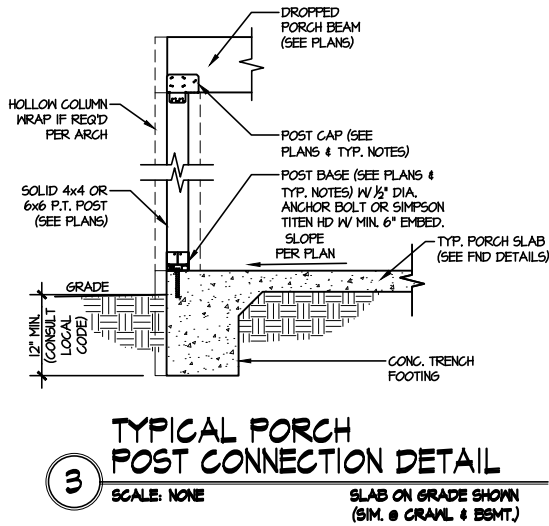
DRB
HOMES

FRAMING DETAILS
FARM AT NEIL'S CREEK
LOT 40 - COOPER 1
RALEIGH, NC

sheet:
SD2.2

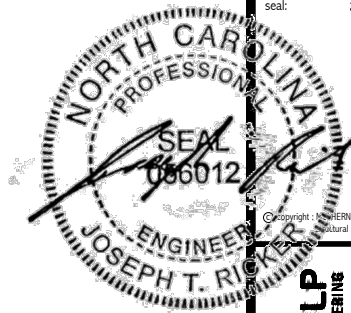
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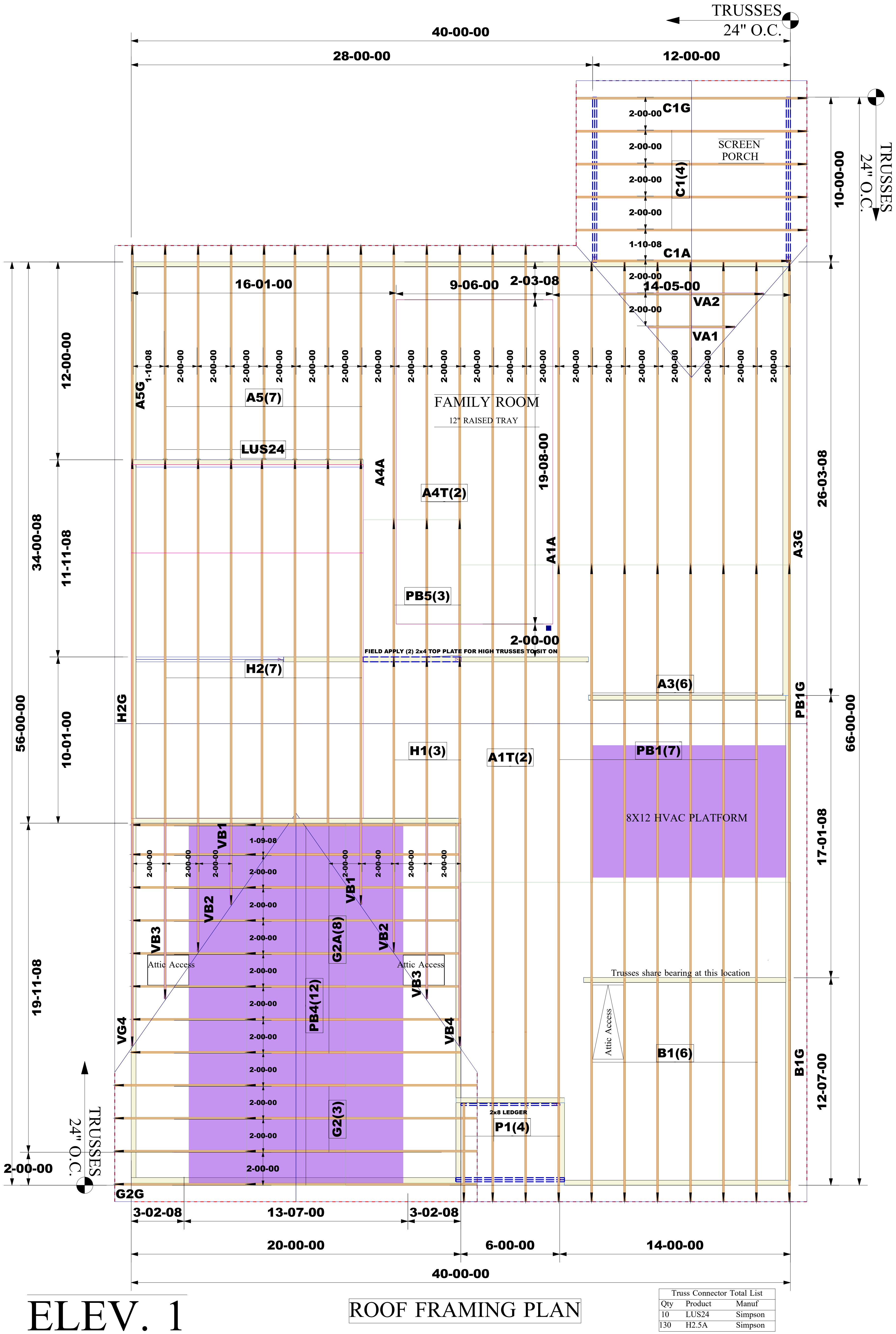


FRAMING DETAILS
FARM AT NEIL'S CREEK
LOT 40 - COOPER 1
RALEIGH, NC

sheet:
SD3.0

seal: 3/10/25

ROOF TRUSS LAYOUT
SCALE: NTS



ELEV. 1

ROOF FRAMING PLAN

Truss Connector Total List			
Qty	Product	Manuf	
10	LUS24	Simpson	
130	H2.5A	Simpson	

*EXTERIOR DIMENSIONS ARE TO STUD.
*TRUSS 2' O.C U.N.O
*INSTALL SIMPSON H2.5A HURRICANE ANCHORS AT EACH BEARING POINT

THE FARM AT NEILL'S (NC)(RAL) LOT 00.0040 PHASE
MODEL-1776-1-COOPER 3
GARAGE LEFT SIDE W/ 2' EXTENSION
OPT SCREENED PORCH/COVERED PORCH
OPT BONUS ROOM W/BEDROOM 4/BATH
OPT TRAY CEILING FAMILY ROOM

Job #:

2502-2747

Designer:

Sayan Roy

Sales Rep:

Robbie Zarobinski

WARNING:

CONVENTIONAL FRAMING, ERECTION AND/OR PERMANENT BRACING IS NOT THE RESPONSIBILITY OF THE TRUSS DESIGNER, PLATE MANUFACTURER, OR THE TRUSS MANUFACTURER. PERSONS ERECTING TRUSSES ARE CAUTIONED TO SEEK PROFESSIONAL ADVICE REGARDING THE ERECTION BRACING WHICH IS ALWAYS REQUIRED TO PREVENT TOPPLING AND DOMINIONS DURING ERECTION, AND PERMANENT BRACING WHICH MAY BE REQUIRED IN SPECIFIC APPLICATIONS. SEE "BRACING WOOD TRUSSES COMMENTARY AND RECOMMENDATIONS" (BCSI 1) FOR FURTHER INFORMATION.

TRUSSES SHALL BE INSTALLED IN A STRAIGHT AND PLUMB POSITION WHERE NO SHEATHING IS APPLIED DIRECTLY TO TOP AND/OR BOTTOM CHORDS, THEY SHALL BE BRACED AS SPECIFIED ON THE ENGINEERED DESIGN. TRUSSES SHALL BE HANDLED WITH REASONABLE CARE DURING ERECTION TO PREVENT DAMAGE OR PERSONAL INJURY.

NOTE:

IT IS THE RESPONSIBILITY OF THE BUILDING DESIGNER OR ARCHITECT TO PROVIDE AN APPROPRIATE CONNECTION FOR TRUSSES TO SUPPORTING STRUCTURE PER REACTIONS SHOWN ON TRUSS ENGINEERING. SPECIAL CONSIDERATIONS FOR MECHANICAL EQUIPMENT AND/OR PLUMBING (AND THEIR CONNECTIONS) IN TRUSS SPACE MUST BE DIAGRAMMED BY BUILDER ON APPROVED TRUSS LAYOUT PRIOR TO FABRICATION.

THIS COMPANY IS A TRUSS MANUFACTURER WHOSE RESPONSIBILITIES ARE LIMITED TO THOSE DESCRIBED IN WTCA 1-1995 "DESIGN RESPONSIBILITIES". ACCORDINGLY, IT DISCLAIMS ANY RESPONSIBILITIES AND/OR LIABILITY FOR THE CONSTRUCTION DESIGN, DRAWINGS, DOCUMENTS INCLUDING THE INSTALLATION, AND BRACING OF TRUSSES MANUFACTURED BY THIS COMPANY.

Customer: DRB Raleigh

Job Name: The Farm at Neill's Creek

Lot #: Lot 00.0040

Model Name: Cooper 3



Structural, LLC
201 Poplar Avenue
Thurmont, MD 21788
Phone: 301-271-7591

