# STONEFIELD-RALE

RALEIGH - LOT 00.0126 BLAKE POND SF (MODEL# 1635)

ELEVATION 2 - GL



AREA CALCULATIONS ELEVATION 2	HEATED	COVERED / UNHEATED	UNCOVERED
FIRST FLOOR	1572 SF		
GARAGE		496 SF	
FRONT PORCH - ELEVATION 2		145 SF	
SECOND FLOOR	1646 SF		
OPTIONS			
COVERED PORCH		+144 SF	
3RD CAR GARAGE W/ SIDELOAD GARAGE		+265 SF	
BED 5 W/ BATH 3	+55 SF	-55 SF	
SIDE SCREEN PORCH		93 SF	
TOTAL	3273 SF	1088 SF	
			_

## 251 Great Smoky Place

	SPECIFIC	
1	LOT 00 0126	BLAKE POND SF
'	101 00.0126	DLANL FUND OF
		STONEFIELD REV. RALE-3 ELEVATION 2
2	ADDRESS	251 GREAT SMOKY P1 LILLINGTON, NC 27546
	ADDRESS	231 GREAT SMOKT PT LILLINGTON, NC 2/340
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| MASTER PLAN INFORMATION | UPDATED DATE | STALE | 07-31-2024 | O9-12-2024 | O9-12-

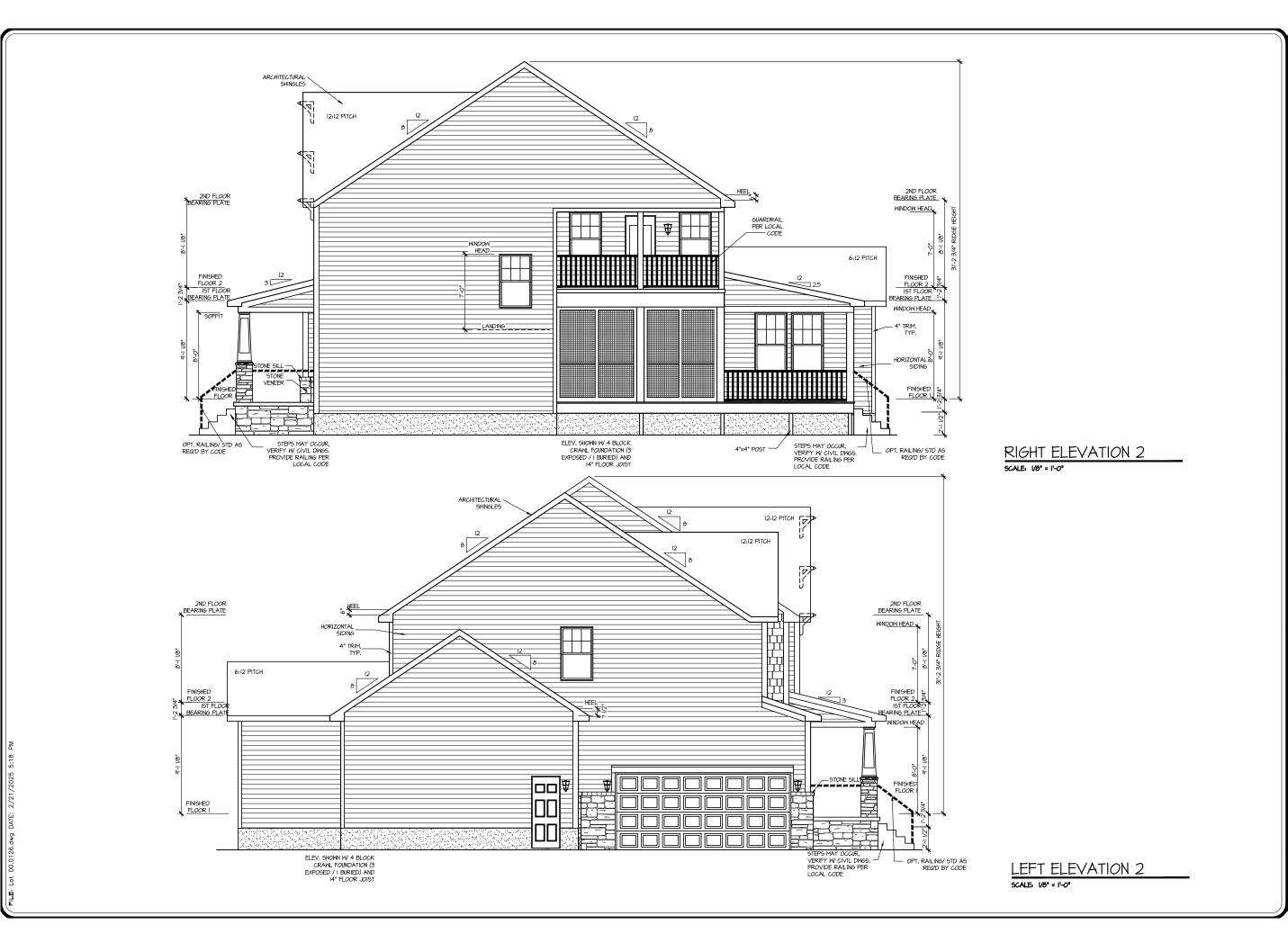
DRAWN BY: ITS DATE: 02/21/2025 PLAN NO. 1635

HOMES

NT & REAR ELEVATIONS

HOUSE NAME:
STONEFIELD
DRAWING TITLE
FRONT & REAR

SHEET No.



DRAWN BY: DATE: 02/21/2025 PLAN NO. 1635



O NO HOUSE NAME:
STONEFIELD
DRAWING TITLE ᇳ Щ ₩

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SHEET No.

UPPER ROOF VENTILATION CALCULATIONS: ROOF AREA | = 1814 SQ. FT. OVERALL REQUIRED VENTILATION: 1 TO 150 = 12.04 SQ. FT. 1 TO 300 = 6.05 SQ. FT. 50% IN TOP THIRD = 3.02 SQ. FT. (1 TO 300)

NET FREE AREA OF VENTED SOFFIT = 5.7 SQ, IN / LINEAR FT. NET FREE AREA OF RIDGE VENT = 18 SQ, IN/ LINEAR FT.

LONER VENTING. (BOTTOM 2/3 RDS)

80 LINEAR FEET OF SCFFIT X 5.1 50. IN. = 3.245 50. FT.

UPFER VENTING. (COP J/8 DD)

24 LINEAR FEET OF RIDGE X I/5 50. IN = 3 50. FT.

3 50. FT. AT 50%
(1 TO 300 ALLOWED)

UPPER ROOF VENTILATION CALCULATIONS:

ROOF AREA 3 = 45 50, FT.
OVERALL REQUIRED VENTILATION:
1 TO 150 = 0.63 50, FT.
1 O 300 = 0.311 50, FT.
50% IN TOP THIRD = 0.158 50, FT. (1 TO 300) NET FREE AREA OF VENTED SOFFIT = 5.7 SQ. IN / LINEAR FT. NET FREE AREA OF RIDGE VENT = 18 SQ. IN/ LINEAR FT.

LOMER VENTING: (BOTTOM 2/3 RDS)
23 LINEAR FEET OF SOFFIT X 5.7 SQ. IN. = 0.41 SQ. FT. 29 LINEAR FEET OF SOFFII X 3.1 50.1 IN. - 0.1. IN. IPPER VENTING. (10P I/3 RD)
8 LINEAR FEET OF RIDDE X IØ SQ. IN = 1 SQ. FT.
1 SQ. FT. BETWEEN 50%
(1 TO 300 ALLOWED)

UPPER ROOF VENTILATION CALCULATIONS:

LOWER VENTING. (BOTTOM 2/3 RDS)
7 LINEAR FEET OF SOFFIT X 5.7 SQ. IN. = 0.277 SQ. FT. T LINEAR FIET OF SOFFIT X 5.1 50. IN = 0.271 50. FT UPPER YENING. (100 / JS RD) 2 LINEAR FIET OF RIDGE X IB 50. IN = 0.25 50. FT. I 50. FT. AT 50% (I TO 300 ALLOHED)

UPPER ROOF VENTILATION CALCULATIONS:

ROOF AREA 2 = 252 50. FT. OVERALL REQUIRED VENTILATION: 1 TO 150 = 1,66 50. FT. 1 TO 300 = 0,64 50. FT. 50% IN TOP THIRD = 0.42 50. FT. (1 TO 300) NET FREE AREA OF VENTED SOFFIT = 5.7 SQ. IN / LINEAR FT. NET FREE AREA OF RIDGE VENT = 18 SQ. IN/ LINEAR FT.

LOWER VENTING: (BOTTOM 2/3 RDS)
II LINEAR FEET OF SOFFIT X 5.7 SQ. IN. = 1,375 SQ. FT. | LINEAR FEEL OF SAFFILE AS, SALIN = 10 SALIN |
| UPPER VENTING, (TOP ) | DR | RD)
| 4 LINEAR FEET OF RIDGE X ID SQ, IN = 5 SQ, FT.
| 3 SQ, FT. AT SOS
| (1 TO 300 ALLONED)

UPPER ROOF VENTILATION CALCULATIONS:

ROOF AREA 4 = 145 50. FT.
OVERALL REQUIRED VENTILATION:
1 TO 150 = 0.961 50. FT.
1 TO 300 = 0.463 50. FT.
50% IN TOP THIRD = 0.242 50. FT. (1 TO 300) NET FREE AREA OF VENTED SOFFIT = 5.7 SQ. IN / LINEAR FT. NET FREE AREA OF RIDGE VENT = 18 SQ. IN/ LINEAR FT.

LOWER VENTING: (BOTTOM 2/3 RDS) 20 LINEAR FEET OF SOFFIT X 5.7 SQ, IN, = 0.74 SQ, FT,

20 LINEAR FEET OF SOFFII X 3.1 30. IN - 0.13 00. IN - 0.13 00. IN - 150. FT. 150. FT. 150. FT. 150. FT. 150. FT. A 50% (1 TO 300 ALLO/ED)

UPPER ROOF VENTILATION CALCULATIONS:

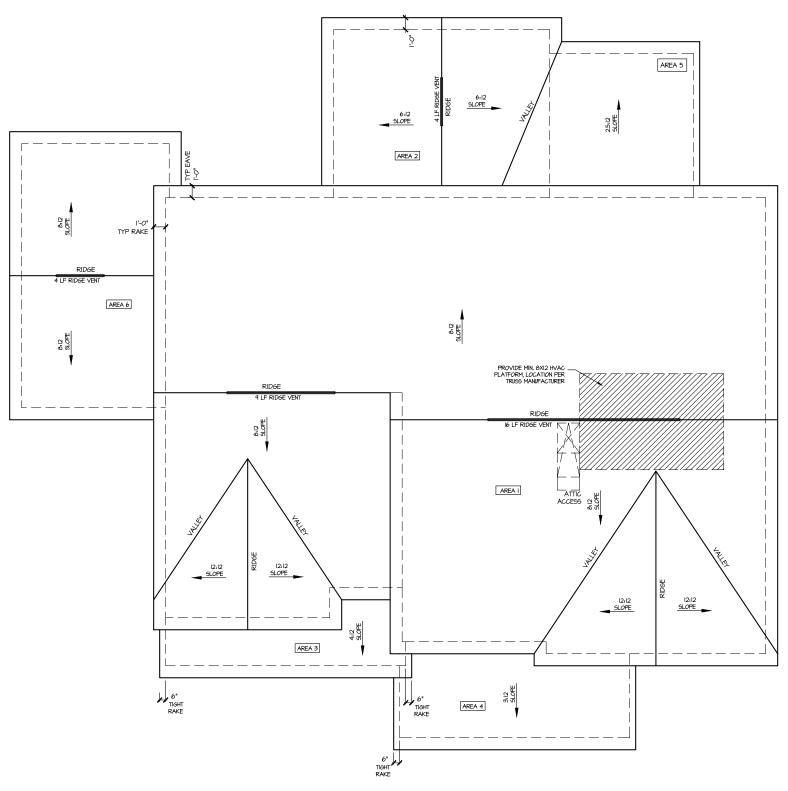
ROOF AREA 6 = 234 So., FT. OVERALL REQUIRED VENTIL ATION: 1 TO 150 = 1,56 So., FT. 1 TO 300 = 0.716 So. FT. 50% IN TOP THIRD = 0.34 So., FT. (1 TO 300) NET FREE AREA OF VENTED SOFFIT = 5.7 SQ. IN / LINEAR FT. NET FREE AREA OF RIDGE VENT = 18 SQ. IN/ LINEAR FT.

LOWER VENTING: (BOTTOM 2/3 RDS)

10 LINEAR FEET OF SOFFIT X 5.7 SQ. IN. = 0.346 SQ. FT.

| O LINEAR FIET OF SOFFIT X 5.1 SQ, IN. = 0.3946 SQ, I | UPPER\_VENTING, (TOP\_UP X FIZ) | 4 LINEAR FIET OF RIDGE X IB SQ, IN = 0.5 SQ, FT. | 1 SQ, FT. A1 50/8 | (I TO 3000 ALLONED)

NOTE: ROOF PLANS SHOWN W/ MIN. REQ'D RIDGE VENT LOCATIONS. ACTUAL RIDGE VENT LOCATIONS AND QUANTITY PER BUILDER



ROOF PLAN ELEV. 2

SCALE: 1/8" = 1'-0"

SHEET No.

HOUSE NAME: STONEFIEL DRAWING TITLE

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DRAWN BY:

PLAN NO. 1635

DATE: 02/21/2025

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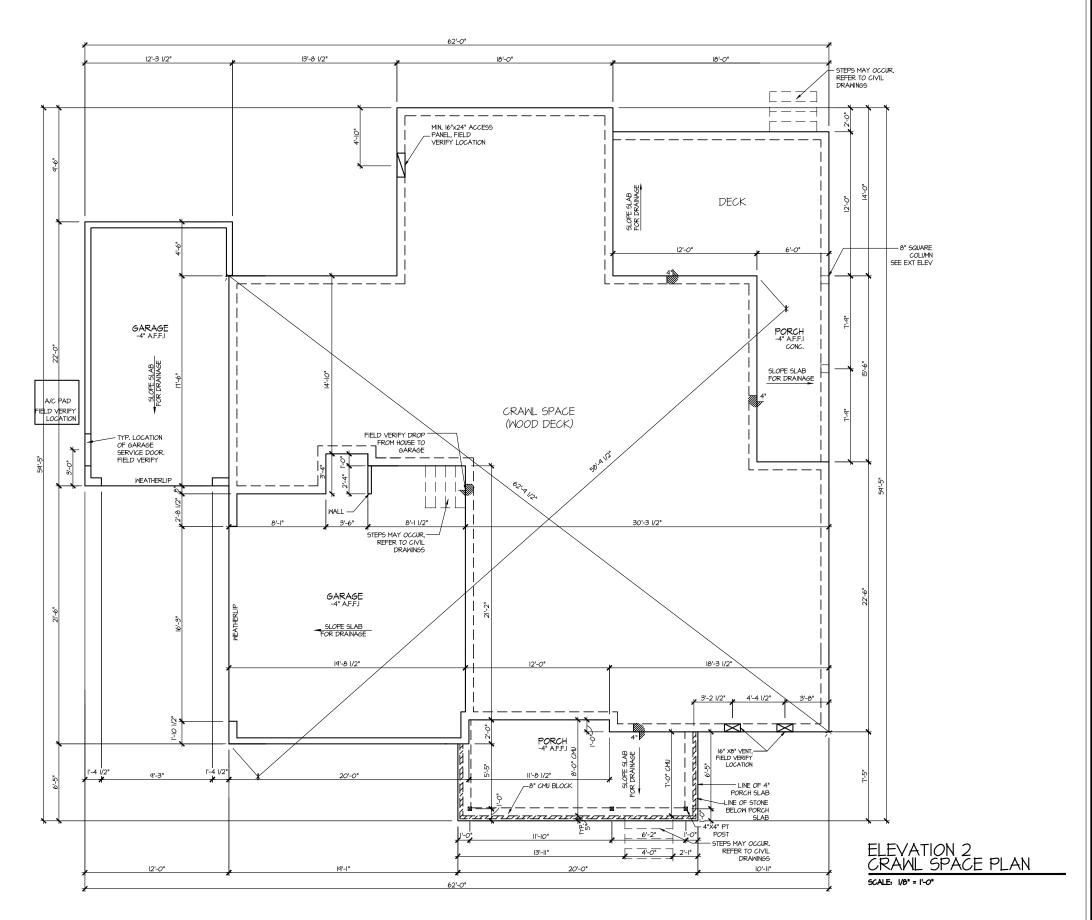
CRAWL SPACE VENT CALCULATIONS: ELEV 2
CRAWL AREA = 1512 SQ. FT.
OVERALL REQUIRED VENTILATION:
1 SQ. IN. PER I SQ. FT. = 1512 SQ. IN.

NET FREE AREA OF VENT = 12 SQ. IN. PER VENT WITTEN AUTOMATIC VENT OAL-I OR EQUAL

#### VENTING REQUIREMENT:

1572 SQ. IN. / 72 SQ. IN. = 21.8 VENTS = 22 VENTS

ONLY VENTS ON THE FRONT ELEVATION ARE SHOWN. ALL OTHERS TO BE FIELD LOCATED. VENTS SHALL BE INSTALLED PER R322.2.2 - R322.2.2.1



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SHEET No.

HOUSE NAME:
STONEFIELE
DRAWING TITLE

DRAWN BY:

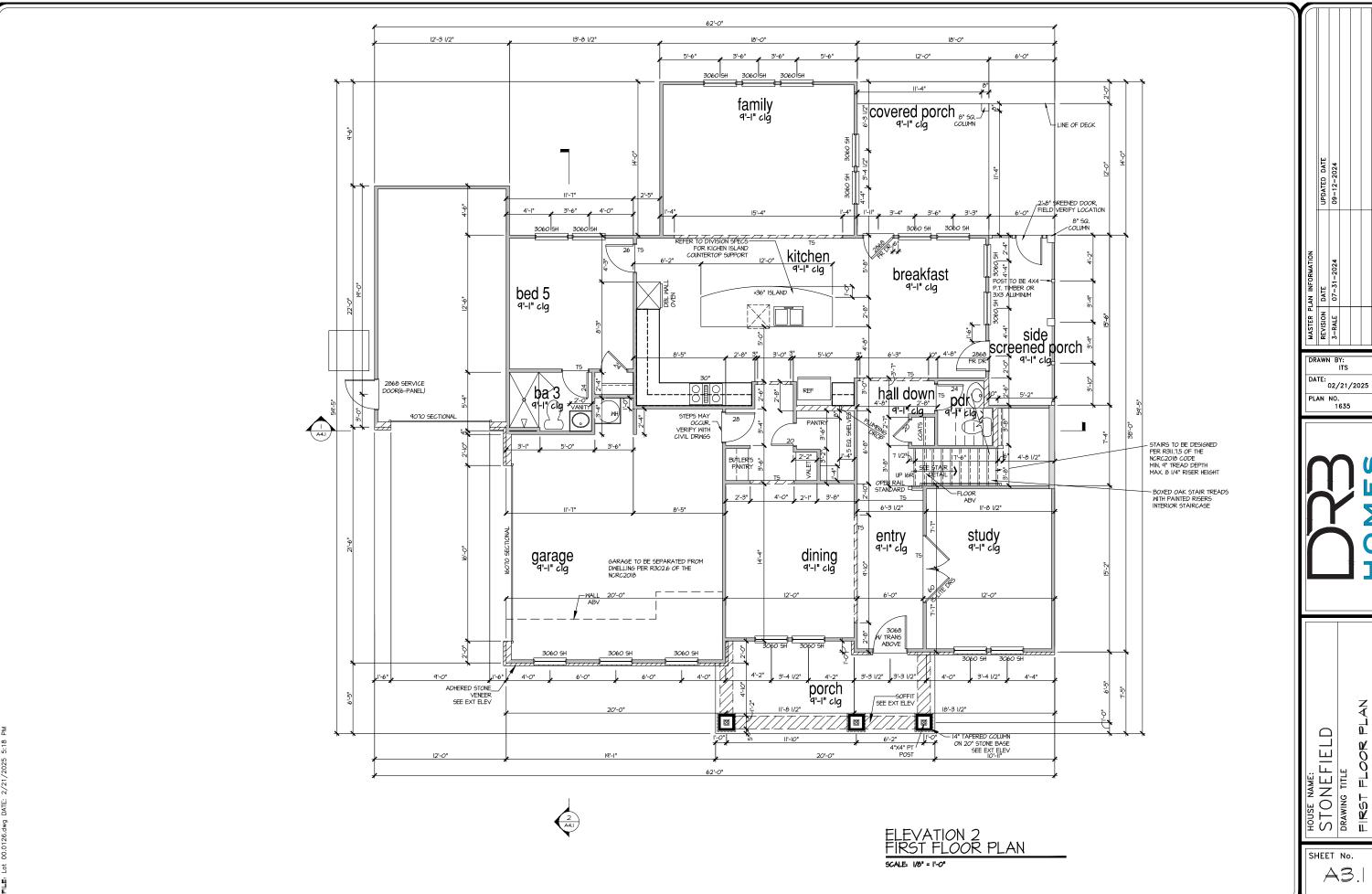
PLAN NO. 1635

DATE: 02/21/2025

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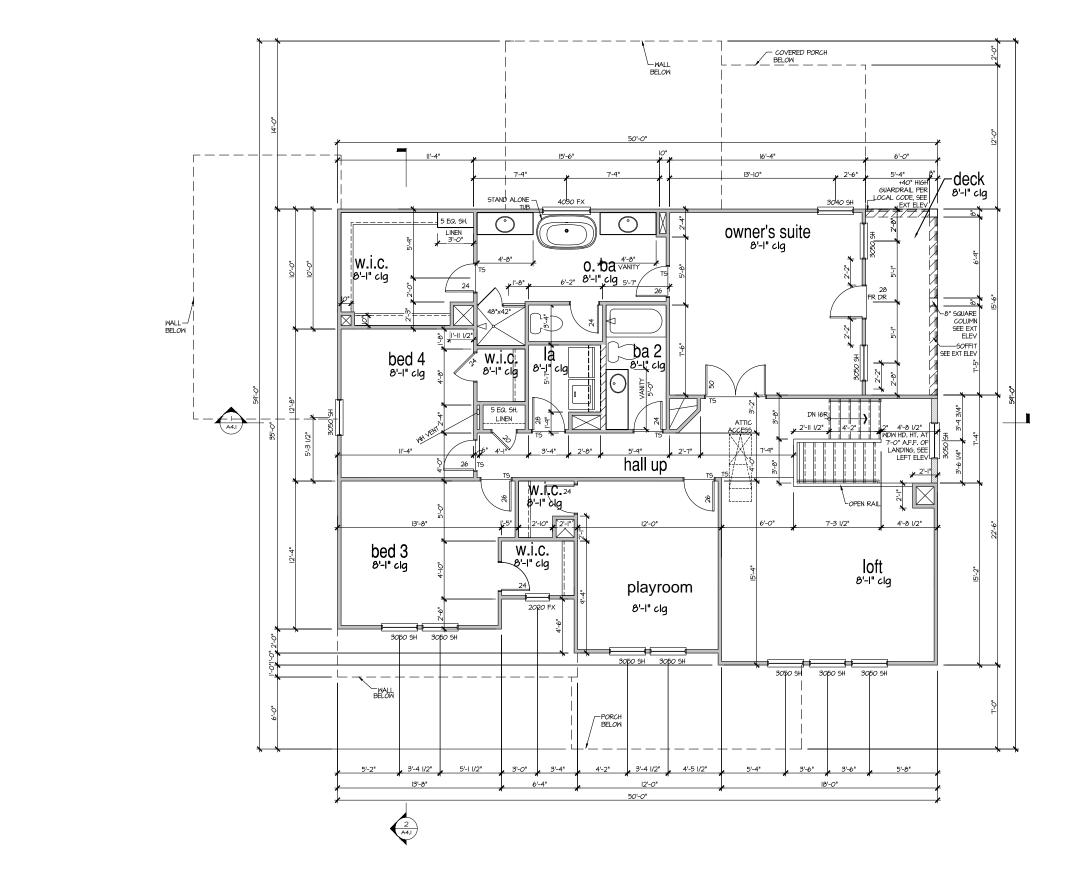


DATE: 02/21/2025 PLAN NO. 1635



SHEET No.

A3.



ELEVATION 2 SECOND FLOOR PLAN SCALE: 1/8" = 1'-0"

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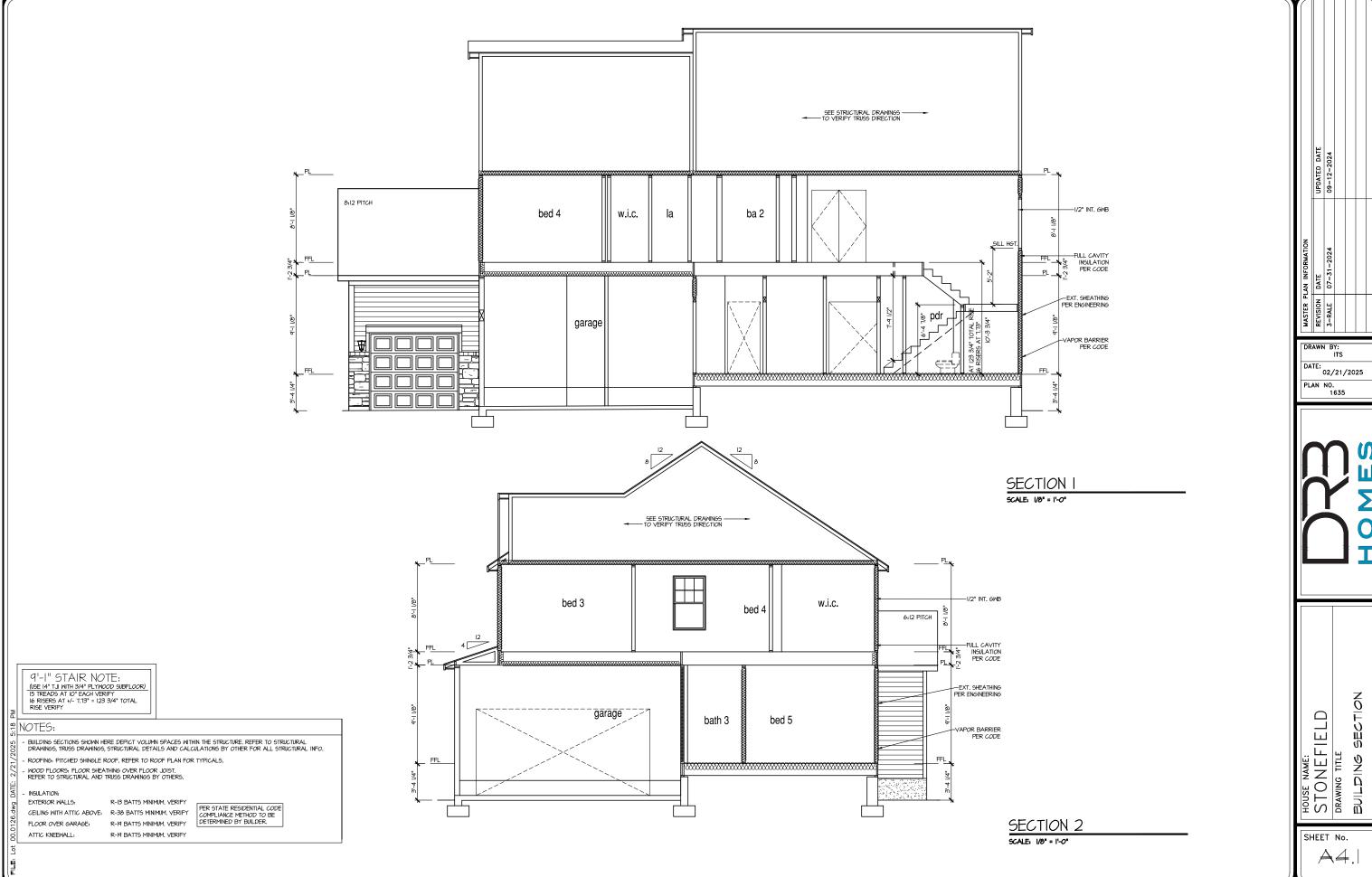
DATE: 02/21/2025 PLAN NO. 1635



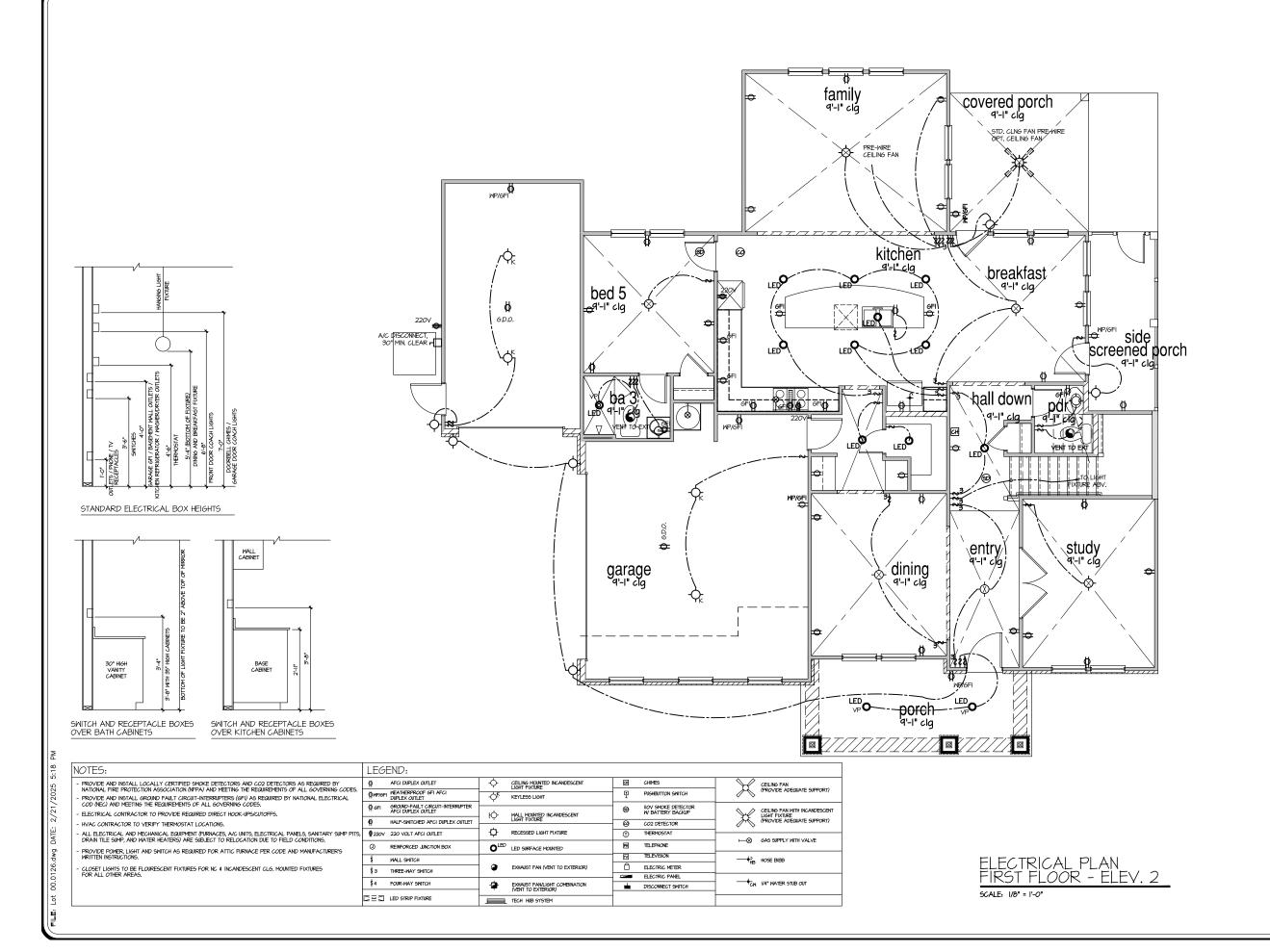
HOUSE NAME:
STONEFIELD
DRAWING TITLE
SECOND FLOOR 7 00 N

SHEET No.

A3.2







MASTER PLAN INFORMATION

REVISION DATE

3-RALE 07-31-2024 09-12-2024

DRAWN BY: ITS

DATE:
02/21/2025

PLAN NO.
1635

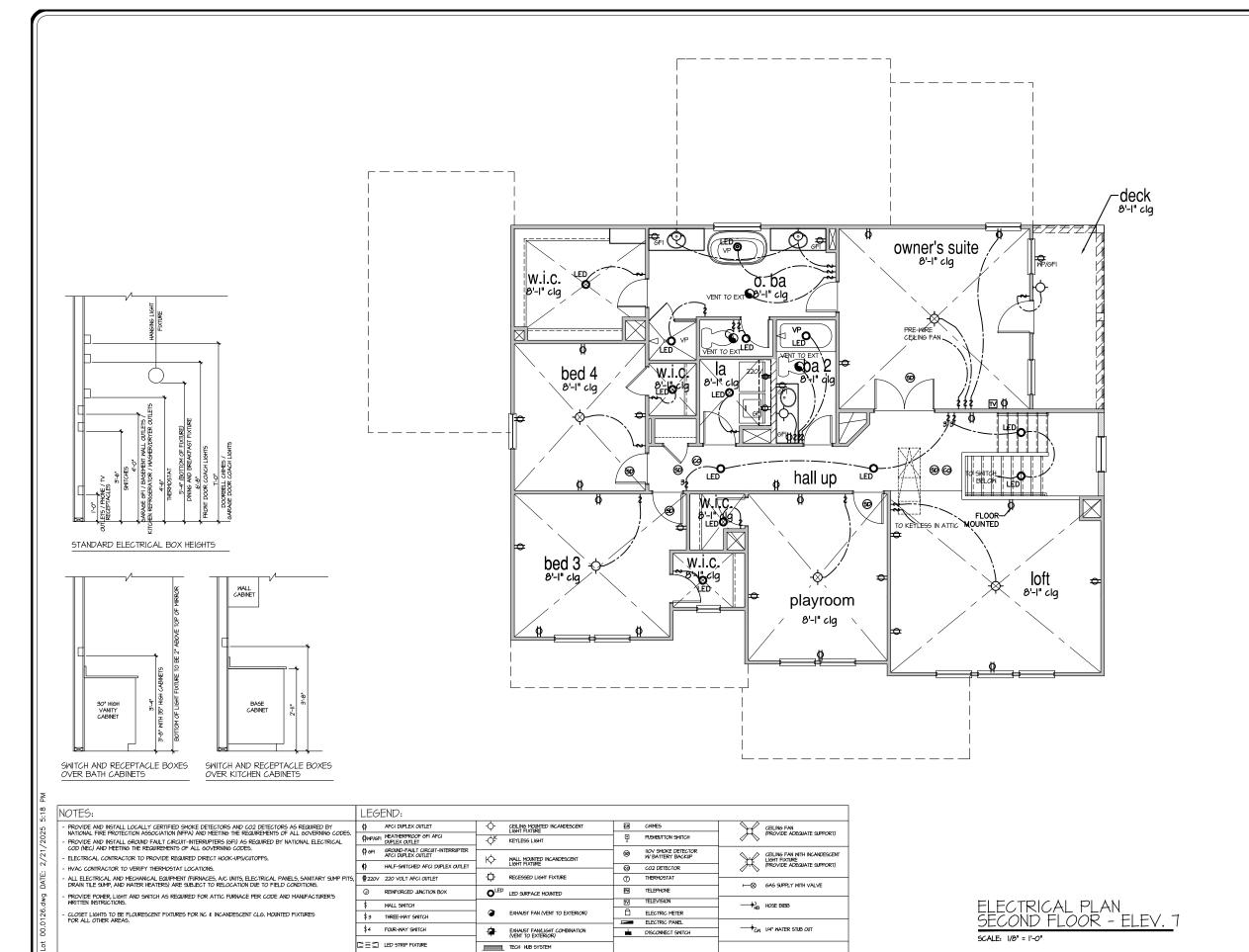


TLE FLOOR ELECTRICAL

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HOUSE NAME: STONEFIEL DRAWING TITLE

SHEET No.



DRAWN BY: ITS

DATE:
02/21/2025

PLAN NO.
1635



DRAWING TITLE SECOND FLOOR ELECTRICAL

HOUSE NAME:
STONEFIELE
DRAWING TITLE

SHEET No.

#### **FOUNDATION**

- DESIGN IS BASED ON 2018 NORTH CAROLINA STATE BUILDING CODE: RESIDENTIAL CODE.
- FOOTING DESIGN 2,000 PSF ALLOWABLE SOIL BEARING PRESSURE IS ASSUMED. BUILDER/CONTRACTOR MUST VERIFY.
- FASTEN 2x4/6 SILL PLATES TO FND WITH A MINIMUM OF 2 ANCHORS PER PLATE 12" MAX FROM PLATE ENDS - UTIL 17ING.
- I/2" DIA. ANCHOR BOLTS 6'-0" O.C, 7" MIN. EMBEDMENT
- (CONC.) 15" MIN EMBEDMENT (CMU) SIMPSON MASA ANCHOR STRAPS @ 6'-0" O.C. (CONC)
- SIMPSON MAB23 ANCHOR STRAPS @ 2'-8" O.C. (CMU)
- (REFER TO DETAILS FOR IO' TALL WALL ANCHOR REQUIREMENTS)
- ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT W CONCRETE OR CMU SHALL BE PRESERVATIVE TREATED SOUTHERN PINE #2.
- BUILDER TO VERIFY CORROSION-RESISTANCE COMPATIBILITY OF HARDWARE & FASTENERS IN CONTACT W/ PRESERVATIVE-TREATED WOOD, CONTACT LUMBER & HARDWARE SUPPLIERS TO COORD.
- BASEMENT INTERIOR BEARING WALLS & EXTERIOR WALK-OUT BASEMENT WALLS SHALL BE 2x6 @ 16" O.C. SPF OR SYP, "STUD" GRADE OR BETTER.
- CONCRETE DESIGN BASED ON ACL 318 CONCRETE SHALL ATTAIN THE FOLLOWING MIN. COMPRESSIVE STRENGTHS IN 28 DAYS, U.N.O.: 4,000 psi: ...... FOUNDATION WALLS
  - 2,500 psi: ...... FOOTINGS & INTERIOR SLABS ON GRADE 3,000 psi: ...... GARAGE & EXTERIOR SLABS ON GRADE 60,000 psi
- BASEMENT FOUNDATION WALL DESIGN BASED ON:
- . 9' OR IO' HEIGHT (AS NOTED ON PLANS)
- TALLER WALLS MUST BE ENGINEERED. NOMINAL WIDTH (9 ½" FOR 10" THICK WALL).
- BASEMENT WALL DESIGN IS BASED ON 60 PCF BACKFILL SOIL TYPE CLASSIFICATIONS (SC, ML-CL, OR CL).
- BASEMENT WALLS SHALL BE BRACED, PRIOR TO BACKFILLING, BY ADEQUATE TEMPORARY BRACING OR INSTALL ISt FLOOR DECK
- PROVIDE (2) #5 BARS AROUND ALL SIDES OF OPENINGS IN CONCRETE BSMT, FND, WALL WITH 2" CLEAR, REINFORCEMENT
- SHALL EXTEND 12" PAST CORNER OF OPENING IN ALL DIRECTIONS • FOR OPENINGS UP TO 36", PROVIDE MINIMUM IO" CONCRETE
- DEPTH OVER OPENING OR (3)2x10 w/ (2)2x6 JACK STUDS, U.N.O.
- LARGER OPENINGS SHALL BE PER PLAN.
- ALL CONCRETE EXPOSED TO THE WEATHER SHALL NOT HAVE LESS THAN 5% OR MORE THAN 7% AIR ENTRAINMENT
- ALL FOOTINGS SHALL BEAR AT LEAST 12" BELOW FINISH GRADE.
- FOOTINGS AND SLABS ON GRADE SHALL BEAR ON VIRGIN SOIL OR 95% COMPACTED FILL.
- PROVIDE CONTROL JOINTS AT ALL INSIDE CORNERS OF SLAB EDGES, AND OTHER LOCATIONS WHERE SLAB CRACKS ARE LIKELY TO DEVELOP
- . JOINTS SHALL BE LOCATED @ 10'-0" O.C. (RECOMMENDED) OR 15'-O" OC (MAXIMUM)
- · JOINT GRID PATTERN SHALL BE AS CLOSE TO SQUARES AS POSSIBLE (I.I RATIO), WITH A MAXIMUM OF 1.15 RATIO
- · CONTROL JOINTS SHALL NOT BE INSTALLED IN STRUCTURAL
- CONCRETE MASONRY UNITS (CMU) SHALL BE ASTM C90 WITH A MIN. COMPRESSIVE STRENGTH OF 1900 psi (Fm=1500 psi). MORTAR SHALL BE ASTM C270, TYPE S. CMU DESIGN PER ACI 530 & 530.I.
- CMU FOUNDATION WALLS SHALL HAVE 'DUR-O-WALL' HORIZONTAL JOINT REINFORCEMENT (OR EQUAL) - 9 GA. MINIMUM @ 16" O.C.
- PROVIDE 2x8 x 16" LONG P.T. PLATE ON TOP OF ALL CRAWL SPACE PIERS. ALL PIERS SHALL BE GROUTED SOLID.
- PROVIDE 2x6 P.T. PLATE ON INTERIOR CRAWL SPACE WALLS, FASTENED PER ANCHORAGE SPECIFICATION NOTED ABOVE.
- DIMENSIONS BY OTHERS, BUILDER TO VERIFY.
- BUILDER TO VERIFY THAT MODEL HAS BEEN ADEQUATELY TREATED BY A LICENSED AND BONDED PEST CONTROL COMPANY FO SUBTERRANEAN TERMITES. METHOD AND TYPE OF TREATMENT TO BE DETERMINED BY PEST CONTROL COMPANY.

#### GENERAL STRUCTURAL NOTES

- DESIGN IS BASED ON 2018 NORTH CAROLINA STATE BUILDING CODE RESIDENTIAL CODE.
- WOOD FRAME ENGINEERING IS BASED ON NDS. "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" - LATEST EDITION.

#### DESIGN LOADS: ROOF

DEAD = 7 PSF T.C., IO PSF B.C.

LOAD DURATION FACTOR = 1.25

LIVE = 40 PSF (30 PSF @ SLEEPING AREAS) DEAD = IO PSF (I-JOISTS & SOLID SAWN) IO PSF T.C., 5 PSF B.C. (TRUSSES) (ADD'L IO PSF @ TILE)

LATERAL 120 MPH, EXPOSURE B. SEISMIC A/B.

2,000 PSF ASSUMED ALLOWABLE BEARING RESSURE (TO BE VERIFIED BY BUILDER)

#### GENERAL FRAMING

- ALL TYP, NAIL FASTENER REQUIREMENTS ARE NOTED IN STANDARD DIAMETER AND LENGTH REQUIRED FOR CONNECTION, ALL HANGER NAILS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS FOR MAX CHARTED CAPACITY. NOTE: HANGERS USE COMMON NAIL DIAMETERS NOT TYPICAL FRAMING GUN NAILS.
- REFER TO FASTENING SCHEDULE TABLE R602.3(I) FOR ALL CONNECTIONS, TYP, U.N.O.
- EXT. & INT. BRG WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS, @ 16" O.C. SPF OR SYP "STUD" GRADE LUMBER, OR BETTER, U.N.O. • WALLS OVER 12' TALL SHALL BE PER PLAN.
- ALL HEADERS, BEAMS & OTHER STRUCTURAL MEMBERS SHALL BE SPRUCE-PINE-FIR #2 (SPF) OR SOUTHERN PINE #2 (SYP) LUMBER, OR BETTER (KILN-DRIED), ALL HEADERS HAVE BEEN DESIGNED BASED ON GALCULATED LOADS & SIZED ACCORDINGLY, CODE TABLES HAVE NOT BEEN USED.
- ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 2x 'STUD' GRADE MEMBERS SPACED @ 16" O.C. (MAX., U.N.O.) HEADERS IN NON-LOAD BEARING WALLS SHALL BE:
- (I)2x4/6 FLAT @ OPENINGS UP TO 4', (2)2x4/6 FLAT UP TO 8'. ALL FRAMING LUMBER SHALL BE DRIED TO 15% MC (KD-15).
- PENGINEERED LUMBER BEAMS TO MEET OR EXCEED THE FOLLOWING
- 'LSL' Fb=2325 psi; Fv=310 psi; E=1.55x10^6 psi • 'LVL' - Fb=2600 psi; Fv=285 psi; E=2.0x10^6 psi
- 'PSL' FB=2900 PSI; FV=290 PSI; E=2.0XI0^6 PSI
- M+K SHALL BE FULLY INDEMNIFIED FOR ANY AND ALL ISSUES RESULTING FROM OR RELATED TO ANY BUILDING COMPONENT IF THE OWNER DOES NOT SUBMIT THE COMPONENT SHOP DRAWINGS TO M+K FOR STRUCTURAL REVIEW PRIOR TO FABRICATION, DELIVERY, OR INSTALLATION.
- FOR 2 \$ 3 PLY BEAMS OF EQUAL WIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF 3"X0.120" NAILS ● 8" O/C OR 2 ROWS ½"X3½" SIMPSON SDS SCREWS (OR 3½" TRUSSLOK SCREWS) ● 16" O/C, USE A MINIMUM OF 3 ROWS FOR BEAM DEPTHS OF 14" OR GREATER APPLY FASTENING AT BOTH FACES FOR 3-PLY CONDITION. LOCATE TOP & BOTTOM NAILS/SCREWS 2" FROM EDGE. SOLID 3 1/5" OR 5 1/4" BEAMS ARE ACCEPTABLE. USE 2 ROWS OF NAILS FOR 2x6 \$ 2x8 MEMBERS.
- FOR 4 PLY BEAMS OF EQUAL WIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF 1/4"x6" SIMPSON SDS SCREWS (OR 6 3/4" TRUSSLOK SCREWS) @ 16" O/C. USE A MINIMUM OF 4 ROWS FOR BEAM DEPTHS OF I4" OR GREATER. APPLY FASTENING AT BOTH FACES (ONE SIDE ONLY FOR TRUSSLOK SCREWS). LOCATE TOP AND BOTTOM SCREWS 2" FROM EDGE, A SOLID 7" BEAM IS ACCEPTABLE.
- ALL HEADERS SHALL BE SUPPORTED BY (1)2x JACK STUD & (1)2x
- THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK STUDS REQUIRED, U.N.O..
- ALL MULTI-PLY STUDS TO BE FASTENED TOGETHER w/ 3"X0.131" NAILS @ 24" O.C. (MIN.), EACH PLY.
- PROVIDE SOLID BLOCKING IN FLOOR SYSTEM UNDER ALL POSTS CONTINUOUS TO FND, BEARING. BLOCKING TO MATCH POST ABOVE.
- FASTEN 2x WOOD PLATES TO TOP FLANGE OF STEEL BEAMS WITH P.A.F.'s ('HILTI' X-CF PINS OR EQUAL) • 16" O.C. STAGGERED, OR I/2" DIA. BOLTS @ 48" O.C. STAGGERED.
- ALL EXTERIOR 4x4 WOOD POSTS SHALL HAVE SIMPSON BCS2-2/4 CAP & ABM44Z BASE, U.N.O.

#### FLOOR FRAMING

- I-JOISTS/TRUSSES SHALL BE DESIGNED BY MANUF. TO MEET OR EXCEED 1 /480 LIVE LOAD DEELECTION CRITERIA (EXCLUDES MARBLE FLOORS - CONTACT M&K FOR MARBLE FLOOR DESIGNS)
- AT I-JOIST FLOORS, PROVIDE I 1/8" MIN, OSB RIM BOARD.
- METAL HANGERS SHALL BE SPECIFIED BY MANUFACTURER, U.N.O.
- FLOOR SHEATHING SHALL BE 23/32" A.P.A. RATED 'STURD-I-FLOOR 24" O.C. EXPOSURE I (OR APPROVED EQUAL) WITH TONGUE AND GROOVE EDGES. FASTEN TO FRAMING MEMBERS W GLUE AND
- · 2 ½" x 0.131" NAILS @ 6"ος, @ PANEL EDGES \$ @ 12"ος, FIELD.
- 2 3" × 0120" NAILS @ 4" OC @ PANEL EDGES & @ 8" OC FIELD · 2 🖁 × 0.113" NAILS 🛭 3" O.C. 🗗 PANEL EDGES 🛭 🗗 6" O.C. IN FIELD
- #6 x 2" MIN. SCREWS @ 6" O.C. @ PANEL EDGES & @ 12" O.C. FIELD

#### ROOF FRAMING

- BAY WINDOWS & SHED ROOFS (UP TO 6' SPAN) CAN BE 2x4 OR 2x6 RAFTERS & CEILING JOISTS @ 16/24" O.C.
- FASTEN EACH ROOF TRUSS TO TOP PLATE W SIMPSON H2.5T CLIP (OR APPROVED EQUAL) • ALL BEARING POINTS. PROVIDE (2) H2.5T CLIPS AT 2-PLY GIRDER TRUSSES, (3) H2.5T CLIPS AT 3-PLY GIRDER TRUSSES & ROOF BEAMS - AT ALL BEARING POINTS.
- METAL HANGERS SHALL BE SPECIFIED BY THE MANUFACTURER, U.N.
- ERECT AND INSTALL ROOF TRUSSES PER WTCA & TPI'S BCSI I-08 "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING & BRACING OF METAL PLATE CONNECTED WOOD TRUSSES."
- SUPPORT PORCH & SHORT SPAN ROOF TRUSSES (MAX 7' SPAN) W 2x4 LEDGER FASTENED TO:
  - RIM BOARD w/ (2) 3"x0.131" NAILS @ 16" O.C. MAX. (1-JOISTS) - TRUSS VERTICALS w/ (3) 3"x0.131" NAILS @ 19.2" O.C. MAX.
- ROOF SHEATHING SHALL BE 7/16" A.P.A. RATED SHEATHING 24/16 EXPOSURE I (OR APPROVED EQUAL). FASTEN TO FRAMING MEMBERS
- · w/ 2 1 x 0.131" NAILS @ 6"04. @ PANEL EDGES & @ 12" 04. FIELD.
- W/ 2 🖁 × 0.120 NAILS @ 4"O.C. @ PANEL EDGES & @ 8" O.C. FIELD. - W 2 3 × 0.113 NAILS @ 3 O.C. @ PANEL EDGES \$ @ 6" O.C. FIELD.

#### HOLD-DOWN SCHEDULE

SYMBOL	SPECIFICATION
► HD-I	SIMPSON HTT4 HOLD-DOWN * (5/6" DIA. ANCHOR)
► HD-2	SIMPSON MSTC66 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.) -OR- MSTC66B3 ALTERNATE
<b>▶</b> HD-3	SIMPSON STHDI4/STHDI4RJ

\* UTIL 17F THE 95TB24 ANCHOR BOLT & ALL MONOSI AB & INTERIOR RAISED SLAB (I.E. THICKENED SLABS, FOOTINGS) CONDITIONS. MINIMUM 24" MIN. FOOTING THICKNESS REQUIRED.

POXY-SET ALTERNATE FOR MONOSLAB & INTERIOR RAISED SLAB CONDITIONS ONLY: UTILIZE SIMPSON 'SET' EPOXY SYSTEM TO FASTE HREADED ROD INTO CONCRETE FOUNDATION, PROVIDE IO" (FOR 5/8" DIA.) OR 15" (FOR 1/8" DIA.) MIN. EMBEDMENT INTO CONCRETE. DO NOT LOCATE ANCHORS WITHIN I 3/4" OF EDGE OF CONCRETE.

#### LEGEND

- IIIIII INTERIOR BEARING WALL
- □□□□□ BEARING WALL ABOVE
- ■ ■ BEAM / HEADER
- = = INDICATES SHEAR WALL & EXTENT
- EXTENT OF OVERFRAMING
- \* INDICATES POST ABOVE, PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

#### NON-BEARING HEADER SCHEDULE

SPAN 2x4 NON-BEARING PARTITION WALL		2x6 NON-BEARING PARTITION WALL
UP TO 3'-0"	(I)2x4 FLAT	(I)2x6 FLAT
UP TO 6'-0"	(2)2x4	(3)2×4
UP TO 8'-0"	(2)2x6	(3)2×6
UP TO 12'-0"	(2)2x8	(3)2x8

• ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 2x 'STUD' GRADE MEMBERS SPACED @ 24" O.C. (MAX.)

#### LATERAL BRACING & SHEAR WALL SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM: <u>20 MPH WIND IN 2018 NCSBC:RC</u> (120 MPH WIND SPEED IN ASCE 7-10 WIND MAP, PER IRC R301.2.1.1)

EXP. B, RISK CAT. 2 & SEISMIC CAT. A/B.

THE DESIGN WAS COMPLETED PER 2015 IBC (SECTION 1609) & ASCE 7-10, AS PERMITTED BY R30LL3 OF THE 2018 NOSBC:RC, OR THE SIMPLIFIED PRESCRIPTIVE PROCEDURE IN ACCORDANCE WITH THE 2015 IRC IF THE PARAMETERS OF SECTION R60212 COMPLY CCORDINGLY, THIS MODEL, AS DOCUMENTED AND DETAILED HEREWITHIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES.

DESIGN WIND UPLIFT LOADS HAVE BEEN CALCULATED UTILIZING ASCE 7-10 (ACCEPTED ENGINEERING PRACTICE) AS ALLOWED PER 2018 NCSBC:RC SECTION R802.II.I.I. THIS MODEL HAS BEEN DETAILED WHERE REQUIRED & ENGINEERED TO RESIST THE WIND UPLIFT LOAD PATH PER SECTIONS R602.3.5& R802.II.

#### EXT. WALL SHEATHING SPECIFICATION

- 7/16" OSB OR 15/32" PLYWOOD: FASTEN SHEATHING w/ 2 %"x0.II3" NAILS @ 6" O.C. AT EDGES & @ 12" O.C. IN THE PANEL FIELD. TYP, U.N.C
- HORIZONTAL BLOCKING OF EXT. WALL/SHEAR WALL PANEL EDGES IS <u>NOT</u> REQUIRED BY THIS DESIGN EXCEPT FOR THOSE AREAS SPECIFICALLY NOTED.
- ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED AND ARE CONSIDERED SHEAR WALLS.
- ALT. STAPLE CONNECTION SPEC: 1½" 16 GA STAPLES (1/4" CROWN) @ 3" O.C. AT EDGES \$ @ 6" O.C IN FIELD

#### BLOCKED PANEL EDGES

AT DESIGNATED AREAS - FASTEN SHEATHING w/ 2 3/4" x 0.113" NAILS @ 6" O.C. AT ALL PANEL EDGES AND 12" O.C. IN THE PANEL FIELD OR 1 34" 16 GA STAPLES (1/6" CROWN) @ 3" O.C. AT EDGES & @ 6" O.C IN FIELD. ALL SHEATHING PANELS SHALL BE ORIENTED AND INSTALLED FULL HEIGHT OF SHEAR WALL OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES & EDGE FASTENING.

#### 3" O.C. EDGE NAILING

AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING w/ 8d NAII S @ 3" O.C. NO STAPI F AI TERNATIVE AVAILABLE AT THIS SPEC. ALL SHEATHING PANELS SHALL BE ORIENTED AND INSTALLED FULL HEIGHT OF SHEAR WALL OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. EDGE FASTENING

#### **NOTES**

- SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING, IF IT WILL BE SPECIFICALLY NOTED ON PLAN.
- DESIGN ASSUMES 16" O.C MAX. STUD SPACING, U.N.O. ALL STRUCTURAL PANELS ARE TO BE DIRECTLY
- APPLIED TO STUD FRAMING. PRE-MANUFACTURED PANELIZED WALLS:
- FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED W/ OSB OR PLYWOOD w/ 3" x 0.120" NAILS @ 4" O.C. (THRU ONE SIDE ONLY)
- INDICATES EXTENT OF INT. OSB SHEARWALL OR 3" O.C. OSB SHEARWALL.
  - INDICATES HOLDOWN BELOW

BEAM NUMBER	LVL OPTION	PSL OPTION	LSL OPTION	FLITCH OPTION	STEEL OPTION
001	(2)134"×16" - D	3½"x16" - D	N/A	(2)2xl2 + (l) %"xl以" STEEL FLITCH PLATES - D	WI2xI4 - D
002	(2)134"x1136" - D	3½"xll½" - D	(3)134"x1136" - D	(2)2x12 + (1) ¼"x11¼" STEEL FLITCH PLATES - D	WI2xI4 - D
003	(2)19/4"×14" - F	3½"x 4" - F	(2)19/4"×14" - F	(2)2xi2 + (i) ¼"xil¼" Steel Flitch Plates - F	WI2xI4 - F
004	(2)13/4"×14" - F	3½"x 4" - F	(3)13/4"×14" - F	(2)2xi2 + (i) %"xi以" STEEL FLITCH PLATES - F	WI2xI4 - F
005	(3)19¼"×18" - FT	5¼"xl8" - FT	N/A	(3)2xi2 + (2) %"xil4" STEEL FLITCH PLATES - F	WI2×26 - F
006	(3)194"×18" - FT	5¼"xið" - FT	N/A	(3)2xl2 + (2) %"xll4" STEEL FLITCH PLATES - F	WI2x26 - F
001	(2)13/4"×14" - F	3½"x 4" - F	(2)i¾"xi4" - F	(2)2xi2 + (i) ¼"xil¼" Steel Flitch Plates - F	WI2xI4 - F
800	(2)13/4"×14" - F	3½"x 4" - F	(2)i¾"xi4" - F	(2)2xi2 + (i) ¼"xil¼" Steel Flitch Plates - F	WI2xI4 - F
P00	(2)194"×94" - D	3½"x9¼" - D	(2)134"×944" - D	(2)2x10 + (1) ¼"x4¼" STEEL FLITCH PLATES - D	WI0x12 - D
010	(2)19/4"×16" - H	3½"x16" - H	(3)19/4"×16" - H	(3)2xi2 + (2) ½"xi以" STEEL FLITCH PLATES - H	N/A
OII	(2)134"x1136" - D	3½"xll⅓" - D	(3)134"x1116" - D	(2)2xi2 + (i) ¼"xil¼" Steel Flitch Plates - D	WI2xI4 - D
012	(3)134"x16" - D	5¼"x16" - D	(4)13/4"x16" - D	(3)2xl2 + (2) ½"xll½" STEEL FLITCH PLATES - D	WI2x19 - D

(3)13/4"x113/4" - D

(3)134"x1136" - D

(3)13/4"x117/4" - F

(2)2xl2 + (I) ¼"xll¼" STEEL FLITCH PLATES - D

2xi2 + (2) "%"xilk" stei Flitch plates - D

)2xl2 + (2) 以"xll以" STEE FLITCH PLATES - D

(2)2x12 + (1) 1/4"x11/4" STEE

WI2xI4 - D

WI2xI4 - D

WI2xI4 - F

ENGINEERED BEAM MATERIAL SCHEDULE

(2)134"x1136" - D

(2)134"x16" - E

(3)134"x1136" - D

(2)13/4"×117/4" - 1

013

014

015\*\*\*

016

- BEAM NOTATION:
   "F" INDICATES FLUSH BEAM
- "FT" INDICATES FLUSH TOP BEAM "FB" INDICATES FLUSH BOTTOM BEAM
- "D" INDICATES DROPPED BEAM

3%"xII%" - D

3½"x16" - D

N/A

3½"xII%" - F

- "H' INDICATES DROPPED OPENING HEADER REFER TO DETAIL D/SD2.0 FOR TYPICAL FLITCH BEAM CONNECTIONS REFER TO DETAIL E/SD2.0 FOR TYPICAL STEEL BEAM CONNECTIONS
- FOR FLUSH TOP BEAMS PROVIDE 2X STACKED PLATES BENEATH BEAM AS REQ'D. FASTEN PLATES IN SUCCESSION W/ (2) 3"X0.120" NAILS @ 8" O.C.
- FOR FLUSH BOTTOM BEAMS PROVIDE 2x STACKED PLATES ATOP BEAM AS REQ'D. FASTEN PLATES IN SUCCESSION w/ (2) 3"x0.120" NAILS @ 8" O.C.

### \*\*\* - SEE PLAN FOR EXTENT OF 3-PLY BEAM

#### ADDITIONAL NOTES FOR TRUSS & I-JOIST MANUFACTURER

ROOF TRUSS, FLOOR TRUSS AND ENGINEERED JOISTS SHALL BE DESIGNED TO MEET TH DIFFERENTIAL DEFLECTION CRITERIA BELOW, UNLESS NOTED OTHERWISE ON PLAN.

TRUSSES/JOISTS SHALL BE DESIGNED SO THAT DIFFERENTIAL DEFLECTION BETWEEN ADJACENT PARALLEL TRUSSES/JOISTS OR GIRDER TRUSSES/FLUS BEAMS DO NOT EXCEED THE FOLLOWING:

ROOF TRUSSES I/4" DEAD LOAD

- B. FLOOR TRUSSES, ATTIC TRUSSES, & I-JOISTS:
- FLOOR TRUSSES & ATTIC TRUSSES ADJACENT TO FLOOR FRAMING BY OTHERS LIMIT ABSOLUTE TRUSS DEFLECTION TO 3/16" DEAD LOAD. (NOT DIFFERENTIAL DEFLECTION)

OFESSIO ENGINE' SEPH T. R

H CAR

ERN+KUI STRUCTURAL ENGINEE



1&K project numbe 126-2306

rawn by: sue date: 03-03-2

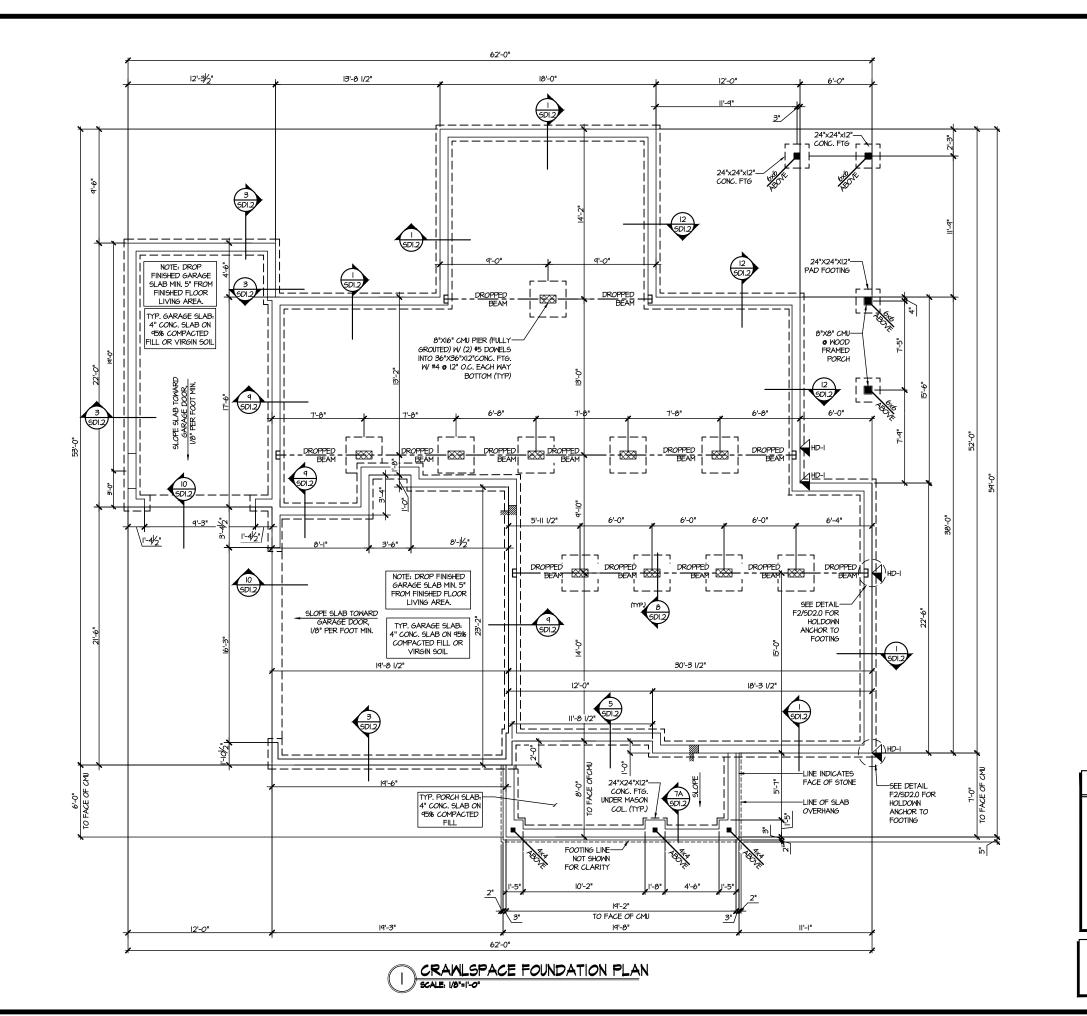
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POND CC STONEFIELD , NC AKE LOT 126 -Raleigh BL.



3/5/2 H CAR SEPH T. R

MUCHERN+KU

Y M&K project number 126-2306

drawn by: issue date: 03-03-25

initial:

BLAKE POND COMMUNIT Lot 126 - Stonefield 2 Raleigh, nc

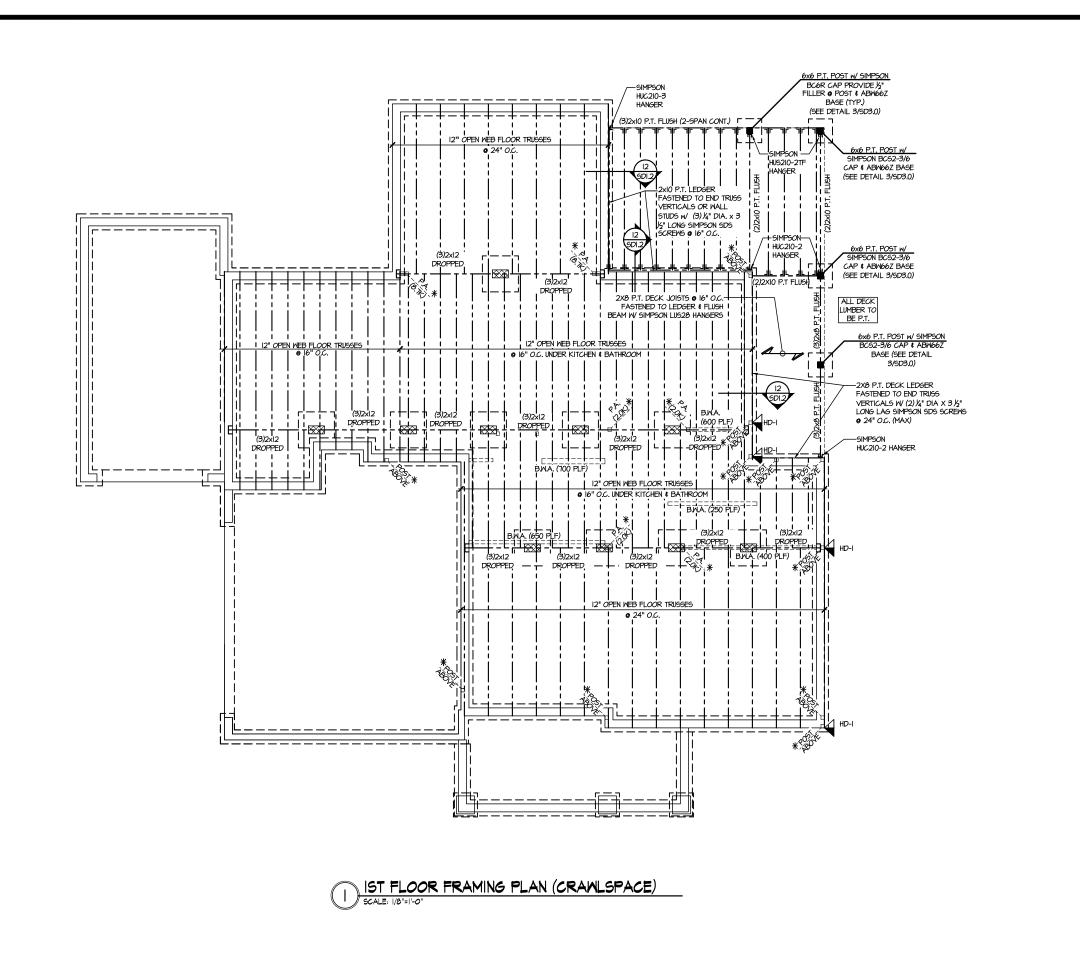
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### LEGEND

- IIIIIIII INTERIOR BEARING WALL
- □===□ BEARING WALL ABOVE
- BEAM / HEADER
- ■ INDICATES SHEAR WALL & EXTENT
- EXTENT OF OVERFRAMING
- JL METAL HANGER
- \* INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- INDICATES HOLD-DOWN OR STRAP.
  REFER TO SCHEDULE.

REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

S1



3/5/2 H CAR

MULHERN+KU

Y

M&K project number 126-2306

drawn by: issue date: 03-03-25

REVISIONS:

initial:

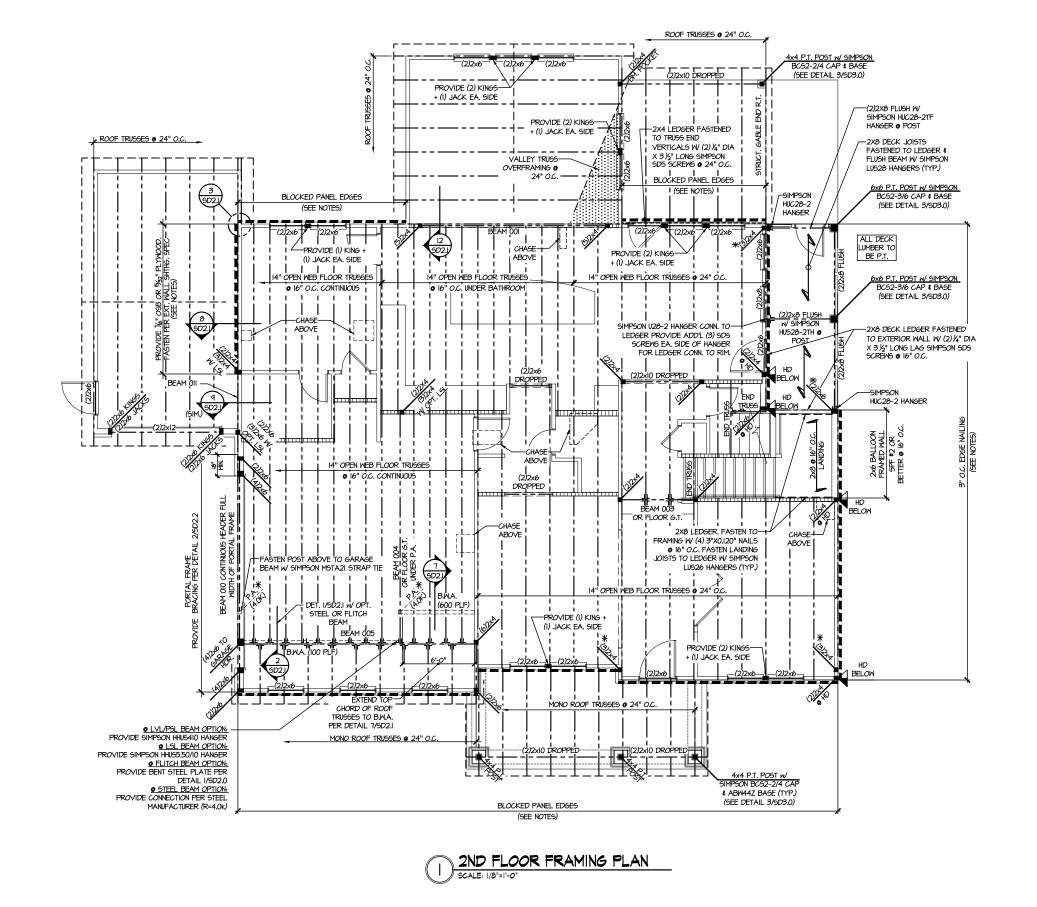
BLAKE POND COMMUNIT' Lot 126 – Stonefield 2 Raleigh, nc

OOR

#### LEGEND

- INTERIOR BEARING WALL
- □===□ BEARING WALL ABOVE
- BEAM / HEADER
- = = INDICATES SHEAR WALL & EXTENT
- EXTENT OF OVERFRAMING
- JL METAL HANGER
- \* INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES & SCHEDULES



SD2.I REFERS TO SD2.IA FOR LVL/PSL/LSL BEAMS OR SD2.IB

#### LEGEND

FOR FLITCH BEAMS OR SD2.IC

FOR STEEL BEAMS

- INTERIOR BEARING WALL
- □□□□□ BEARING WALL ABOVE
- ---- BEAM / HEADER
- = = INDICATES SHEAR WALL & EXTENT
- EXTENT OF OVERFRAMING
- \* INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

ENGINEERED BEAM MATERIAL SCHEDULE					
BEAM NUMBER	LVL OPTION	PSL OPTION	LSL OPTION	FLITCH OPTION	STEEL OPTION
001	(2)13/4"×16" - D	3½"x16" - D	N/A	(2)2xi2 + (i) %"xilk" STEEL FLITCH PLATES - D	WI2xI4 - D
002	(2)13/4"×117/6" - D	3½"xli¾" - D	(3)13/4"x117/6" - D	(2)2xl2 + (I) ¼"xll¼" STEEL FLITCH PLATES - D	WI2xI4 - D
003	(2)19/4"x14" - F	3½"x 4" - F	(2)19/4"x14" - F	(2)2xl2 + (I) ¼"xll¼" STEEL FLITCH PLATES - F	WI2xI4 - F
004	(2)19/4"×14" - F	3½"x 4" - F	(3)19/4"×14" - F	(2)2xl2 + (l) %"xl以" STEEL FLITCH PLATES - F	WI2xI4 - F
005	(3)1¾"×18" - FT	5¼"xl8" - FT	N/A	(3)2xi2 + (2) %"xil4" STEEL FLITCH PLATES - F	WI2x26 - F
006	(3)194"×18" - FT	5¼"xið" - FT	N/A	(3)2xi2 + (2) %"xil4" STEEL FLITCH PLATES - F	WI2x26 - F
001	(2) 9/4"x 4" - F	3½"x 4" - F	(2) 9/4"x 4" - F	(2)2xl2 + (I) ¼"xll¼" STEEL FLITCH PLATES - F	WI2xI4 - F
000	(2)13/4"x14" - F	3½"x 4" - F	(2)13/4"x14" - F	(2)2xl2 + (l) ¼"xli¼" STEEL FLITCH PLATES - F	WI2xI4 - F
004	(2)134"×94" - D	3½"x9¼" - D	(2)134"x94" - D	(2)2xl0 + (1) ¼"x9¼" STEEL FLITCH PLATES - D	WI0x12 - D
010	(2)13/4"×16" - H	3½"x16" - H	(3)1 <sup>3</sup> / <sub>4</sub> "x16" - H	(3)2xi2 + (2)片"xi以" STEEL FLITCH PLATES - H	N/A
OII	(2)1¾"x11%" - D	3½"x11½" - D	(3)1¾"x11¾" - D	(2)2xl2 + (I) ¼"xll¼" STEEL FLITCH PLATES - D	WI2xI4 - D
012	(3)134"×16" - D	5¼"x16" - D	(4)134"×16" - D	(3)2xi2 + (2)片"xiK" STEEL FLITCH PLATES - D	W12x19 - D
013	(2)134"x1136" - D	3½"xll⅓" - D	(3)13/4"x111/6" - D	(2)2xl2 + (l) ¼"xll¼" STEEL FLITCH PLATES - D	WI2xI4 - D
014	(2)13/4"×16" - D	3½"x16" - D	(3)13/4"×16" - D	(3)2x12 + (2) %"xII¼" STEEL FLITCH PLATES - D	WI2xI4 - D
015***	(3)13/4"x111/6" - D	N/A	(3)134"x1136" - D	(3)2xl2 + (2) 以"xl以" STEEL FLITCH PLATES - D	WI2xI4 - D
016	(2)13¼"x113½" - F	3½"xII%" - F	(3)1¾"x11¾" - F	(2)2xl2 + (I) ¼"xll¼" STEEL FLITCH PLATES - F	WI2xI4 - F

- BEAM NOTATION:
   "F" INDICATES FLUSH BEAM
   "FT" INDICATES FLUSH TOP BEAM
- "FB" INDICATES FLUSH BOTTOM BEAM
- "D" INDICATES DROPPED BEAM "H" INDICATES DROPPED OPENING HEADER
- REFER TO DETAIL D/SD20 FOR TYPICAL FLITCH BEAM CONNECTIONS
  REFER TO DETAIL E/SD20 FOR TYPICAL STEEL BEAM CONNECTIONS
  FOR FLUSH TOP BEAMS PROVIDE 2X STACKED PLATES BENEATH BEAM AS REQ'D. FASTEN
- PLATES IN SUCCESSION W/ (2) 3"X0.120" NAILS @ 8" O.C.
- FOR FLUSH BOTTOM BEAMS PROVIDE 2x STACKED PLATES ATOP BEAM AS REQ'D. FASTEN PLATES IN SUCCESSION w/ (2) 3"XO.120" NAILS 8" O.C.
- \*\*\* SEE PLAN FOR EXTENT OF 3-PLY BEAM

3/5/2 H CAR ERN+KUL STRUCTURAL ENGINEER

MULH 6 Y

M&K project number: 126-2306

sue date: 03-03-2 REVISIONS

initial:

PLANS

BLAKE POND COMMUNIT Lot 126 - Stonefield 2 Raleigh, nc

MUCHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERING

Y

M&K project number: 126-2306

drawn by: issue date: 03-03-25

REVISIONS:

initial:

BLAKE POND COMMUNITY Lot 126 - Stonefield 2 Raleigh, nc

OOF

 INTERIOR BEARING WALL □===□ BEARING WALL ABOVE

• ---- BEAM / HEADER

• = = INDICATES SHEAR WALL & EXTENT

LEGEND

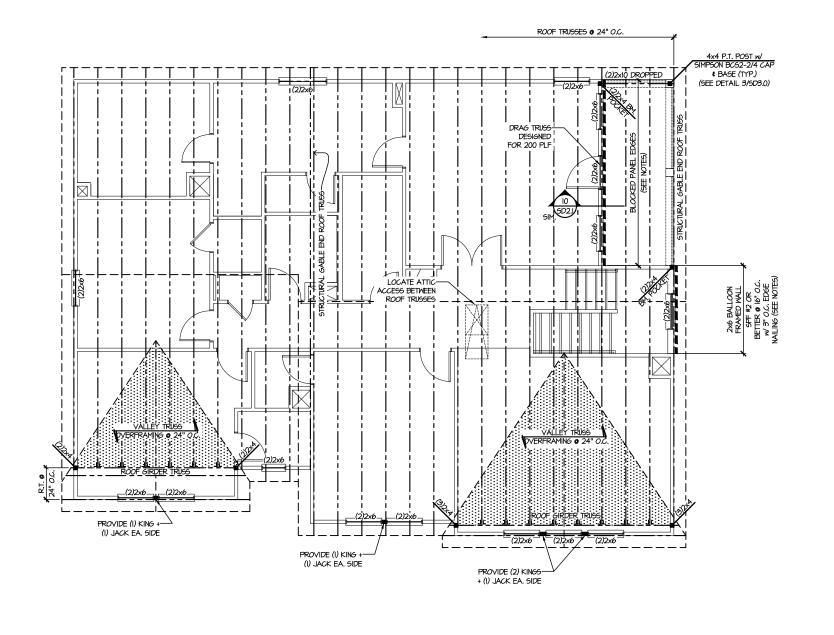
• EXTENT OF OVERFRAMING

JL METAL HANGER

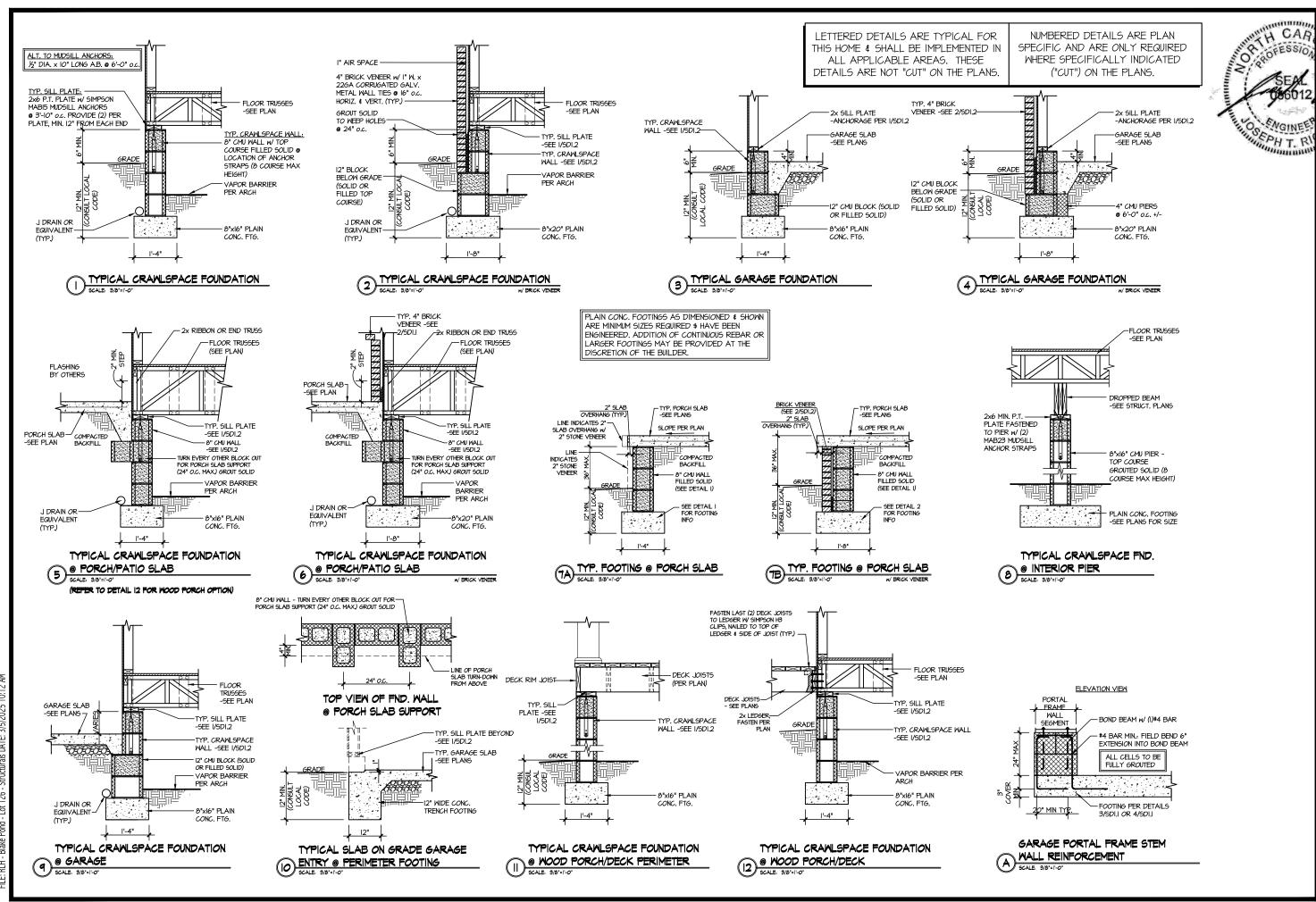
\* INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES # SCHEDULES



ROOF FRAMING PLAN



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M&K project number: 126-23061

project mgr: JTR drawn by: KJN issue date: 03-03-25

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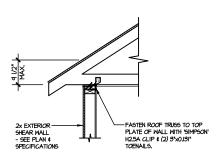
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ION DETAILS
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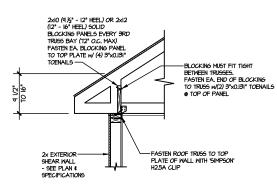
BLAKE POND COM LOT 126 - STONEFIELD 2 RALEIGH, NC

SD1.2

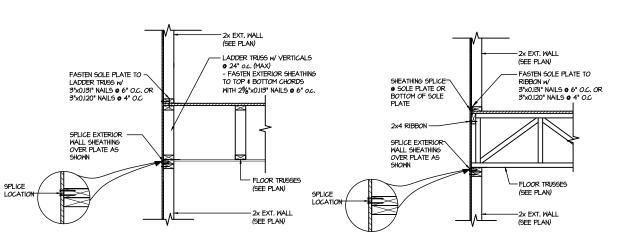




# TYPICAL SHEAR TRANSFER DETAIL @ ROOF SCALE: 9/0'=1'-0' HEEL HEIGHT LESS THAN 9/3' NO BLOCKING REOD



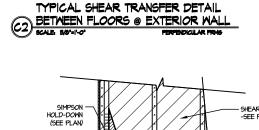
# TYPICAL SHEAR TRANSFER DETAIL @ ROOF SCALE: 3/6"=1"-0" HEEL HEIGHT BETWEEN 9 1/2" - 16" BLOCKING READ

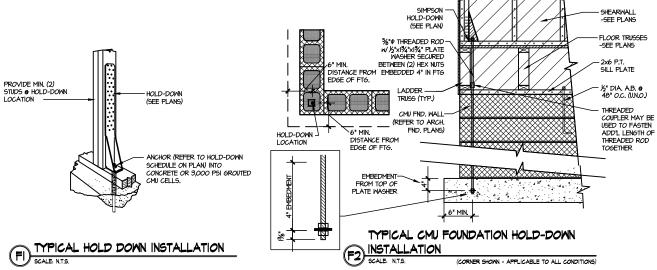


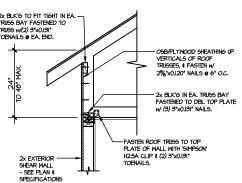
TYPICAL SHEAR TRANSFER DETAIL

BETWEEN FLOORS @ EXTERIOR WALL

SCALE SID"-1"-O" FARALLE FRED



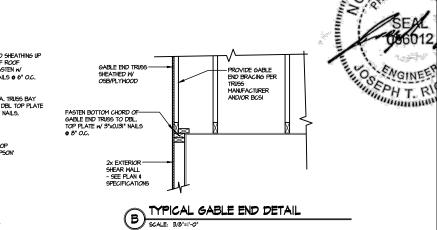


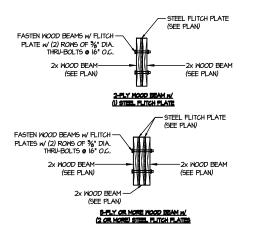


TYPICAL SHEAR TRANSFER

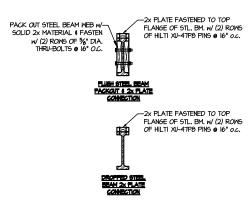
DETAIL @ RAISED HEEL TRUSS

SCALE: 3/0'=1'-0' HEEL HEIGHT UP TO 40' MAX





TYPICAL FLITCH BEAM CONNECTION DETAIL
SCALE 9/4\*11-0\*



TYPICAL STEEL BEAM CONNECTION DETAIL SCALE 9/4"-1"-0"

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS. FRAMING DETAILS
BLAKE POND COMMUNITY
LOT 126 - STONEFIELD 2
RALEIGH, NC

3/5/2

MULHERN+KU
RESIDENTIAL STRUCTURAL ENSINE!

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M&K project number: 126-2306

ssue date: 03-03-2

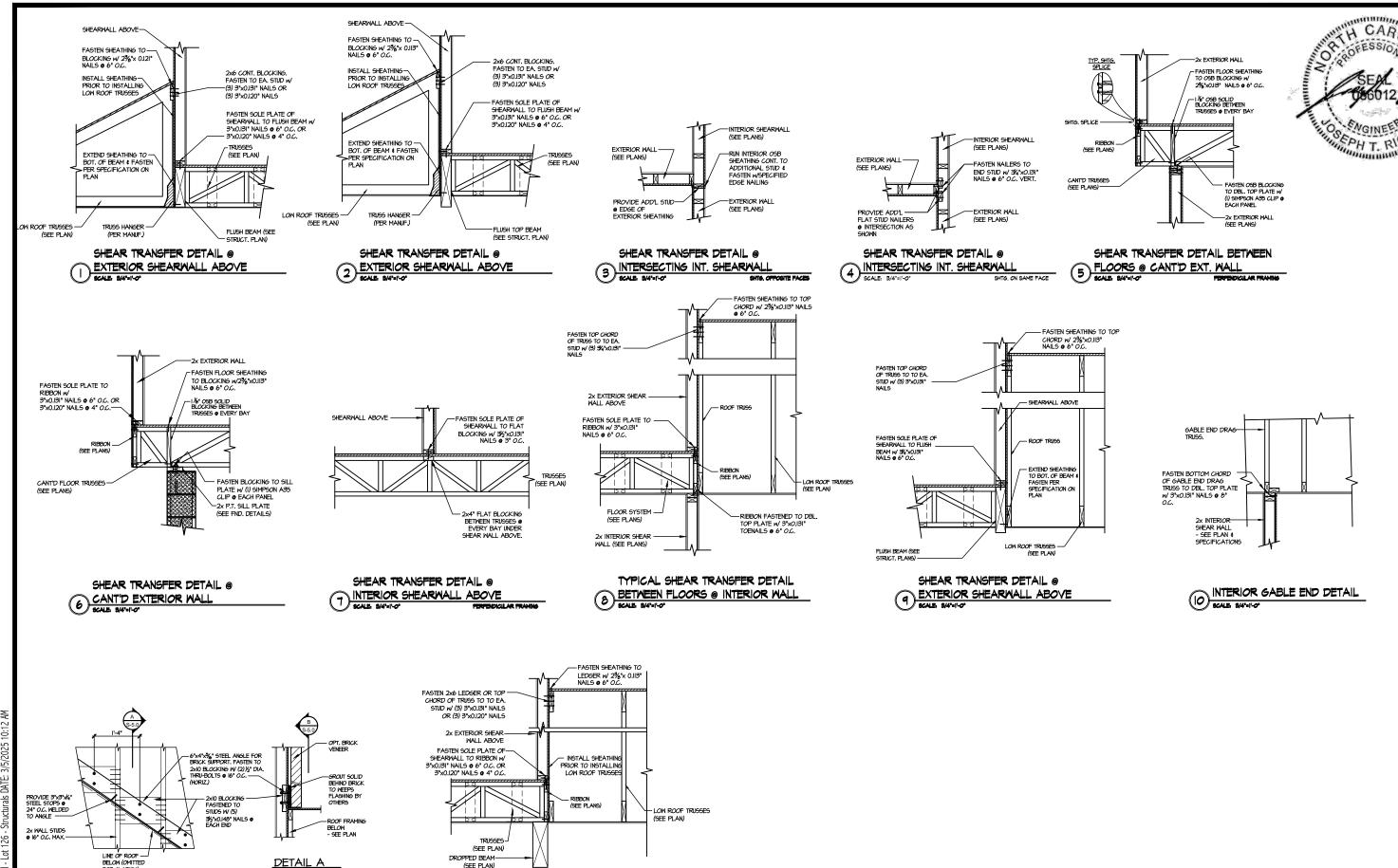
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REVISIONS

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sheet:



TYPICAL SHEAR TRANSFER DETAIL

BETWEEN FLOORS @ INTERIOR WALL

FOR CLARITY)

DETAIL B

DETAIL SUPPORT OF BRICK VENEER

SD2.1A

BLAKE LOT 126 -Raleigh

COMMUNITY

POND COI

ETAIL

3/5/2

ERN+KUI

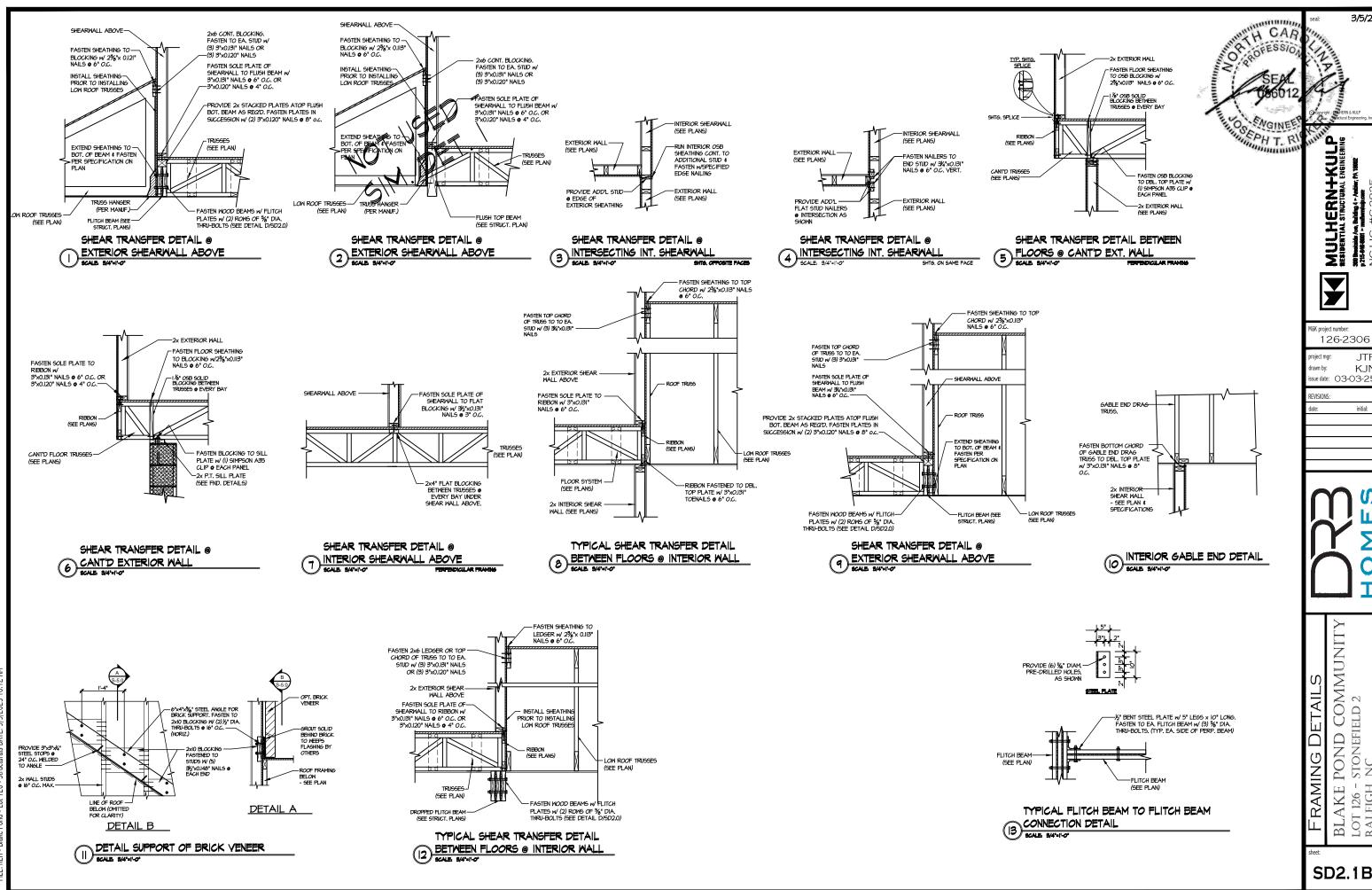
M&K project number: 126-2306

ssue date: 03-03-2

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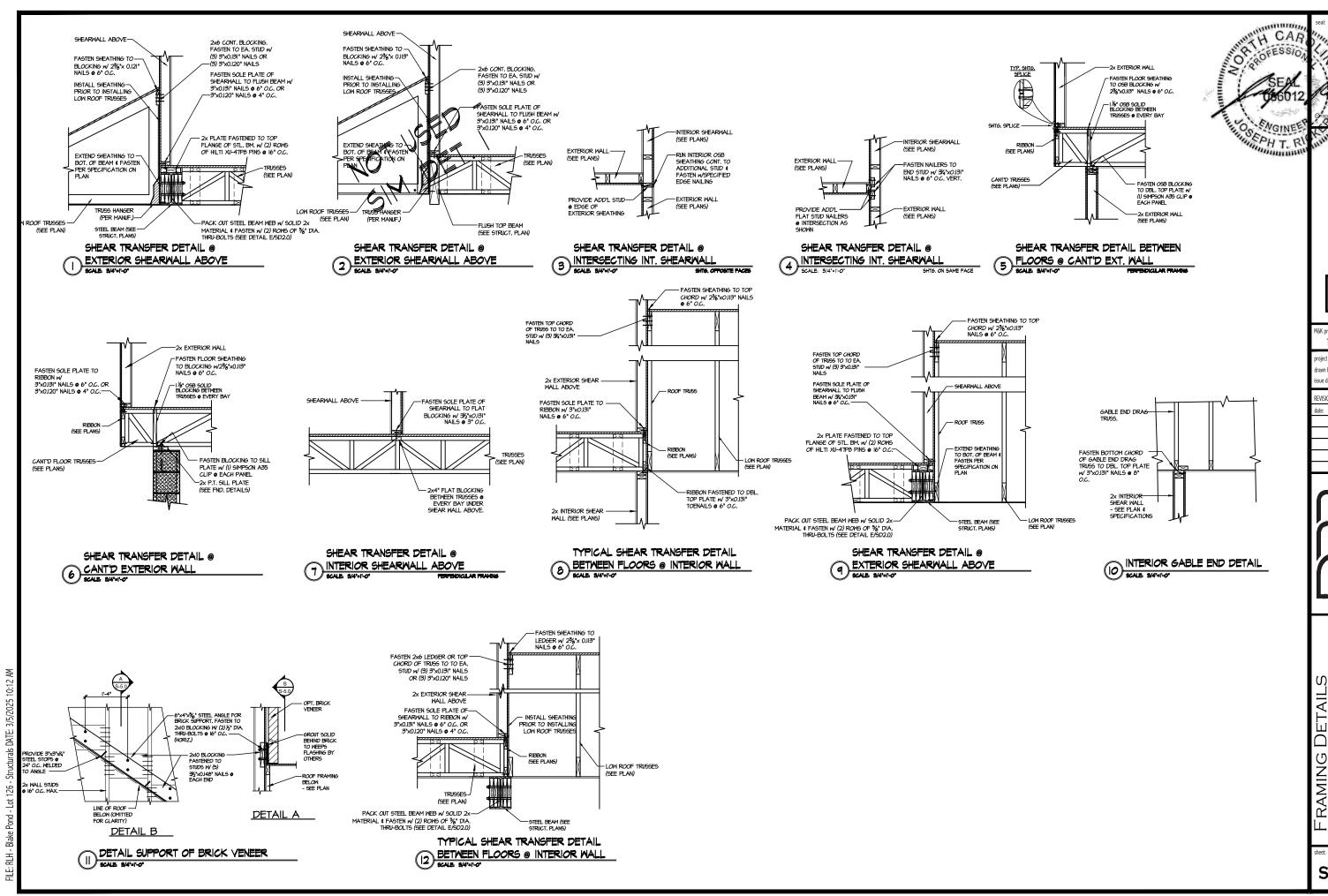
3/5/2

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COMMUNITY IELD 2

POND COP - STONEFIELD 21, NC

BLAKE ] LOT 126 -Raleigh



ERN+KUI

3/5/2

M&K project number: 126-2306

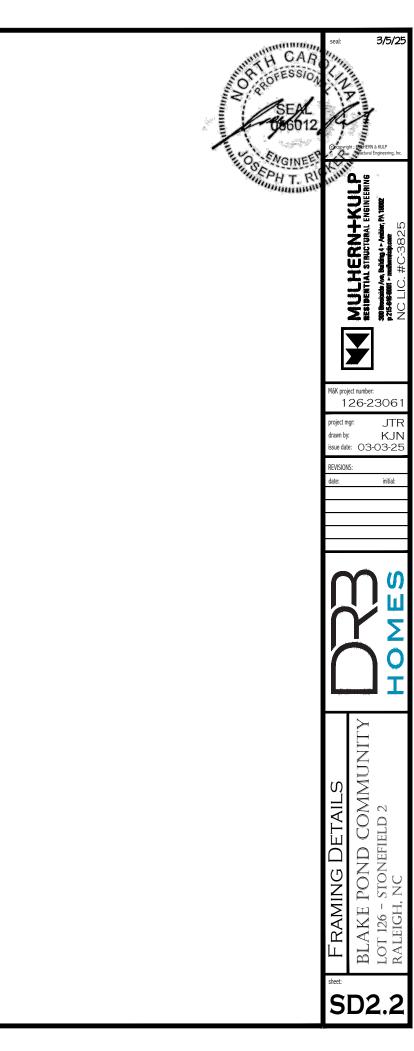
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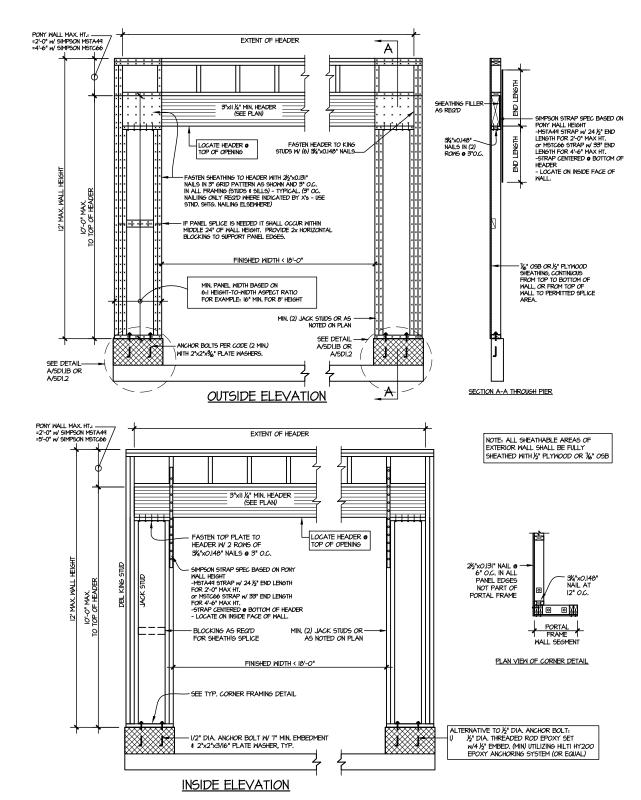
REVISIONS

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COMMUNITY IELD 2 POND COP - STONEFIELD 21, NC BLAKE ] LOT 126 -Raleigh

SD2.1C



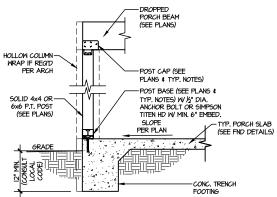


TWO SIDED GARAGE PORTAL FRAME BRACING ELEVATION ON CMU STEM 2 ELEVAT SCALE: N.T.S.



SEE BELOW FOR TOP OF POST CONN'N SOLID 4x4 OR — 6x6 P.T. POST (SEE PLANS) — POST BASE (SEE PLANS & TYP. NOTES) — DROPPED PORCH BEAM (SEE PLANS) HOLLOW COLUMN — WRAP IF REQ'D PER ARCH 

### TYPICAL CONNECTION DETAIL & 2nd FLOOR DECK



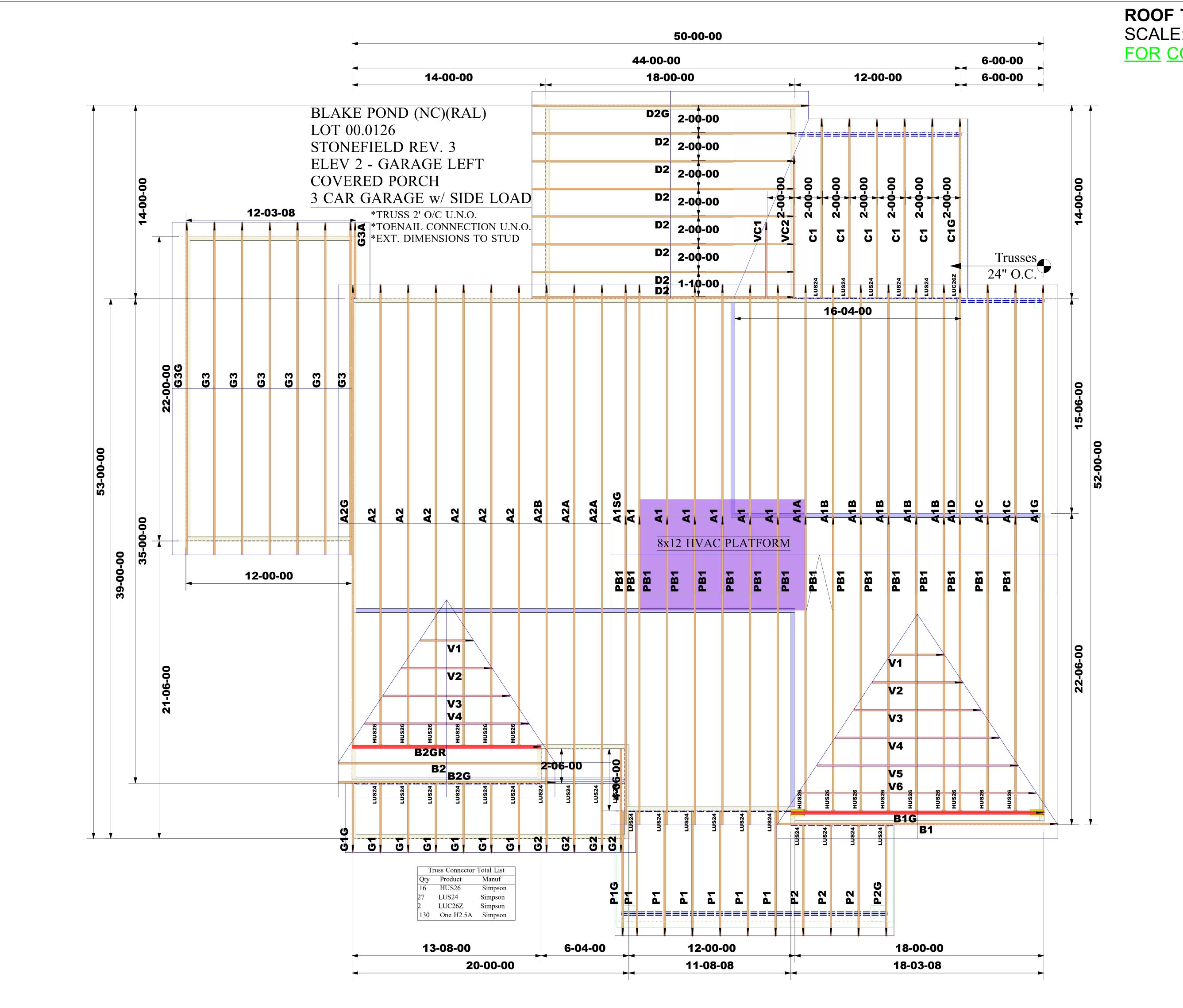
TYPICAL PORCH
POST CONNECTION DETAIL SLAB ON GRADE SHOWN (SIM. @ CRANL & BSMT.) SCALE: NONE

126-23061 drawn by: issue date: 03-03-25 REVISIONS: initial:

Y

M&K project number:

BLAKE POND COMMUNITY Lot 126 - Stonefield 2 Raleigh, nc FRAMING DETAILS



**ROOF TRUSS LAYOUT** SCALE: NTS

FOR CONSTRUCTION

Structural, LLC 201 Poplar Avenue Thurmont, MD 21788 Phone: 301-271-7591

Roof 26 00.01 Lot Raleigh Pond Blake 26 00.01

Stonefield

Model Name:



NOTE:

ot

IT IS THE RESPONSIBILITY OF THE BUILDING DESIGNER OR ARCHITECT TO PROVIDE AN APPROPRIATE CONNECTION FOR FOR MECHANICAL EQUIPMENT AND/OR PLUMBING (AND THEIR CONNECTIONS) IN TRUSS SPACE MUST BE DIAGRAMMED BY BUILDER ON APPROVED TRUSS LAYOUT PRIOR TO

THIS COMPANY IS A TRUSS MANUFACTURER WHOSE RESPONSIBILITIES ARE LIMITED TO THOSE DESCRIBED IN WTCA 1-1995 "DESIGN RESPONSIBILITIES". ACCORDINGLY, IT DISCLAIMS ANY RESPONSIBILITIES AND/OR LIABILITY FOR TH CONSTRUCTION DESIGN, DRAWINGS, DOCUMENTS INCLUDING THE INSTALLATION, AND BRACING OF TRUSSES

**WARNING:** 

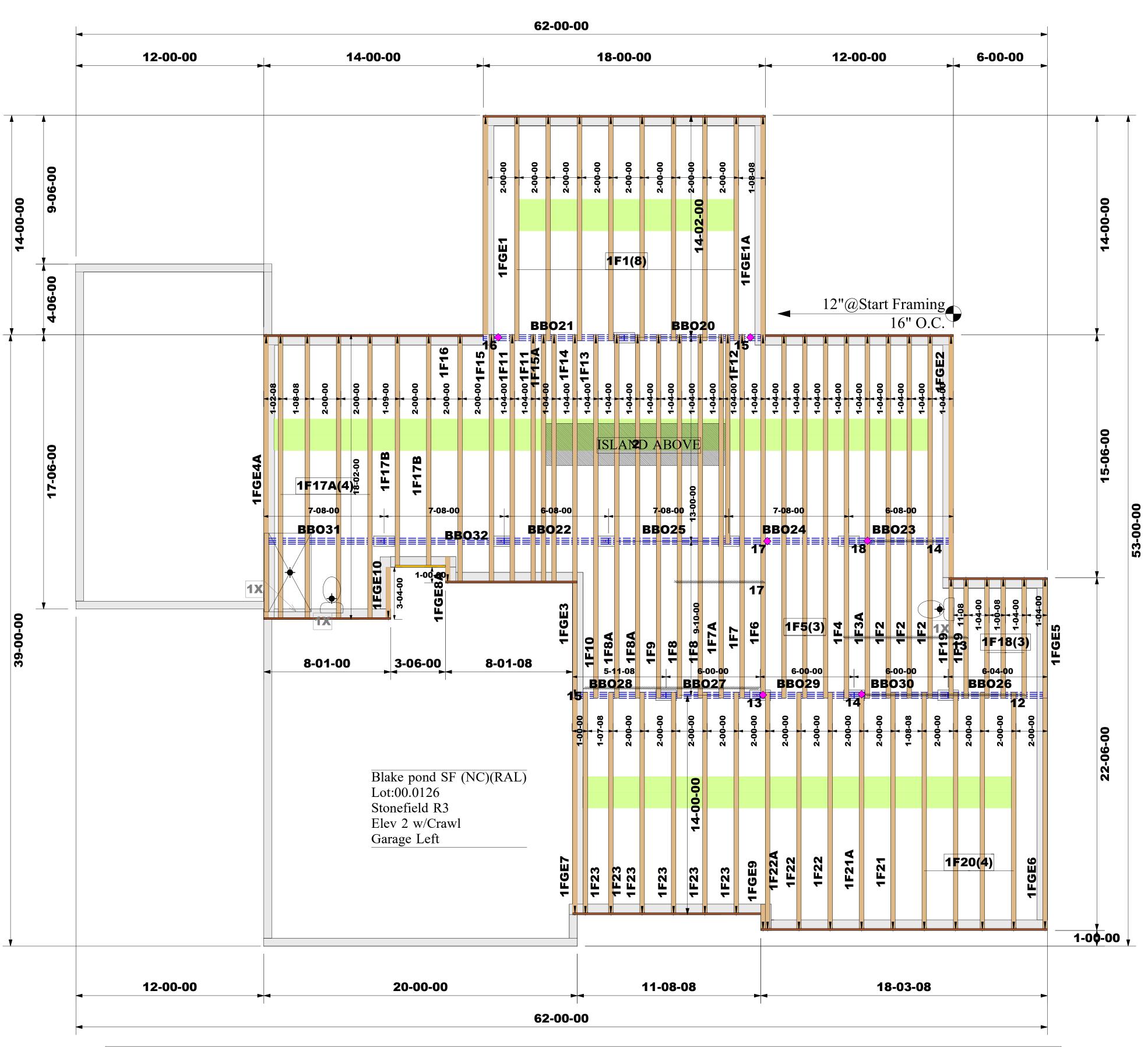
CONVENTIONAL FRAMING, ERECTION AND/OR PERMANENT BRACING IS NOT THE RESPONSIBILITY OF THE TRUSS CAUTIONED TO SEEK PROFESSIONAL ADVICE REGARDING TH **ERECTION BRACING WHICH IS ALWAYS REQUIRED TO PREVEN** TOPPLING AND DOMINOING DURING ERECTION; AND PERMANENT BRACING WHICH MAY BE REQUIRED IN SPECIFIC APPLICATIONS. SEE "BRACING WOOD TRUSSES COMMENTARY AND RECOMMENDATIONS" (BCSI 1) FOR FURTHER

TRUSSES SHALL BE INSTALLED IN A STRAIGHT AND PLUMB POSITION WHERE NO SHEATHING IS APPLIED DIRECTLY TO TOP SPCIFIED ON THE ENGINEERED DESIGN. TRUSSES SHALL BE HANDLED WITH REASONABLE CARE DURING ERECTION TO PREVENT DAMAGE OR PERSONAL INJURY.

2502-2480

**Beckett Tayler** 

Robbie Zarobinski



ELEV 2 BED 5/W BATH 3 AND GARAGE SIDELOAD W/3RD CAR

1ST FLOOR FRAMING

				_
Job #: <b>2502-2479</b>	WARNING:  CONVENTIONAL FRAMING, ERECTION AND/OR PERMANENT BRACING IS NOT THE RESPONSIBILITY OF THE TRUSS DESIGNER, PLATE MANUFACTURER, OR THE	NOTE:  IT IS THE RESPONSIBILITY OF THE BUILDING DESIGNER OR ARCHITECT TO PROVIDE AN APPROPRIATE CONNECTION FOR TRUSSES TO	Customer: DRB Raleigh	
	TRUSS DESIGNER, PLATE MANUFACTURER, OR THE TRUSS MANUFACTURER. PERSONS ERECTING TRUSSES ARE CAUTIONED TO SEEK PROFESSIONAL ADVICE REGARDING THE ERECTION BRACING WHICH IS ALWAYS REQUIRED TO PREVENT TOPPLING AND DOMINOING DURING ERECTION; AND PERMANENT BRACING WHICH MAY BE REQUIRED IN SPECIFIC	SUPPORTING STRUCTURE PER REACTIONS SHOWN ON TRUSS ENGINEERING. SPECIAL CONSIDERATIONS FOR MECHANICAL EQUIPMENT AND/OR PLUMBING (AND THEIR CONNECTIONS) IN TRUSS SPACE MUST BE DIAGRAMMED BY BUILDER ON APPROVED TRUSS LAYOUT PRIOR TO FABRICATION.	Job Name: Blake Pond Lot 00.0126 OWF	Third-
Designer:  Rajkumar Yadav  Sales Rep:	APPLICATIONS. SEE "BRACING WOOD TRUSSES COMMENTARY AND RECOMMENDATIONS" (BCSI 1) FOR FURTHER INFORMAITON.  TRUSSES SHALL BE INSTALLED IN A STRAIGHT AND PLUMB POSITION WHERE NO SHEATHING IS APPLIED DIRECTLY TO TOP AND/OR BOTTOM CHORDS, THEY SHALL BE BRACED AS SPCIFIED ON THE ENGINEERED	THIS COMPANY IS A TRUSS MANUFACTURER WHOSE RESPONSIBILITIES ARE LIMITED TO THOSE DESCRIBED IN WTCA 1-1995 "DESIGN RESPONSIBILITIES". ACCORDINGLY, IT DISCLAIMS ANY RESPONSIBILITIES AND/OR LIABILITY FOR THE CONSTRUCTION DESIGN, DRAWINGS, DOCUMENTS INCLUDING THE INSTALLATION, AND BRACING OF	Lot #: 00.0126 Model Name: StonefieldBlake Pond Lot 00.0126	2 Th
Robbie Zarobinski	DESIGN. TRUSSES SHALL BE HANDLED WITH REASONABLE CARE DURING ERECTION TO PREVENT DAMAGE OR PERSONAL INJURY.	TRUSSES MANUFACTURED BY THIS COMPANY.	OWF OWF	PI





