COOPER 3-RALE

RALEIGH - LOT 00.0040 THE FARM AT NEILL'S CREEK

(MODEL# 1777)

ELEVATION 1 - GL

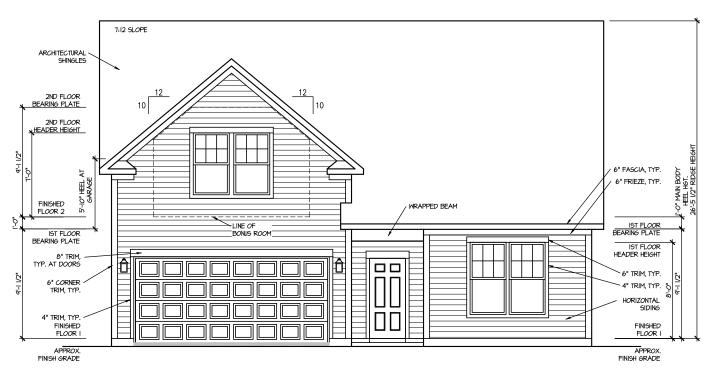


AREA CALCULATIONS				
<u>AREA CALCULATIONS</u>			COVERED /	
ELEVATION 1		HEATED	UNHEATED	UNCOVERED
FIRST FLOOR		1777 SF		
GARAGE			394 SF	
FRONT PORCH - ELEVATION 1			33 SF	
OPTIONS				
BONUS ROOM		430 SF		
BEDROOM 4		168 SF		
SCREEN PORCH			120 SF	
2' GARAGE EXT			40 SF	
2' BONUS ROOM		27 SF		
Т	TOTAL	2402 SF	587 SF	

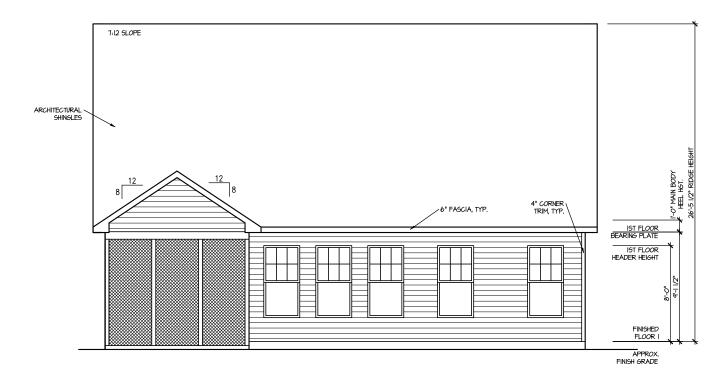
468 Winding Creek Drive

	SPECIFIC	
1	LOT 00.0040	THE FARM AT NEILL'S CREEK
		COOPER 3 REV. RALE 4 ELEVATION 1
2	ADDRESS	468 WINDING CREEK DR LILLINGTON, NC 27546
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INDEX	



FRONT ELEVATION | SCALE: 1/0" = 1'-0"



REAR ELEVATION I SCALE: 1/0" = 1'-0" | MASTER PLAN INFORMATION | PATE | PLAN INFORMATION | PATE | PLAN | PATE | PATE

DRAWN BY: ITS DATE: 02/26/2025 PLAN NO. 1777



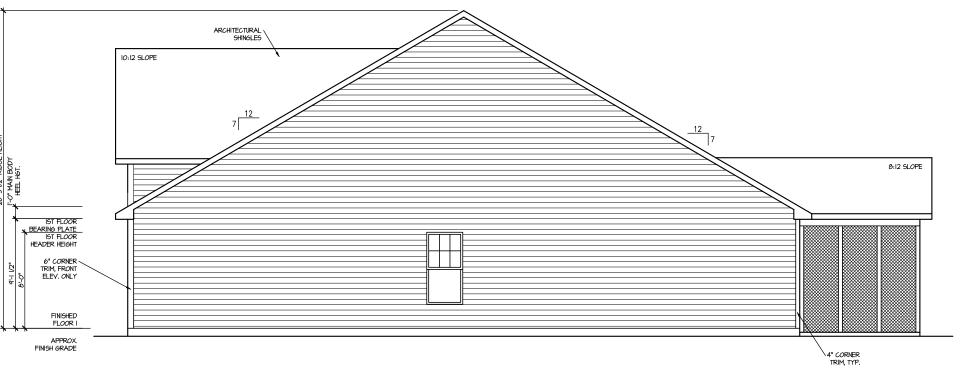
TITLE

REAR ELEVATIONS

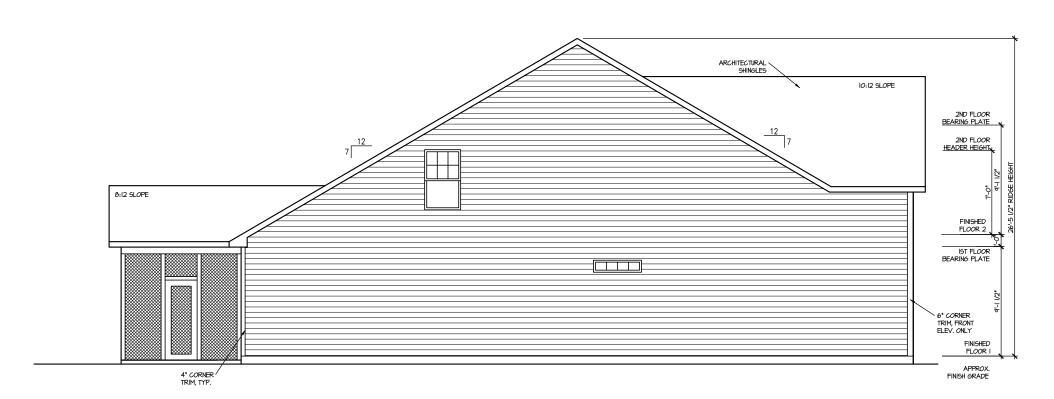
HOUSE NAME:
COOPER 3
DRAWING TITLE
FRONT & REAR

SHEET No.

A|.



RIGHT ELEVATION I SCALE: 1/8" = 1"-0"



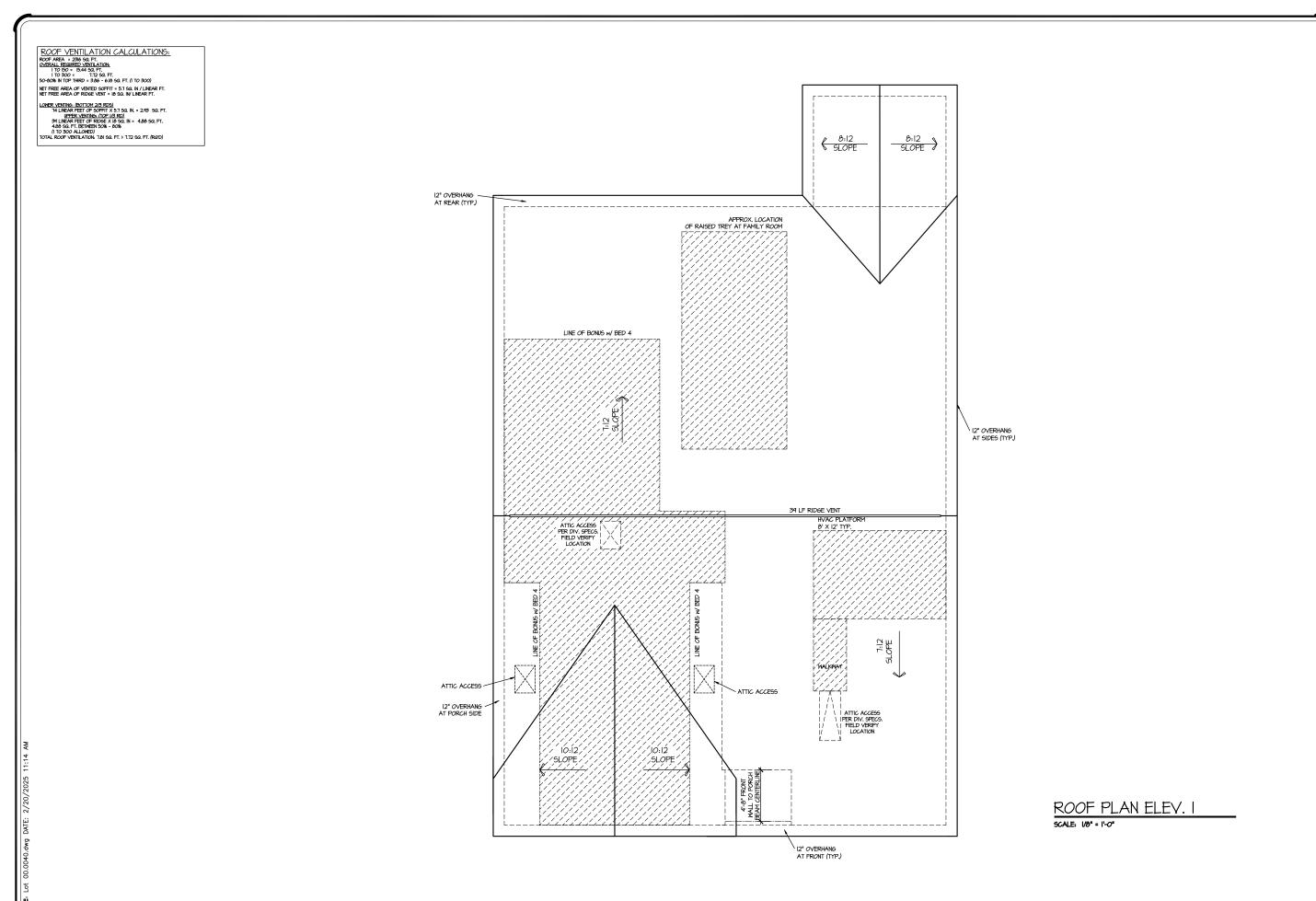
LEFT ELEVATION | SCALE: 1/8" = 1'-0"

DRAWN BY: DATE: 02/26/2025 4 PLAN NO. 1777



ELEVATIONS HOUSE NAME:
COOPER
DRAWING TITLE
RIGHT # LEF

SHEET No.



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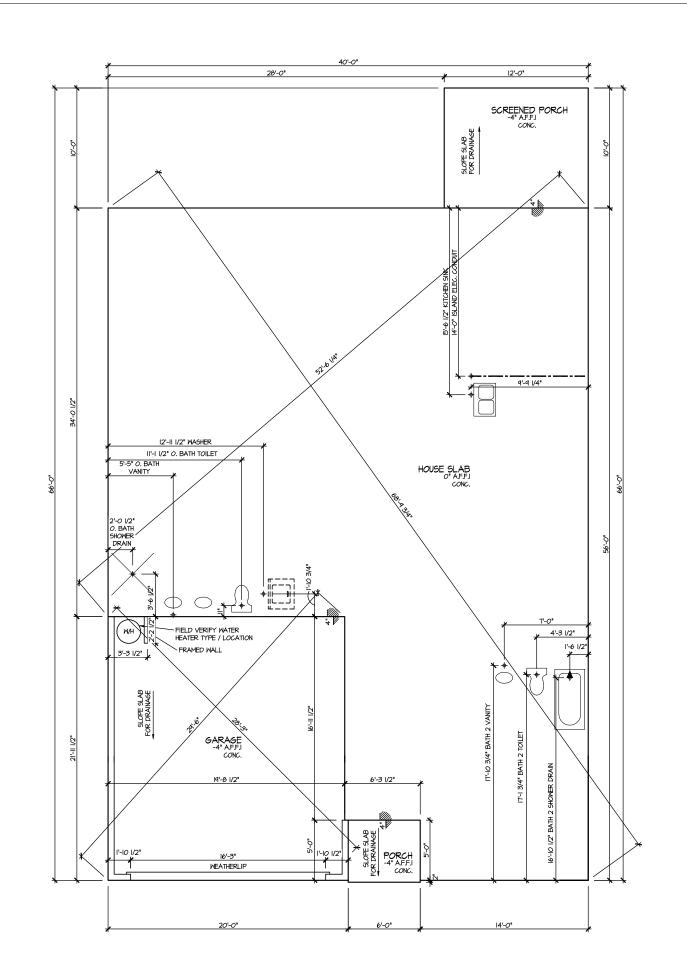
PLAN NO. 1777

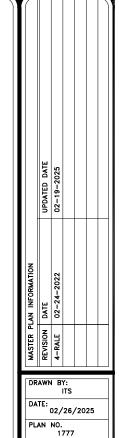


8 HOUSE NAME:
COOPER
DRAWING TITLE

SHEET No.

AI.3





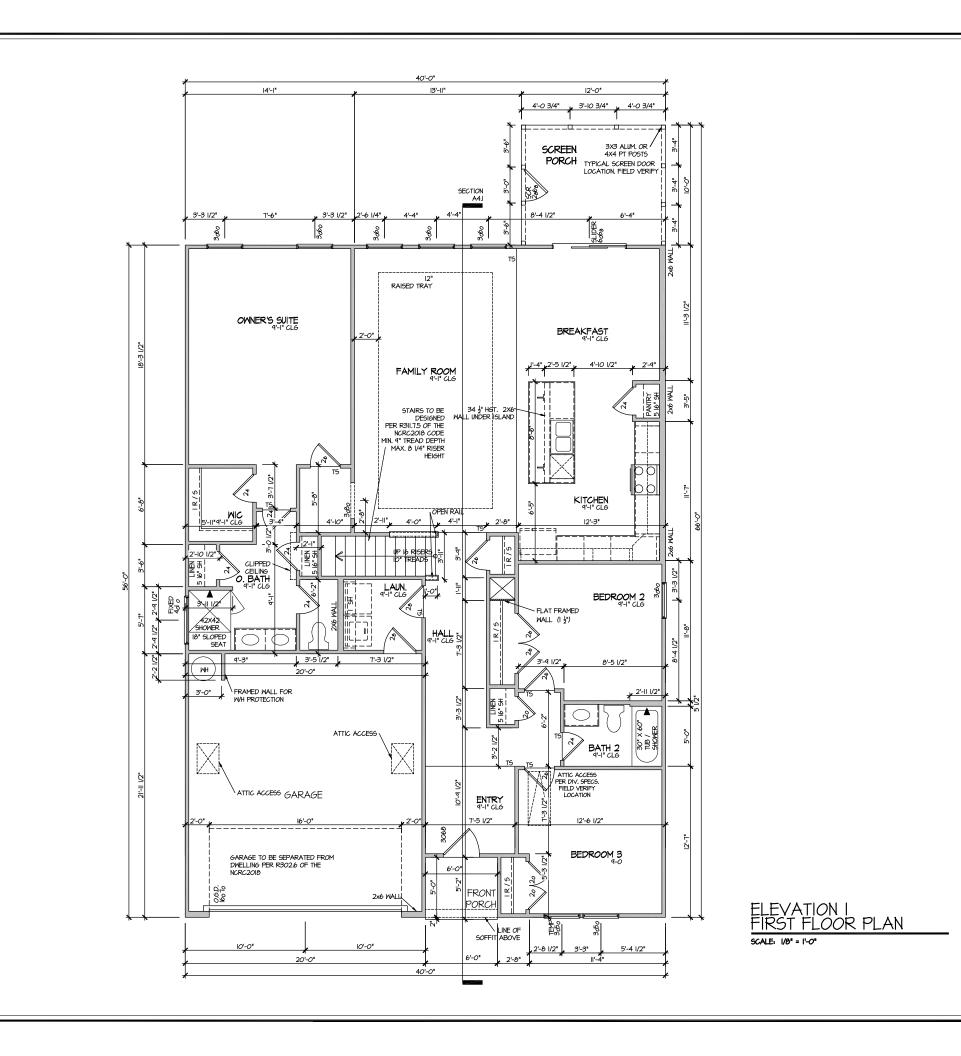
HOUSE NAME:
COOPER 3
DRAWING TITLE
SLAB PLAN

SHEET No.

ELEVATION I SLAB PLAN

SCALE: 1/8" = 1'-0"

SHEET No.



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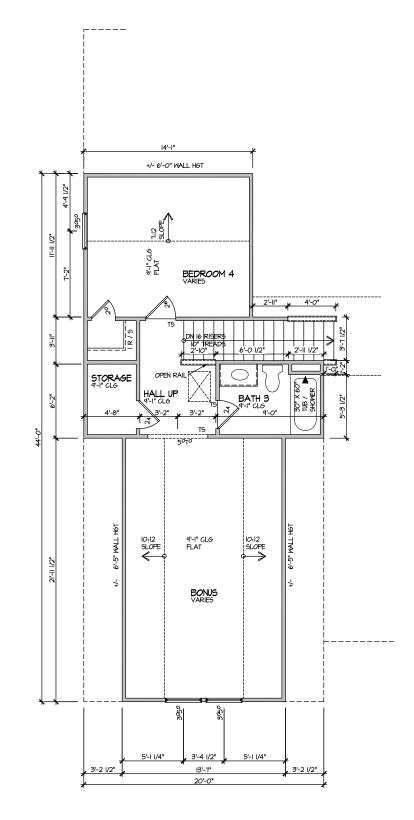
DATE: 02/26/2025 PLAN NO. 1777



2 HOUSE NAME:
COOPER
DRAWING TITLE

SHEET No.

A3.



ELEVATION I SECOND FLOOR PLAN SCALE: 1/0" = 1'-0"

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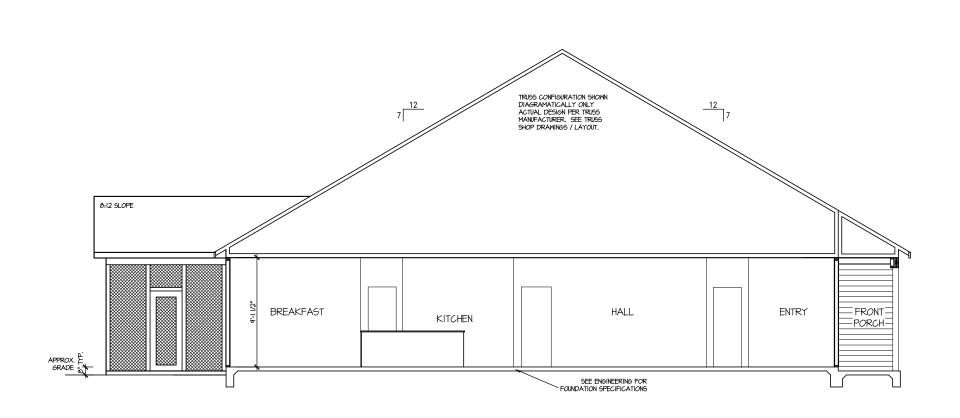
DATE: 02/26/2025 PLAN NO. 1777



HOUSE NAME:
COOPER
DRAWING TITLE
SECOND FLO

SHEET No.

A3.2



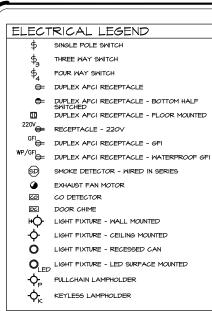
BUILDING SECTION SCALE, 1/8" = 1'-0"

DRAWN BY: DATE: 02/26/2025 PLAN NO. 1777

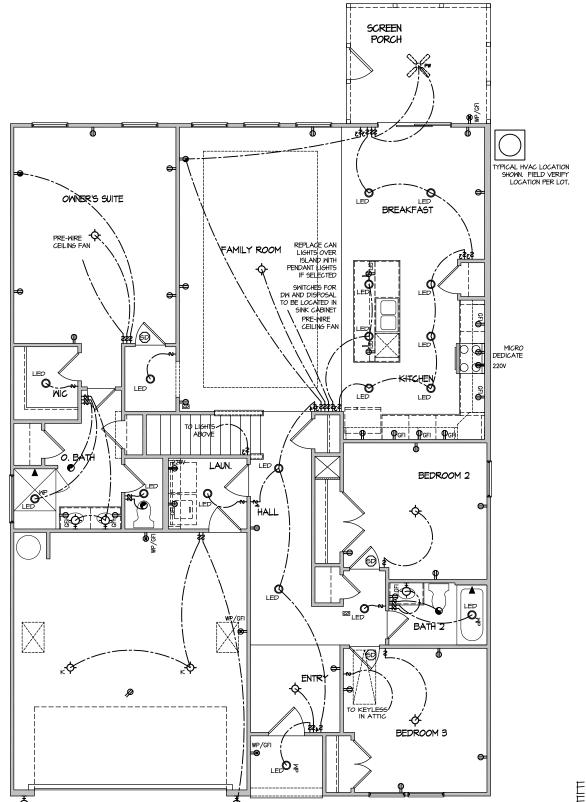
HOUSE NAME:
COOPER
DRAWING TITLE
BUILDING SE

SHEET No. A4.1

SECTION



NOTE: ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE ADOPTED VERSION OF THE NATIONAL ELECTRICAL CODE, THE LOCAL POWER COMPANY AND TO ALL APPLICABLE LOCAL REGULATIONS.



ELECTRICAL PLAN FIRST FLOOR - ELEV. I

SHEET No.

3

DRAWN BY:

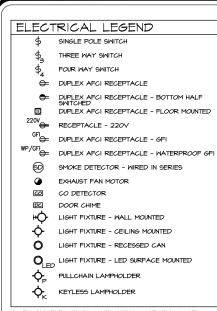
PLAN NO. 1777

DATE: 02/26/2025

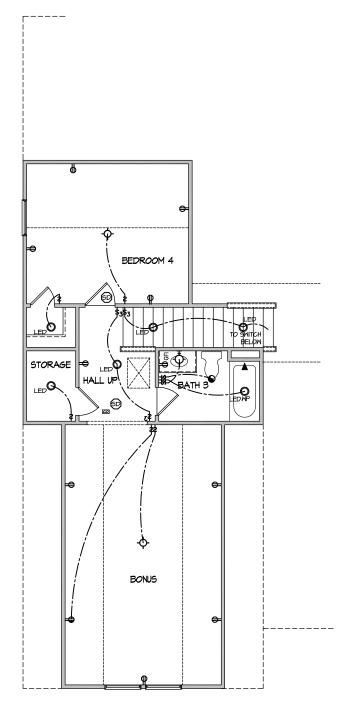
≣|.|

HOUSE NAME:
COOPER
DRAWING TITLE

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NOTE. ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE ADOPTED VERSION OF THE NATIONAL ELECTRICAL CODE, THE LOCAL POWER COMPANY AND TO ALL APPLICABLE LOCAL REGULATIONS.



ELECTRICAL PLAN SECOND FLOOR - ELEV. I SCALE: 1/8" = 1'-0"

		UPDATED DATE	02-19-2025				
	MASTER PLAN INFORMATION	DATE	4-RALE 02-24-2022				
	_	REVISION DATE					
	DR	AWN	ı B.	Y: ITS			

DRAWN BY:
ITS

DATE:
02/26/2025

PLAN NO.
1777



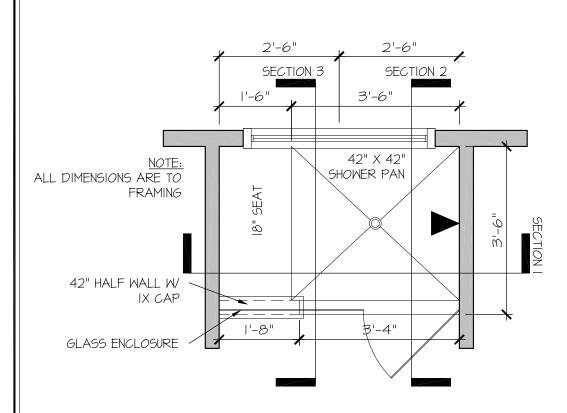
FLOOR ELECTRICAL

HOUSE NAME:
COOPER
DRAWING TITLE
SECOND FLC

2

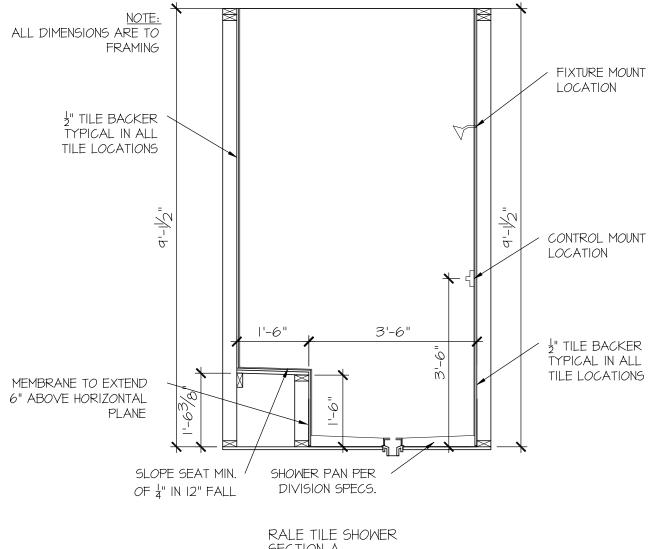
SHEET No.

≣1.2



RALE TILE SHOWER 42" X 42" W 18" SEAT

SCALE: 1/2" = 1'-0"



SECTION A

SCALE: 1/2" = 1'-0"

CONSULTANT LOGO

DRAWN BY: L. BEAVERS DATE: 9/1/22 PLAN NO.

11 X 17 SCALE

24 X 36 SCALE



DETAIL SHOWER RALE

SHEET No.



SEAL

DRAWN BY:
L. BEAVERS
DATE: 9/1/22

PLAN NO.

24 X 36 SCALE

~ "

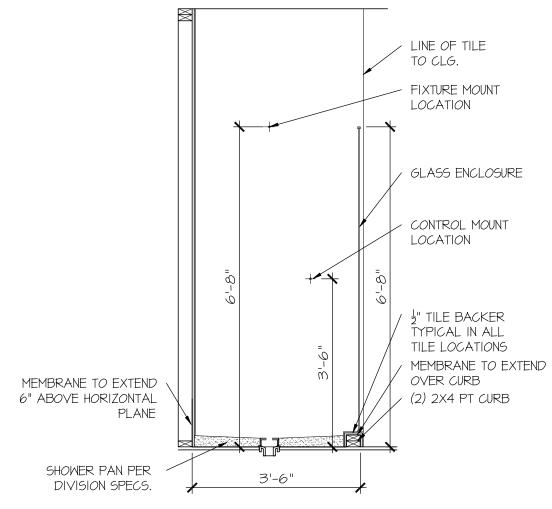


E ILE SHOWER DETAIL

OUSE NAME:

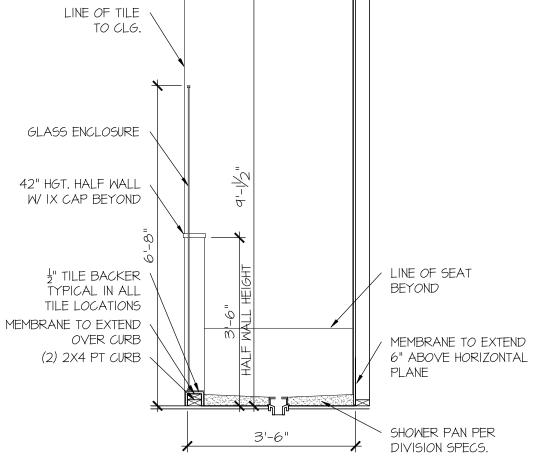
SHEET No.

P||.2



SCALE: 1/2" = 1'-0"





SCALE: 1/2" = 1'-0"

FOUNDATION

- * DESIGN IS BASED ON 2018 NORTH CAROLINA STATE BUILDING CODE: RESIDENTIAL CODE.
- FOOTING DESIGN 2,000 PSF ALLOWABLE SOIL BEARING PRESSURE IS ASSUMED. BUILDER/CONTRACTOR MUST VERIFY.
- FASTEN 2x4/6 SILL PLATES TO FND WITH A MINIMUM OF 2 ANCHORS PER PLATE, 12" MAX, FROM PLATE ENDS - UTILIZING
- I/2" DIA. ANCHOR BOLTS 6'-0" O.C, 7" MIN. EMBEDMENT
- (CONC.) 15" MIN EMBEDMENT (CMU)
- SIMPSON MASA ANCHOR STRAPS @ 6'-0" O.C. (CONC)
- SIMPSON MAB23 ANCHOR STRAPS 2'-8" O.C. (CMU)
- (REFER TO DETAILS FOR IO' TALL WALL ANCHOR REQUIREMENTS)
- ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT W/ CONCRETE OR CMU SHALL BE PRESERVATIVE TREATED SOUTHERN PINE #2.
- BUILDER TO VERIFY CORROSION-RESISTANCE COMPATIBILITY OF HARDWARE & FASTENERS IN CONTACT W/ PRESERVATIVE-TREATED WOOD, CONTACT LUMBER & HARDWARE SUPPLIERS TO COORD.
- BASEMENT INTERIOR BEARING WALLS & EXTERIOR WALK-OUT BASEMENT WALLS SHALL BE 2x6 @ 16" O.C. SPF OR SYP, "STUD" GRADE OR BETTER.
- CONCRETE DESIGN BASED ON ACL 318 CONCRETE SHALL ATTAIN THE FOLLOWING MIN. COMPRESSIVE STRENGTHS IN 28 DAYS, U.N.O.: 4,000 psi: FOUNDATION WALLS
 - 2,500 psi: FOOTINGS & INTERIOR SLABS ON GRADE 3,000 psi: GARAGE & EXTERIOR SLABS ON GRADE 60,000 psi
- BASEMENT FOUNDATION WALL DESIGN BASED ON:
- . 9' OR IO' HEIGHT (AS NOTED ON PLANS)
- TALLER WALLS MUST BE ENGINEERED.
- NOMINAL WIDTH (9 ½" FOR 10" THICK WALL).
- BASEMENT WALL DESIGN IS BASED ON 60 PCF BACKFILL SOIL TYPE CLASSIFICATIONS (SC, ML-CL, OR CL).
- BASEMENT WALLS SHALL BE BRACED, PRIOR TO BACKFILLING, BY ADEQUATE TEMPORARY BRACING OR INSTALL 1st FLOOR DECK.
- PROVIDE (2) #5 BARS AROUND ALL SIDES OF OPENINGS IN CONCRETE BSMT. FND. WALL WITH 2" CLEAR. REINFORGEMENT SHALL EXTEND 12" PAST CORNER OF OPENING IN ALL DIRECTIONS
- FOR OPENINGS UP TO 36", PROVIDE MINIMUM IO" CONCRETE DEPTH OVER OPENING OR (3)2x10 W (2)2x6 JACK STUDS, U.N.O.
- LARGER OPENINGS SHALL BE PER PLAN.
- ALL CONCRETE EXPOSED TO THE WEATHER SHALL NOT HAVE LESS THAN 5% OR MORE THAN 7% AIR ENTRAINMENT
- ALL FOOTINGS SHALL BEAR AT LEAST 12" BELOW FINISH GRADE.
- FOOTINGS AND SLABS ON GRADE SHALL BEAR ON VIRGIN SOIL OR 95% COMPACTED FILL.
- PROVIDE CONTROL JOINTS AT ALL INSIDE CORNERS OF SLAB EDGES, AND OTHER LOCATIONS WHERE SLAB CRACKS ARE LIKELY TO DEVELOP
- . JOINTS SHALL BE LOCATED @ 10'-0" O.C. (RECOMMENDED) OR 15'-0" O.C. (MAXIMUM)
- JOINT GRID PATTERN SHALL BE AS CLOSE TO SQUARES AS POSSIBLE (I.I RATIO), WITH A MAXIMUM OF 1.15 RATIO
- · CONTROL JOINTS SHALL NOT BE INSTALLED IN STRUCTURAL
- CONCRETE MASONRY UNITS (CMU) SHALL BE ASTM C90 WITH A MIN. COMPRESSIVE STRENGTH OF 1900 psi (Fim=1500 psi). MORTAR SHALL BE ASTM C270, TYPE S. CMU DESIGN PER ACI 530 & 530.I.
- CMU FOUNDATION WALLS SHALL HAVE 'DUR-O-WALL' HORIZONTAL JOINT REINFORCEMENT (OR EQUAL) - 9 GA. MINIMUM @ 16" O.C.
- PROVIDE 2x8 x 16" LONG PT. PLATE ON TOP OF ALL CRAW SPACE PIERS. ALL PIERS SHALL BE GROUTED SOLID.
- PROVIDE 2x6 P.T. PLATE ON INTERIOR CRAWL SPACE WALLS, FASTENED PER ANCHORAGE SPECIFICATION NOTED ABOVE.
- DIMENSIONS BY OTHERS, BUILDER TO VERIFY.
- BUILDER TO VERIFY THAT MODEL HAS BEEN ADEQUATELY TREATED BY A LICENSED AND BONDED PEST CONTROL COMPANY FOR SUBTERRANEAN TERMITES. METHOD AND TYPE OF TREATMENT TO BE DETERMINED BY PEST CONTROL COMPANY

GENERAL STRUCTURAL NOTES

- DESIGN IS BASED ON 2018 NORTH CAROLINA STATE BUILDING CODE
- WOOD FRAME ENGINEERING IS BASED ON NDS, "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" - LATEST EDITION.
- DESIGN LOADS: ROOF

DEAD = 1 PSF T.C., 10 PSF B.C. LOAD DURATION FACTOR = 1.25

LIVE = 40 PSE (30 PSE & SLEEPING AREAS)

DEAD = 10 PSF (I-JOISTS & SOLID SAWN) IO PSF T.C., 5 PSF B.C. (TRUSSES) (ADD'L IO PSF @ TILE)

LATERAL 120 MPH, EXPOSURE B. SEISMIC A/B.

2,000 PSF ASSUMED ALLOWABLE BEARING PRESSURE (TO BE VERIFIED BY BUILDER)

GENERAL FRAMING

- ALL TYP. NAIL FASTENER REQUIREMENTS ARE NOTED IN STANDARD CONNECTIONS TABLE OR ON PLANS ALL NAILS SPECIFIED ARE MIN NAILS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS FOR MAX CHARTED CAPACITY. NOTE: HANGERS USE COMMON NAIL DIAMETERS NOT TYPICAL FRAMING GUN NAILS.
- REFER TO FASTENING SCHEDULE TABLE R602.3(I) FOR ALL
- * EXT & INT BRG WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS • 16" O.C. SPF OR SYP "STUD" GRADE LUMBER, OR BETTER, U.N.O. . WALLS OVER 12' TALL SHALL BE PER PLAN.
- ALL HEADERS, BEAMS & OTHER STRUCTURAL MEMBERS SHALL BE SPRUCE-PINE-FIR #2 (SPF) OR SOUTHERN PINE #2 (SYP) LUMBER. OR BETTER (KILN-DRIED). ALL HEADERS HAVE BEEN DESIGNED BASED ON CALCULATED LOADS & SIZED ACCORDINGLY, CODE TABLES HAVE NOT BEEN USED.
- ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 2x 'STUD' GRADE MEMBERS SPACED . 16" O.C. (MAX., U.N.O.)
- . HEADERS IN NON-LOAD BEARING WALLS SHALL BE (1)2x4/6 FLAT @ OPENINGS UP TO 4', (2)2x4/6 FLAT UP TO 8'.
- FIGURERED LUMBER BEAMS TO MEET OR EXCEED THE FOLLOWING
- 'LSL' Fb=2325 psi; Fv=3I0 psi; E=I.55xI0^6 psi LVL' - Fb=2600 psi; Fv=285 psi; E=2.0xl0^6 psi

ALL FRAMING LUMBER SHALL BE DRIED TO 15% MC (KD-15).

- 'PSL' FB=2900 PSI: FV=290 PSI: E=2.0XI0^6 PSI
- M+K SHALL BE FULLY INDEMNIFIED FOR ANY AND ALL ISSUES RESULTING FROM OR RELATED TO ANY BUILDING COMPONENT IF TH OWNER DOES NOT SUBMIT THE COMPONENT SHOP DRAWINGS TO M+K FOR STRUCTURAL REVIEW PRIOR TO FABRICATION, DELIVERY, OF
- FOR 2 \$ 3 PLY BEAMS OF EQUAL WIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF 3"x0.120" NAILS @ 8" O/C OR 2 ROWS 1/4"x31/4" SIMPSON SDS SCREWS (OR 3½" TRUSSLOK SCREWS) @ 16" O/C. USE A MINIMUM OF 3 ROWS FOR BEAM DEPTHS OF 14" OR GREATER. APPLY FASTENING AT BOTH FACES FOR 3-PLY CONDITION. LOCATE TOP & BOTTOM NAIL S/SCREWS 2" FROM FDGE. SOLID 3 1/2" OR 5 1/4" BEAMS ARE ACCEPTABLE. USE 2 ROWS OF NAILS FOR 2x6 \$ 2x8
- FOR 4 PLY BEAMS OF EQUAL WIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF 1/2 x6" SIMPSON SDS SCREWS (OR 6 3/4" TRUSSLOK SCREWS) @ 16" O/C. USE A MINIMUM OF 4 ROWS FOR BEAM DEPTHS OF 14" OR GREATER APPLY FASTENING AT BOTH FACES (ONE SIDE ONLY FOR TRUSSLOK SCREWS). LOCATE TOP AND BOTTOM SCREW 2" FROM EDGE, A SOLID 7" BEAM IS ACCEPTABLE.
- ALL HEADERS SHALL BE SUPPORTED BY (1)2x JACK STUD & (1)2x KING STUD, MINIMUM. - THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE
- NUMBER OF JACK STUDS REQUIRED, U.N.O., ALL MULTI-PLY STUDS TO BE FASTENED TOGETHER W/ 3"X0.I3I"
- IAILS @ 24" O.C. (MIN.), EACH PLY. PROVIDE SOLID BLOCKING IN FLOOR SYSTEM UNDER ALL POSTS CONTINUOUS TO FND BEARING. BLOCKING TO MATCH POST ABOVE.
- FASTEN OV WOOD PLATES TO TOP ELANGE OF STEEL BEAMS WITH P.A.F.'s ('HILTI' X-CF PINS OR EQUAL) @ 16" O.C. STAGGERED, OR I/2" DIA. BOLTS @ 48" O.C. STAGGERED.
- ALL EXTERIOR 4x4 WOOD POSTS SHALL HAVE SIMPSON BC52-2/4

FLOOR FRAMING

- -JOISTS/TRUSSES SHALL BE DESIGNED BY MANUF. TO MEET OR EXCEED 1 /480 LIVE LOAD DEELECTION CRITERIA (EXCLUDES MARBLE FLOORS - CONTACT MEK FOR MARBLE FLOOR DESIGNS)
- AT I-JOIST FLOORS, PROVIDE I I/8" MIN, OSB RIM BOARD.
- METAL HANGERS SHALL BE SPECIFIED BY MANUFACTURER, U.N.O.
- FLOOR SHEATHING SHALL BE 23/32" A.P.A. RATED 'STURD-I-FLOOR'
 24" O.C., EXPOSURE I (OR APPROVED EQUAL) WITH TONGUE AND GROOVE EDGES. FASTEN TO FRAMING MEMBERS W/ GLUE AND
- 2 1 x 0.131 NAILS @ 6"o.c. @ PANEL EDGES & @ 12"o.c. FIELD.
- 2 3" × 0120" NAILS @ 4" OC @ PANEL EDGES & @ 8" OC FIELD 2 3" x 0.113" NAILS @ 3" O.C. @ PANEL EDGES & @ 6" O.C. IN FIELD.
- \$6 x 2" MIN. SCREWS @ 6" O.C. @ PANEL EDGES \$ @ 12" O.C. FIELD

ROOF FRAMING

- *BAY WINDOWS & SHED ROOFS (UP TO 6' SPAN) CAN BE 2x4 OR 2x6 RAFTERS & CEILING JOISTS @ 16/24" O.C.
- FASTEN EACH ROOF TRUSS TO TOP PLATE W SIMPSON H2.5T CLIP (OR APPROVED EQUAL) ${\bf 0}$ ALL BEARING POINTS. PROVIDE (2) H2.5T CLIPS AT 2-PLY GIRDER TRUSSES, (3) H2.5T CLIPS AT 3-PLY GIRDER TRUSSES & ROOF BEAMS - AT ALL BEARING POINTS.
- METAL HANGERS SHALL BE SPECIFIED BY THE MANUFACTURER, U.N.O.
- ERECT AND INSTALL ROOF TRUSSES PER WTCA \$ TPI'S BCSI I-08 "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING & BRACING OF METAL PLATE CONNECTED WOOD TRUSSES."
- SUPPORT PORCH & SHORT SPAN ROOF TRUSSES (MAX 7' SPAN) W 2x4 LEDGER FASTENED TO:
 - RIM BOARD w/ (2) 3"x0.131" NAILS @ 16" O.C. MAX. (1-JOISTS) - TRUSS VERTICALS w/ (3) 3"x0.131" NAILS @ 19.2" O.C. MAX. (FLOOR TRUSSES)
- ROOF SHEATHING SHALL BE 1/16" A.P.A. RATED SHEATHING 24/16 EXPOSURE I (OR APPROVED EQUAL). FASTEN TO FRAMING MEMBERS
- w/ 2 1 x 0.131 NAILS @ 6"04. @ PANEL EDGES & @ 12" 04. FIELD.
- w/ 2 🖁 × 0,120" NAILS 👁 4"o.c. 👁 PANEL EDGES 🛊 👁 8" O.C. FIELD.
- W/ 2 🖥 × 0.113" NAILS @ 3"O.C. @ PANEL EDGES & @ 6" O.C. FIELD.

HOLD-DOWN SCHEDULE

SYMBOL	SPECIFICATION
► HD-I	SIMPSON HTT4 HOLD-DOWN * (%" DIA. ANCHOR)
HD-2	SIMPSON MSTC66 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM UN.O.) -OR- MSTC66B3 ALTERNATE
► HD-3	SIMPSON STHDI4/STHDI4RJ

* UTILIZE THE SSTB24 ANCHOR BOLT @ ALL MONOSLAB & INTERIOR RAISED FOOTING THICKNESS REQUIRED.

EPOXY-SET ALTERNATE FOR MONOSLAB & INTERIOR RAISED SLAB CONDITIONS ONLY: UTILIZE SIMPSON 'SET' EPOXY SYSTEM TO FASTE HREADED ROD INTO CONCRETE FOUNDATION, PROVIDE 10" (FOR 5/8" DIA.) OR 15" (FOR 1/8" DIA.) MIN EMBEDMENT INTO CONCRETE. INSTALL PER MANUF. INSTRUCTIONS. MINIMUM 16" FOOTING THICKNESS REQ'D. DO NOT LOCATE ANCHORS WITHIN I 3/4" OF EDGE OF CONCRETE.

ADDITIONAL NOTES FOR TRUSS & I-JOIST MANUFACTURER

ROOF TRUSS FLOOR TRUSS AND ENGINEERED JOISTS SHALL BE DESIGNED TO MEET THE DIFFERENTIAL DEFLECTION CRITERIA BELOW, UNLESS

TRUSSES/JOISTS SHALL BE DESIGNED SO THAT DIFFERENTIAL DEFLECTION BETWEEN ADJACENT PARALLEL TRUSSES/JOISTS OR GIRDER TRUSSES/FLUSI BEAMS DO NOT EXCEED THE FOLLOWING:

- ROOF TRUSSES: 1/4" DEAD LOAD
- В. FLOOR TRUSSES, ATTIC TRUSSES, & I-JOISTS:
- C FLOOR TRUGGES & ATTIC TRUGGES AD JACENT TO FLOOR FRAMING BY OTHERS:
 LIMIT ABSOLUTE TRUSS DEFLECTION TO 3/16" DEAL LOAD. (NOT DIFFERENTIAL DEFLECTION)

LATERAL BRACING & SHEAR WALL SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM:) MPH WIND IN 2018 NCSBC:RC

(120 MPH WIND SPEED IN ASCE 7-10 WIND MAP, PER IRC R301.2.1.1) EXP. B. RISK CAT. 2 & SEISMIC CAT. A/B.

THE DESIGN WAS COMPLETED PER 2015 IBC (SECTION 1609) & ASCE 7-10 AS PERMITTED BY R301.13 OF THE 2018 NGSBG:RG, OR THE SIMPLIFIED PRESCRIPTIVE PROCEDURE IN ACCORDANCE WITH THE 2015 IRC IE THE PARAMETERS OF SECTION R60212 COMPLY ACCORDINGLY, THIS MODEL, AS DOCUMENTED AND DETAILED HEREWITHIN, IS ADEQUATE TO RESIST

THE CODE REQUIRED LATERAL FORCES.

DESIGN WIND UPLIFT LOADS HAVE BEEN CALCULATED UTILIZING ASCE 7-10 (ACCEPTED ENGINEERING PRACTICE) AS ALLOWED PER 2018 NCSBC:RC SECTION R802.II.I.I. THIS MODEL HAS BEEN DETAILED WHERE REQUIRED & ENGINEERED TO RESIST THE WIND UPLIFT LOAD PATH PER SECTIONS R602.3.5\$ R802.II.

EXT. WALL SHEATHING SPECIFICATION

- 7/16" OSB OR 15/32" PLYWOOD: FASTEN SHEATHING W/ 2 % "XO.II3" NAILS ● 6" O.C. AT EDGES & ● 12" O.C. IN THE PANEL FIELD. TYP, U.N.C
- HORIZONTAL BLOCKING OF EXT. WALL/SHEAR WALL PANEL EDGES IS NOT REQUIRED BY THIS DESIGN EXCEPT FOR THOSE AREAS SPECIFICALLY NOTED.
- ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED AND ARE CONSIDERED SHEAR WALLS.
- PALT. STAPLE CONNECTION SPEC: 1½" 16 GA STAPLES (1/6" CROWN) @ 3" O.C. AT EDGES & @ 6" O.C IN FIELD.

BLOCKED PANEL EDGES

AT DESIGNATED AREAS - FASTEN SHEATHING w/ 2 %" x 0.113" NAILS @ 6" O.C. AT ALL PANEL EDGES AND 12" O.C. IN THE PANEL FIELD OR 1 %" 16 GA STAPLES (1/6" CROWN) • 3" O.C. AT EDGES \$ • 6" O.C. IN FIELD. ALL SHEATHING PANELS SHALL BE ORIENTED AND INSTALLED FULL HEIGHT OF SHEAR WALL OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES & EDGE FASTENING.

3" O.C. EDGE NAILING

* AT DESIGNATED AREAS - FASTEN PANEL EDGES OF w/ 8d NAILS @ 3" O.C. NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC. ALL SHEATHING PANELS SHALL BE ORIENTED AND INSTALLED FULL HEIGHT OF SHEAR WALL OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. EDGE FASTENING.

- SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING, IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN, IT WILL BE SPECIFICALLY NOTED ON PLAN.
- PESIGN ASSUMES I6" O.C MAX. STUD SPACING, U.N.O. * ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.
- PRE-MANUFACTURED PANELIZED WALLS: FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED W/ OSB OR PLYWOOD W/ 3" x 0.120" NAILS @ 4" O.C. (THRU ONE SIDE ONLY)

INDICATES EXTENT OF INT. OSB SHEARWAL OR 3" O.C. OSB SHEARWALL

INDICATES HOLDOWN BELOW

VENEER LINTEL SCHEDULE

SPAN (MAX)	HEIGHT OF VENEER ABOVE LINTEL	Steel angle size
3'-0"	20 FT. MAX	L3"x3"x/4"
	3 FT, MAX	L3"x3"x¼"
6'-0"	I2 FT. MAX	L4"x3"x¼"
	20 FT. MAX	L5"x3½"x%"
	3 FT, MAX	L4"x4"x¼" *
ø'-0"	I2 FT. MAX	L5"x3½"x%"
	I6 FT. MAX	L6"x3½"x3%"
q'-6"	I2 FT. MAX	L6"x3%"x%"
16'-0"	2 FT. MAX	L7"x4"x½" **
10-0	3 FT. MAX	L8"x4"x½" **

L LINILLS: 19ML JUPPOTT 2 % - 3 ½" VENEER W 40 PBF MAXIMUM WEIGHT. 16 SHALL HAVE 4" MIN BEARING 16 SHALL HAVE 6" MIN BEARING 16 SHALL BOT BE FASTINED BACK TO HEADER. 16 SHALL BOT SASTENED BACK TO WOOD HEADER. IN WALL **648**°0.6.

w/ $\slash\hspace{-0.6em}$ ' DIA. x 3 $\slash\hspace{-0.6em}$ ' LONG LAG SCREMS IN 2" LONG VERTICALLY SLOTTED HOLES.

IAX, VENEER HT. APPLIES TO ANY PORTION OF BRICK OVER THE

OPENIIG.
VILLINIELS SHALL BE LONG LEG VERTICAL.
HEN SUPPORTING VENEER (3" MIDE THE EXTERIOR TOE OF THE
HORIZONTAL LEG MAY BE QU'IT IN THE FIELD TO BE 3 I," MIDE OVER
THE BEARING LENGTH ONLY. THIS IS TO ALLOW FOR MORTAR JOINT istrictural plans for any lintel condition not

LEGEND

- IIIIIIIII INTERIOR BEARING WALL
- BEAM / HEADER
- = = INDICATES SHEAR WALL & EXTENT EXTENT OF OVERFRAMING
- JL METAL HANGER
- INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

NON-BEARING HEADER SCHEDULE

SPAN	2x4 NON-BEARING PARTITION WALL	2x6 NON-BEARING PARTITION WALL
UP TO 3'-0"	(I)2x4 FLAT	(I)2x6 FLAT
UP TO 6'-0"	(2)2x4	(3)2x4
UP TO 8'-0"	(2)2x6	(3)2x6
UP TO 12'-0"	(2)2x8	(3)2x8

* ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 2x 'STUD' GRADE MEMBERS SPACED @ 24" OC (MAX)

ENGINEERED BEAM MATERIAL SCHEDULE

BEAM NUMBER	LVL OPTION	PSL OPTION	LSL OPTION	FLITCH OPTION	STEEL OPTION
001	(2)1¾"x11%" - F	3½"xli%" - F	(3)1¾"x11%" - F	(2)2xl2 + (l) 3/2xll4" STEEL FLITCH PLATES - F	WI2xI4 - F
002	(3)1¾"x11%" - F	5¼"×II%" - F	(4)1¾"x11%" - F	(2)2xi2 + (i) ¾"xii¼" STEEL FLITCH PLATES - F	WI2xI4 - F
003	(2)1¾"x11%" - F	3½"xll%" - F	(3)134"x1136" - F	(2)2xl2 + (l) ¾"xll¼" STEEL FLITCH PLATES - F	WI2xI4 - F
004	(2)i¾"xii ¼" - D	3½"x ½" - D	(2)13/4"×113/6" - D	(2)2xi0 + (i) %"xil4" STEEL	MBXIO - D

- BEAM NOTATION: "F" INDICATES FLUSH BEAM
- "FT" INDICATES FLUSH TOP BEAM
- "FB" INDICATES FLUSH BOTTOM BEAM - "D" INDICATES DROPPED BEAM
- "H" INDICATES DROPPED OPENING HEADER
 REFER TO DETAIL D/SD2.0 FOR TYPICAL FLITCH BEAM CONNECTIONS
- REFER TO DETAIL E/SD2.0 FOR TYPICAL STEEL BEAM CONNECTIONS
- FOR FLUSH TOP BEAMS PROVIDE 2X STACKED PLATES BENEATH BEAM AS REQ'D, FASTEN PLATES IN SUCCESSION W (2) 3"XO.120" NAILS @ 8" O.C.
- FOR FLUSH BOTTOM BEAMS PROVIDE 2x STACKED PLATES ATOP BEAM AS REQ'D. FASTEN PLATES IN SUCCESSION W/ (2) 3"x0,120" NAILS @ 8" O.C.

H CAR SESSIO

Z N ERNH 五 Z



1&K project numbe 126-22076

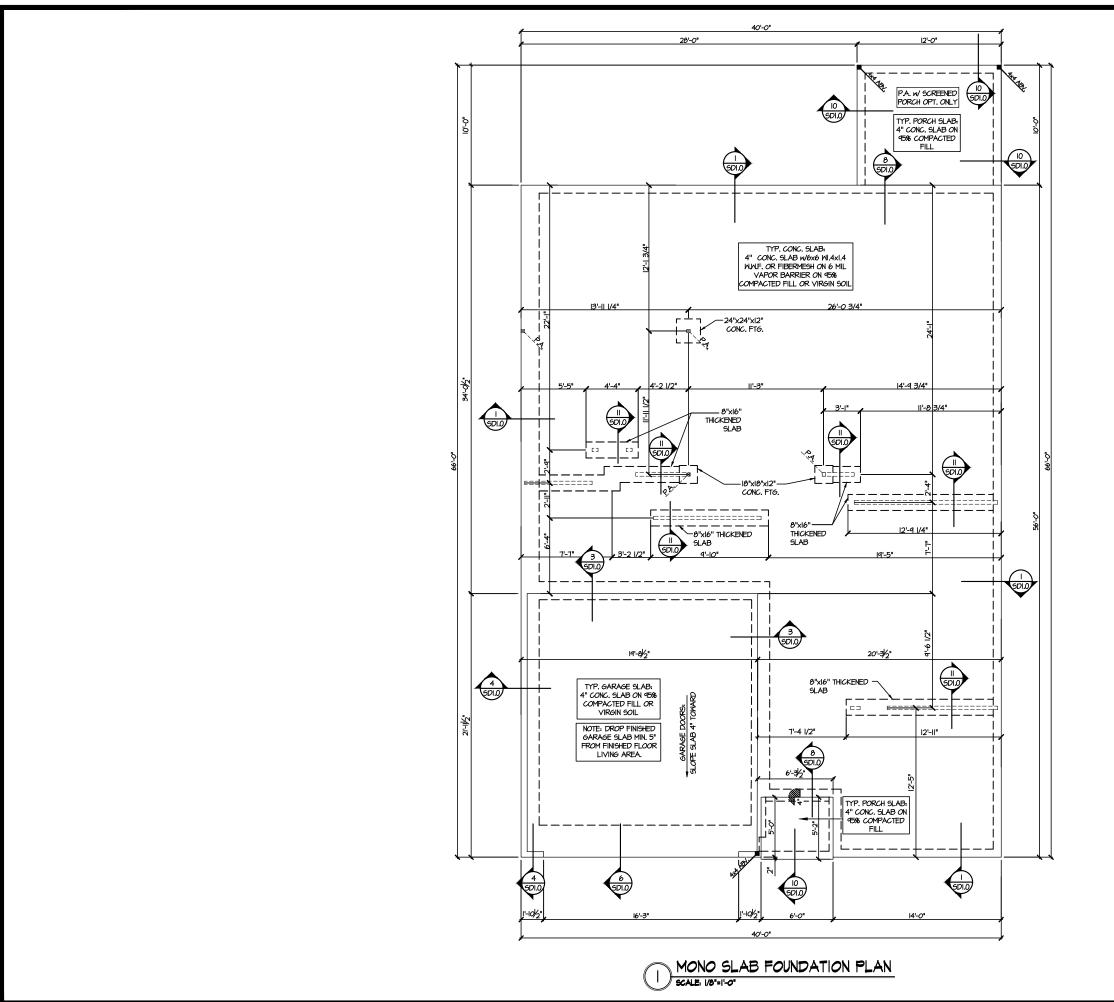
oject mgr: **JTR** rawn by: JAC ssue date: 03-10-2

EVISIONS initial:



 \simeq \Box $\bigcap_{i=1}^{n}$ $\sqrt{2}$ RM

F/A



Y

M&K project number: 126-22076

JTR drawn by: issue date: 03-10-25

FARM AT NEIL'S LOT 40 - COOPER 1 RALEIGH, NC

OUNDATION P

CREEK

LEGEND

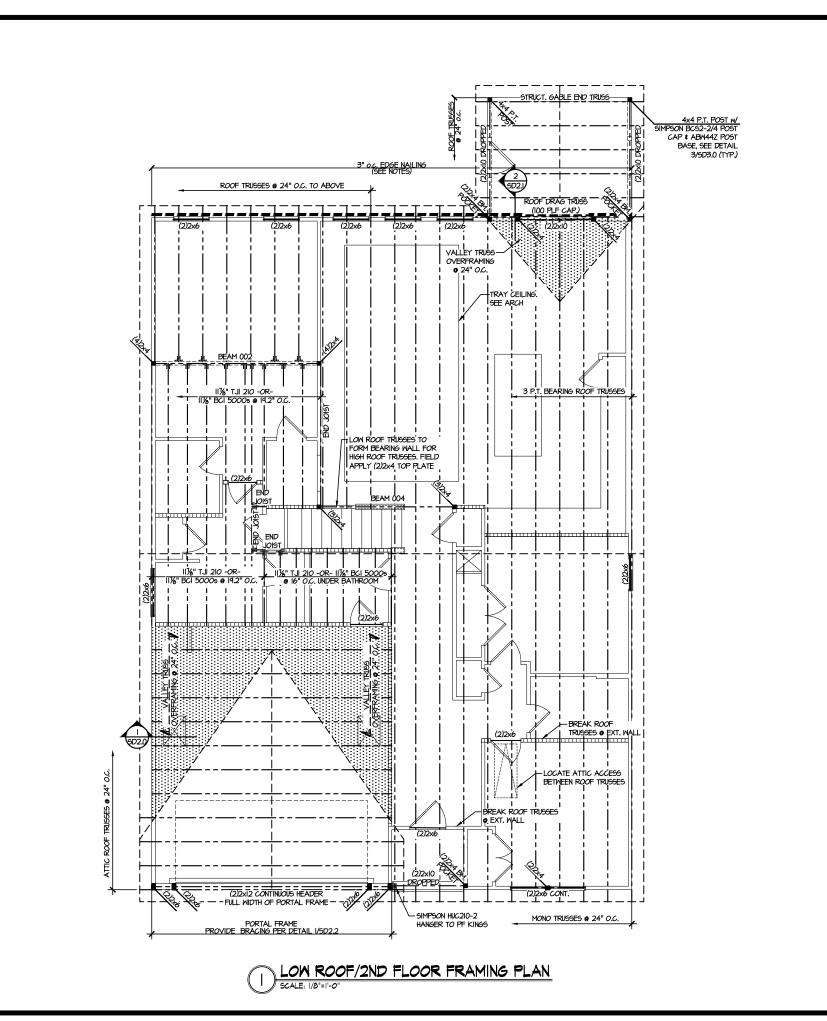
- IIIIII INTERIOR BEARING WALL
- □===□ BEARING WALL ABOVE
- — BEAM / HEADER
- = = INDICATES SHEAR WALL & EXTENT
- EXTENT OF OVERFRAMING

JL METAL HANGER

- * INDICATES POST ABOVE, PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- INDICATES HOLD-DOWN OR STRAP.
 REFER TO SCHEDULE.

REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES

& SCHEDULES **S**1.



3/10/2 "H CAR SEPH T. R

MULHERN+KUL

RESIDENTIAL STRUCTURAL ENSINEER

SUBMISSION PRINCE

STRENGER AND BUILDE 1- ANDAR PA 1992

STRENGER - ANDARGA PARTER

Y

M&K project number: 126-22076

JTR drawn by: issue date: 03-10-25

REVISIONS

initial:

LEGEND

- INTERIOR BEARING WALL
- □===□ BEARING WALL ABOVE
- ---- BEAM / HEADER
- ■ INDICATES SHEAR WALL & EXTENT
- EXTENT OF OVERFRAMING
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- * INDICATES POST ABOVE, PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- INDICATES HOLD-DOWN OR STRAP.
 REFER TO SCHEDULE.

REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

ENGINEERED BEAM MATERIAL SCHEDULE							
BEAM NUMBER	LVL OPTION	PSL OPTION	LSL OPTION	FLITCH OPTION	STEEL OPTIO		
001	(2)1¾"x11%" - F	3½"×11%" - F	(3)1¾"x11%" - F	(2)2xl2 + (l) %"xl以" STEEL FLITCH PLATES - F	WI2xI4 - F		
002	(3)1¾"x11%" - F	5¼"xII%" - F	(4)1¾"x11¾" - F	(2)2xl2 + (1) %"xlK" STEEL FLITCH PLATES - F	WI2xI4 - F		
003	(2)1¾"x11%" - F	3½"x11%" - F	(3)1¾"x11%" - F	(2)2xl2 + (l) %"xl以" STEEL FLITCH PLATES - F	WI2xI4 - F		
004	(2)134"xII 1 - D	3½"xII ¼" - D	(2)134"x1136" - D	(2)2xl0 + (l) %"xl以" STEEL FLITCH PLATES - D	WBXIO - D		

- BEAM NOTATION:
 "F" INDICATES FLUSH BEAM
 "FT" INDICATES FLUSH TOP BEAM
 "FT" INDICATES FLUSH BOTTOM BEAM
 "P" INDICATES DROPPED OFPRING HEADER
 "P" INDICATES DROPPED OFPRING HEADER
 REFER TO DETAIL DESQUE FOR TYPICAL FLITCH BEAM CONNECTIONS
 REFER TO DETAIL DESQUE FOR TYPICAL STEEL BEAM CONNECTIONS
 FOR FLUSH TOP BEAMS PROVIDE 2X STACKED PLATES BENEATH BEAM AS REQ'D. FASTEN
 PLATES IN SUCCESSION WO VIO 3"NOUS Q" NALLS Q" 8" OC.
- PLATES IN SUCCESSION W (2) 3"XO.120" NAILS @ 8" O.C.
 FOR FLUSH BOTTOM BEAMS PROVIDE 2X STACKED PLATES ATOP BEAM AS REQ'D. FASTEN
 PLATES IN SUCCESSION W (2) 3"XO.120" NAILS @ 8" O.C.

CREE FARM AT NEIL'S LOT 40 - COOPER 1 RALEIGH, NC

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M&K project number:

126-22076

JTR drawn by: issue date: 03-10-2

initial:

CREEK FARM AT NEIL'S (LOT 40 - COOPER 1 FRAMING

OOF

S3.0

LEGEND

 INTERIOR BEARING WALL □□□□□ BEARING WALL ABOVE

• ---- BEAM / HEADER

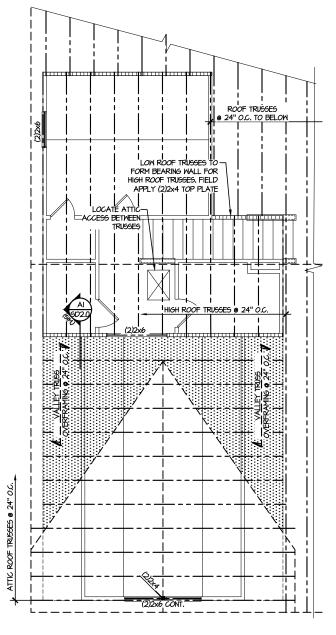
• = = INDICATES SHEAR WALL & EXTENT

EXTENT OF OVERFRAMING

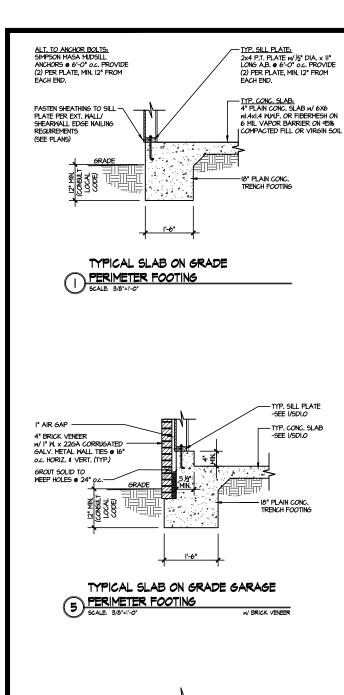
* INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

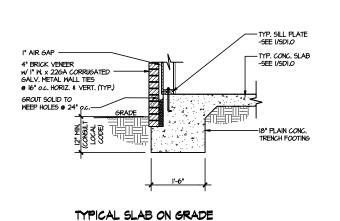
INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

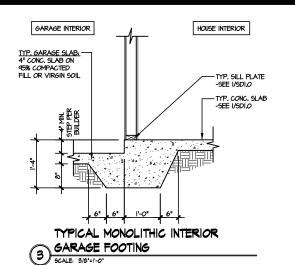
REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES \$ SCHEDULES

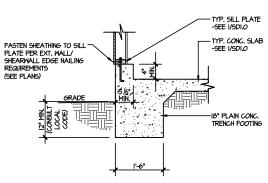


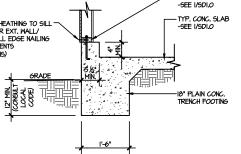
HIGH ROOF FRAMING PLAN SCALE: 1/8"=1'-0"









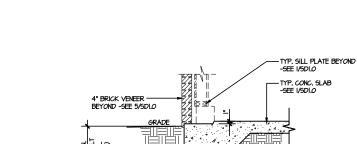


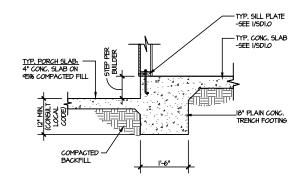
TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING



-TYP. SILL PLATE BEYOND -SEE I/SDI.O

— TYP. CONC. SLAB -SEE I/SDI.O



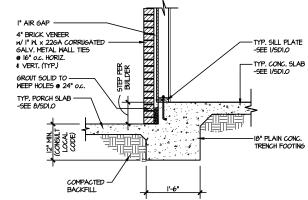




TYPICAL SLAB ON GRADE GARAGE ENTRY @ PERIMETER FOOTING

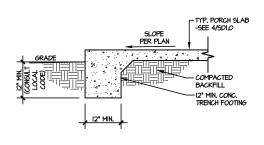
- 18" PLAIN CONC.

TYPICAL SLAB ON GRADE PERIMETER 8 FOOTING @ PORCH/PATIO

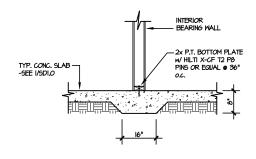


FOOTING @ PORCH/PATIO

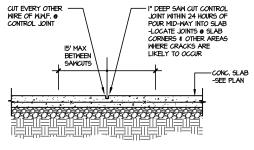




TYPICAL FOOTING @ PORCH SLAB



TYPICAL THICKENED SLAB @ INTERIOR BEARING WALL





LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.

ZEI ON OUNDAT ATARM LOT 40 - C RALEIGH, 1

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M&K project number 126-22076

issue date: 03-10-2

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REVISIONS

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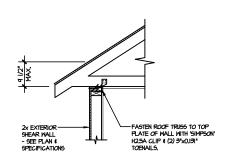
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TH CAR

SEPH T. R

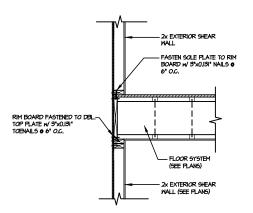
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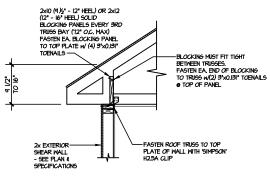


TYPICAL SHEAR

TRANSFER DETAIL @ ROOF
SCALE: 9/8'=1'-0' HEEL HEIGHT LESS THA HEEL HEIGHT LESS THAN 9½" NO BLOCKING REQ'D



TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ EXTERIOR WALL SCALE: 9/8/9/1-0'



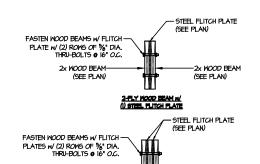
TYPICAL SHEAR

(SEE PLAN)

2x WOOD BEAM -

TRANSFER DETAIL @ ROOF
SCALE: 3/8"=1"-0" HEEL HEIGHT BETWEEN 4 //

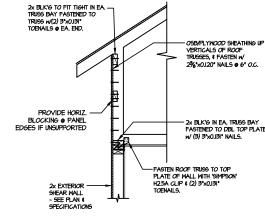
HEEL HEIGHT BETWEEN 9 ½" - 16" BLOCKING REQ'D



S-FLY OR MORE WOOD BEAM W/ (2 OR MORE) STEEL FLITCH FLATES

TYPICAL FLITCH BEAM CONNECTION DETAIL SCALE 9/4-9/-0*

(SEE PLAN)

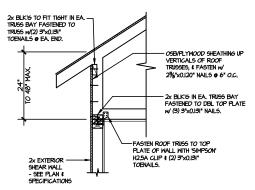


TYPICAL HOLD DOWN INSTALLATION SCALE: N.T.S.

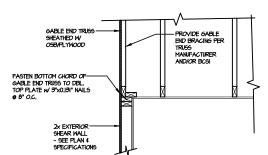
- HOLD-DOWN (SEE PLANS)

- ANCHOR (REFER TO HOLD-DOWN SCHEDULE ON PLAN) INTO CONCRETE OR 3,000 PSI GROUTED CMU CELLS.





TYPICAL SHEAR TRANSFER DETAIL @ RAISED HEEL TRUSS SCALE: 3/6'=1'-0' HEEL HEIGHT UP TO 48" MAX.



TYPICAL GABLE END DETAIL

SCALE: 9/0"=1"-0"

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EPH T. R

M&K project number: 126-22076

JTR drawn by: issue date: 03-10-2

REVISIONS

initial:

 \Box DETAIL A AT NEIL'S (COOPER 1 Ŋ FARM A LOT 40 - CC RALEIGH, NA

NUMBERED DETAILS ARE PLAN

—2x PLATE FASTENED TO TOP FLANGE OF STL. BM, W (2) ROWS OF HILTI XU-4TP8 PINS ● 16" o.c. PACK OUT STEEL BEAM WEB W/SOLID 2x MATERIAL & FASTEN w/ (2) ROWS OF 1/8" DIA. THRU-BOLTS @ 16" O.C. -2x Plate Fastened to top FLANGE OF STL. BM. w/ (2) ROWS OF HILTI XU-4TP8 PINS @ 16" o.c. DROPPED STEEL BEAM 2x PLATE CONNECTION

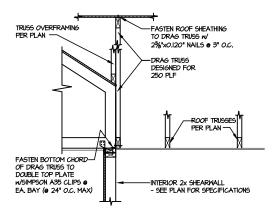
TYPICAL STEEL BEAM CONNECTION DETAIL SCALE 9/41-1-07

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.

PROVIDE MIN. (2) STUDS @ HOLD-DOWN LOCATION —

SHEAR TRANSFER DETAIL @ BREAK IN TRUSSES OVER SHEAR WALL



SHEAR TRANSFER DETAIL

AT INTERIOR SHEARWALL BELOW

SCALE 844-1-07

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.

OP SOFESS SEPH T. RI

3/10/25



M&K project number: 126-22076

JTR drawn by: JAD issue date: 03-10-25

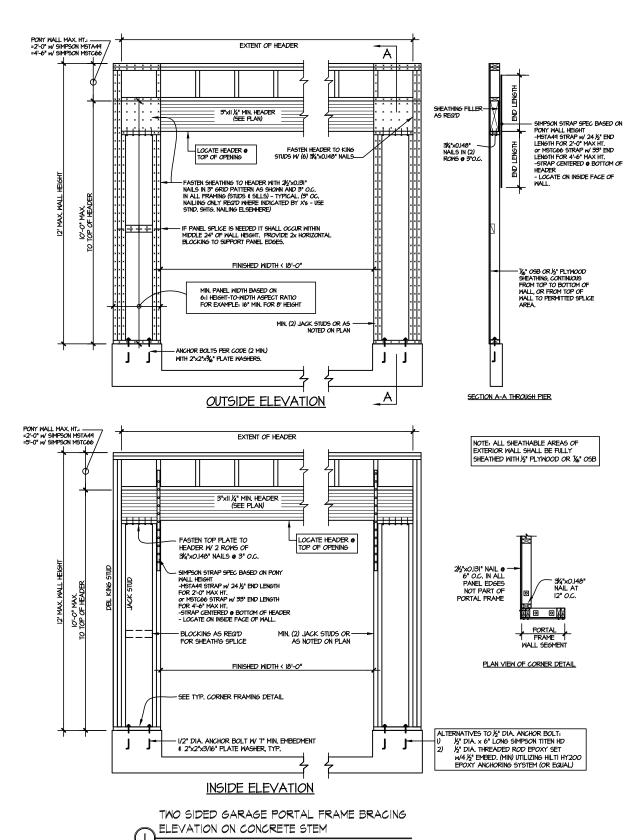
REVISIONS:

initial:

CREEK FRAMING DETAILS FARM AT NEIL'S (LOT 40 - COOPER 1 RALEIGH, NC

SD2.1





LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.

SD2.2

3/10/2

JTR

initial:

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M&K project number: 126-22076

> JTR drawn by: issue date: 03-10-2

FARM AT NEIL'S CREEK
LOT 40 - COOPER 1
RALEIGH, NC

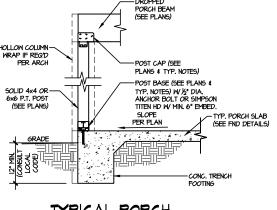
SD3.0

NUMBERED DETAILS ARE PLAN

SPECIFIC AND ARE ONLY REQUIRED

WHERE SPECIFICALLY INDICATED

("CUT") ON THE PLANS.

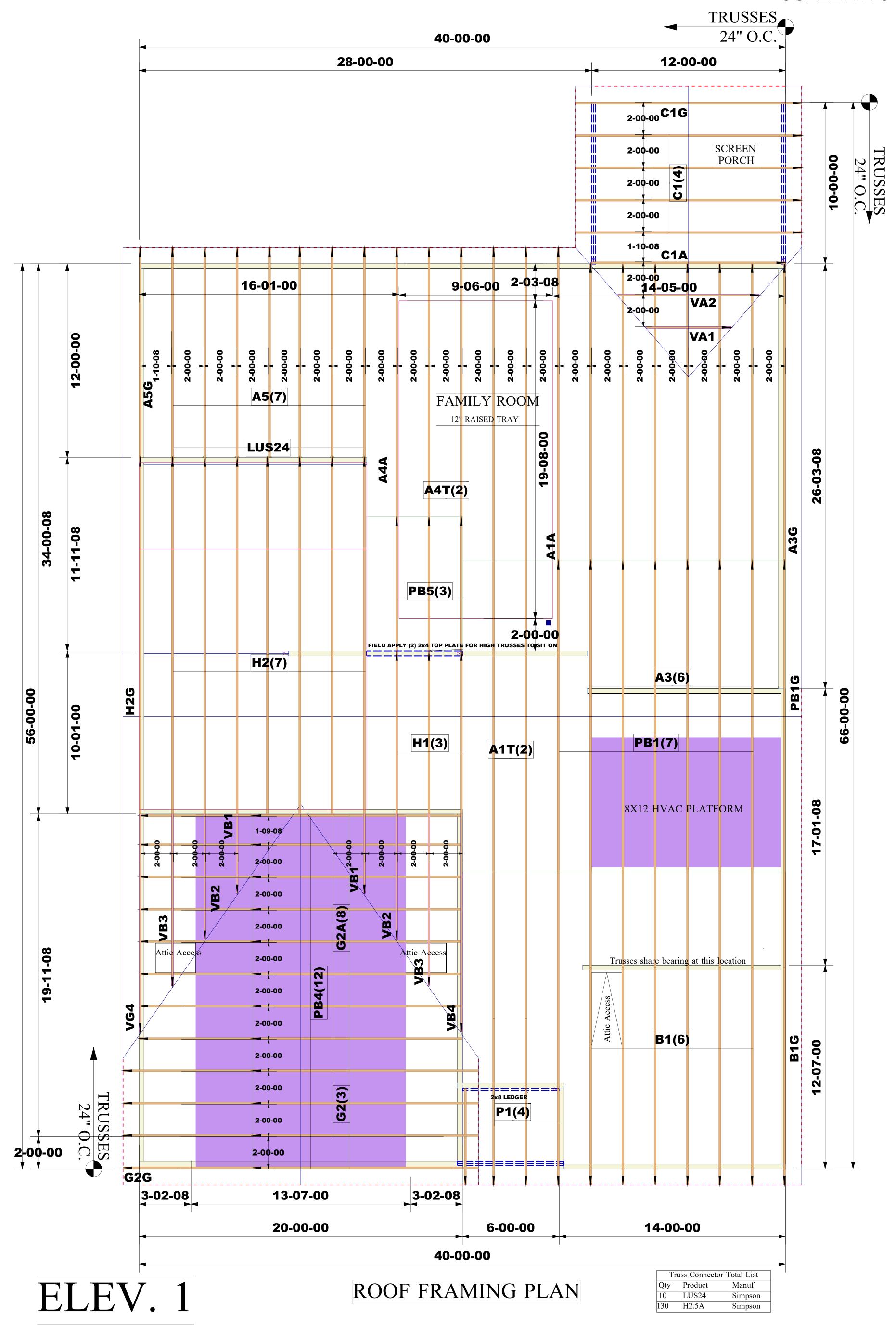


TYPICAL PORCH
POST CONNECTION DETAIL
SCALE: NONE SLAB ON GRADE SHOW SLAB ON GRADE SHOWN (SIM. @ CRAWL & BSMT.)

> ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN

ROOF TRUSS LAYOUT SCALE: NTS



*EXTERIOR DIMENSIONS ARE TO STUD. *TRUSS 2' O.C U.N.O *INSTALL SIMPSON H2.5A HURRICANE ANCHORS AT EACH BEARING POINT

THE FARM AT NEILL'S (NC)(RAL) LOT 00.0040 PHASE MODEL-1776-1-COOPER 3
GARAGE LEFT SIDE W/ 2' EXTENSION
OPT SCREENED PORCH/COVERED PORCH
OPT BONUS ROOM W/BEDROOM 4/BATH

Job #: 2502-2747	WARNING: CONVENTIONAL FRAMING, ERECTION AND/OR PERMANENT BRACING IS NOT THE RESPONSIBILITY OF THE TRUSS DESIGNER. PLATE MANUFACTURER. OR THE	NOTE: IT IS THE RESPONSIBILITY OF THE BUILDING DESIGNER OR ARCHITECT TO PROVIDE AN APPROPRIATE CONNECTION FOR TRUSSES TO	Customer: DRB Raleigh		
	TRUSS MANUFACTURER. PERSONS ERECTING TRUSSES ARE CAUTIONED TO SEEK PROFESSIONAL ADVICE REGARDING THE ERECTION BRACING WHICH IS ALWAYS REQUIRED TO PREVENT TOPPLING AND DOMINOING DURING ERECTION; AND PERMANENT BRACING WHICH MAY BE REQUIRED IN SPECIFIC	SUPPORTING STRUCTURE PER REACTIONS SHOWN	Job Name: The Farm at Neill's Creek	Third-Party Quality Assurance Licensee TPI Plant W974	
Designer: Sayan Roy	APPLICATIONS. SEE "BRACING WOOD TRUSSES COMMENTARY AND RECOMMENDATIONS" (BCSI 1) FOR FURTHER INFORMAITON. TRUSSES SHALL BE INSTALLED IN A STRAIGHT AND PLUMB POSITION WHERE NO SHEATHING IS APPLIED DIRECTLY TO TOP AND/OR BOTTOM CHORDS. THEY	THIS COMPANY IS A TRUSS MANUFACTURER WHOSE RESPONSIBILITIES ARE LIMITED TO THOSE DESCRIBED IN WTCA 1-1995 "DESIGN RESPONSIBILITIES". ACCORDINGLY, IT DISCLAIMS ANY RESPONSIBILITIES AND/OR LIABILITY FOR THE CONSTRUCTION DESIGN, DRAWINGS, DOCUMENTS	Lot #: Lot 00.0040	Structural, LLC 201 Poplar Avenue Thurmont, MD 21788	
Sales Rep: Robbie Zarobinski	SHALL BE BRACED AS SPCIFIED ON THE ENGINEERED DESIGN. TRUSSES SHALL BE HANDLED WITH REASONABLE CARE DURING ERECTION TO PREVENT DAMAGE OR PERSONAL INJURY.	INCLUDING THE INSTALLATION, AND BRACING OF	Model Name: Cooper 3	Phone: 301-271-7591	

OPT TRAY CEILING FAMILY ROOM