

STONEFIELD-RALE

RALEIGH - LOT 00.0126 BLAKE POND SF
(MODEL# 1635)

ELEVATION 2 - GL

The logo for DRB HOMES, featuring the letters "DRB" in a large, bold, black sans-serif font, with the word "HOMES" in a smaller, blue, sans-serif font directly below it.

251 Great Smoky Place

[illegible][illegible][illegible]



FRONT ELEVATION 2
SCALE: 1/8" = 1'-0"



REAR ELEVATION 2
SCALE: 1/8" = 1'-0"

FILE: Lot_00.0126.dwg DATE: 2/21/2025 5:18 PM

MASTER PLAN INFORMATION			UPDATED DATE
REVISION	DATE		
3-RALE	07-31-2024		09-12-2024

DRAWN BY:	ITS
DATE:	02/21/2025
PLAN NO.	1635

DRB
HOMES

HOUSE NAME:
STONEFIELD
DRAWING TITLE
FRONT & REAR ELEVATIONS

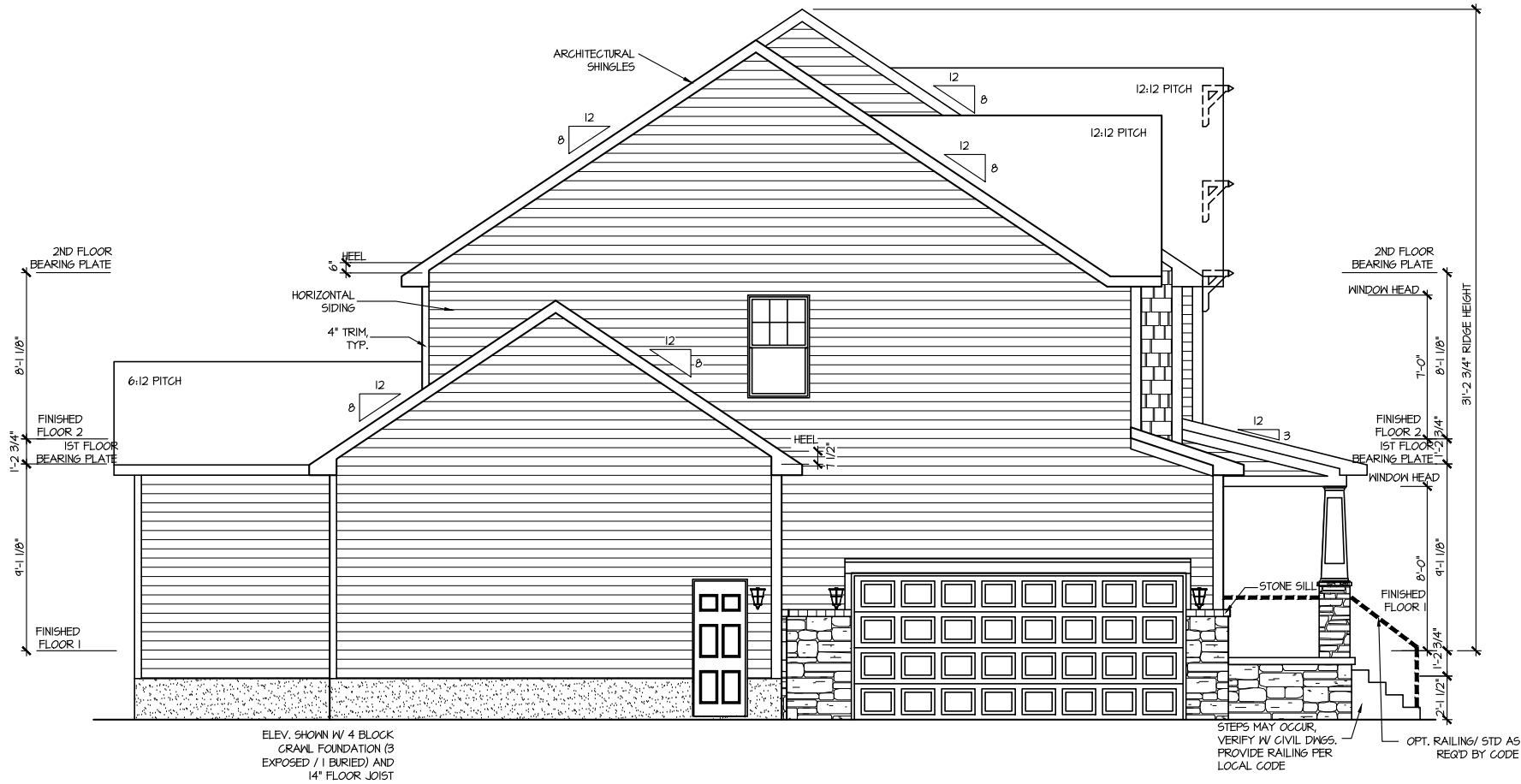
SHEET No.
A.1

FILE: Lot_00.0126.dwg DATE: 2/21/2025 5:18 PM



RIGHT ELEVATION 2

SCALE: 1/8" = 1'-0"



LEFT ELEVATION 2

SCALE: 1/8" = 1'-0"

MASTER PLAN INFORMATION

REVISION DATE 07-31-2024

UPDATED DATE 09-12-2024

DRAWN BY: ITS

DATE: 02/21/2025

PLAN NO. 1635

DRB HOMES

HOUSE NAME: STONEFIELD

DRAWING TITLE

RIGHT & LEFT ELEVATIONS

SHEET No.

A1.2

ATTIC VENT CALCULATION FOR PLAN '2'

UPPER ROOF VENTILATION CALCULATIONS:

ROOF AREA 1 = 184 SQ. FT.
OVERALL REQUIRED VENTILATION:
1 TO 150 = 12.04 SQ. FT.
1 TO 300 = 6.05 SQ. FT.
50% IN TOP THIRD = 3.02 SQ. FT. (1 TO 300)
NET FREE AREA OF VENTED SOFFIT = 5.1 SQ. IN. / LINEAR FT.
NET FREE AREA OF RIDGE VENT = 18 SQ. IN. / LINEAR FT.

LOWER VENTING (BOTTOM 2/3 RDS)
23 LINEAR FEET OF SOFFIT X 5.1 SQ. IN. = 3.245 SQ. FT.
UPPER VENTING (TOP 1/3 RD)
24 LINEAR FEET OF RIDGE X 18 SQ. IN. = 3 SQ. FT.
3 SQ. FT. AT 50%
(1 TO 300 ALLOWED)

UPPER ROOF VENTILATION CALCULATIONS:

ROOF AREA 3 = 45 SQ. FT.
OVERALL REQUIRED VENTILATION:
1 TO 150 = 0.69 SQ. FT.
1 TO 300 = 0.317 SQ. FT.
50% IN TOP THIRD = 0.158 SQ. FT. (1 TO 300)
NET FREE AREA OF VENTED SOFFIT = 5.1 SQ. IN. / LINEAR FT.
NET FREE AREA OF RIDGE VENT = 18 SQ. IN. / LINEAR FT.

LOWER VENTING (BOTTOM 2/3 RDS)
23 LINEAR FEET OF SOFFIT X 5.1 SQ. IN. = 0.41 SQ. FT.
UPPER VENTING (TOP 1/3 RD)
8 LINEAR FEET OF RIDGE X 18 SQ. IN. = 1 SQ. FT.
1 SQ. FT. BETWEEN 50%
(1 TO 300 ALLOWED)

UPPER ROOF VENTILATION CALCULATIONS:

ROOF AREA 5 = 144 SQ. FT.
OVERALL REQUIRED VENTILATION:
1 TO 150 = 0.78 SQ. FT.
1 TO 300 = 0.48 SQ. FT.
50% IN TOP THIRD = 0.24 SQ. FT. (1 TO 300)
NET FREE AREA OF VENTED SOFFIT = 5.1 SQ. IN. / LINEAR FT.
NET FREE AREA OF RIDGE VENT = 18 SQ. IN. / LINEAR FT.

LOWER VENTING (BOTTOM 2/3 RDS)
11 LINEAR FEET OF SOFFIT X 5.1 SQ. IN. = 0.271 SQ. FT.
UPPER VENTING (TOP 1/3 RD)
2 LINEAR FEET OF RIDGE X 18 SQ. IN. = 0.25 SQ. FT.
1 SQ. FT. AT 50%
(1 TO 300 ALLOWED)

UPPER ROOF VENTILATION CALCULATIONS:

ROOF AREA 2 = 252 SQ. FT.
OVERALL REQUIRED VENTILATION:
1 TO 150 = 1.68 SQ. FT.
1 TO 300 = 0.84 SQ. FT.
50% IN TOP THIRD = 0.42 SQ. FT. (1 TO 300)
NET FREE AREA OF VENTED SOFFIT = 5.1 SQ. IN. / LINEAR FT.
NET FREE AREA OF RIDGE VENT = 18 SQ. IN. / LINEAR FT.

LOWER VENTING (BOTTOM 2/3 RDS)
11 LINEAR FEET OF SOFFIT X 5.1 SQ. IN. = 1.375 SQ. FT.
UPPER VENTING (TOP 1/3 RD)
4 LINEAR FEET OF RIDGE X 18 SQ. IN. = 3 SQ. FT.
3 SQ. FT. AT 50%
(1 TO 300 ALLOWED)

UPPER ROOF VENTILATION CALCULATIONS:

ROOF AREA 4 = 145 SQ. FT.
OVERALL REQUIRED VENTILATION:
1 TO 150 = 0.461 SQ. FT.
1 TO 300 = 0.483 SQ. FT.
50% IN TOP THIRD = 0.242 SQ. FT. (1 TO 300)
NET FREE AREA OF VENTED SOFFIT = 5.1 SQ. IN. / LINEAR FT.
NET FREE AREA OF RIDGE VENT = 18 SQ. IN. / LINEAR FT.

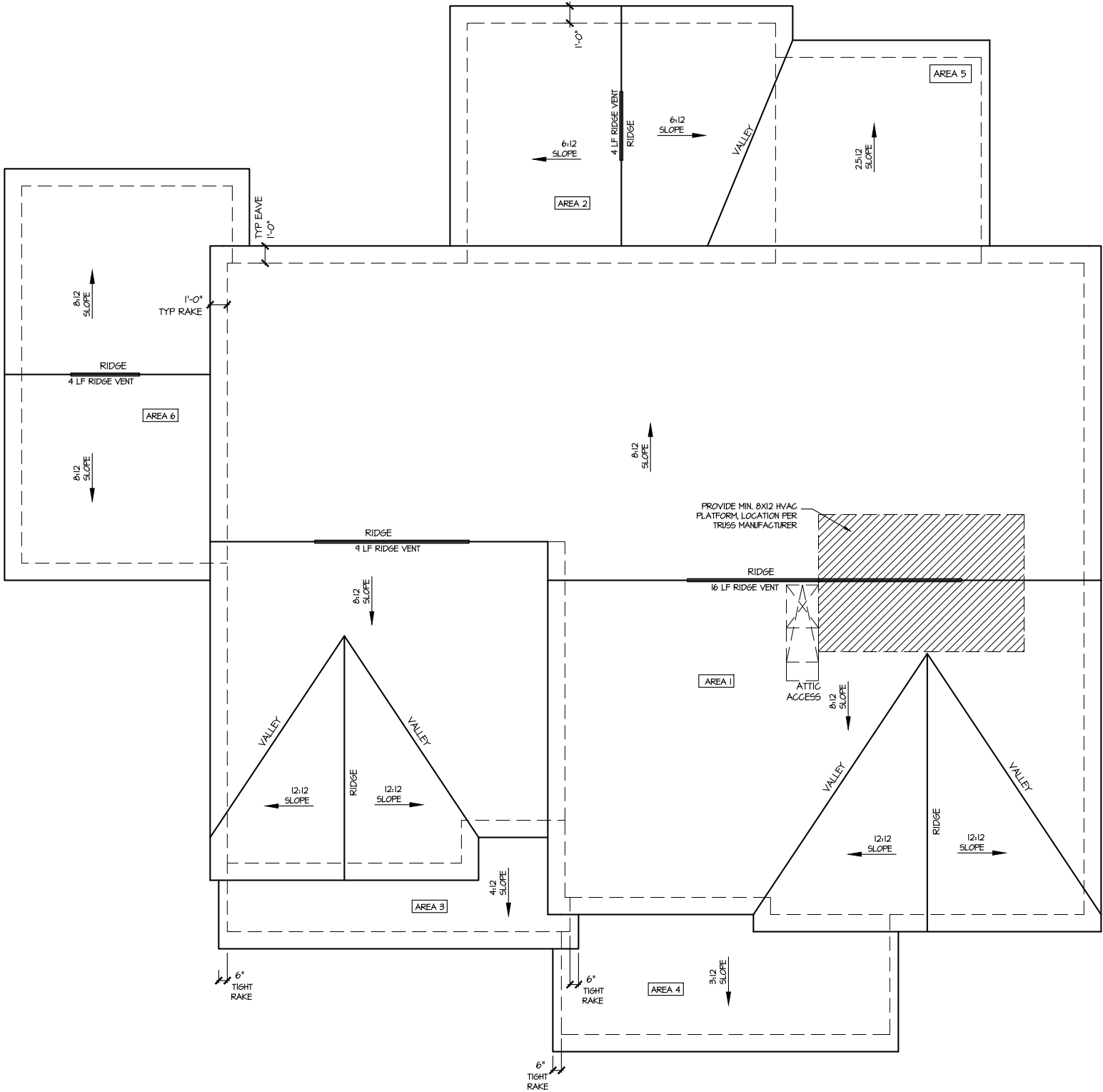
LOWER VENTING (BOTTOM 2/3 RDS)
20 LINEAR FEET OF SOFFIT X 5.1 SQ. IN. = 0.719 SQ. FT.
UPPER VENTING (TOP 1/3 RD)
8 LINEAR FEET OF RIDGE X 18 SQ. IN. = 1 SQ. FT.
1 SQ. FT. AT 50%
(1 TO 300 ALLOWED)

UPPER ROOF VENTILATION CALCULATIONS:

ROOF AREA 6 = 234 SQ. FT.
OVERALL REQUIRED VENTILATION:
1 TO 150 = 1.56 SQ. FT.
1 TO 300 = 0.78 SQ. FT.
50% IN TOP THIRD = 0.39 SQ. FT. (1 TO 300)
NET FREE AREA OF VENTED SOFFIT = 5.1 SQ. IN. / LINEAR FT.
NET FREE AREA OF RIDGE VENT = 18 SQ. IN. / LINEAR FT.

LOWER VENTING (BOTTOM 2/3 RDS)
10 LINEAR FEET OF SOFFIT X 5.1 SQ. IN. = 0.346 SQ. FT.
UPPER VENTING (TOP 1/3 RD)
4 LINEAR FEET OF RIDGE X 18 SQ. IN. = 0.5 SQ. FT.
1 SQ. FT. AT 50%
(1 TO 300 ALLOWED)

NOTE: ROOF PLANS SHOWN W/ MIN. REQ'D RIDGE VENT LOCATIONS.
ACTUAL RIDGE VENT LOCATIONS AND QUANTITY PER BUILDER



ROOF PLAN ELEV. 2

SCALE: 1/8" = 1'-0"

MASTER PLAN INFORMATION		
REVISION	DATE	UPDATED DATE
3-RALE	07-31-2024	09-12-2024

DRAWN BY:	ITS
DATE:	02/21/2025
PLAN NO.	1635

DRB HOMES

HOUSE NAME:
STONEFIELD
DRAWING TITLE
ROOF PLAN

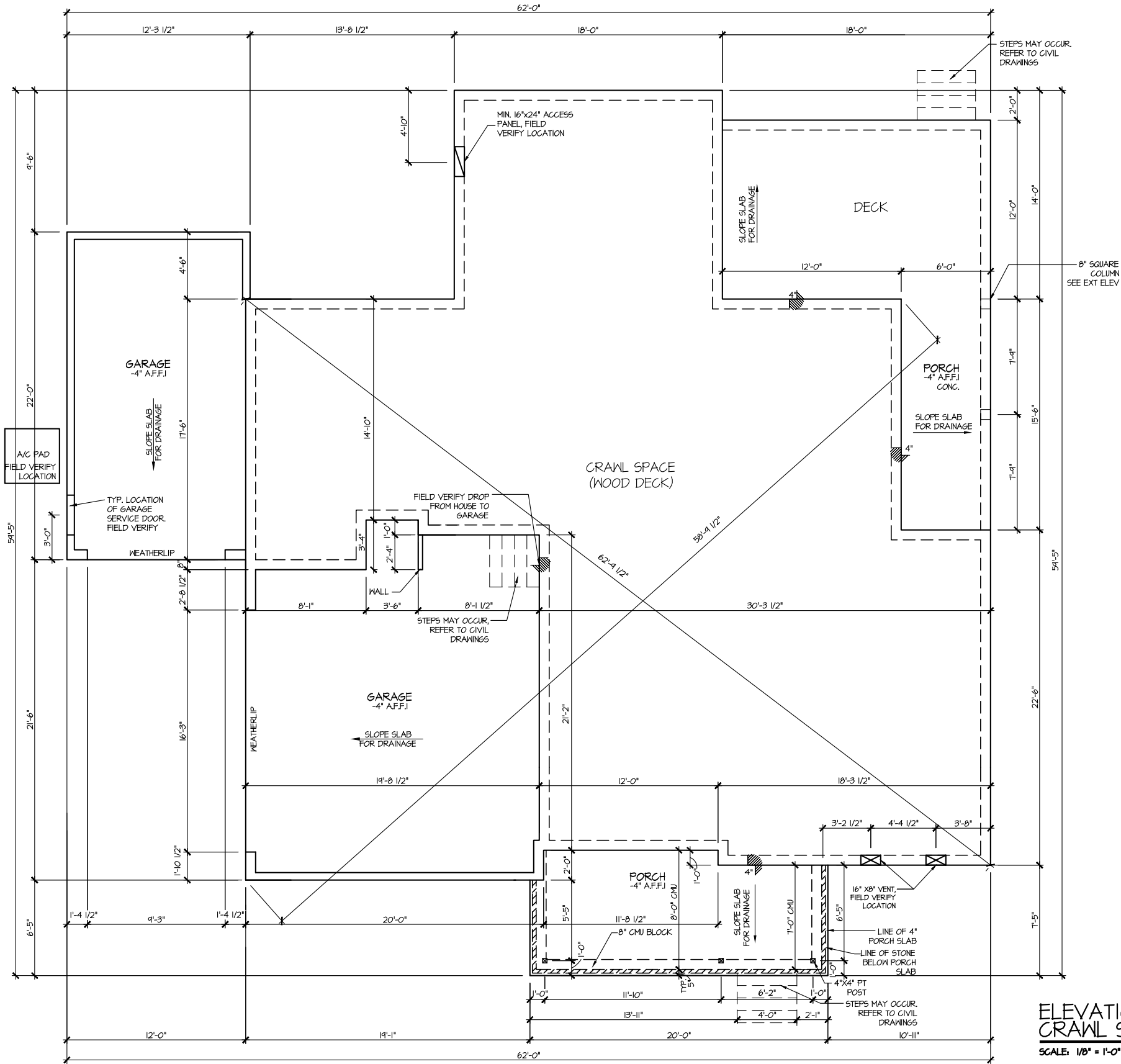
SHEET No.
A.3

CRAWL SPACE VENT CALCULATIONS: ELEV 2
CRAWL AREA = 1572 SQ. FT.
OVERALL REQUIRED VENTILATION:
1 SQ. IN. PER 1 SQ. FT. = 1572 SQ. IN.

NET FREE AREA OF VENT = 72 SQ. IN. PER VENT
WITTEN AUTOMATIC VENT OAL-1 OR EQUAL

VENTING REQUIREMENT:
1572 SQ. IN. / 72 SQ. IN. = 21.8 VENTS = 22 VENTS

ONLY VENTS ON THE FRONT ELEVATION ARE SHOWN.
ALL OTHERS TO BE FIELD LOCATED.
VENTS SHALL BE INSTALLED PER R322.2.2 - R322.2.2.1



ELEVATION 2
CRAWL SPACE PLAN
SCALE: 1/8" = 1'-0"

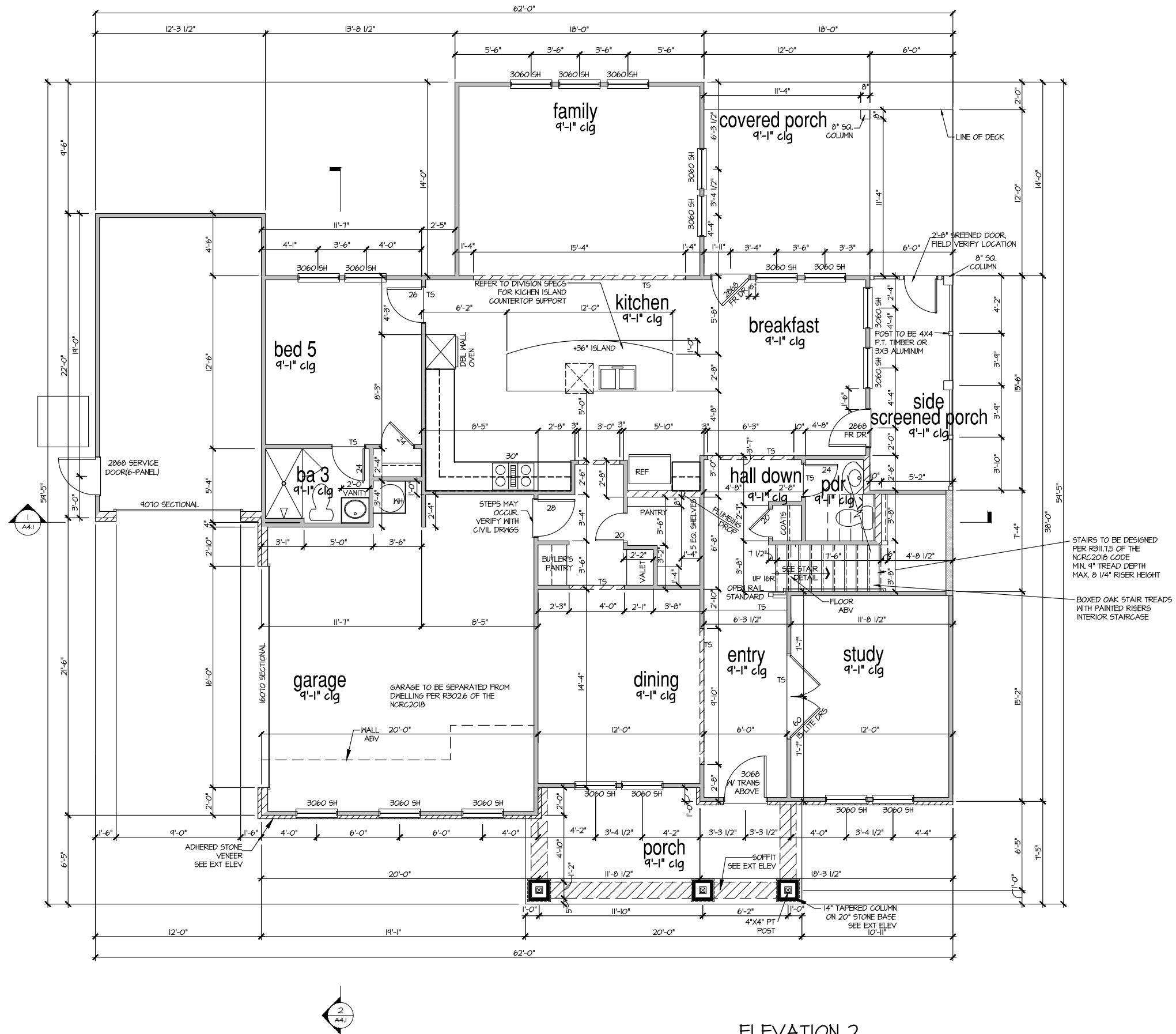
MASTER PLAN INFORMATION			UPDATED DATE
REVISION	DATE		
3-RAL	07-31-2024		09-12-2024

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DRB
HOMES

HOUSE NAME:
STONEFIELD
DRAWING TITLE
CRAWL SPACE PLAN

SHEET No.
A2.1



ELEVATION 2
FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

MASTER PLAN INFORMATION

REVISION	DATE	UPDATED DATE
3-RALE	07-31-2024	09-12-2024

DRAWN BY:
ITS

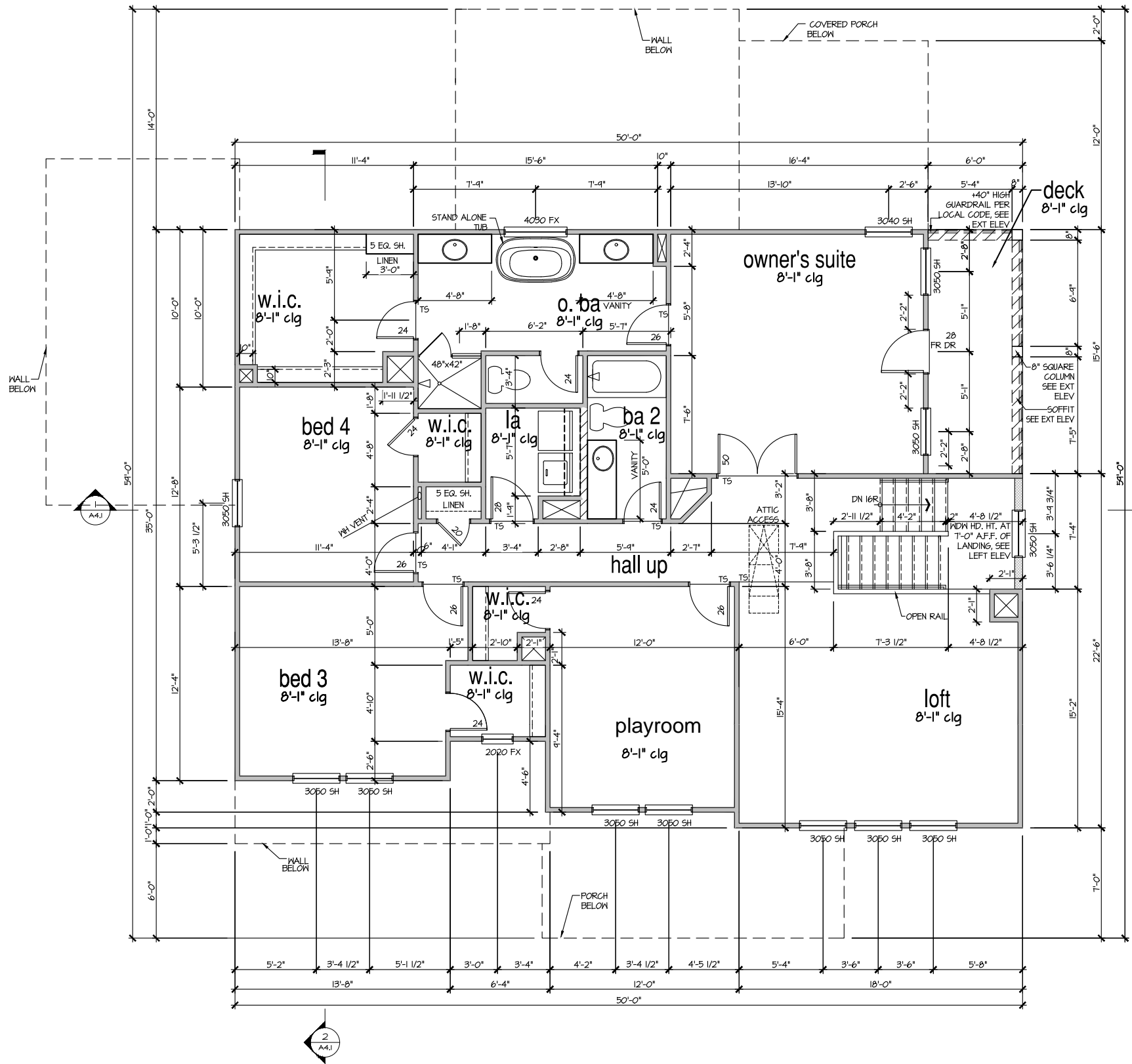
DATE: 02/21/2025

PLAN NO.
1635

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HOUSE NAME:
STONEFIELD
DRAWING TITLE
FIRST FLOOR PLAN

SHEET No.
A3.1



ELEVATION 2
SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

MASTER PLAN INFORMATION		
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3-RALE	07-31-2024	09-12-2024

DRAWN BY:	ITS
DATE:	02/21/2025
PLAN NO.	1635

DRB
HOMES

HOUSE NAME:
STONEFIELD

DRAWING TITLE
SECOND FLOOR PLAN

SHEET No.
A3.2

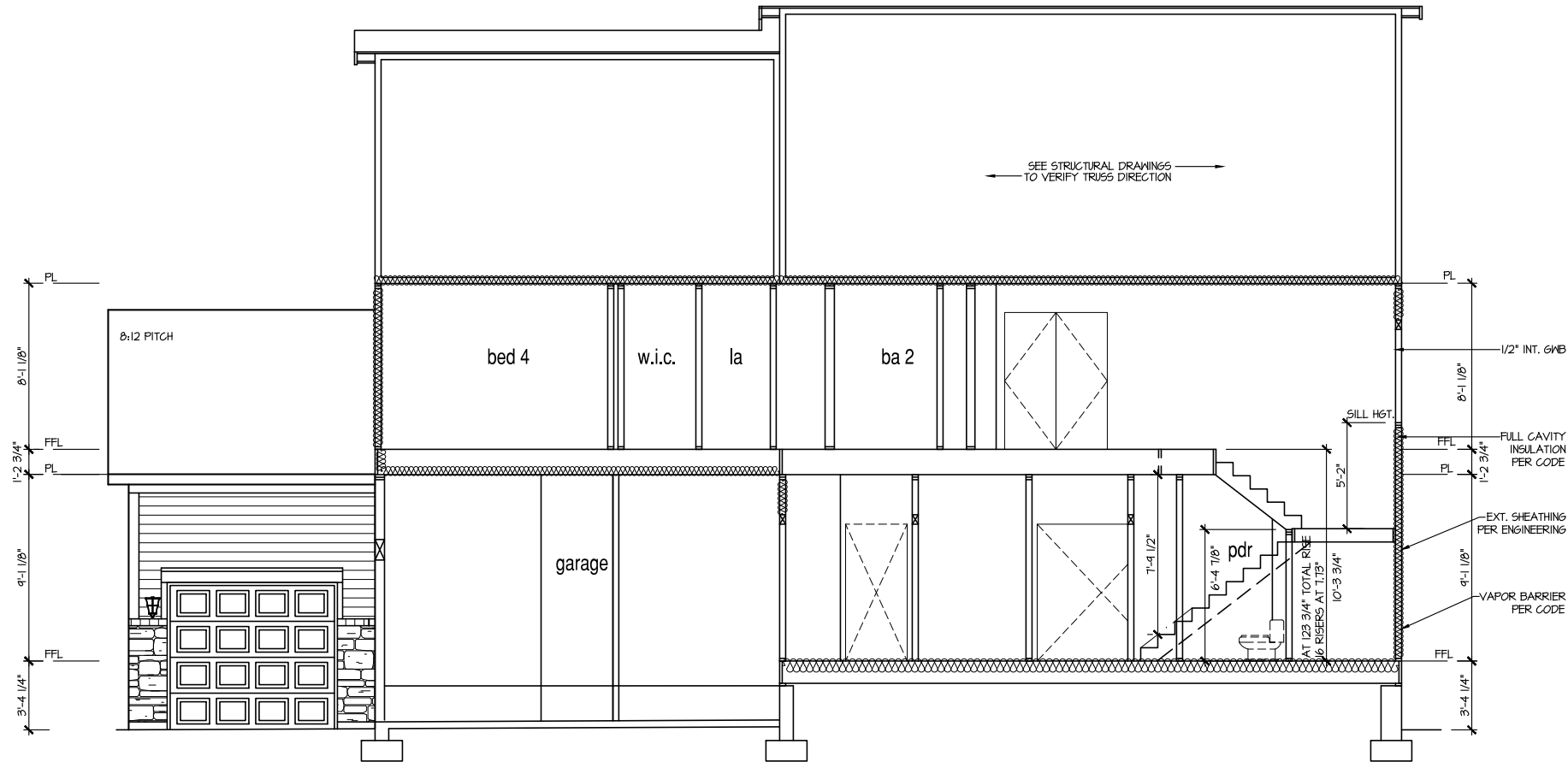
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9'-1" STAIR NOTE:
(USE 14" TJI WITH 3/4" PLYWOOD SUBFLOOR)
15 TREADS AT 10" EACH VERIFY
16 RISERS AT +/- 1.13" = 123 3/4" TOTAL
RISE VERIFY

NOTES:

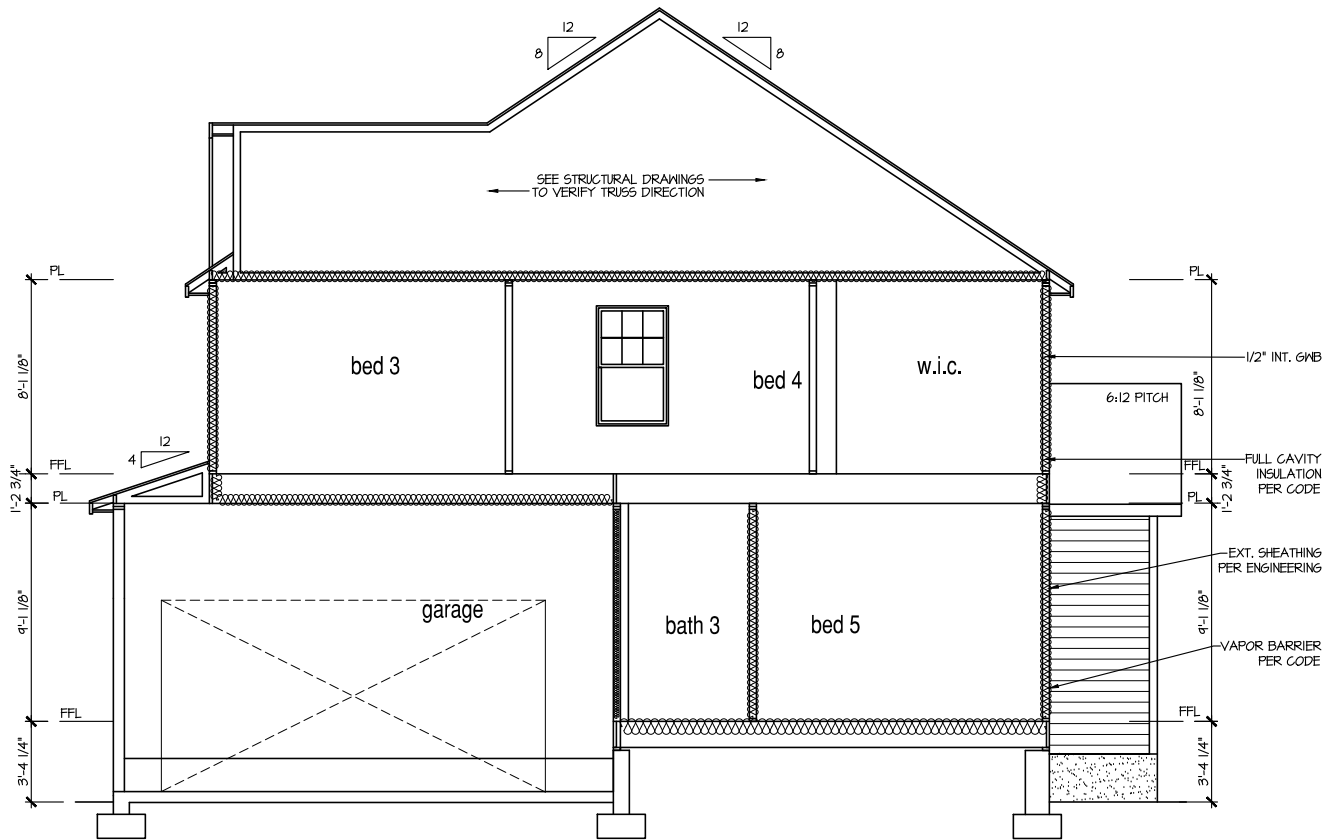
- BUILDING SECTIONS SHOWN HERE DEPICT VOLUMN SPACES WITHIN THE STRUCTURE. REFER TO STRUCTURAL DRAWINGS, TRUSS DRAWINGS, STRUCTURAL DETAILS AND CALCULATIONS BY OTHER FOR ALL STRUCTURAL INFO.
- ROOFING: PITCHED SHINGLE ROOF. REFER TO ROOF PLAN FOR TYPICALS.
- WOOD FLOORS: FLOOR SHEATHING OVER FLOOR JOIST. REFER TO STRUCTURAL AND TRUSS DRAWINGS BY OTHERS.
- INSULATION:
 - EXTERIOR WALLS: R-13 BATTS MINIMUM. VERIFY
 - CEILING WITH ATTIC ABOVE: R-30 BATTS MINIMUM. VERIFY
 - FLOOR OVER GARAGE: R-19 BATTS MINIMUM. VERIFY
 - ATTIC KNEEWALL: R-19 BATTS MINIMUM. VERIFY

PER STATE RESIDENTIAL CODE
COMPLIANCE METHOD TO BE
DETERMINED BY BUILDER.



SECTION 1

SCALE: 1/8" = 1'-0"



SECTION 2

SCALE: 1/8" = 1'-0"

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REVISION	DATE	UPDATED DATE
3-RAL	07-31-2024	09-12-2024

DRAWN BY:
ITS

DATE:
02/21/2025

PLAN NO.
1635

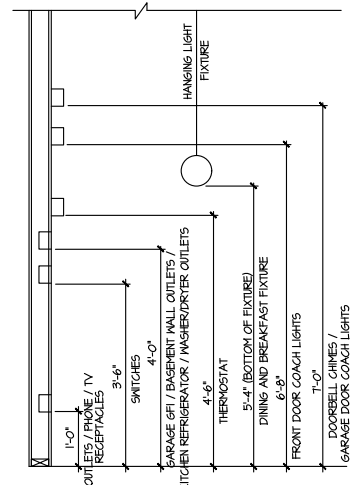
DRB
HOMES

HOUSE NAME:
STONEFIELD
DRAWING TITLE
BUILDING SECTION

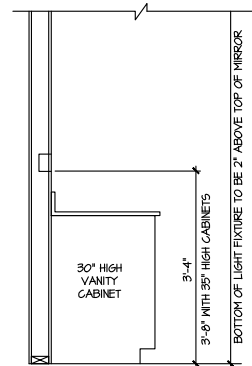
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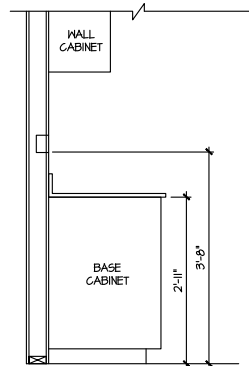
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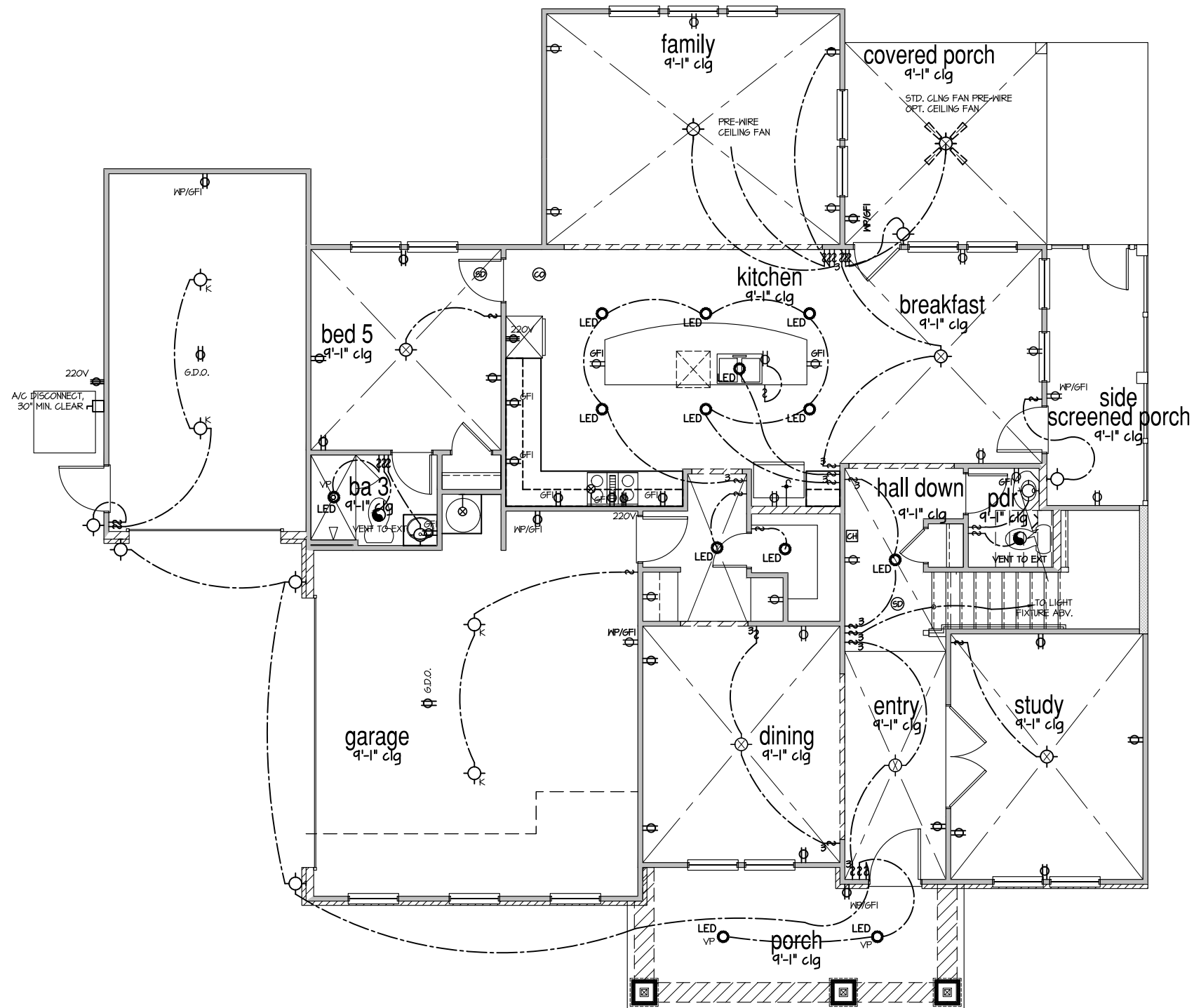
STANDARD ELECTRICAL BOX HEIGHTS



SWITCH AND RECEPTACLE BOXES OVER BATH CABINETS



SWITCH AND RECEPTACLE BOXES OVER KITCHEN CABINETS



NOTES:

- PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AND CO2 DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/CUTOFFS.
- HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT (FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS, DRAIN TILE SUMP, AND WATER HEATERS) ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS.
- PROVIDE POWER LIGHT AND SWITCH AS REQUIRED FOR ATTIC FURNACE PER CODE AND MANUFACTURER'S WRITTEN INSTRUCTIONS.
- CLOSET LIGHTS TO BE FLOURESCENT FIXTURES FOR NC & INCANDESCENT CLG. MOUNTED FIXTURES FOR ALL OTHER AREAS.

LEGEND:

	AFCI DUPLEX OUTLET		CEILING MOUNTED INCANDESCENT LIGHT FIXTURE		CHIMES
	WEATHERPROOF GFI AFCI DUPLEX OUTLET		KEYLESS LIGHT		PUSHBUTTON SWITCH
	GROUND-FAULT CIRCUIT-INTERRUPTER AFCI DUPLEX OUTLET		WALL MOUNTED INCANDESCENT LIGHT FIXTURE		110V SMOKE DETECTOR W/ BATTERY BACKUP
	HALF-SWITCHED AFCI DUPLEX OUTLET		RECESSED LIGHT FIXTURE		CO2 DETECTOR
	220V 220 VOLT AFCI OUTLET		LED SURFACE MOUNTED		THERMOSTAT
	REINFORCED JUNCTION BOX		EXHAUST FAN (VENT TO EXTERIOR)		TELEPHONE
	WALL SWITCH		EXHAUST FAN/LIGHT COMBINATION (VENT TO EXTERIOR)		TELEVISION
	THREE-WAY SWITCH		TECH HUB SYSTEM		ELECTRIC METER
	FOUR-WAY SWITCH				DISCONNECT SWITCH
	LED STRIP FIXTURE				

ELECTRICAL PLAN
FIRST FLOOR - ELEV. 2

SCALE: 1/8" = 1'-0"

MASTER PLAN INFORMATION		
REVISION	DATE	UPDATED DATE
3-RALE	07-31-2024	09-12-2024

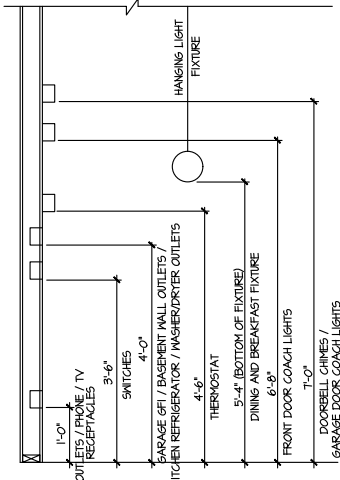
DRAWN BY:	ITS
DATE:	02/21/2025
PLAN NO.	1635

DRB
HOMES

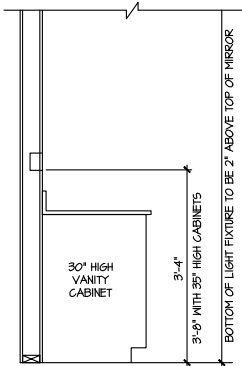
HOUSE NAME:
STONEFIELD
DRAWING TITLE
FIRST FLOOR ELECTRICAL

SHEET No.

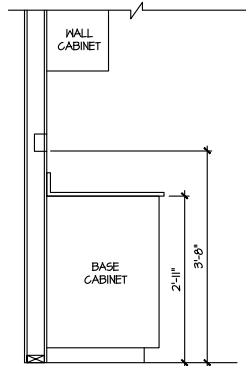




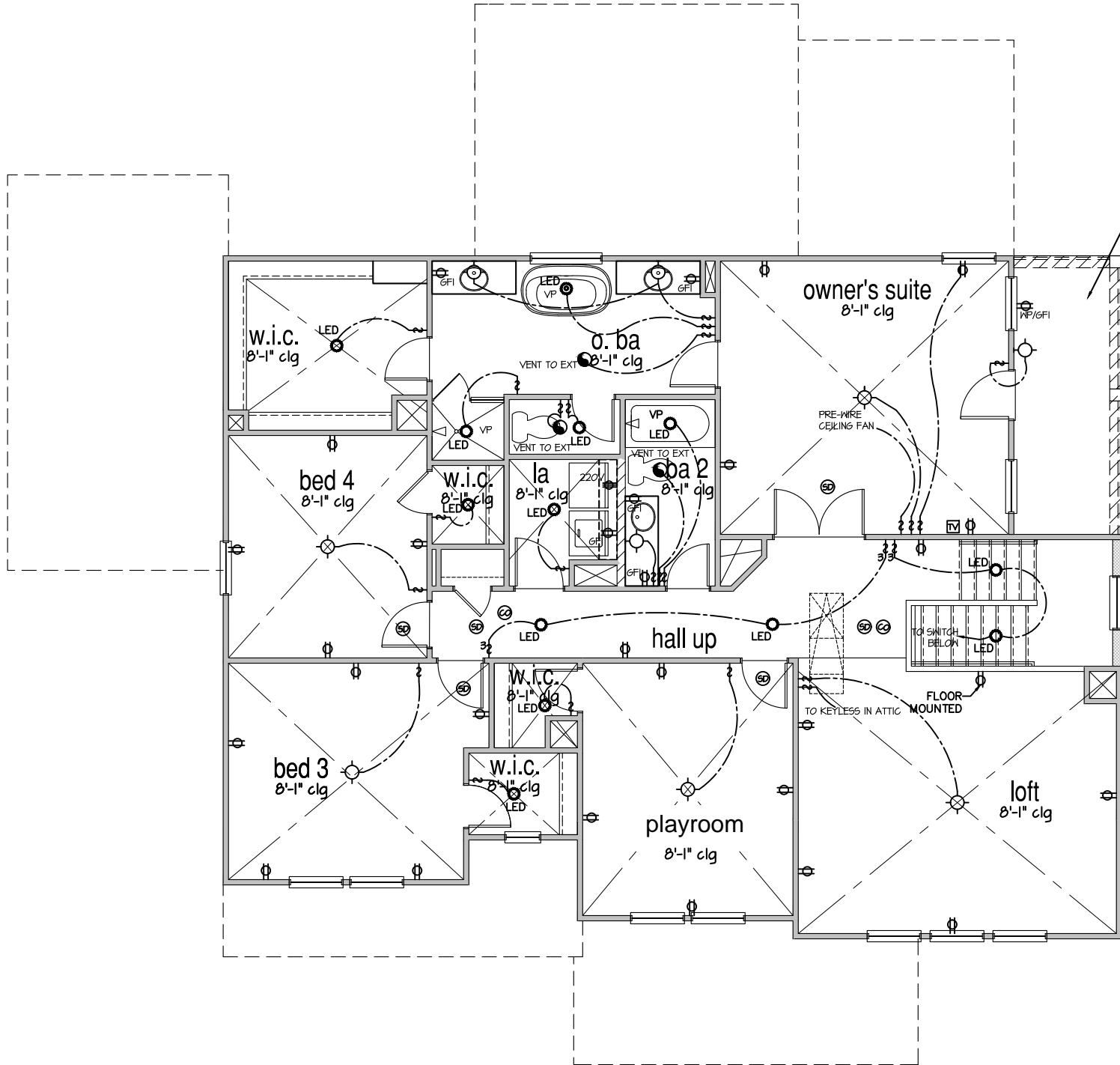
STANDARD ELECTRICAL BOX HEIGHTS



SWITCH AND RECEPTACLE BOXES OVER BATH CABINETS



SWITCH AND RECEPTACLE BOXES OVER KITCHEN CABINETS



deck
8'-1" clg

- NOTES:**
- PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AND CO2 DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
 - PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
 - ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/CUTOFFS.
 - HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
 - ALL ELECTRICAL AND MECHANICAL EQUIPMENT (FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS, DRAIN TILE SUMP, AND WATER HEATERS) ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS.
 - PROVIDE POWER, LIGHT AND SWITCH AS REQUIRED FOR ATTIC FURNACE PER CODE AND MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - CLOSET LIGHTS TO BE FLOURESCENT FIXTURES FOR NC & INCANDESCENT CLG. MOUNTED FIXTURES FOR ALL OTHER AREAS.

LEGEND:			
	AFCI DUPLEX OUTLET		CEILING MOUNTED INCANDESCENT LIGHT FIXTURE
	WEATHERPROOF GFI AFCI DUPLEX OUTLET		KEYLESS LIGHT
	GROUND-FAULT CIRCUIT-INTERRUPTER (GFI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.		WALL MOUNTED INCANDESCENT LIGHT FIXTURE
	HALF-SWITCHED AFCI DUPLEX OUTLET		RECESSED LIGHT FIXTURE
	220V 220 VOLT AFCI OUTLET		LED SURFACE MOUNTED
	REINFORCED JUNCTION BOX		EXHAUST FAN (VENT TO EXTERIOR)
	WALL SWITCH		EXHAUST FANLIGHT COMBINATION (VENT TO EXTERIOR)
	THREE-WAY SWITCH		TECH HUB SYSTEM
	FOUR-WAY SWITCH		
	LED STRIP FIXTURE		

	CHIMES		CEILING FAN (PROVIDE ADEQUATE SUPPORT)
	PUSHBUTTON SWITCH		CEILING FAN WITH INCANDESCENT LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT)
	110V SMOKE DETECTOR W/ BATTERY BACKUP		GAS SUPPLY WITH VALVE
	CO2 DETECTOR		HOSE BIBB
	THERMOSTAT		1/4" WATER STUB OUT
	TELEPHONE		
	TELEVISION		
	ELECTRIC METER		
	ELECTRIC PANEL		
	DISCONNECT SWITCH		

ELECTRICAL PLAN
SECOND FLOOR - ELEV. 7
SCALE: 1/8" = 1'-0"

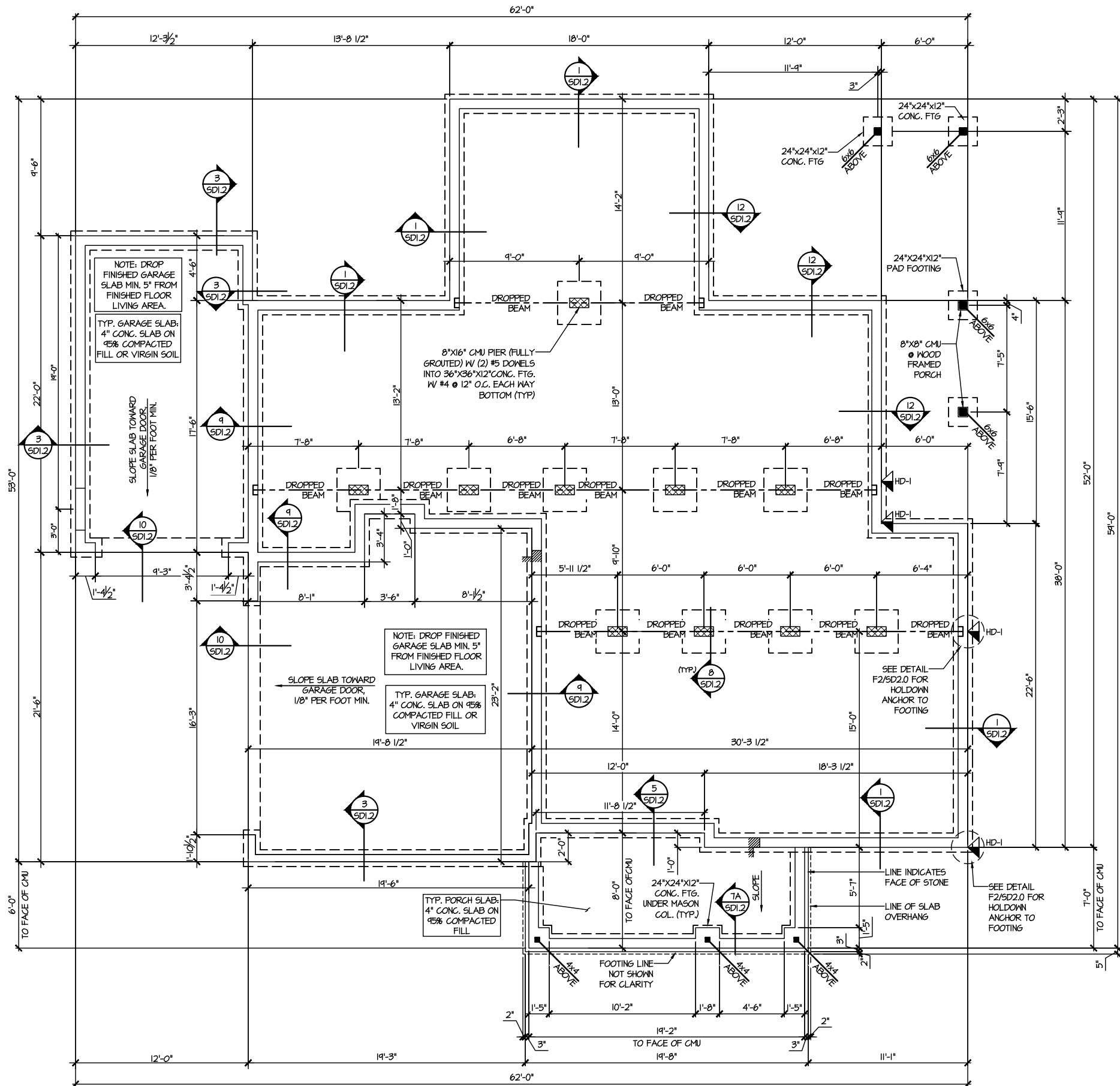
MASTER PLAN INFORMATION	
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3-RALE	07-31-2024
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DRB
HOMES

HOUSE NAME:
STONEFIELD
DRAWING TITLE
SECOND FLOOR ELECTRICAL

SHEET No.
1.2

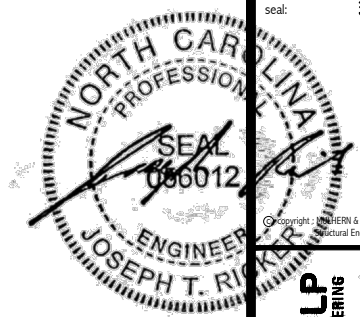


1 CRAWLSPACE FOUNDATION PLAN
SCALE: 1/8"=1'-0"

LEGEND

- INTERIOR BEARING WALL
- BEARING WALL ABOVE
- BEAM / HEADER
- INDICATES SHEAR WALL & EXTENT
- EXTENT OF OVERFRAMING
- 1L METAL HANGER
- * INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

**REFER TO SO.0 FOR
TYPICAL STRUCTURAL NOTES
& SCHEDULES**



MULHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERING
300 Riverside Ave., Building 4 - Asheville, NC 28802
P: 715-545-5001 • mulhern+kulp.com

M&K project number:
126-23061

project mgr: **JTR**
drawn by: **KJN**
issue date: **03-03-25**

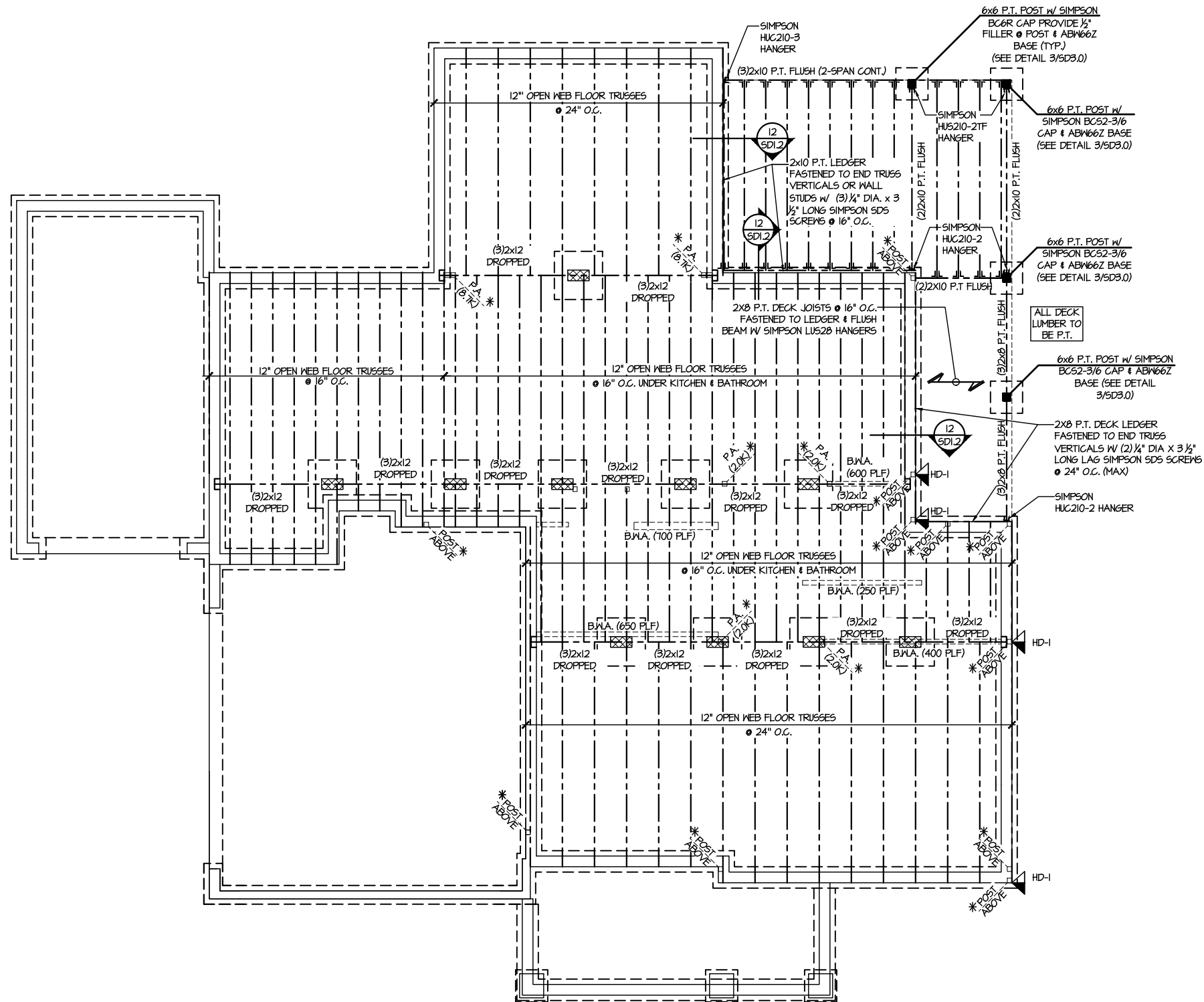
REVISIONS:

date:	initial:

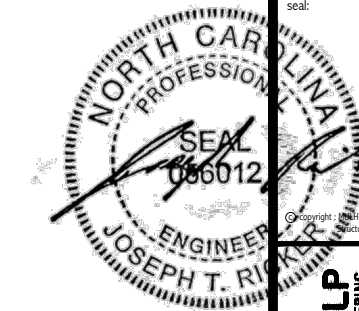
DRB
HOMES

FOUNDATION PLANS
BLAKE POND COMMUNITY
LOT 126 - STONEFIELD 2
RALEIGH, NC

sheet:
S1.0



1 1ST FLOOR FRAMING PLAN (CRAWLSPACE)
SCALE: 1/8"=1'-0"



M&K project number:
126-23061

project mgr: JTR
drawn by: KJN
issue date: 03-03-25

REVISIONS:
date: initial:

DRB
HOMES

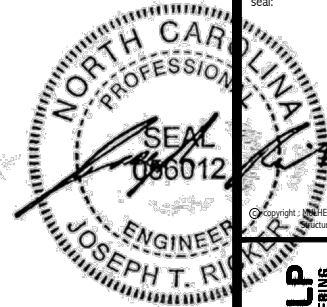
FLOOR FRAMING PLANS
BLAKE POND COMMUNITY
LOT 126 - STONEFIELD 2
RALEIGH, NC

sheet:
S2.0

LEGEND

- [Pattern] INTERIOR BEARING WALL
- [Pattern] BEARING WALL ABOVE
- [Pattern] BEAM / HEADER
- [Pattern] INDICATES SHEAR WALL & EXTENT
- [Pattern] EXTENT OF OVERFRAMING
- JL METAL HANGER
- * INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- ▶ INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

**REFER TO SO.0 FOR
TYPICAL STRUCTURAL NOTES
& SCHEDULES**



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N.C. LIC. #C-3825



M&K project number:
126-23061

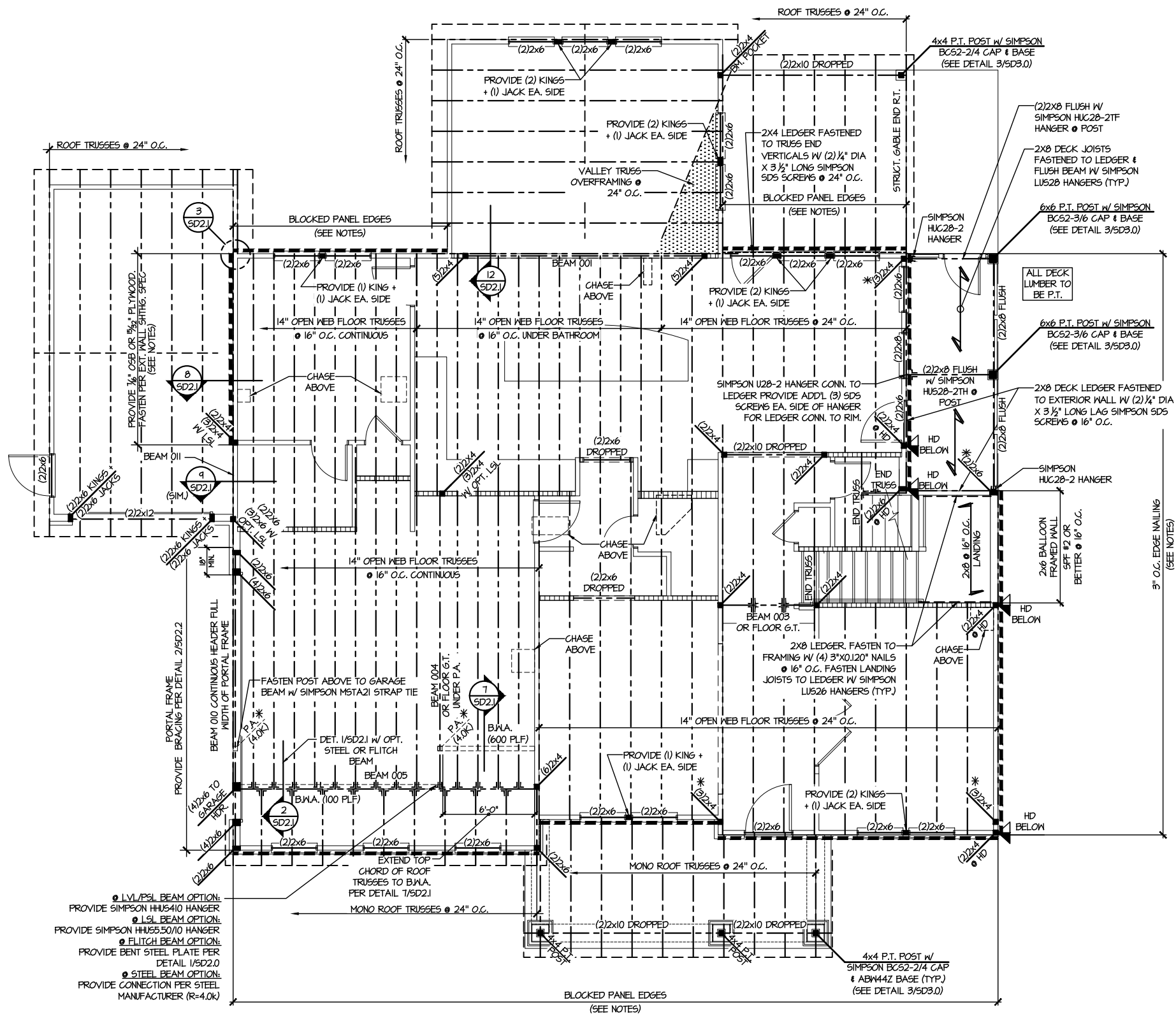
project mgr: JTR
drawn by: KJN
issue date: 03-03-25

REVISIONS:
date: initial:

DRB
HOMES

FLOOR FRAMING PLANS
BLAKE POND COMMUNITY
LOT 126 - STONEFIELD 2
RALEIGH, NC

sheet:

S3.0

2ND FLOOR FRAMING PLAN
SCALE: 1/8"=1'-0"

**SD2.1 REFERS TO SD2.1A FOR
LVL/PSL/LSL BEAMS OR SD2.1B
FOR FLITCH BEAMS OR SD2.1C
FOR STEEL BEAMS**

LEGEND

- INTERIOR BEARING WALL
- BEARING WALL ABOVE
- BEAM / HEADER
- INDICATES SHEAR WALL & EXTENT
- EXTENT OF OVERFRAMING
- JL METAL HANGER
- INDICATES POST ABOVE. PROVIDE SOLID
BLOCKING UNDER POST OR JAMB ABOVE.
- INDICATES HOLD-DOWN OR STRAP.
REFER TO SCHEDULE.

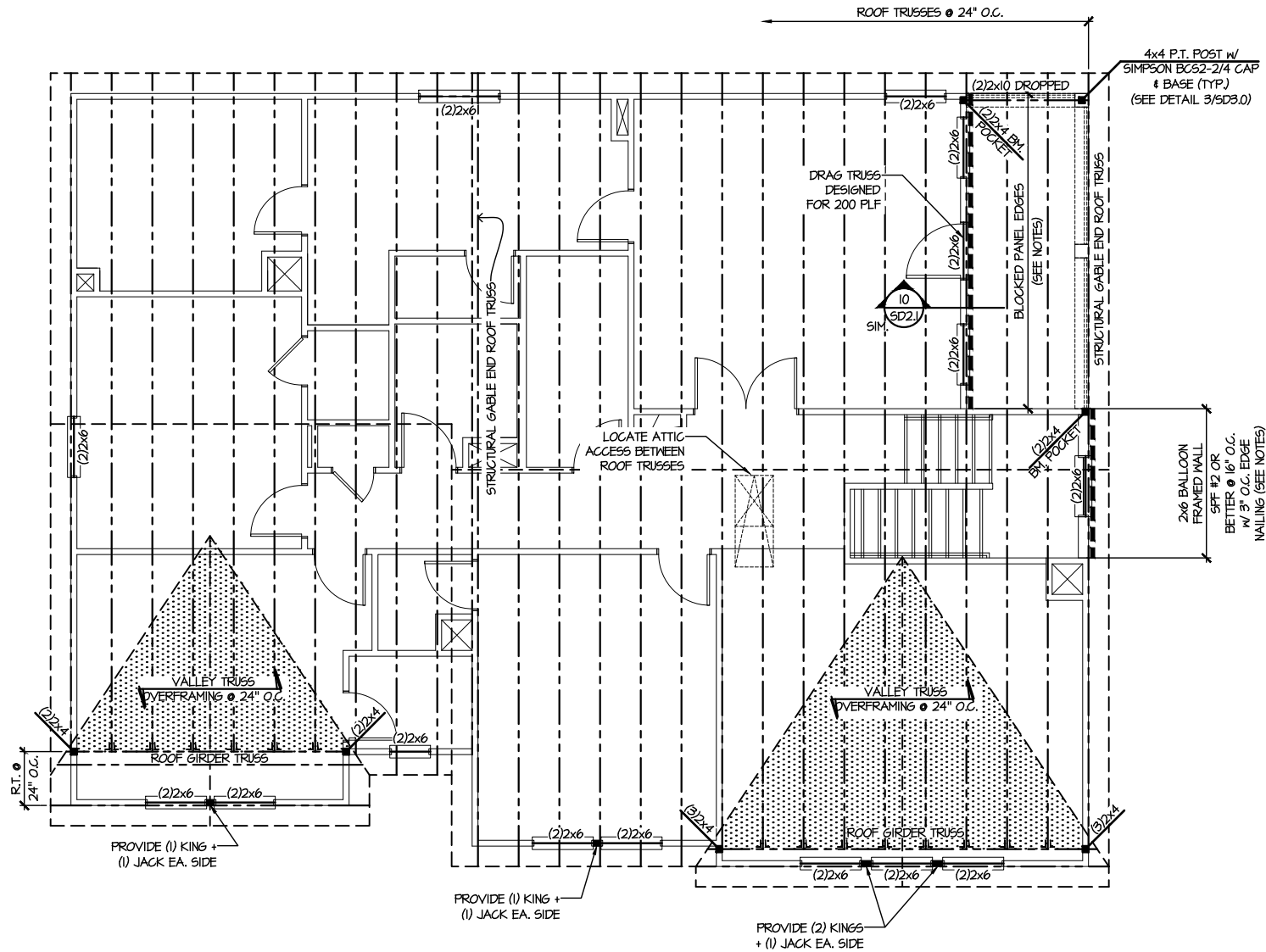
**REFER TO SO.0 FOR
TYPICAL STRUCTURAL NOTES
& SCHEDULES**

ENGINEERED BEAM MATERIAL SCHEDULE

BEAM NUMBER	LVL OPTION	PSL OPTION	LSL OPTION	FLITCH OPTION	STEEL OPTION
001	(2)3/4"x16" - D	3/5"x16" - D	N/A	(2)2x12 + (1) 3/8"x11/4" STEEL FLITCH PLATES - D	W12x14 - D
002	(2)3/4"x11/2" - D	3/5"x11/2" - D	(3)3/4"x11/2" - D	(2)2x12 + (1) 1/4"x11/4" STEEL FLITCH PLATES - D	W12x14 - D
003	(2)3/4"x14" - F	3/5"x14" - F	(2)3/4"x14" - F	(2)2x12 + (1) 1/4"x11/4" STEEL FLITCH PLATES - F	W12x14 - F
004	(2)3/4"x14" - F	3/5"x14" - F	(3)3/4"x14" - F	(2)2x12 + (1) 3/8"x11/4" STEEL FLITCH PLATES - F	W12x14 - F
005	(3)3/4"x18" - FT	5/4"x18" - FT	N/A	(3)2x12 + (2) 3/8"x11/4" STEEL FLITCH PLATES - F	W12x26 - F
006	(3)3/4"x18" - FT	5/4"x18" - FT	N/A	(3)2x12 + (2) 3/8"x11/4" STEEL FLITCH PLATES - F	W12x26 - F
007	(2)3/4"x14" - F	3/5"x14" - F	(2)3/4"x14" - F	(2)2x12 + (1) 1/4"x11/4" STEEL FLITCH PLATES - F	W12x14 - F
008	(2)3/4"x14" - F	3/5"x14" - F	(2)3/4"x14" - F	(2)2x12 + (1) 1/4"x11/4" STEEL FLITCH PLATES - F	W12x14 - F
009	(2)3/4"x9/4" - D	3/5"x9/4" - D	(2)3/4"x9/4" - D	(2)2x10 + (1) 1/4"x9/4" STEEL FLITCH PLATES - D	W10x12 - D
010	(2)3/4"x16" - H	3/5"x16" - H	(3)3/4"x16" - H	(3)2x12 + (2) 1/2"x11/4" STEEL FLITCH PLATES - H	N/A
011	(2)3/4"x11/2" - D	3/5"x11/2" - D	(3)3/4"x11/2" - D	(2)2x12 + (1) 1/4"x11/4" STEEL FLITCH PLATES - D	W12x14 - D
012	(3)3/4"x16" - D	5/4"x16" - D	(4)3/4"x16" - D	(3)2x12 + (2) 3/8"x11/4" STEEL FLITCH PLATES - D	W12x19 - D
013	(2)3/4"x11/2" - D	3/5"x11/2" - D	(3)3/4"x11/2" - D	(2)2x12 + (1) 1/4"x11/4" STEEL FLITCH PLATES - D	W12x14 - D
014	(2)3/4"x16" - D	3/5"x16" - D	(3)3/4"x16" - D	(3)2x12 + (2) 3/8"x11/4" STEEL FLITCH PLATES - D	W12x14 - D
015***	(3)3/4"x11/2" - D	N/A	(3)3/4"x11/2" - D	(3)2x12 + (2) 1/4"x11/4" STEEL FLITCH PLATES - D	W12x14 - D
016	(2)3/4"x11/2" - F	3/5"x11/2" - F	(3)3/4"x11/2" - F	(2)2x12 + (1) 1/4"x11/4" STEEL FLITCH PLATES - F	W12x14 - F

- BEAM NOTATION:
 - "F" INDICATES FLUSH BEAM
 - "FT" INDICATES FLUSH TOP BEAM
 - "FB" INDICATES FLUSH BOTTOM BEAM
 - "D" INDICATES DROPPED BEAM
 - "H" INDICATES DROPPED OPENING HEADER
- REFER TO DETAIL D/SD2.0 FOR TYPICAL FLITCH BEAM CONNECTIONS
- REFER TO DETAIL E/SD2.0 FOR TYPICAL STEEL BEAM CONNECTIONS
- FOR FLUSH TOP BEAMS PROVIDE 2X STACKED PLATES BENEATH BEAM AS REQ'D. FASTEN PLATES IN SUCCESSION W/ (2) 3"x0.120" NAILS @ 8" O.C.
- FOR FLUSH BOTTOM BEAMS PROVIDE 2X STACKED PLATES ATOP BEAM AS REQ'D. FASTEN PLATES IN SUCCESSION W/ (2) 3"x0.120" NAILS @ 8" O.C.

*** - SEE PLAN FOR EXTENT OF 3-PLY BEAM

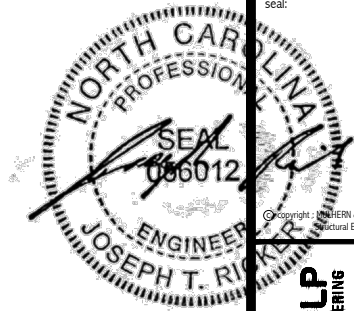


1 ROOF FRAMING PLAN
SCALE: 1/8"=1'-0"

LEGEND

- INTERIOR BEARING WALL
- BEARING WALL ABOVE
- BEAM / HEADER
- INDICATES SHEAR WALL & EXTENT
- EXTENT OF OVERFRAMING
- JL METAL HANGER
- * INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

**REFER TO SO.0 FOR
TYPICAL STRUCTURAL NOTES
& SCHEDULES**



3/5/25

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NC LIC. #C-3825

M&K project number:
126-23061

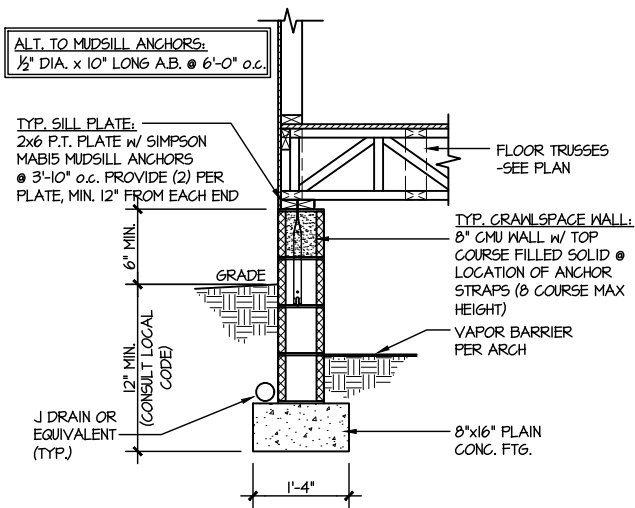
project mgr: JTR
drawn by: KJN
issue date: 03-03-25

REVISIONS:	
date:	initial:

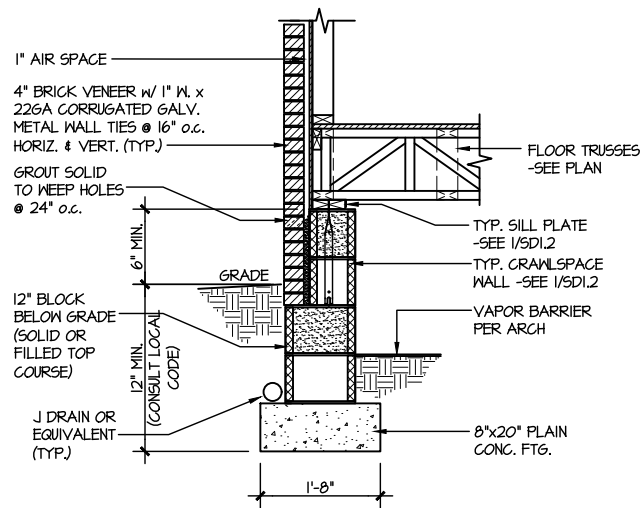


ROOF FRAMING PLANS
BLAKE POND COMMUNITY
LOT 126 - STONEFIELD 2
RALEIGH, NC

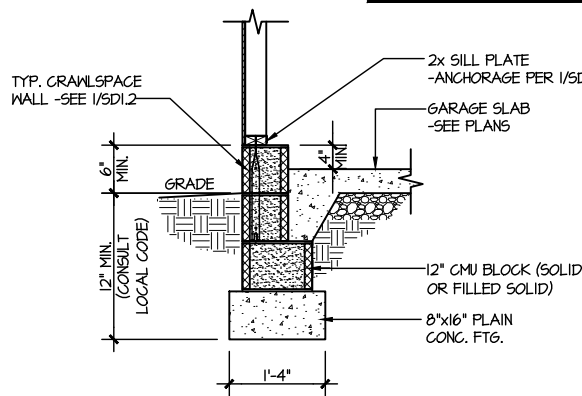
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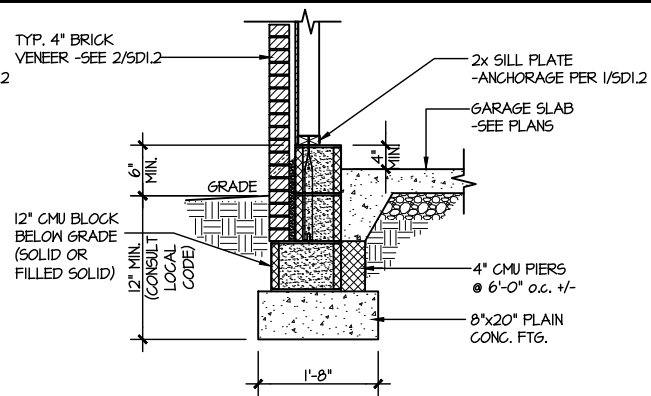
1 TYPICAL CRAWLSPACE FOUNDATION
SCALE: 3/8"=1'-0"



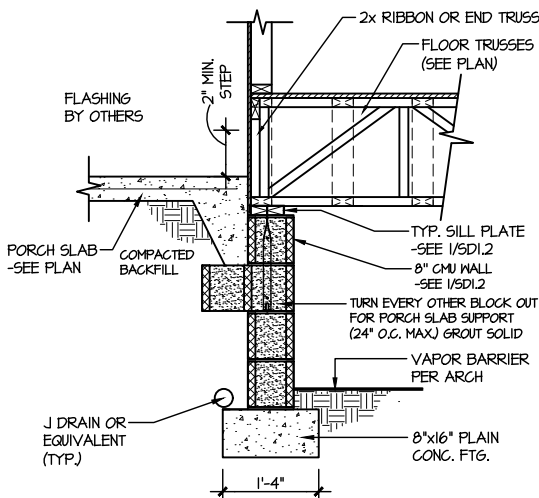
2 TYPICAL CRAWLSPACE FOUNDATION
SCALE: 3/8"=1'-0" w/ BRICK VENEER



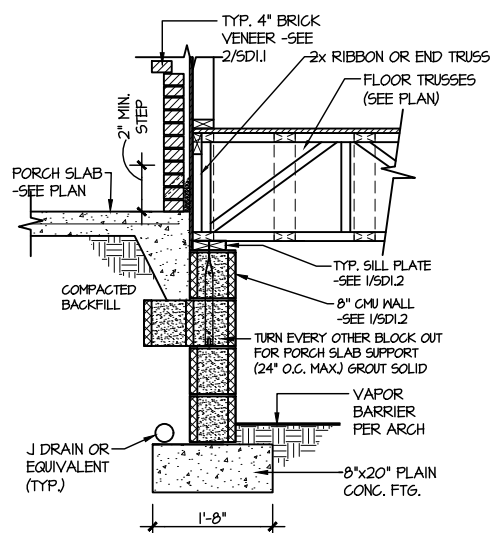
3 TYPICAL GARAGE FOUNDATION
SCALE: 3/8"=1'-0"



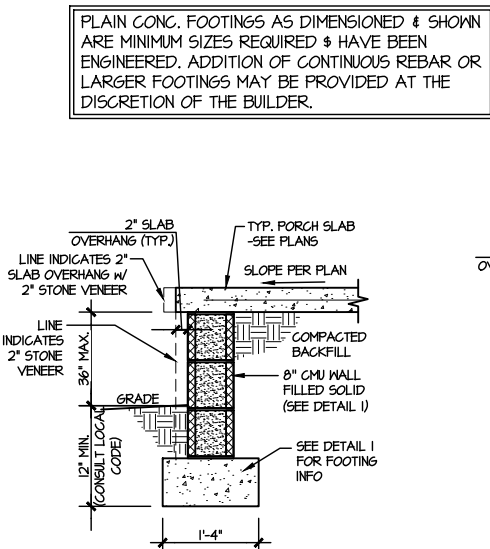
4 TYPICAL GARAGE FOUNDATION
SCALE: 3/8"=1'-0" w/ BRICK VENEER



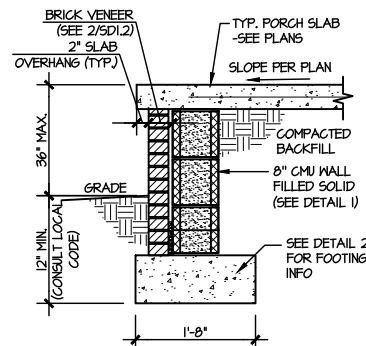
5 TYPICAL CRAWLSPACE FOUNDATION
@ PORCH/PATIO SLAB
SCALE: 3/8"=1'-0"
(REFER TO DETAIL 12 FOR WOOD PORCH OPTION)



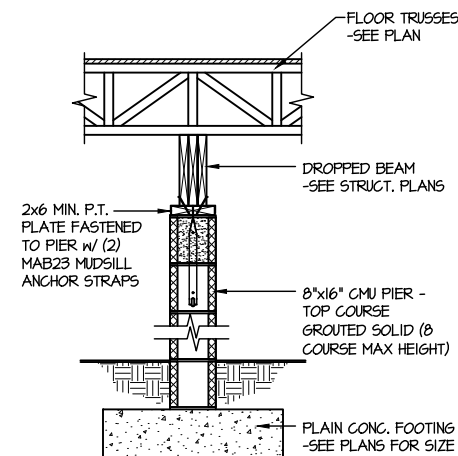
6 TYPICAL CRAWLSPACE FOUNDATION
@ PORCH/PATIO SLAB
SCALE: 3/8"=1'-0" w/ BRICK VENEER



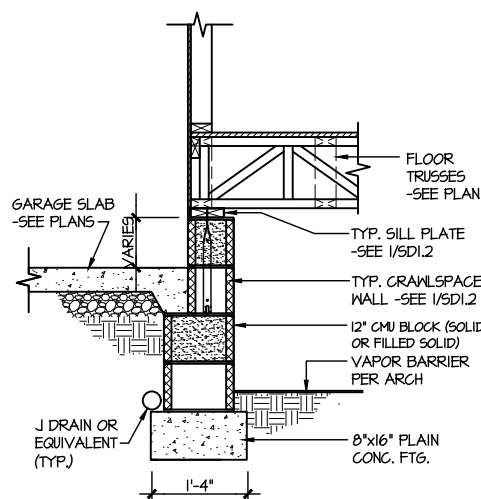
7A TYP. FOOTING @ PORCH SLAB
SCALE: 3/8"=1'-0"



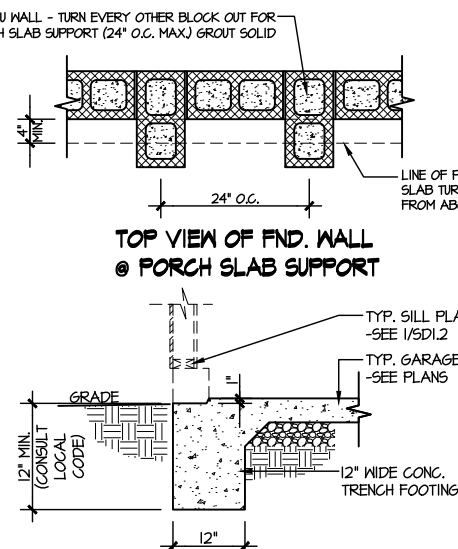
7B TYP. FOOTING @ PORCH SLAB
SCALE: 3/8"=1'-0" w/ BRICK VENEER



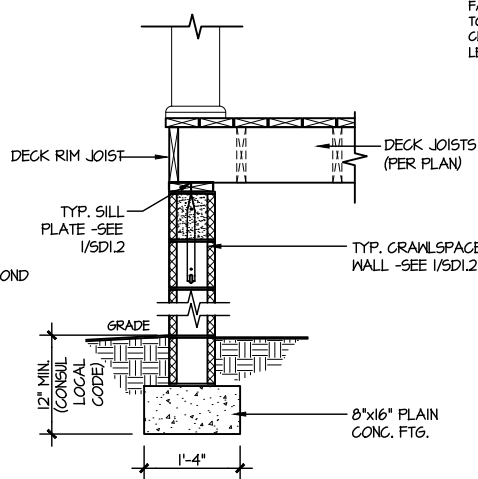
8 TYPICAL CRAWLSPACE FND.
@ INTERIOR PIER
SCALE: 3/8"=1'-0"



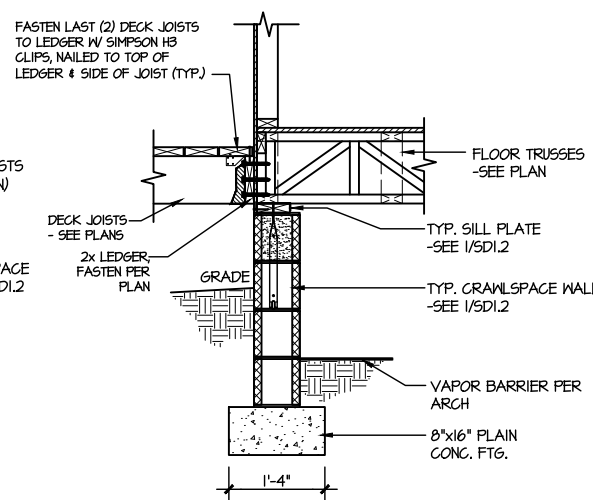
9 TYPICAL CRAWLSPACE FOUNDATION
@ GARAGE
SCALE: 3/8"=1'-0"



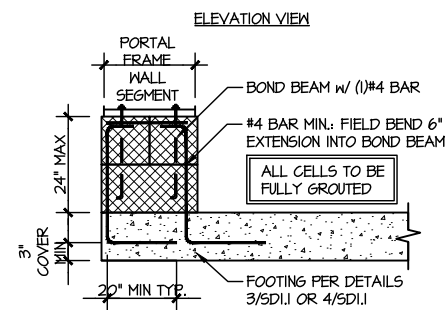
10 TYPICAL SLAB ON GRADE GARAGE
ENTRY @ PERIMETER FOOTING
SCALE: 3/8"=1'-0"



11 TYPICAL CRAWLSPACE FOUNDATION
@ WOOD PORCH/DECK PERIMETER
SCALE: 3/8"=1'-0"



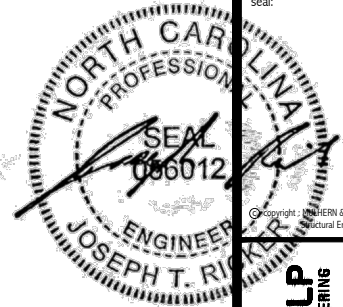
12 TYPICAL CRAWLSPACE FOUNDATION
@ WOOD PORCH/DECK
SCALE: 3/8"=1'-0"



A GARAGE PORTAL FRAME STEM
WALL REINFORCEMENT
SCALE: 3/8"=1'-0"

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ALL APPLICABLE AREAS. THESE
DETAILS ARE NOT "CUT" ON THE PLANS.

NUMBERED DETAILS ARE PLAN
SPECIFIC AND ARE ONLY REQUIRED
WHERE SPECIFICALLY INDICATED
("CUT") ON THE PLANS.



M&K project number:
126-23061

project mgr:
JTR

drawn by:
KJN

issue date:
03-03-25

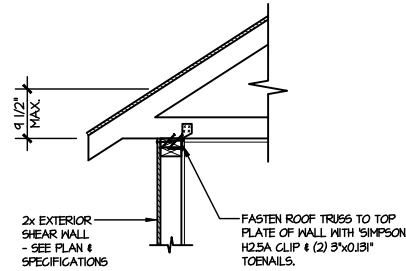
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date: initial:

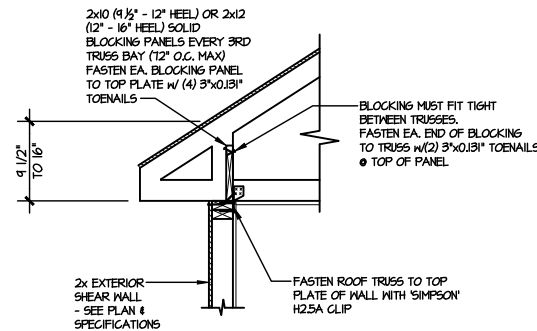
DRB
HOMES

FOUNDATION DETAILS
BLAKE POND COMMUNITY
LOT 126 - STONEFIELD 2
RALEIGH, NC

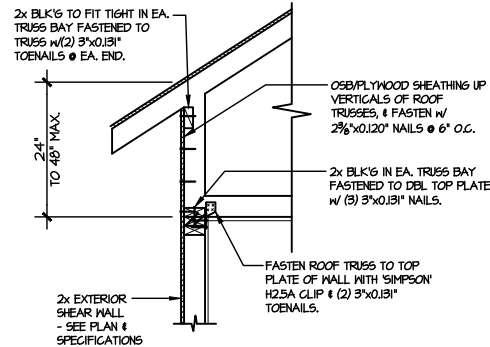
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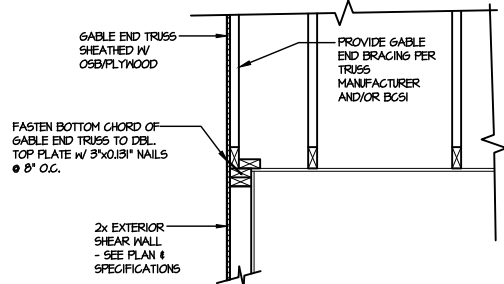
AI TYPICAL SHEAR TRANSFER DETAIL @ ROOF
SCALE: 3/8"=1'-0"
HEEL HEIGHT LESS THAN 1 1/2"
NO BLOCKING REQ'D



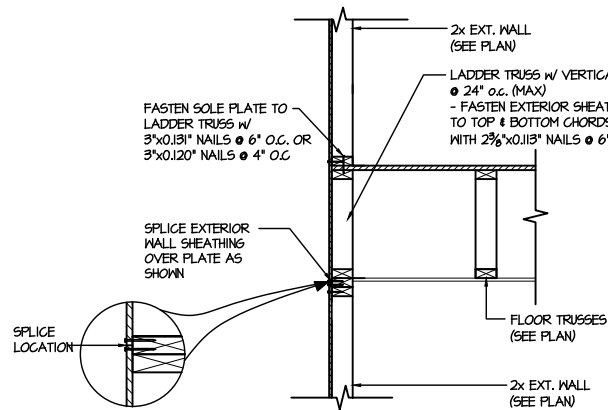
A2 TYPICAL SHEAR TRANSFER DETAIL @ ROOF
SCALE: 3/8"=1'-0"
HEEL HEIGHT BETWEEN 1 1/2" - 16"
BLOCKING REQ'D



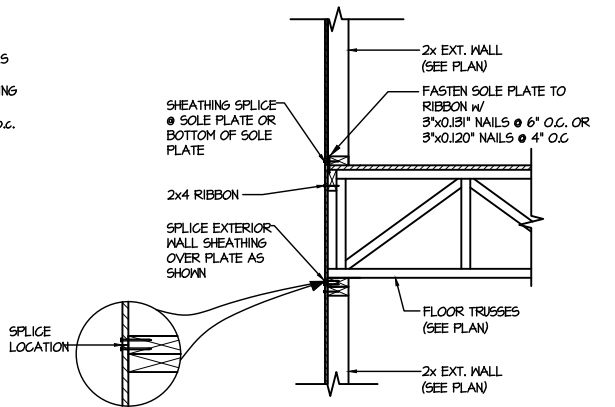
A3 TYPICAL SHEAR TRANSFER DETAIL @ RAISED HEEL TRUSS
SCALE: 3/8"=1'-0"
HEEL HEIGHT UP TO 48" MAX



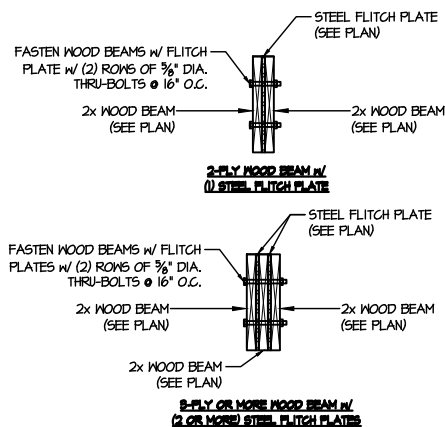
B TYPICAL GABLE END DETAIL
SCALE: 3/8"=1'-0"



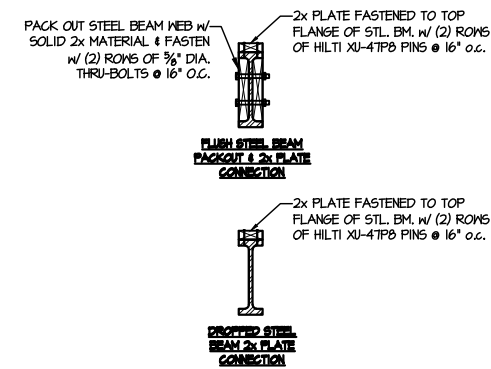
C1 TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ EXTERIOR WALL
SCALE: 3/8"=1'-0"
PARALLEL FRMS



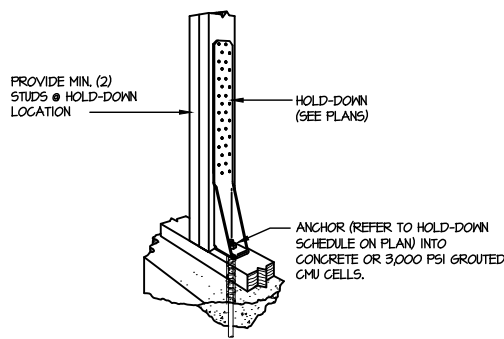
C2 TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ EXTERIOR WALL
SCALE: 3/8"=1'-0"
PERPENDICULAR FRMS



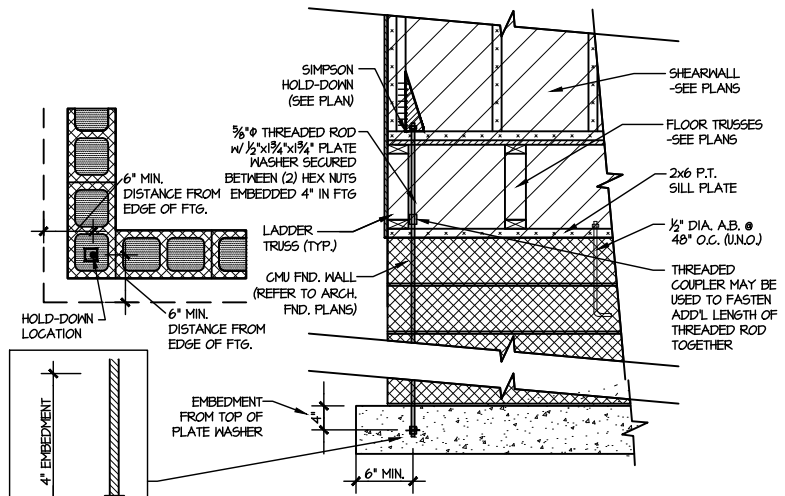
D TYPICAL FITCH BEAM CONNECTION DETAIL
SCALE: 3/4"=1'-0"



E TYPICAL STEEL BEAM CONNECTION DETAIL
SCALE: 3/4"=1'-0"



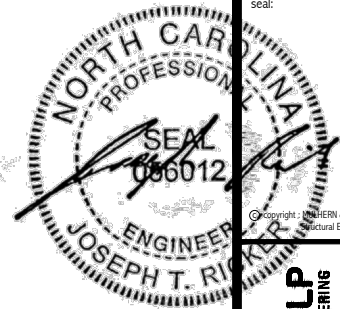
F1 TYPICAL HOLD DOWN INSTALLATION
SCALE: N.T.S.



F2 TYPICAL CMU FOUNDATION HOLD-DOWN INSTALLATION
SCALE: N.T.S.
(CORNER SHOWN - APPLICABLE TO ALL CONDITIONS)

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

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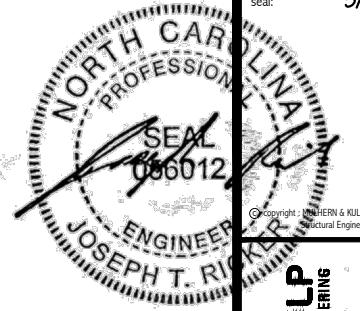
M&K project number: 126-23061
project mgr: JTR
drawn by: KJN
issue date: 03-03-25

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FRAMING DETAILS
BLAKE POND COMMUNITY
LOT 126 - STONEFIELD 2
RALEIGH, NC

sheet: SD2.0



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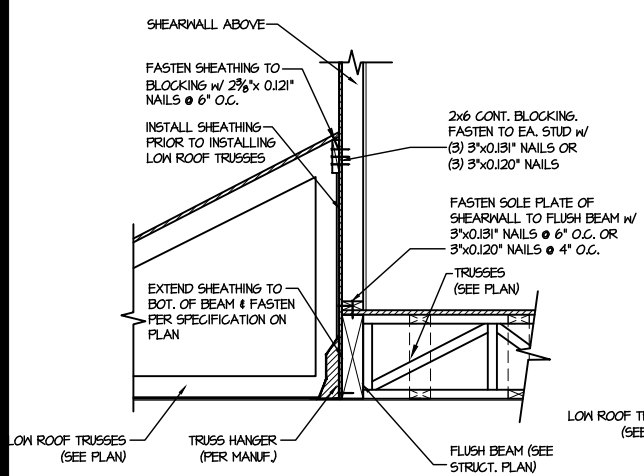
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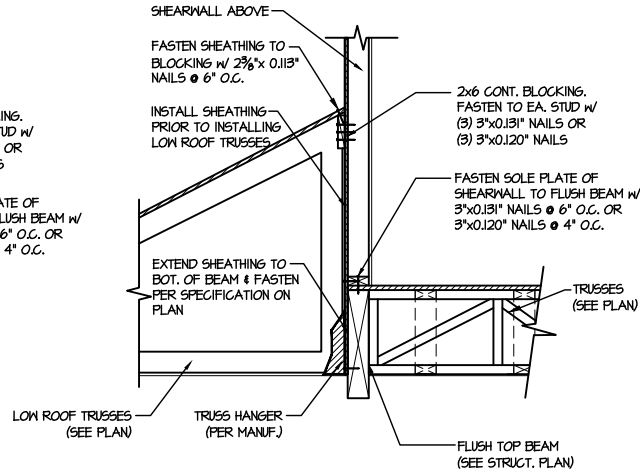
DRB
HOMES

FRAMING DETAILS
BLAKE POND COMMUNITY
LOT 126 - STONEFIELD 2
RALEIGH, NC

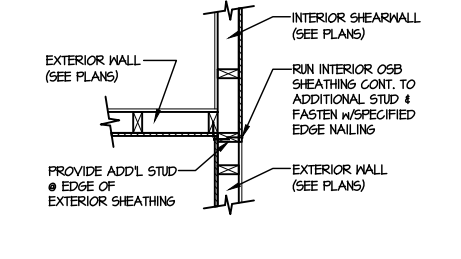
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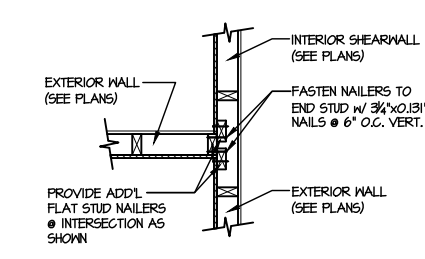
1 SHEAR TRANSFER DETAIL @
EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



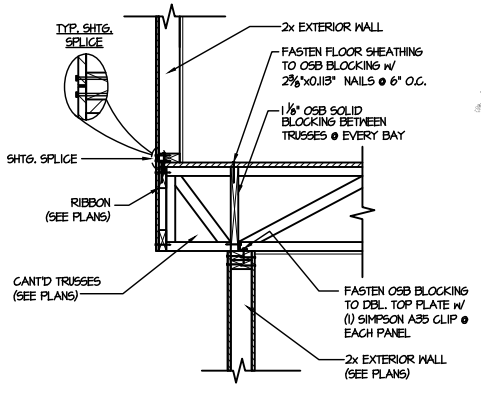
2 SHEAR TRANSFER DETAIL @
EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



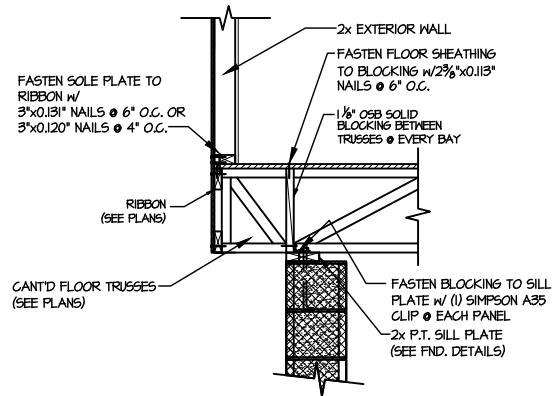
3 SHEAR TRANSFER DETAIL @
INTERSECTING INT. SHEARWALL
SCALE: 3/4"=1'-0" SHTS. OPPOSITE PAGES



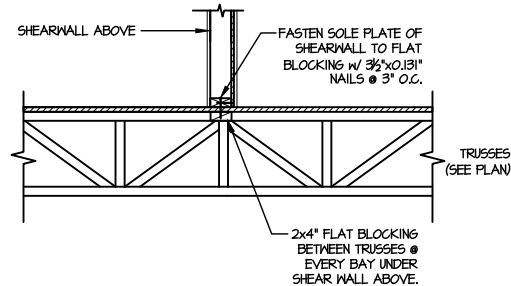
4 SHEAR TRANSFER DETAIL @
INTERSECTING INT. SHEARWALL
SCALE: 3/4"=1'-0" SHTS. ON SAME FACE



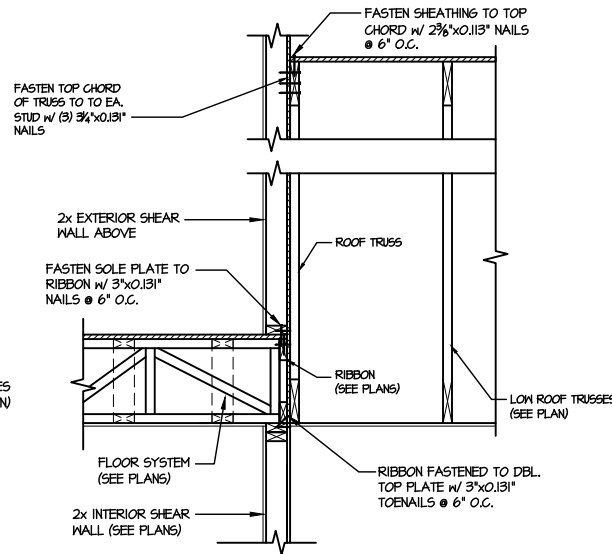
5 SHEAR TRANSFER DETAIL BETWEEN
FLOORS @ CANT'D EXT. WALL
SCALE: 3/4"=1'-0" PERPENDICULAR FRAMING



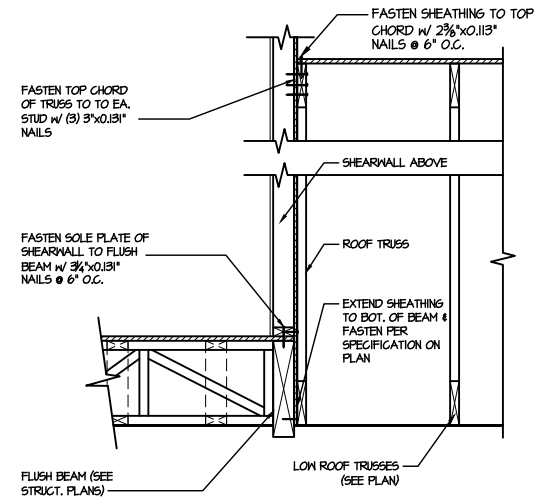
6 SHEAR TRANSFER DETAIL @
CANT'D EXTERIOR WALL
SCALE: 3/4"=1'-0"



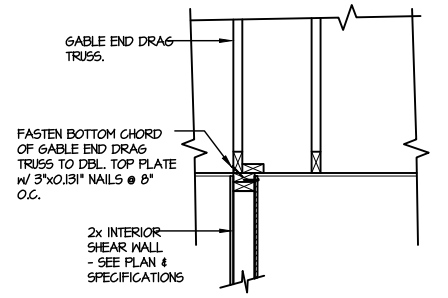
7 SHEAR TRANSFER DETAIL @
INTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0" PERPENDICULAR FRAMING



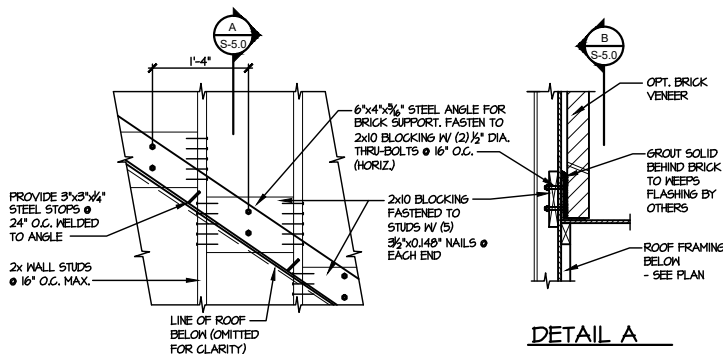
8 TYPICAL SHEAR TRANSFER DETAIL
BETWEEN FLOORS @ INTERIOR WALL
SCALE: 3/4"=1'-0"



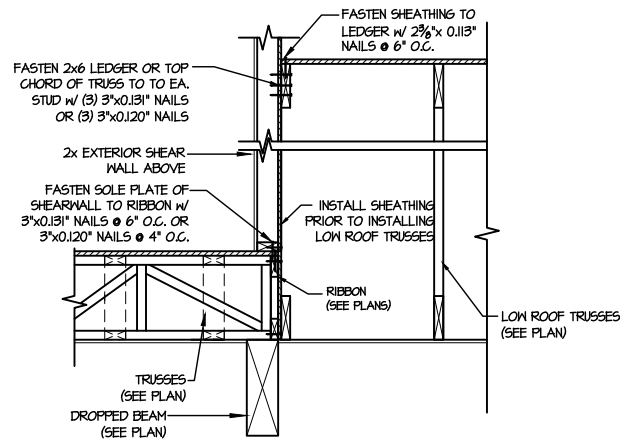
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EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



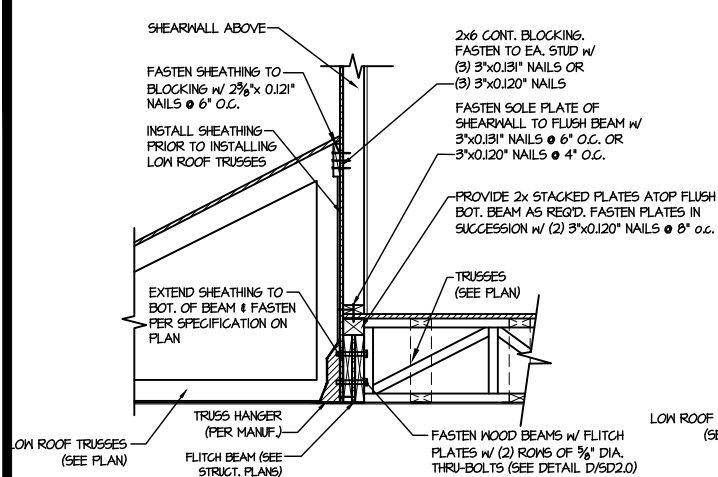
10 INTERIOR GABLE END DETAIL
SCALE: 3/4"=1'-0"



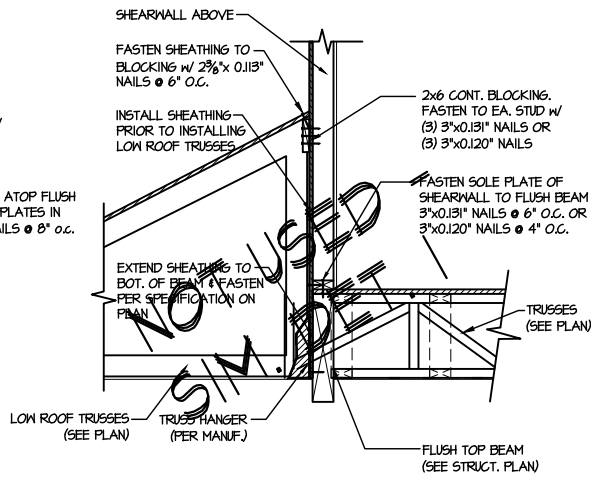
11 DETAIL SUPPORT OF BRICK VENEER
SCALE: 3/4"=1'-0"



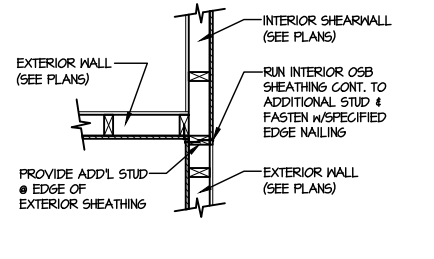
12 TYPICAL SHEAR TRANSFER DETAIL
BETWEEN FLOORS @ INTERIOR WALL
SCALE: 3/4"=1'-0"



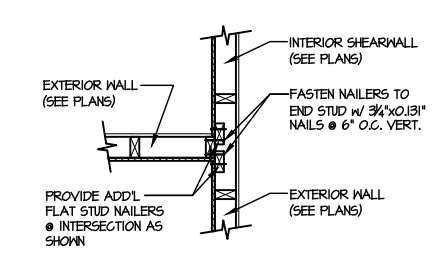
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EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



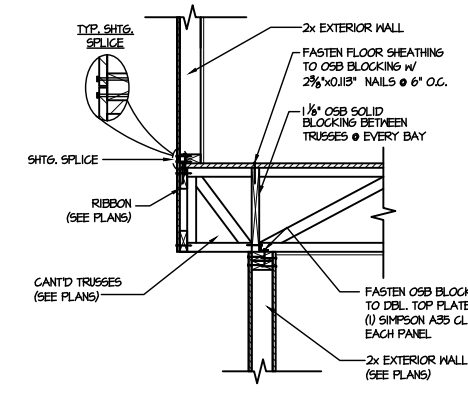
2 SHEAR TRANSFER DETAIL @
EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



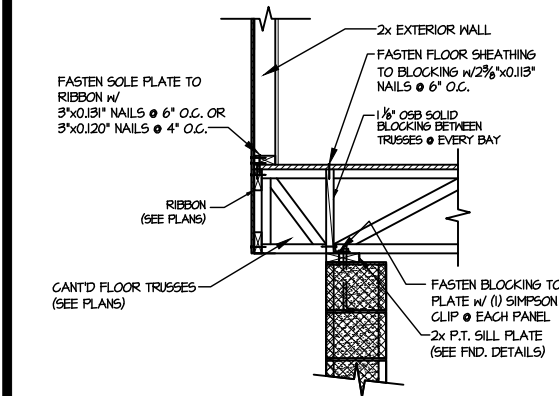
3 SHEAR TRANSFER DETAIL @
INTERSECTING INT. SHEARWALL
SCALE: 3/4"=1'-0" SHTS. OPPOSITE FACES



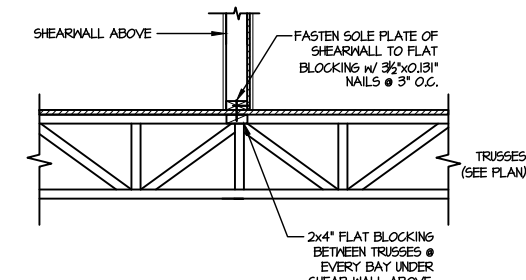
4 SHEAR TRANSFER DETAIL @
INTERSECTING INT. SHEARWALL
SCALE: 3/4"=1'-0" SHTS. ON SAME FACE



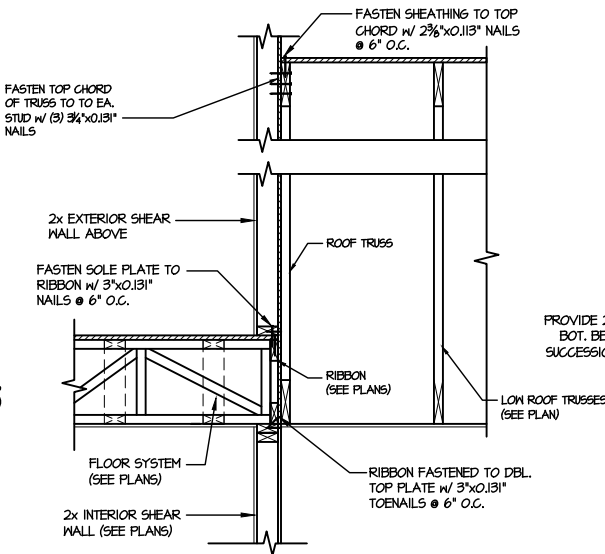
5 SHEAR TRANSFER DETAIL BETWEEN
FLOORS @ CANT'D EXT. WALL
SCALE: 3/4"=1'-0" PERPENDICULAR FRAMING



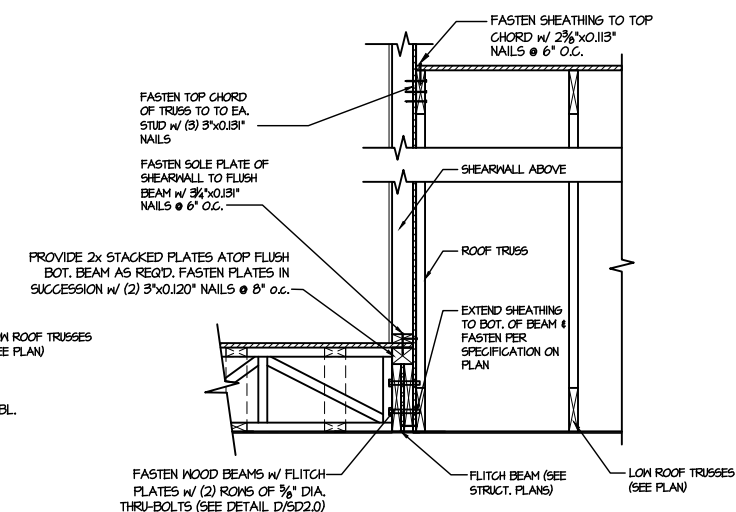
6 SHEAR TRANSFER DETAIL @
CANT'D EXTERIOR WALL
SCALE: 3/4"=1'-0"



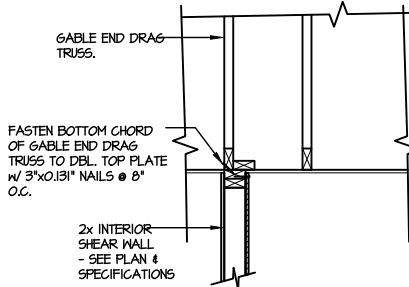
7 SHEAR TRANSFER DETAIL @
INTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0" PERPENDICULAR FRAMING



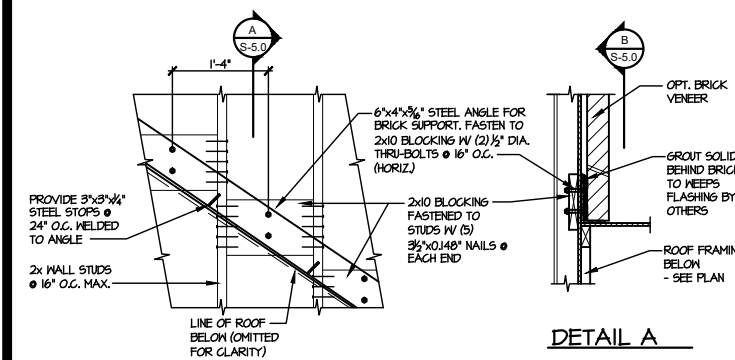
8 TYPICAL SHEAR TRANSFER DETAIL
BETWEEN FLOORS @ INTERIOR WALL
SCALE: 3/4"=1'-0"



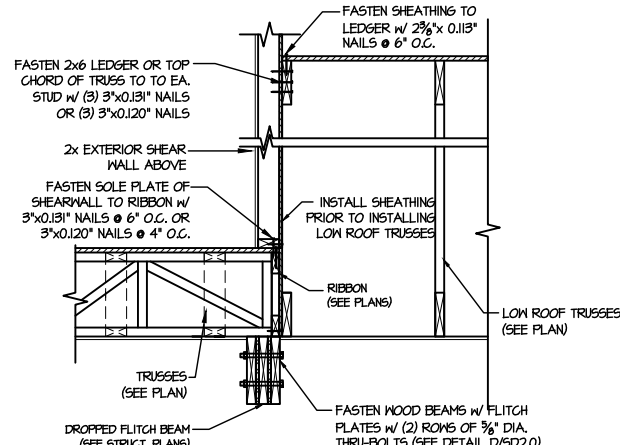
9 SHEAR TRANSFER DETAIL @
EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



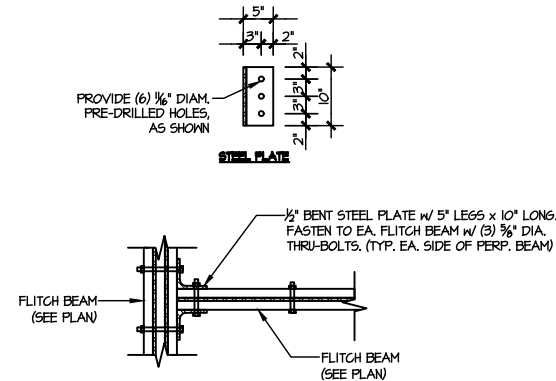
10 INTERIOR GABLE END DETAIL
SCALE: 3/4"=1'-0"



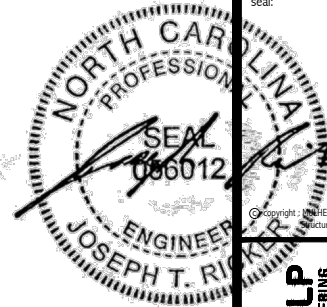
11 DETAIL SUPPORT OF BRICK VENEER
SCALE: 3/4"=1'-0"



12 TYPICAL SHEAR TRANSFER DETAIL
BETWEEN FLOORS @ INTERIOR WALL
SCALE: 3/4"=1'-0"



13 TYPICAL FLITCH BEAM TO FLITCH BEAM
CONNECTION DETAIL
SCALE: 3/4"=1'-0"



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300 Riverside Ave., Building 4 - Asheville, NC 28802
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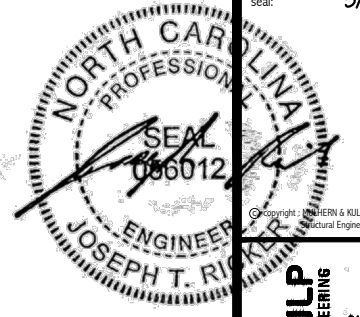
M&K project number:
126-23061
project mgr: JTR
drawn by: KJN
issue date: 03-03-25

REVISIONS:
date: initial:

DRB
HOMES

FRAMING DETAILS
BLAKE POND COMMUNITY
LOT 126 - STONEFIELD 2
RALEIGH, NC

sheet:
SD2.1B



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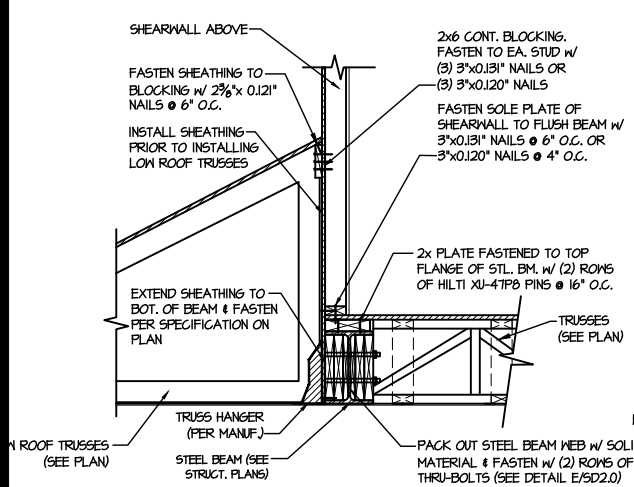
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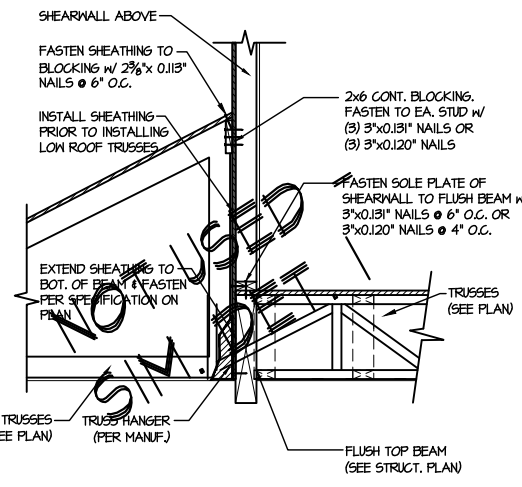
DRB HOMES

FRAMING DETAILS
BLAKE POND COMMUNITY
LOT 126 - STONEFIELD 2
RALEIGH, NC

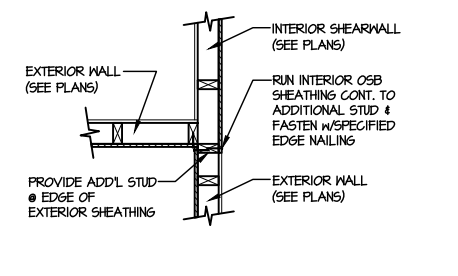
sheet:
SD2.1C



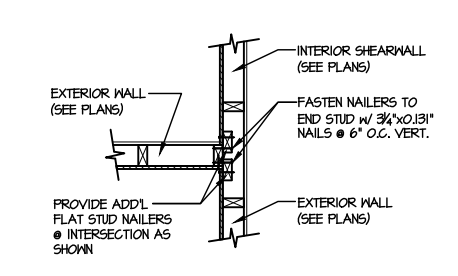
1 SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



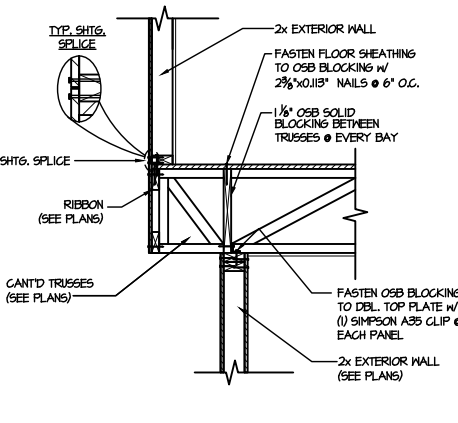
2 SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



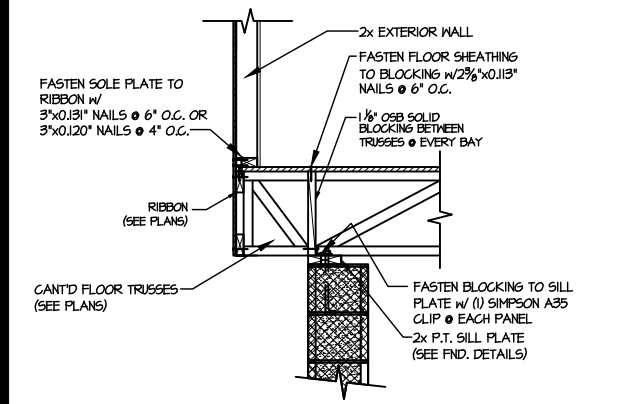
3 SHEAR TRANSFER DETAIL @ INTERSECTING INT. SHEARWALL
SCALE: 3/4"=1'-0" SHTS. OPPOSITE PAGES



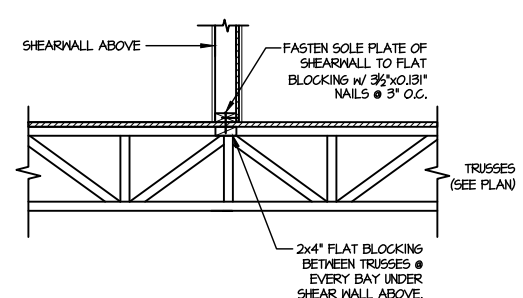
4 SHEAR TRANSFER DETAIL @ INTERSECTING INT. SHEARWALL
SCALE: 3/4"=1'-0" SHTS. ON SAME FACE



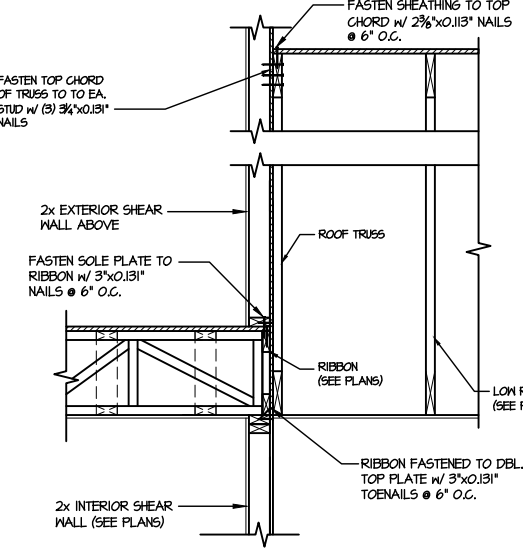
5 SHEAR TRANSFER DETAIL BETWEEN FLOORS @ CANT'D EXT. WALL
SCALE: 3/4"=1'-0" PERPENDICULAR FRAMING



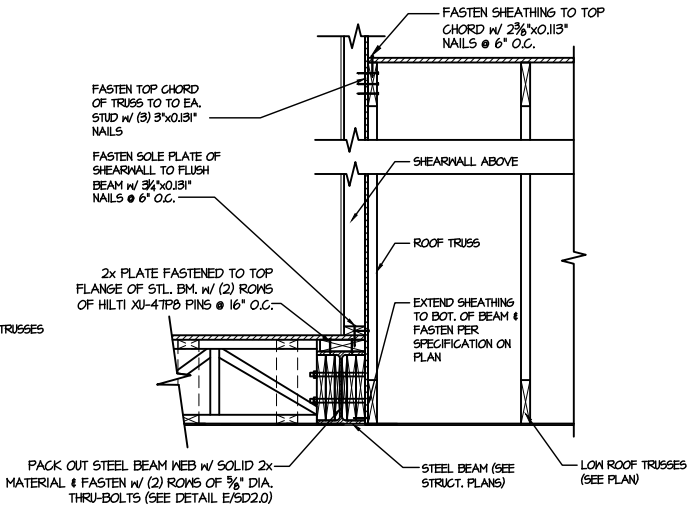
6 SHEAR TRANSFER DETAIL @ CANT'D EXTERIOR WALL
SCALE: 3/4"=1'-0"



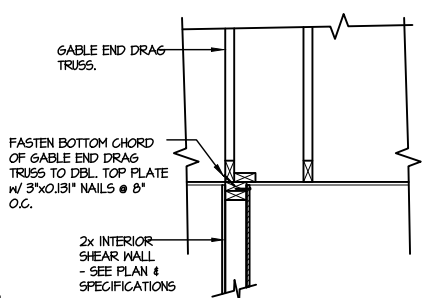
7 SHEAR TRANSFER DETAIL @ INTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0" PERPENDICULAR FRAMING



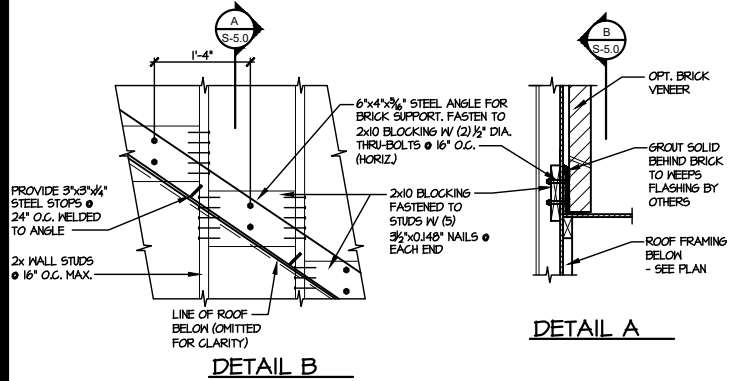
8 TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL
SCALE: 3/4"=1'-0"



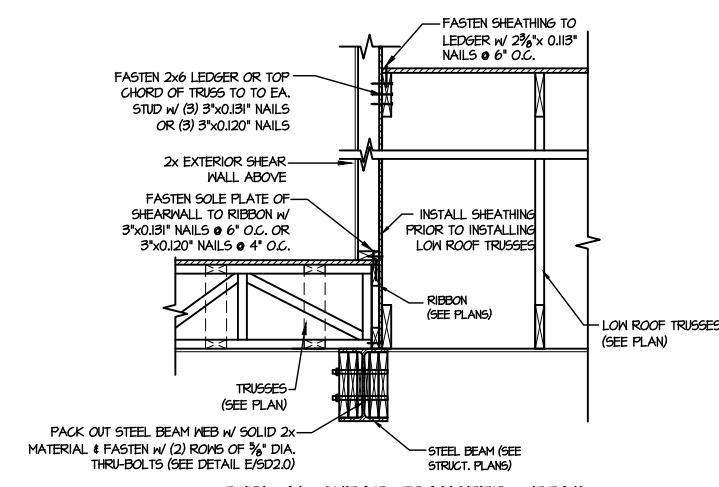
9 SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



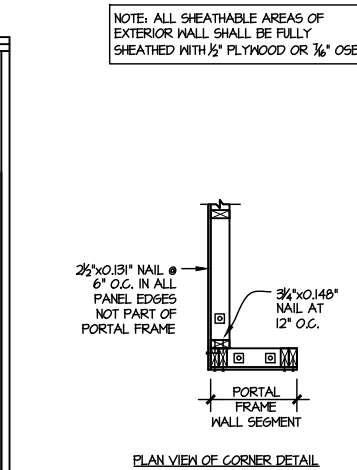
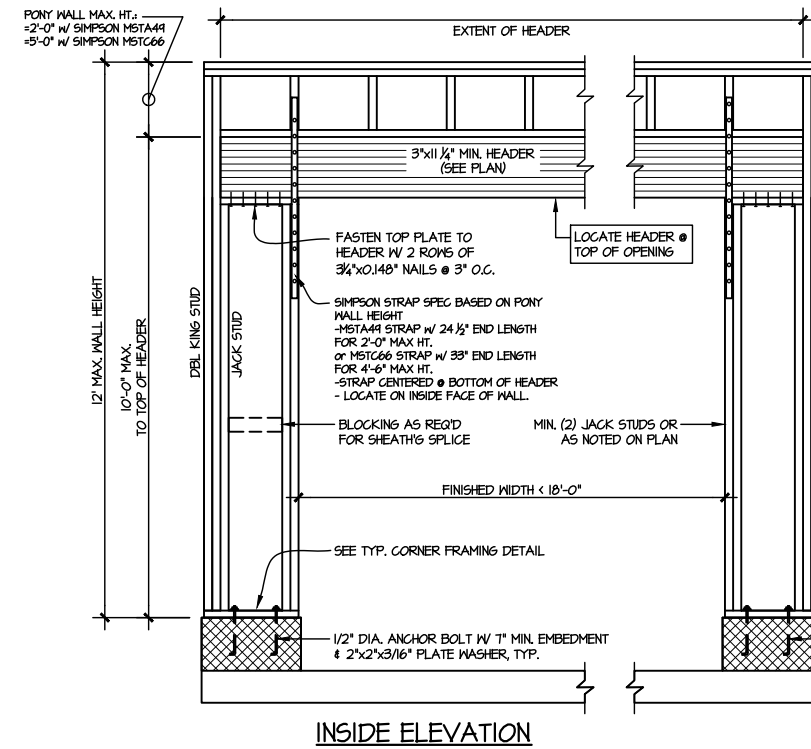
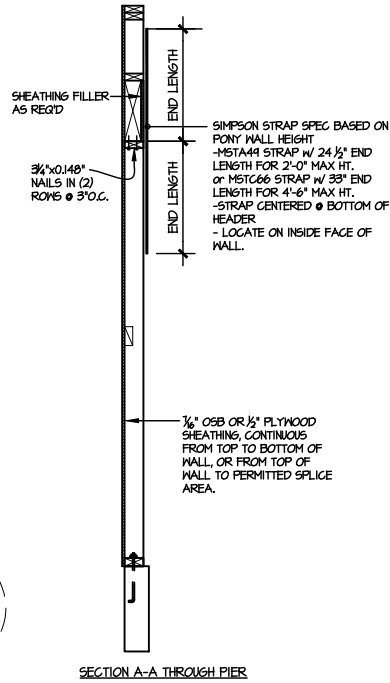
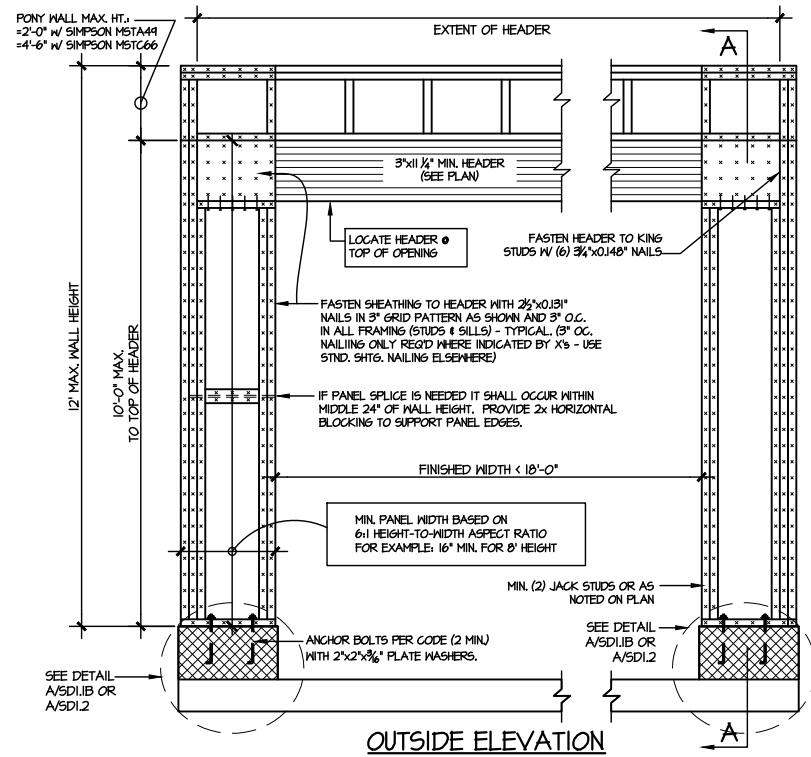
10 INTERIOR GABLE END DETAIL
SCALE: 3/4"=1'-0"



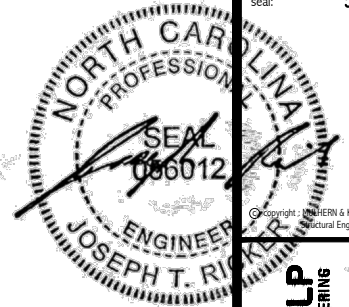
11 DETAIL SUPPORT OF BRICK VENEER
SCALE: 3/4"=1'-0"



12 TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL
SCALE: 3/4"=1'-0"



② TWO SIDED GARAGE PORTAL FRAME BRACING
ELEVATION ON CMU STEM
SCALE: N.T.S. SCALE: N.T.S.

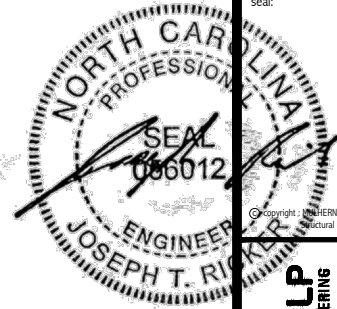
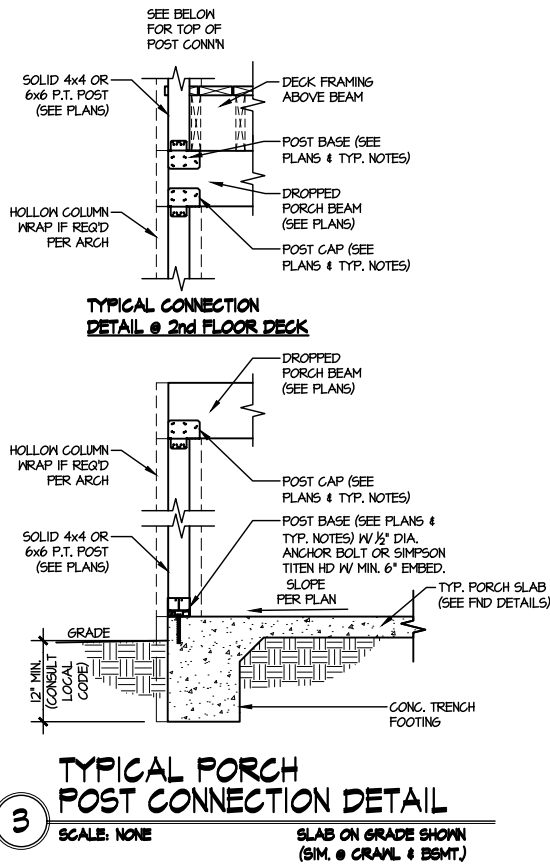


M&K project number:
126-23061
project mgr: JTR
drawn by: KJN
issue date: 03-03-25
REVISIONS:
date: initial:



FRAMING DETAILS
BLAKE POND COMMUNITY
LOT 126 - STONEFIELD 2
RALEIGH, NC

sheet:
SD2.2



seal: 3/5/25

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M&K project number:
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issue date: 03-03-25

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date:	initial:



FRAMING DETAILS

BLAKE POND COMMUNITY
LOT 126 - STONEFIELD 2
RALEIGH, NC

sheet:
SD3.0

ROOF TRUSS LAYOUT
SCALE: NTS
FOR CONSTRUCTION



Structural, LLC
201 Poplar Avenue
Thurmont, MD 21788
Phone: 301-271-7591

Customer: DRB Raleigh
Job Name: Blake Pond Lot 00.0126 Roof
Lot #: 00.0126
Model Name: Stonefield



NOTE:
IT IS THE RESPONSIBILITY OF THE BUILDING DESIGNER OR ARCHITECT TO PROVIDE AN APPROPRIATE CONNECTION FOR TRUSSES TO SUPPORTING STRUCTURE PER REACTIONS SHOWN ON TRUSS ENGINEERING. SPECIAL CONSIDERATIONS FOR MECHANICAL EQUIPMENT AND/OR PLUMBING (AND THEIR CONNECTIONS) IN TRUSS SPACE MUST BE DIAGRAMMED BY BUILDER ON APPROVED TRUSS LAYOUT PRIOR TO FABRICATION.

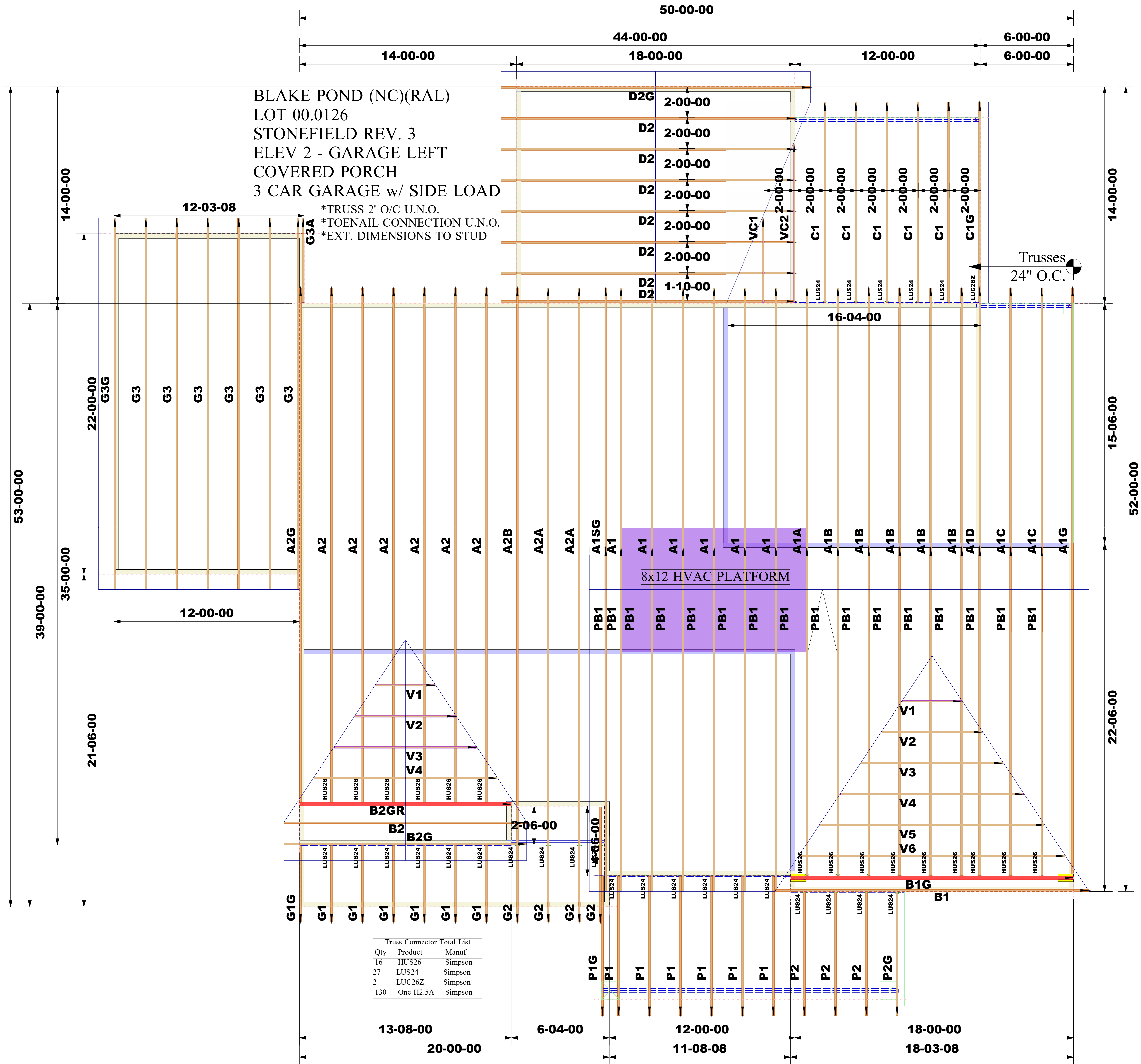
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WARNING:
CONVENTIONAL FRAMING, ERECTION AND/OR PERMANENT BRACING IS NOT THE RESPONSIBILITY OF THE TRUSS DESIGNER, PLATE MANUFACTURER, OR THE TRUSS MANUFACTURER. PERSONS ERECTING TRUSSES ARE CAUTIONED TO SEEK PROFESSIONAL ADVICE REGARDING THE ERECTION BRACING WHICH IS ALWAYS REQUIRED TO PREVENT TOPPLING AND DOMINOING DURING ERECTION; AND PERMANENT BRACING WHICH MAY BE REQUIRED IN SPECIFIC APPLICATIONS. SEE "BRACING WOOD TRUSSES COMMENTARY AND RECOMMENDATIONS" (BCSI 1) FOR FURTHER INFORMATION.

TRUSSES SHALL BE INSTALLED IN A STRAIGHT AND PLUMB PORTION WHERE NO SHEATHING IS APPLIED DIRECTLY TO TOP AND/OR BOTTOM CHORDS, THEY SHALL BE BRACED AS SPECIFIED ON THE ENGINEERED DESIGN. TRUSSES SHALL BE HANDLED WITH REASONABLE CARE DURING ERECTION TO PREVENT DAMAGE OR PERSONAL INJURY.

Job #:
2502-2480

Designer:
Beckett Tayler
Sales Rep:
Robbie Zarobinski



FLOOR TRUSS LAYOUT
SCALE: NTS



ELEV 2 BED 5/W BATH 3 AND GARAGE SIDELOAD W/3RD CAR

1ST FLOOR FRAMING

Job #:

2502-2479

Designer:

Rajkumar Yadav

Sales Rep:

Robbie Zarobinski

WARNING:

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Customer: DRB Raleigh

Job Name: Blake Pond Lot 00.0126 OWF

Lot #: 00.0126

Model Name: StonefieldBlake Pond Lot 00.0126 OWF

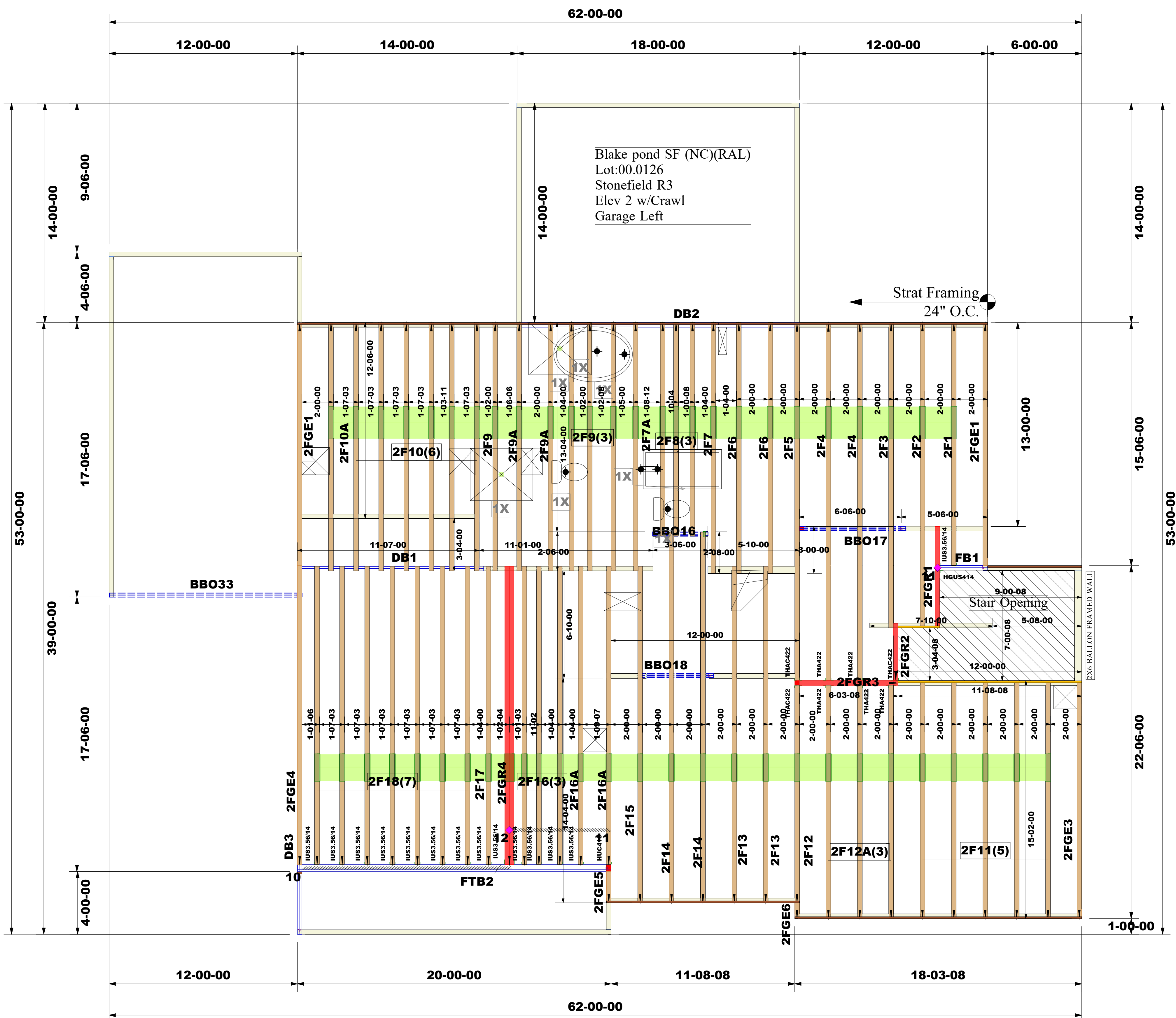


Structural, LLC
201 Poplar Avenue
Thurmont, MD 21788
Phone: 301-271-7591



FLOOR TRUSS LAYOUT

SCALE: NTS



ELEVATION 2

2ND FLOOR FRAMING

Truss Connector Total List		
Qty	Product	Manuf
1	HUC410	Simpson
14	IUS3.56/14	Simpson
5	THA422	Simpson
3	THAC422	Simpson

		Products		
Net Qty	Plies	Product	Length	PlotID
4	2	1 3/4" x 11 7/8" (2.0E 3100) LVL	12-00-00	DB1
4	2	1 3/4" x 14" (2.0E 3100) LVL	4-00-00	FB1
2	2	1 3/4" x 16" (2.0E 3100) LVL	20-00-00	DB3
4	2	1 3/4" x 16" (2.0E 3100) LVL	18-00-00	DB2
3	3	1 3/4" x 18" (2.0E 3100) LVL	20-00-00	FTB1
3	3	1 3/4" x 18" (2.0E 3100) LVL	20-00-00	FTB2

Job #:	2502-2479	<p>WARNING:</p> <p>CONVENTIONAL FRAMING, ERECTION AND/OR PERMANENT BRACING IS NOT THE RESPONSIBILITY OF THE TRUSS DESIGNER, PLATE MANUFACTURER, OR THE TRUSS MANUFACTURER. PERSONS ERECTING TRUSSES ARE CAUTIONED TO SEEK PROFESSIONAL ADVICE REGARDING THE ERECTION BRACING WHICH IS ALWAYS REQUIRED TO PREVENT TIPPING AND DOMINION DURING ERECTION, AND PERMANENT BRACING WHICH MAY BE REQUIRED IN SPECIFIC APPLICATIONS. SEE "BRACING WOOD TRUSSES COMMENTARY AND RECOMMENDATIONS" (BCS 1) FOR FURTHER INFORMATION.</p> <p>TRUSSES SHALL BE INSTALLED IN A STRAIGHT AND PLUMB POSITION WHERE NO SHEATHING IS APPLIED DIRECTLY TO TOP AND/OR BOTTOM CHORDS, THEY SHALL BE BRACED AS SPECIFIED ON THE ENGINEERING DESIGN. TRUSSES SHALL BE HANDLED WITH REASONABLE CARE DURING ERECTION TO PREVENT DAMAGE OR PERSONAL INJURY.</p>	<p>NOTE:</p> <p>IT IS THE RESPONSIBILITY OF THE BUILDING DESIGNER OR ARCHITECT TO PROVIDE AN APPROPRIATE CONNECTION FOR TRUSSES TO SUPPORTING STRUCTURE PER REACTIONS SHOWN ON TRUSS ENGINEERING. SPECIAL CONSIDERATIONS FOR MECHANICAL EQUIPMENT AND/OR PLUMBING (AND THEIR CONNECTIONS IN TRUSS SPACE MUST BE DIAGRAMMED BY BUILDER ON APPROVED TRUSS LAYOUT PRIOR TO FABRICATION.</p> <p>THIS COMPANY IS A TRUSS MANUFACTURER WHOSE RESPONSIBILITIES ARE LIMITED TO THOSE DESCRIBED IN WTCA 1-1995 "DESIGN RESPONSIBILITIES". ACCORDINGLY, IT DISCLAIMS ANY RESPONSIBILITIES AND/OR LIABILITY FOR THE CONSTRUCTION DESIGN, DRAWINGS, DOCUMENTS INCLUDING THE INSTALLATION, AND BRACING OF TRUSSES MANUFACTURED BY THIS COMPANY.</p>	<p>Customer: DRB Raleigh</p> <p>Job Name: Blake Pond Lot 00.0126 OWF</p> <p>Lot #: 00.0126</p> <p>Model Name: StonefieldBlake Pond Lot 00.0126 OWF</p>	 <p>Third-Party Quality Assurance Licensee TPI Plant W974</p> <p>Structural, LLC 201 Poplar Avenue Thurmont, MD 21788 Phone: 301-271-7591</p> 
Designer:	Rajkumar Yadav				
Sales Rep:	Robbie Zarobinski				