

WEST PRESERVE - LOT 53  
274 BOYCE COURT SANFORD, NC 27332  
3 CAR GARAGE



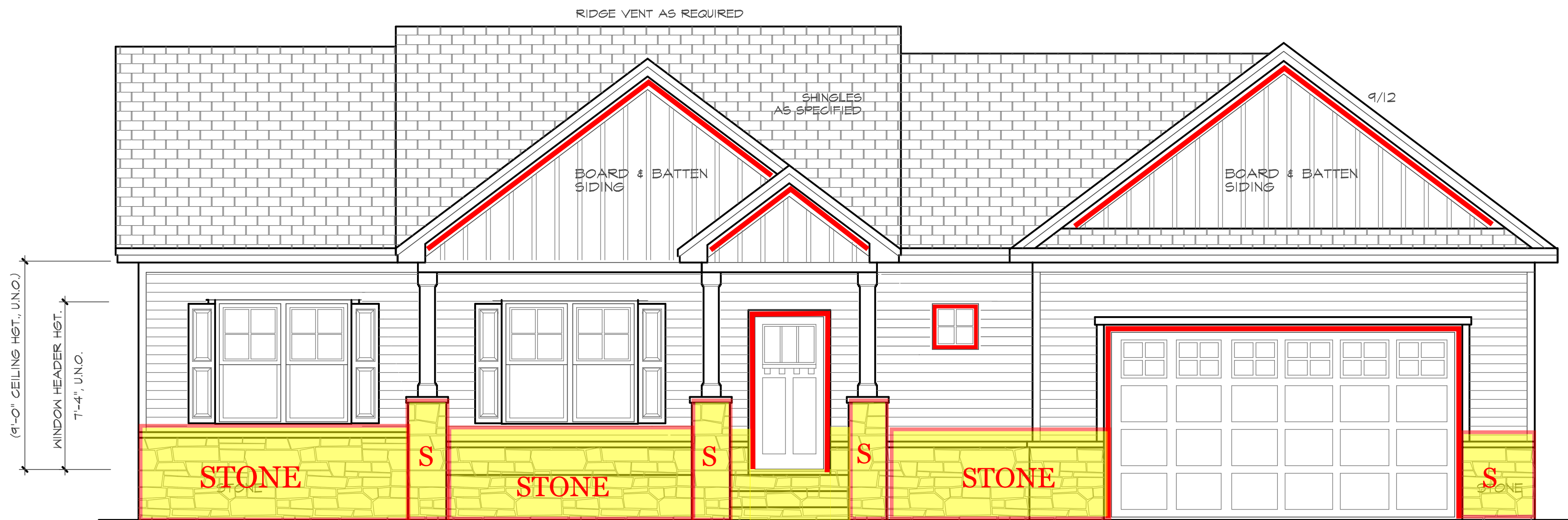
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FRONT ELEVATION  
SCALE 1/4" = 1'0"

**ATTIC VENTILATION:**  
THE NET FREE VENTILATING AREA SHALL BE NOT LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE AREA MAY BE 1 TO 300 PROVIDED AT LEAST 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVES OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION TO BE PROVIDED BY EAVE OR CORNICE VENTS.  
GROSS ATTIC AREA TO BE VENTILATED 1992 SQ.FT.  
1992/300 = 6.64 SQ.FT. NET FREE AREA  
50% OF VENTING MUST BE 8FT. ABOVE EAVE OR SOFFIT VENTS.

THIS PLAN DESIGNED UNDER NORTH CAROLINA  
RESIDENTIAL CODE 2018 EDITION (2015 IRC)  
NC (2018 NRC) - Wind : 115 - 120 mph



REAR ELEVATION

The Highland



LOT	SUB.
DATE	1/17/2021
SCALE	
PROJECT #	201211

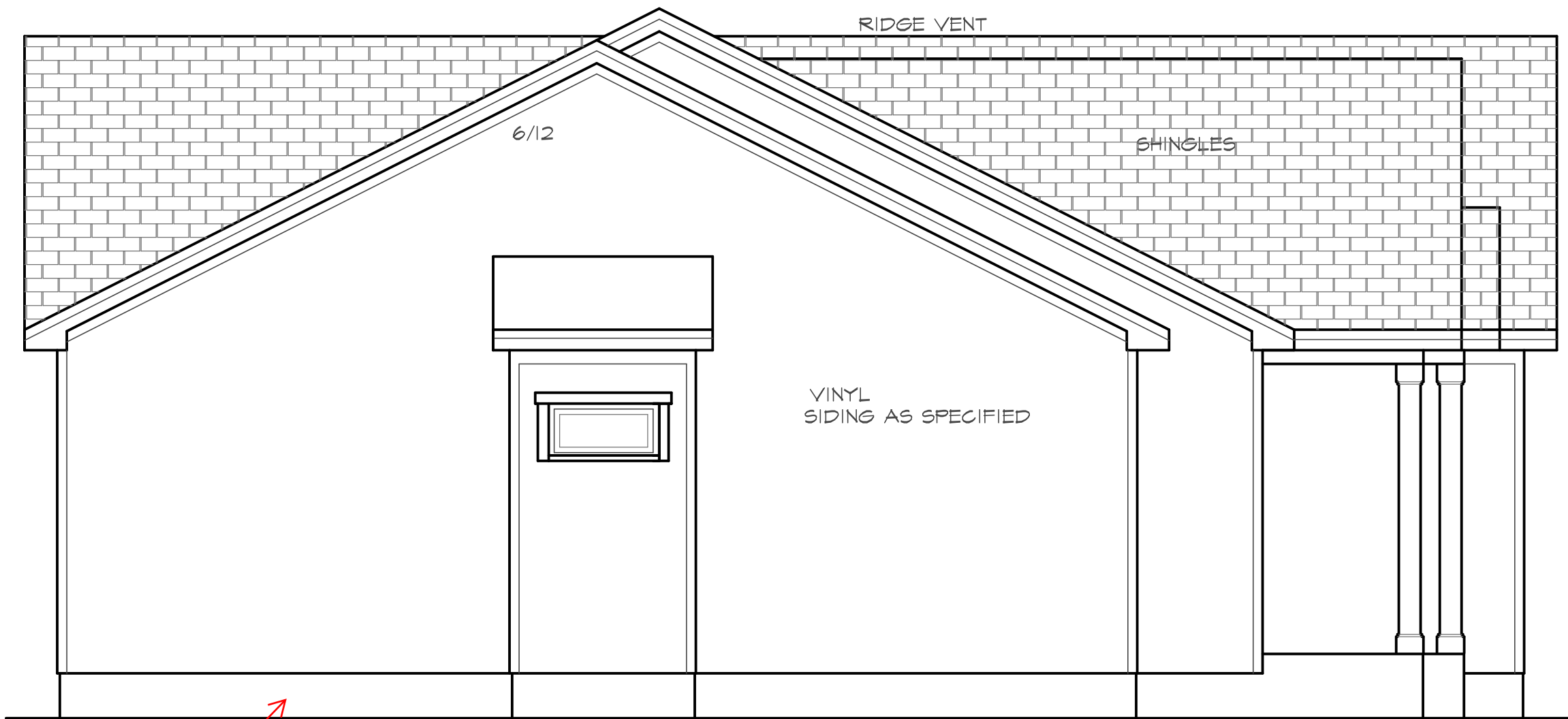


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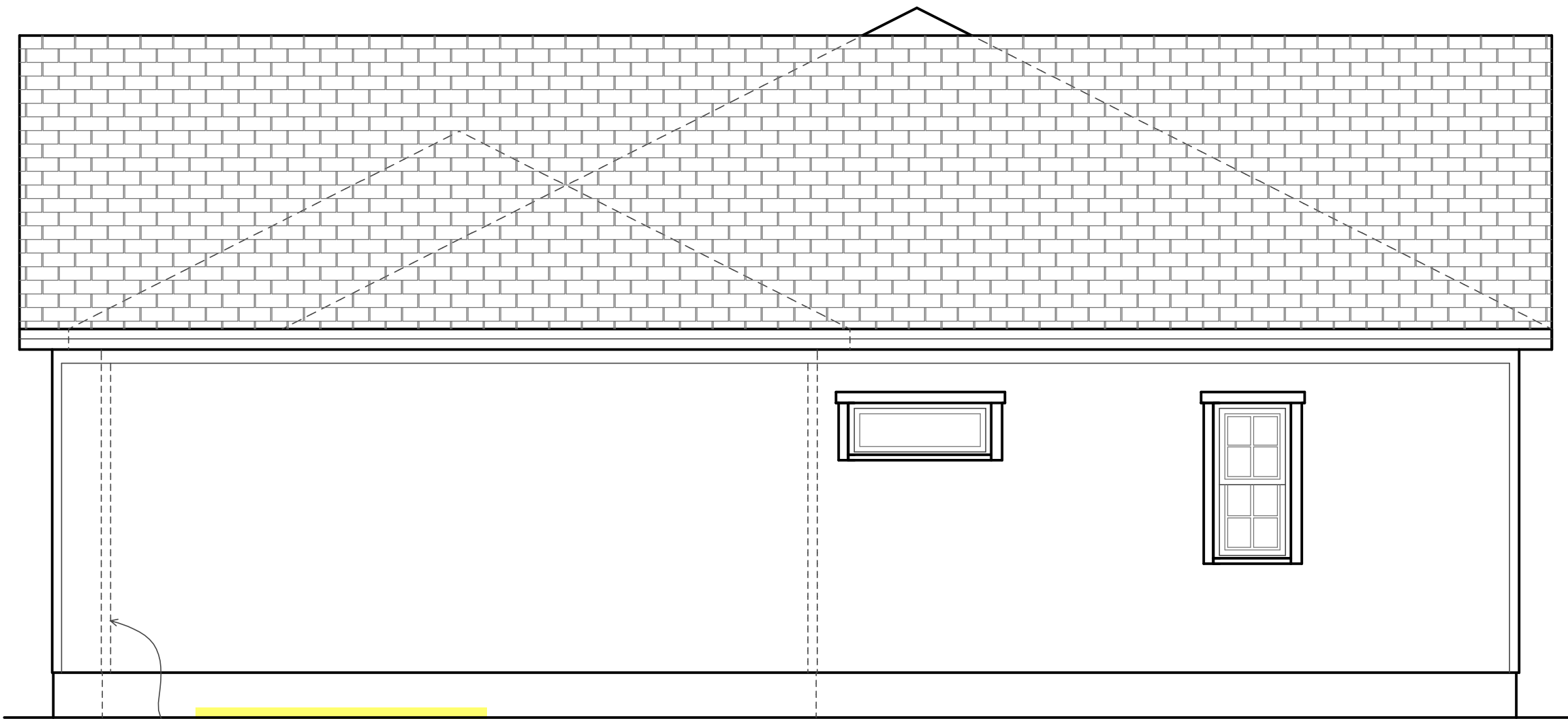
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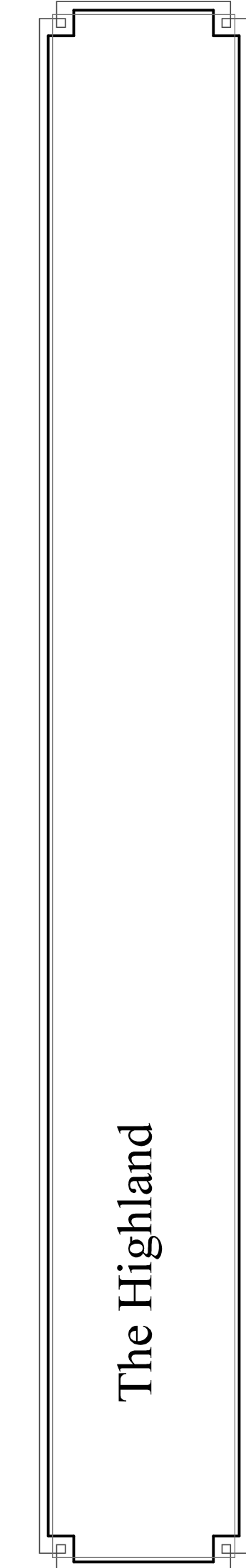
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LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION



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FOUNDATION STRUCTURAL NOTES

(1) (3) 2" X 10" SFF GIRDER, DROPPED, TYPICAL

(2) CONCRETE BLOCK PIER SIZE SHALL BE:

SIZE HOLLOW MASONRY SOLID MASONRY  
8" X 16" UP TO 32' HIGH UP TO 32' HIGH  
12" X 16" UP TO 48' HIGH UP TO 48' HIGH  
16" X 16" UP TO 64' HIGH UP TO 64' HIGH  
24" X 24" UP TO 96' HIGH UP TO 96' HIGH  
WITH 30" X 30" X 10' CONCRETE FOOTING, UNO.

(3) HALL FOOTING AS FOLLOWS:

DEPTH: 8" - UP TO 2 1/2 STORY  
10" - 3 STORY

WIDTH: SIDING OR EQUAL  
18" - UP TO 2 1/2 STORY  
18" - 3 STORY

BRICK VENEER  
18" - 1 STORY  
20" - 2 STORY  
24" - 3 STORY

FOR FOUNDATION WALL HEIGHT AND BACKFILL REQUIREMENTS, REFER TO NORTH CAROLINA RESIDENTIAL BUILDING CODE TABLE R404.1 (1) THRU (4).  
NOTE: ASSUMED SOIL BEARING CAPACITY = 2000 PSF. CONTRACTOR MUST VERIFY SITE CONDITIONS AND CONTACT SOILS ENGINEER IF MARGINAL OR UNSTABLE SOILS ARE ENCOUNTERED.

ATTACH SILL PLATE WITH 1/2" DIA. ANCHOR BOLTS AT 60" CENTERS (1" EMBEDMENT) AND 12" FROM EACH CORNER. (SECTION R403.1.6)

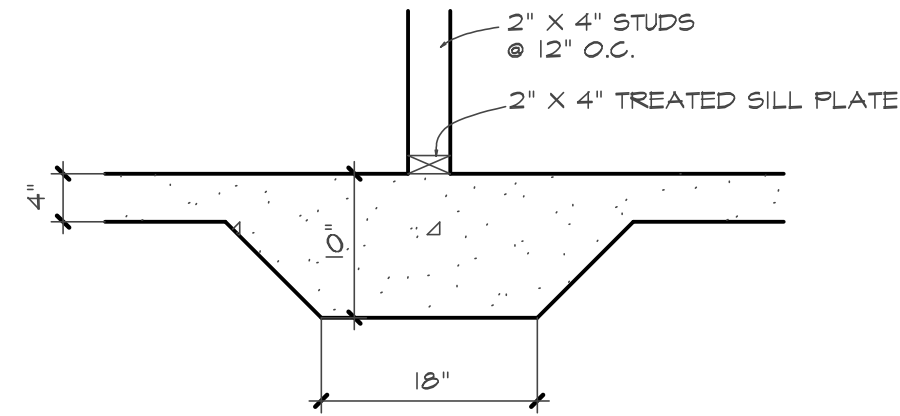
DESIGNATES A SIGNIFICANT POINT LOAD TO HAVE SOLID BLOCKING TO PIER, SOLID BLOCKING ALL BEAM BEARING POINTS, NOTED TO HAVE THREE OR MORE STUDS TO FOUNDATION, TYPICAL.

ABBREVIATIONS

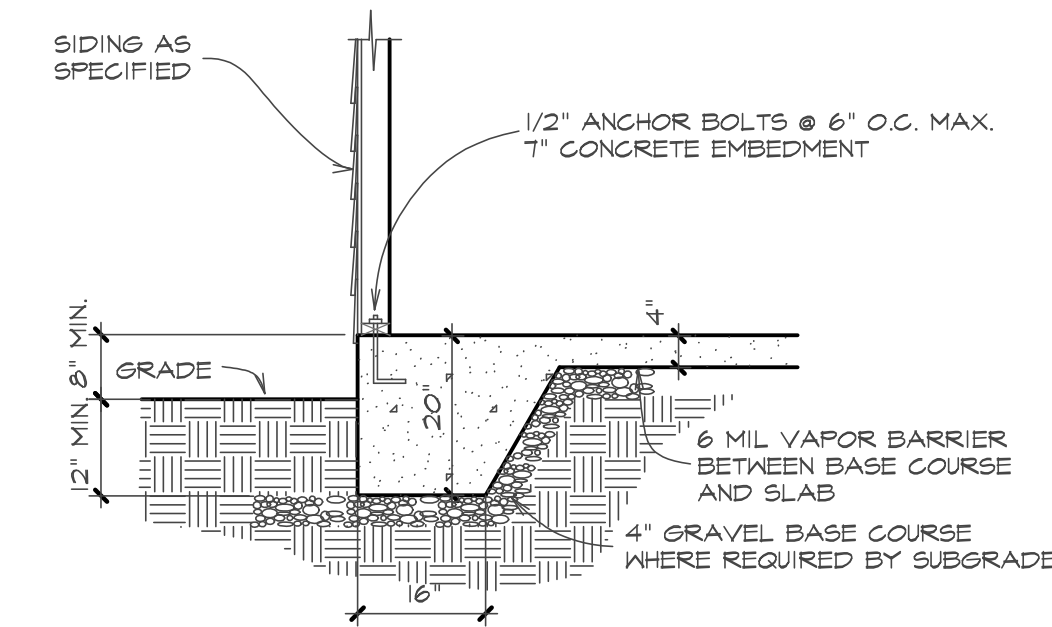
S/J - SINGLE JOIST

D/J - DOUBLE JOIST

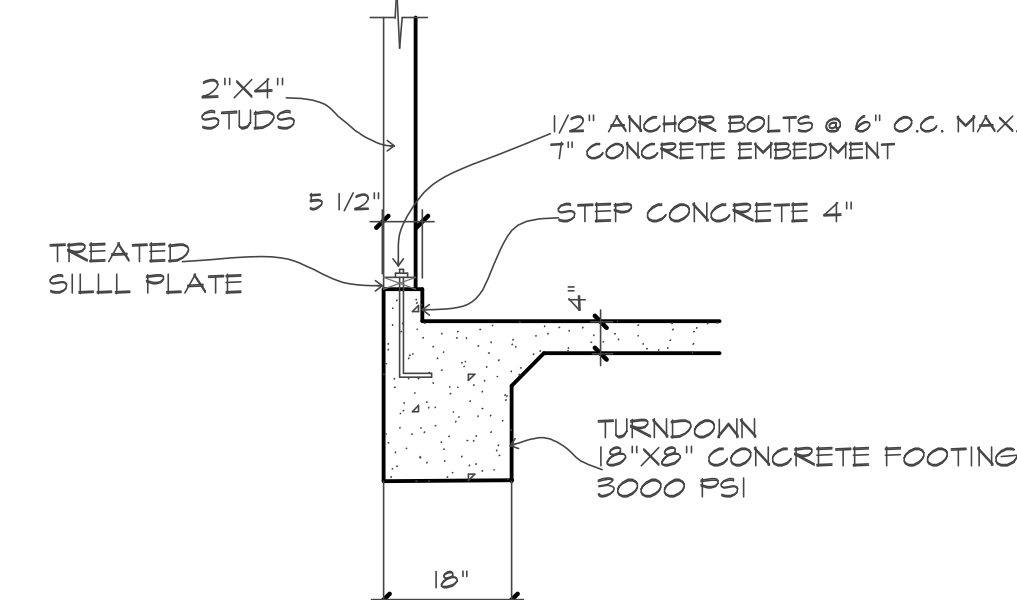
T/J - TRIPLE JOIST



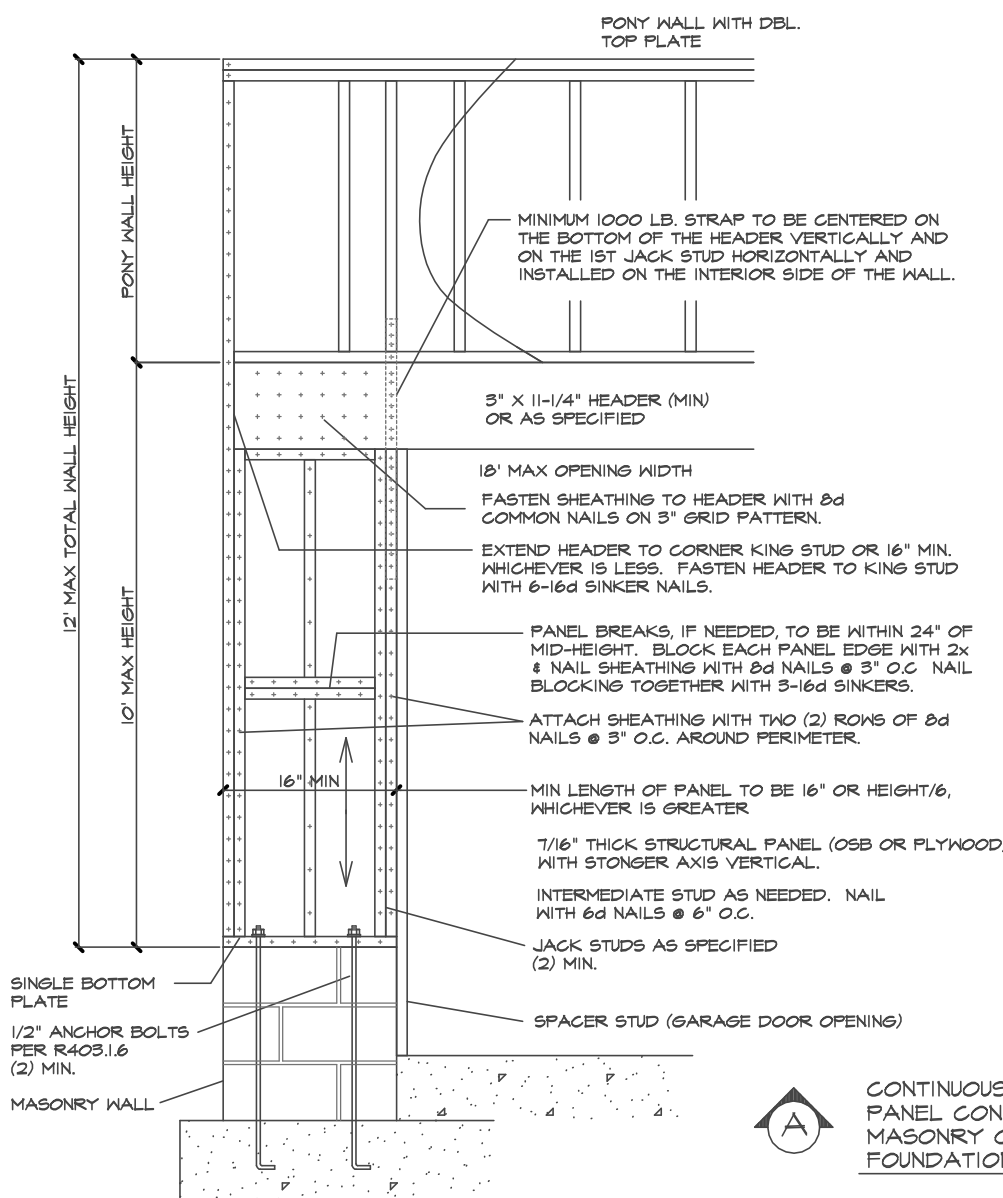
SECTION C ELEVATION  
THICKENED SLAB



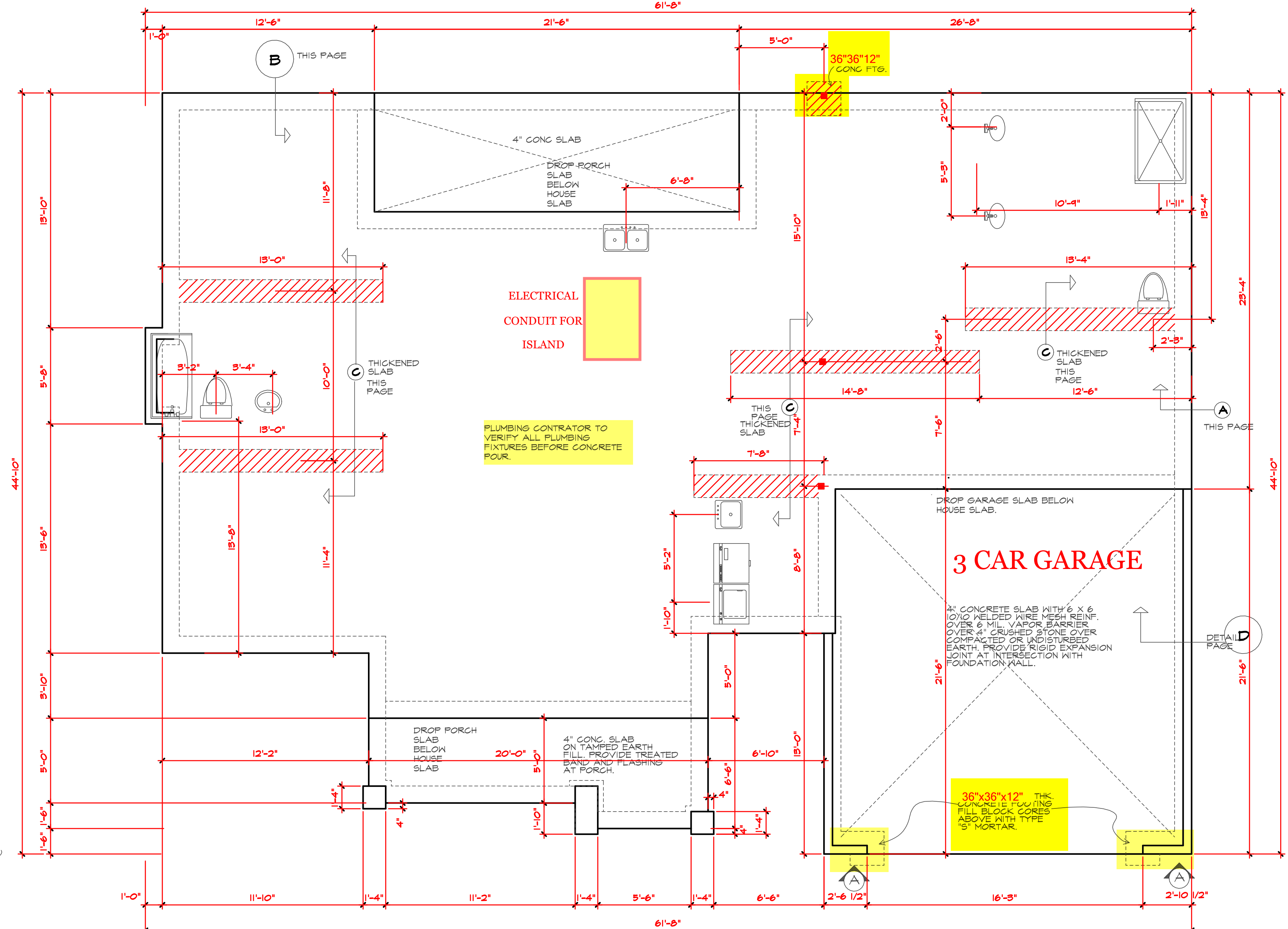
SECTION THROUGH MONOLITHIC SLAB/ FOOTING B  
SCALE 1/2" = 1'-0"



MONOLITHIC SLAB @ GARAGE D  
SCALE 1/2" = 1'-0"



CONTINUOUS PORTAL FRAME  
PANEL CONSTRUCTION OVER  
MASONRY OR CONCRETE  
FOUNDATION



MONOLITHIC SLAB FOUNDATION PLAN

SCALE 1/4" = 1'-0"





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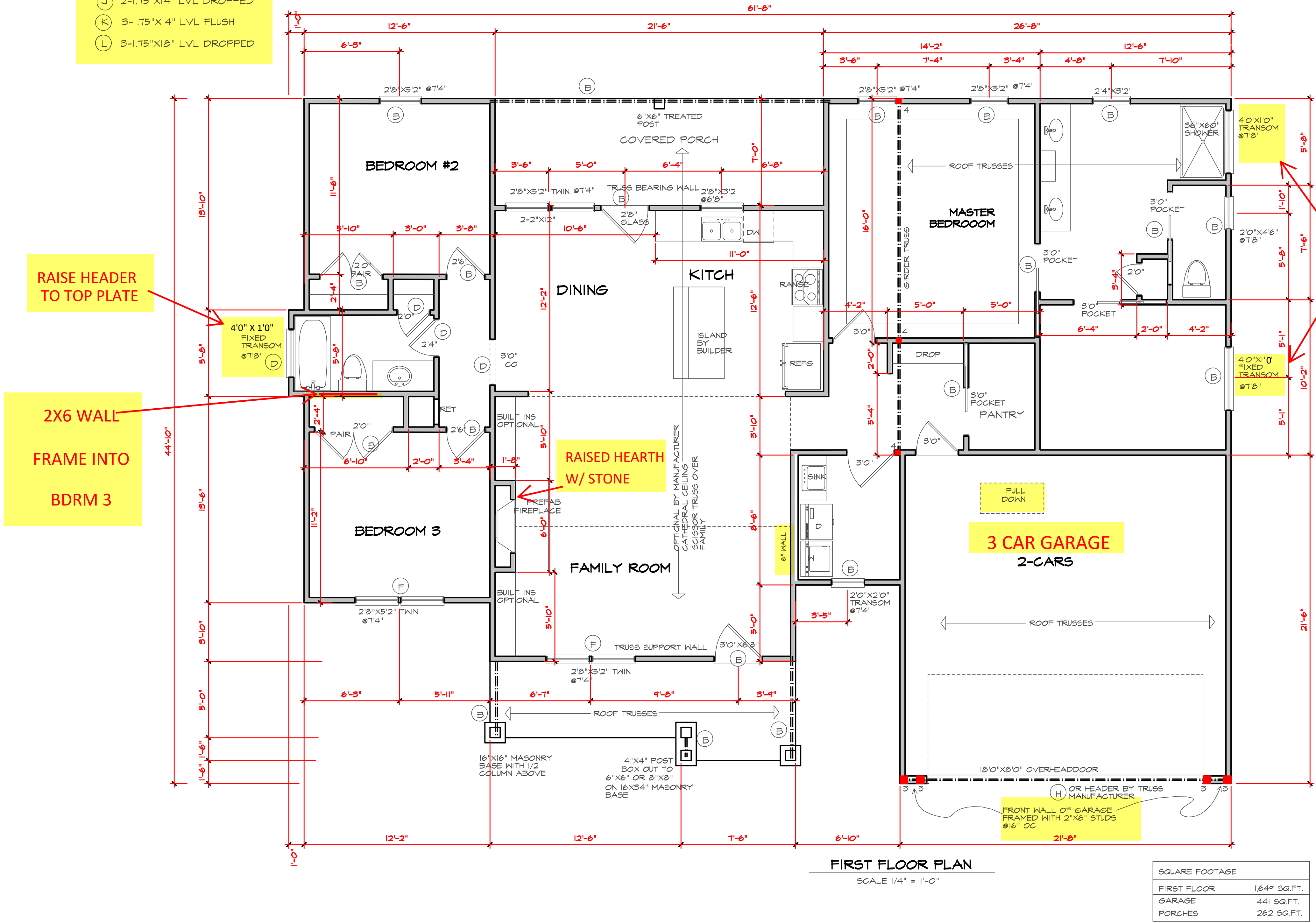
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BEAM SCHEDULE (OR BY OTHERS)	
(A)	2-2"x10" FLUSH
(B)	2-2"x10" DROPPED
(C)	2-2"x8" FLUSH
(D)	2-2"x8" DROPPED
(E)	2-1.75"x9.25" LVL FLUSH
(F)	2-1.75"x9.25" DROPPED
(G)	1-1.75"x14" LVL FLUSH
(H)	2-1.75"x11 7/8" LVL FLUSH
(J)	2-1.75"x14" LVL DROPPED
(K)	3-1.75"x14" LVL FLUSH
(L)	3-1.75"x18" LVL DROPPED

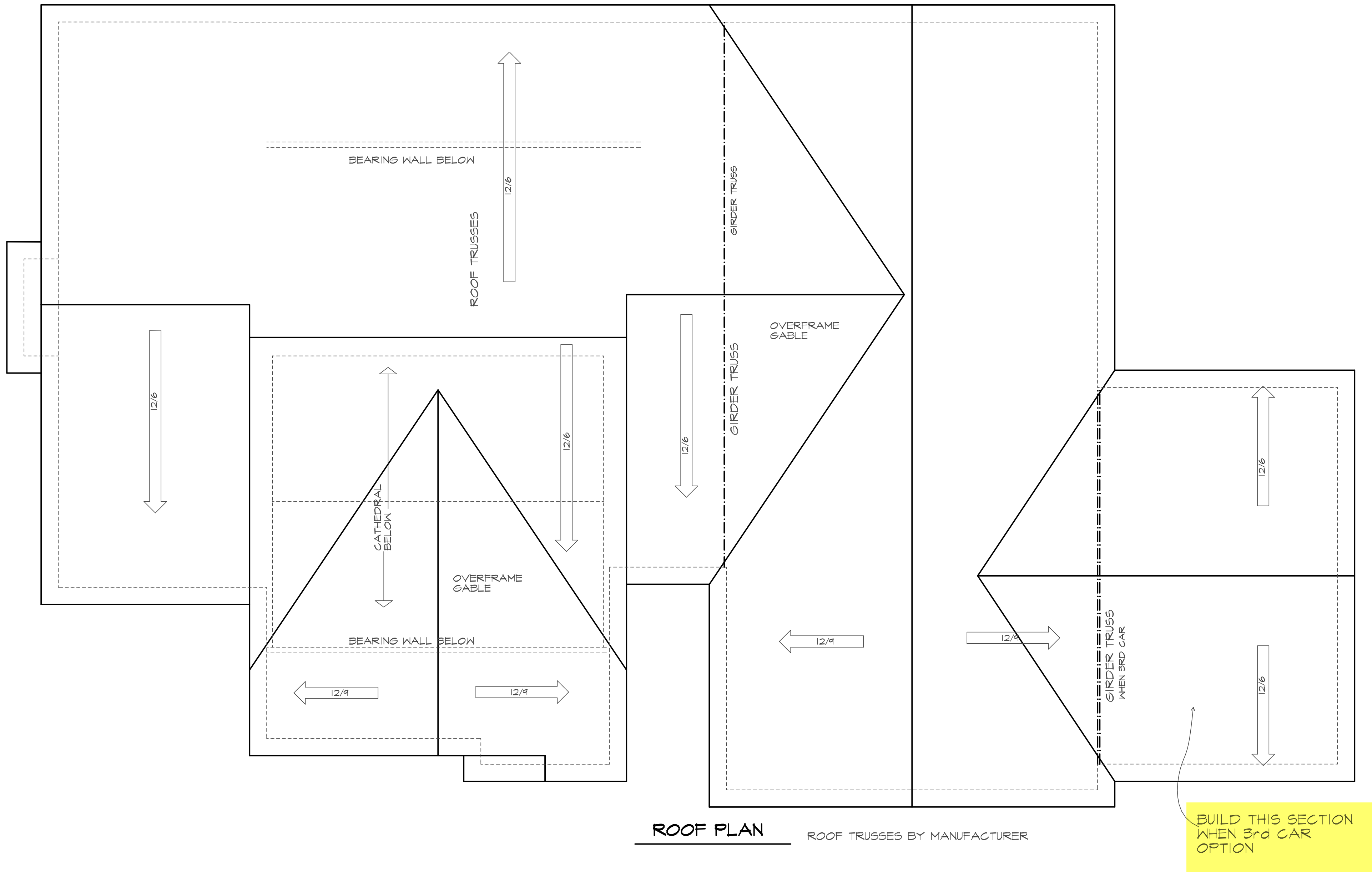
- WALL BRACING NOTES:
- WALL BRACING SHALL BE IN ACCORDANCE WITH SECTION R602.10.3 CONTINUOUS SHEATHING. BRACING METHOD CS-WSP SHALL BE USED IN ACCORDANCE WITH TABLE R602.10.1.
1. THE REQUIRED LENGTH OF BRACING FOR EACH SIDE OF A RECTANGLE CIRCUMSCRIBED AROUND THE PLAN OR A PORTION OF THE PLAN AT EACH STORY LEVEL SHALL BE IN ACCORDANCE WITH TABLE R602.10.3 AND FIGURE R602.10.3.1, UNLESS NOTED OTHERWISE. THE ENTIRE STRUCTURE IS ASSUMED TO BE CIRCUMSCRIBED WITHIN A SINGLE RECTANGLE.
2. MINIMUM PANEL WIDTH IS 24". SEE SECTION R602.10.3 FOR ADDITIONAL INFORMATION. CONNECTION CRITERIA SHALL BE IN ACCORDANCE WITH TABLE R602.10.1.
3. PORTAL FRAME CONSTRUCTION SHALL BE IN ACCORDANCE WITH FIGURE R602.10.1.
4. HOLD DOWN DEVICE SHALL BE AS FOLLOWS:  
SIMPSON LSTA24 STRAP (OR EQUIVALENT) BETWEEN FLOORS EXTENDING FROM BOTTOM OF FLOOR BAND AND UP THE STUDS PER SITE PER BUILDER.  
SIMPSON HD3B HOLD DOWN (OR EQUIVALENT) WHERE REQUIRED TO CONNECT DIRECTLY TO FOUNDATION.



The Highland



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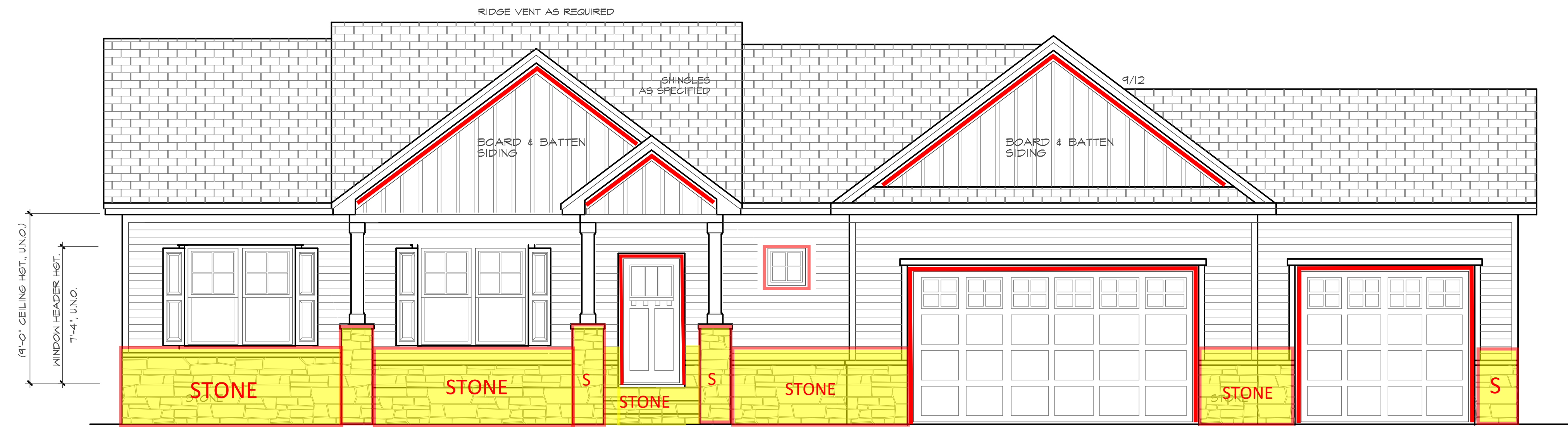


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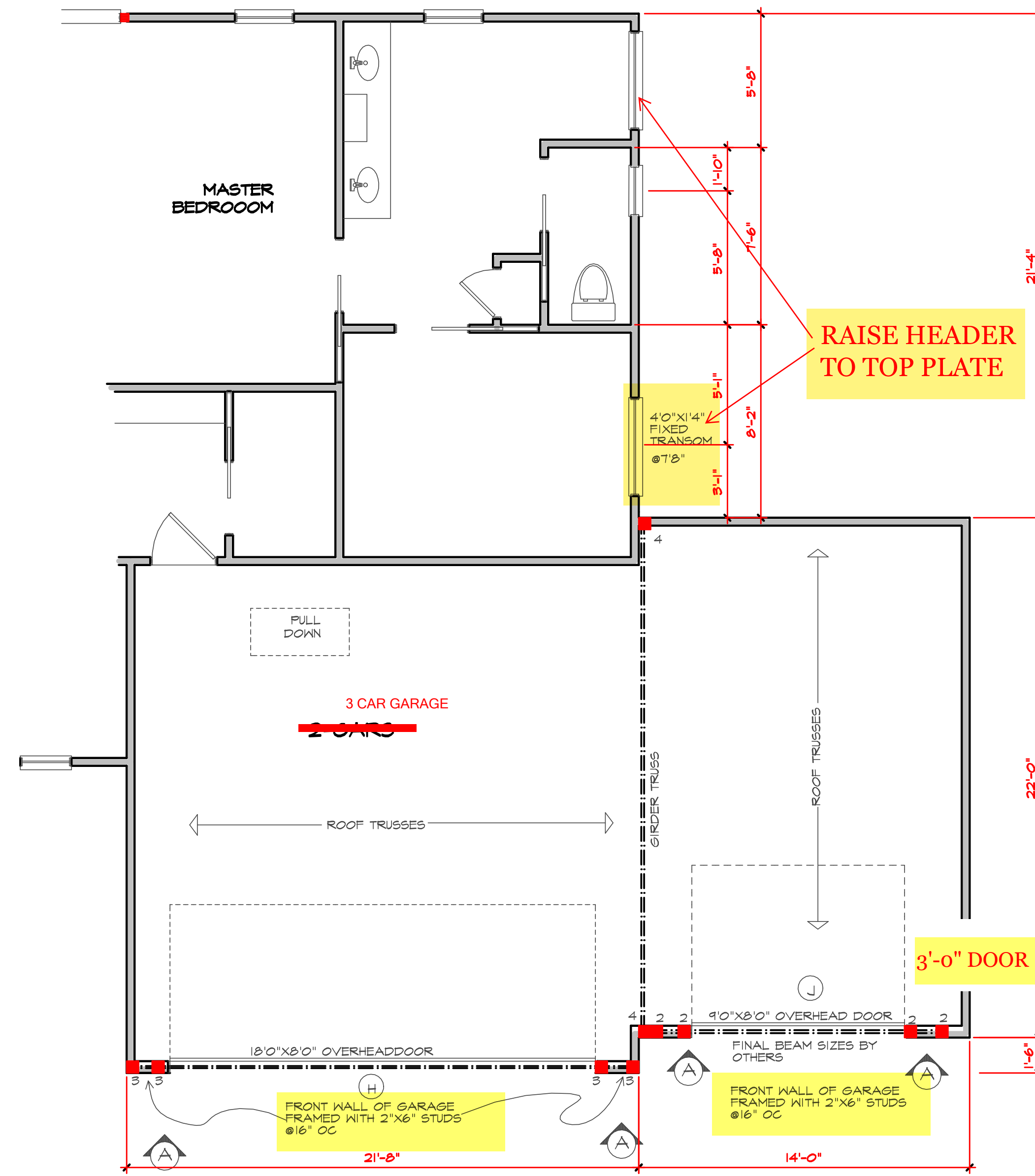
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#### ATTIC VENTILATION:

THE NET FREE VENTILATING AREA SHALL BE NOT LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE AREA MAY BE 1 TO 300 PROVIDED AT LEAST 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION TO BE PROVIDED BY EAVE OR CORNICE VENTS.

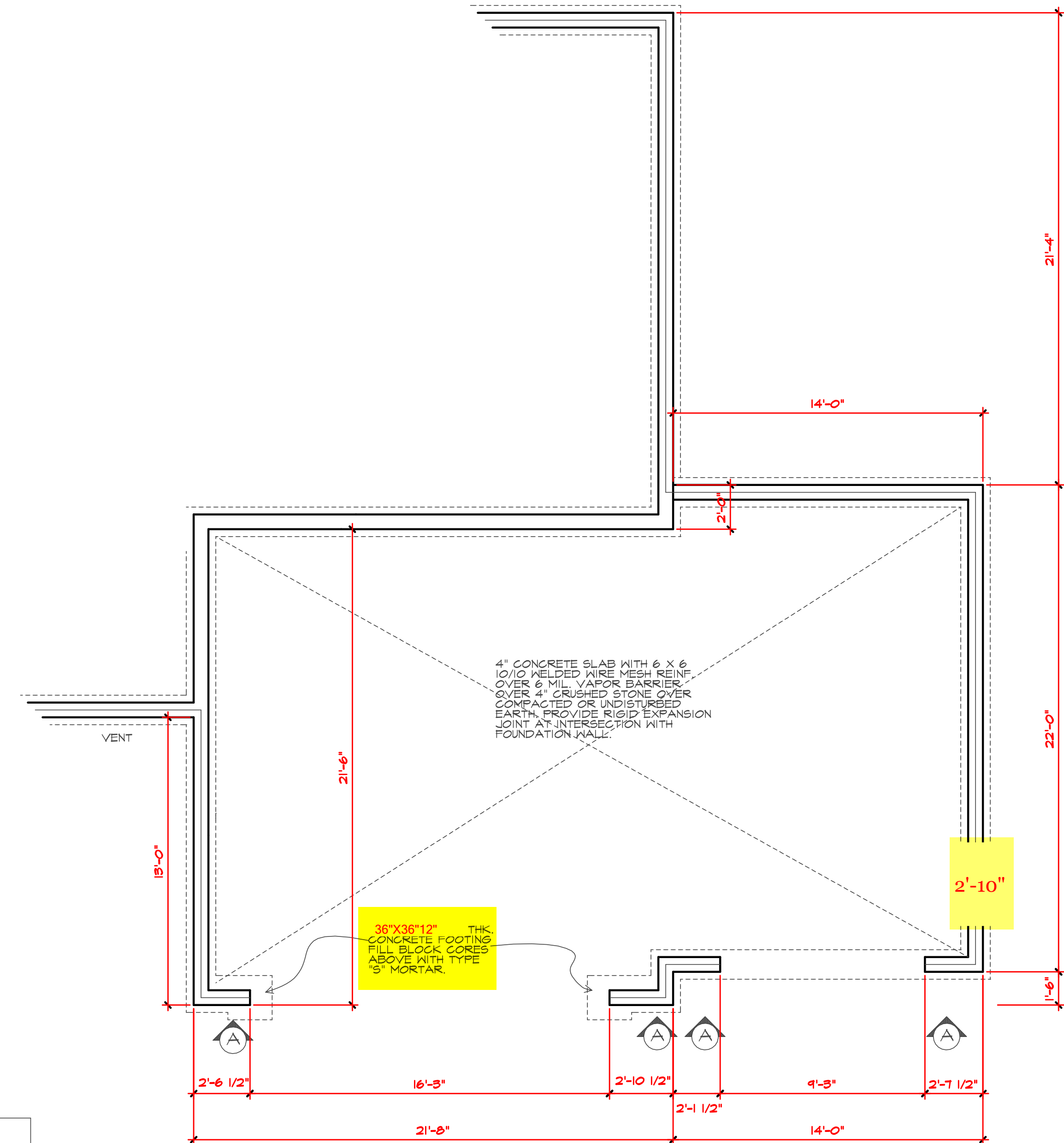
GROSS ATTIC AREA TO BE VENTILATED 2300 SQ.FT.  
2300/300 = 7.66 SQ.FT. NET FREE AREA  
50% OF VENTING MUST BE 3FT. ABOVE EAVE OR SOFFIT VENTS.



#### 3 CAR OPTION

SCALE 1/4" = 1'-0"

SQUARE FOOTAGE	
THIRD GARAGE	301 SQ.FT.



#### FOUNDATION PLAN 3 CAR GARAGE

SCALE 1/4" = 1'-0"

The Highland

WEAVER  
— HOMES —

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