

# Tobacco Road Lot 99

# CRAWFORD



INCLUDED OPTIONS:

- 1st FLOOR**  
**SCREENED PORCH & DECK**  
**GOURMET KITCHEN**  
**FIREPLACE W/ BUILT-INS**  
**TRAY CEILING @ FAMILY ROOM**  
**BOX OAK STAIRS**  
**FRENCH DOORS @ STUDY**  
**TRAY CEILING @ DINING**  
**GUEST SHOWER ILO TUB BENCH @ MUD ROOM**  
**3RD CAR GARAGE**

- 2nd FLOOR**  
**TRAY CEILING @ OWNERS**  
**OWNERS DELUXE BATH**  
**SHARED BATH @ BATH 2**  
**2ND SINK @ BATH 2**  
**TUB W/TILE ILO FG TUB @ BATH 2**  
**LAUNDRY SINK**  
**LAUNDRY DOOR @ OWNERS CLOSET**  
**POCKET OFFICE**  
**SH WINDOW @ BEDROOM 2**

SQUARE FOOTAGE

FIRST FLOOR	1661 SQ. FT.
SECOND FLOOR	1767 SQ. FT.
TOTAL CONDITIONED	3428 SQ. FT.
FRONT PORCH	102 SQ. FT.
GARAGE	453 SQ. FT.
OPTIONS	
SCREENED PORCH	120 SQ. FT.
ADDITIONAL PORCH (UNCOVERED)	80 SQ. FT.
THIRD CAR GARAGE	210 SQ. FT.

THE FINISHED SQUARE FOOTAGE OF A PLAN IS TO BE REPORTED TO THE NEAREST WHOLE FOOT. THE FINISHED SQUARE FOOTAGE CALCULATIONS FOR THIS PLAN WERE MADE BASED ON PLAN DIMENSIONS OR DIGITAL DRAWINGS FILES ONLY, AND MAY VARY FROM THE FINISHED SQUARE FOOTAGE OF THE PLAN AS BUILT.

GOVERNING CODES & STANDARDS

- 2018 RESIDENTIAL BUILDING CODE WITH GEORGIA 2020 AMENDMENTS
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE WITH GEORGIA 2020 AMENDMENTS
- 2018 INTERNATIONAL FIRE CODE WITH NO AMENDMENTS
- 2018 INTERNATIONAL FUEL GAS CODE WITH GEORGIA 2020AMENDMENTS
- 2018 INTERNATIONAL MECHANICAL CODE WITH GEORGIA 2020 AMENDMENTS
- 2018 INTERNATIONAL PLUMBING CODE WITH GEORGIA 2020 AMENDMENTS
- 2020 NATIONAL ELECTRICAL CODE WITH NO GEORGIA AMENDMENTS

DESIGN CRITERIA

ROOF LIVE LOAD: 20PSF.  
FLOOR LIVE LOAD: 40PSF. (INCLUDES DECKS, PATIOS AND PORCHES)  
BASIC WIND VELOCITY: 90MPH  
SEISMIC DESIGN CATEGORY: B



DAVIDSON HOMES, LLC  
3460 PRESTON RIDGE ROAD, SUITE 525  
ALPHARETTA, GEORGIA 30005  
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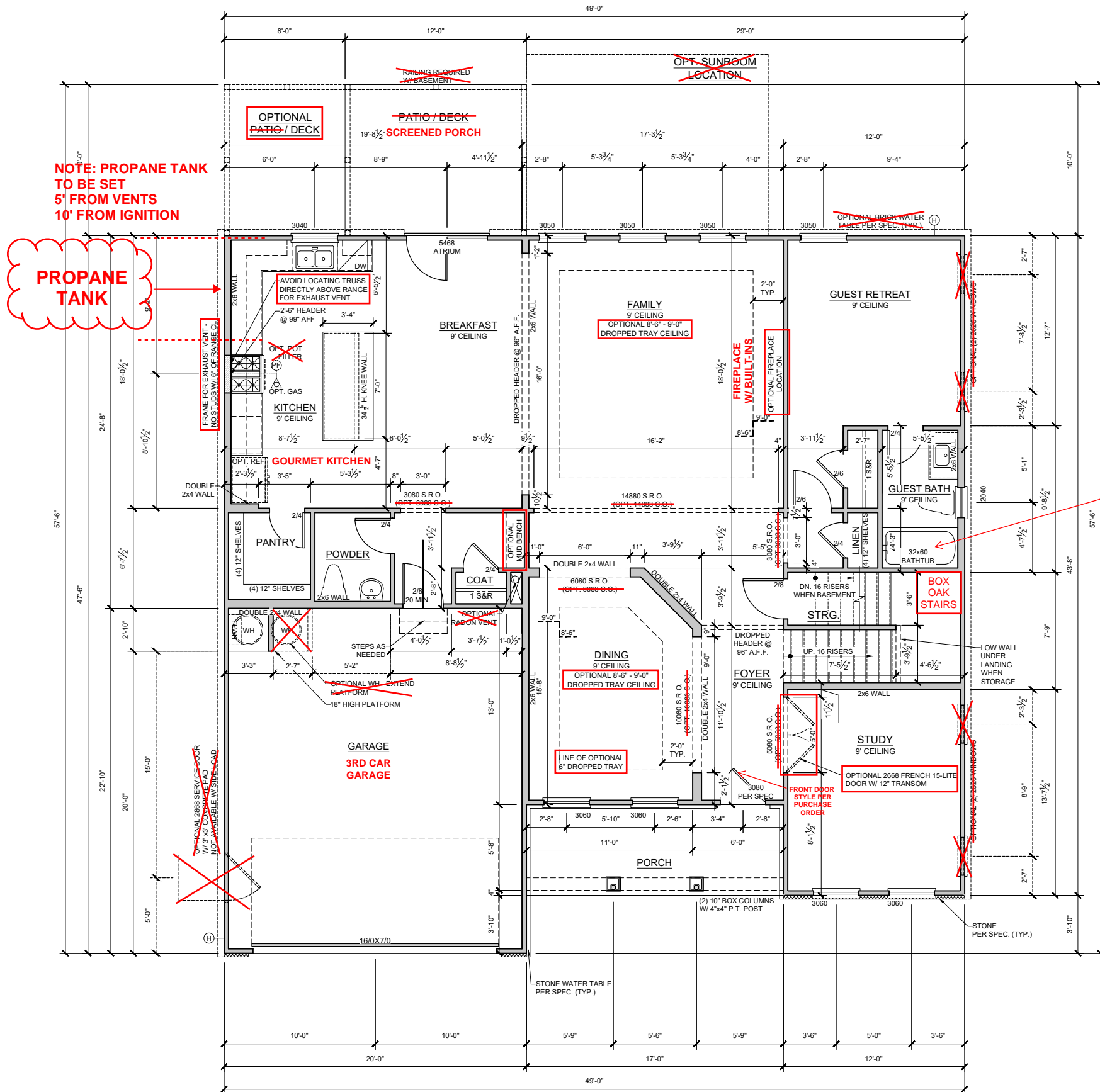
PLAN NAME: CRAWFORD A-D

SUBDIVISION: ---  
LOT#: ---

REVISION NO. 10  
BY ZACHARY.MYRICK  
REVISION DATE 2024-09-20

COVER SHEET

SHEET NO.  
A-CS.2



NOTE: PROPANE TANK  
TO BE SET  
5' FROM VENTS  
10' FROM IGNITION

PROPANE  
TANK

FG SHOWER PAN  
W/CEILING HEIGHT  
WALL TILE  
ilo TUB/SHOWER

SEE PAGE A-1.1D FOR  
OPTIONS:  
SCREENED PORCH  
3RD CAR GARAGE  
GOURMET KITCHEN  
FIREPLACE  
&  
BENCH DETAIL

FIRST FLOOR PLAN D  
SCALE: 1/8" = 1'-0"

GENERAL FRAMING NOTES

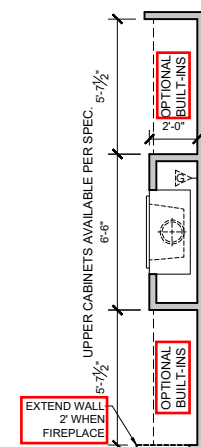
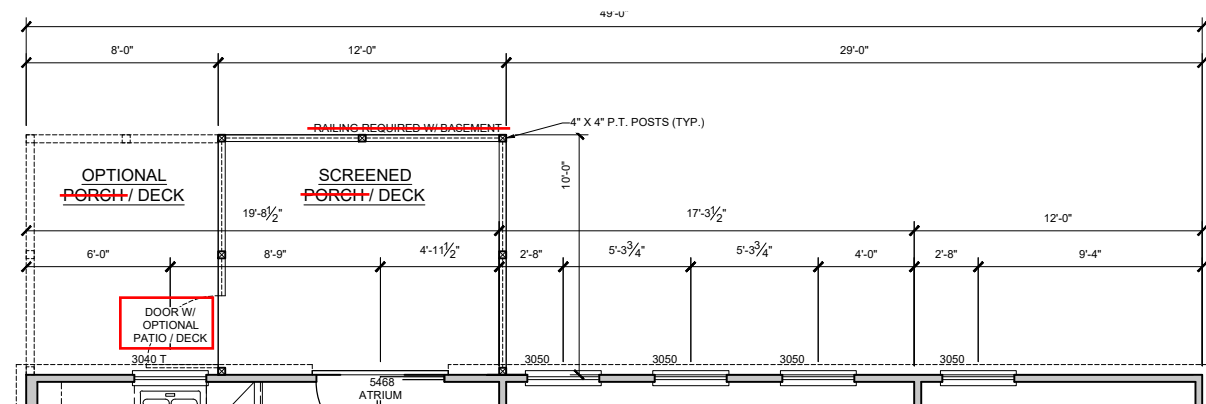
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- DOOR FRAMES NEAR CORNERS SHALL BE A MINIMUM 4 1/2" FROM CORNER. WHEN TWO DOORS ARE AT SAME CORNER, MINIMUM OF 6" FROM CORNER. DOORS AT CLOSETS SHALL BE CENTERED ON CLOSET.
- REFER TO DOOR AND WINDOW MANUFACTURER SPECIFICATIONS FOR ROUGH OPENING SIZES.
- ATTIC ACCESS SHALL BE PROVIDED AT ALL ATTIC AREAS WITH A HEIGHT GREATER THAN 30" MINIMUM. CLEAR ATTIC ACCESS SHALL BE 20"x30". PULL DOWN STAIRS AND ACCESS DOORS IN KNEE WALLS MEETING MINIMUM CRITERIA ARE ALSO ACCEPTABLE.
- GARAGE WALLS, AT A MINIMUM SHALL BE SEPARATED FROM THE LIVING SPACE BY INSTALLING 1/2" GYPSUM BOARD ON THE GARAGE SIDE OF THE WALL. WITH HABITABLE SPACE ABOVE, THE INSIDE OF ALL GARAGE WALLS REQUIRE 1/2" GWB SUPPORTING 5/8" TYPE X GWB ON CEILING.
- INTERIOR HANDRAILS SHALL NOT BE LESS THAN 34", AND NOT MORE THAN 38", AND COMPLY WITH IRC SECTION R311.7.8
- EXTERIOR GUARD RAILS SHALL BE NOT LESS THAN 36", AND COMPLY WITH IRC SECTION R312.1
- DIMENSIONS ARE ONLY TO BE READ OR CALCULATED, NOT SCALED



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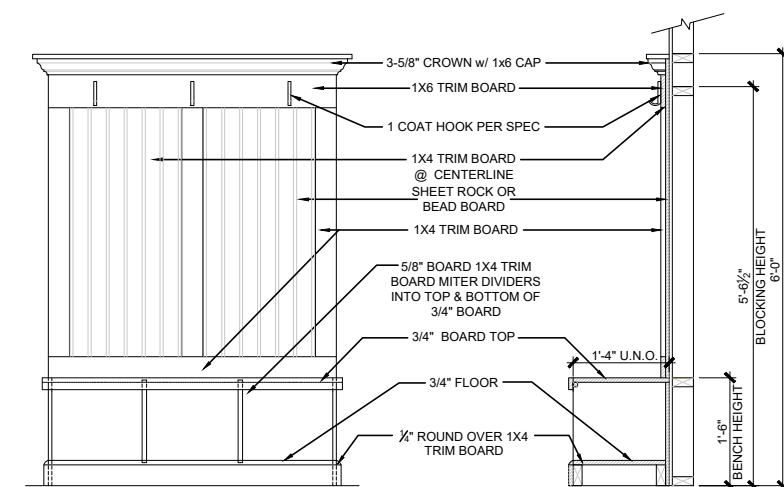
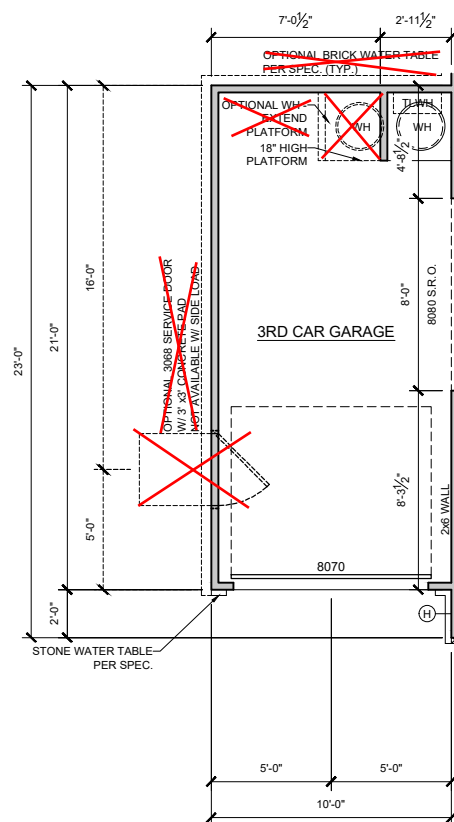
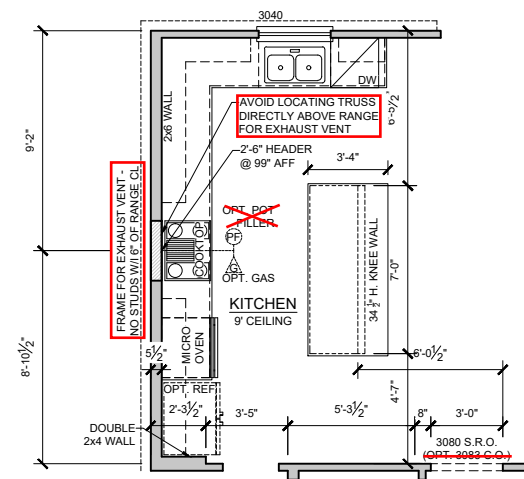
PLAN NAME:	CRAWFORD A-D
SUBDIVISION:	---
LOT#:	---
REVISION NO.	10
BY	ZACHARY.MYRICK
REVISION DATE	2024-09-20
FIRST FLOOR PLAN	
SHEET NO.	A-1.0D

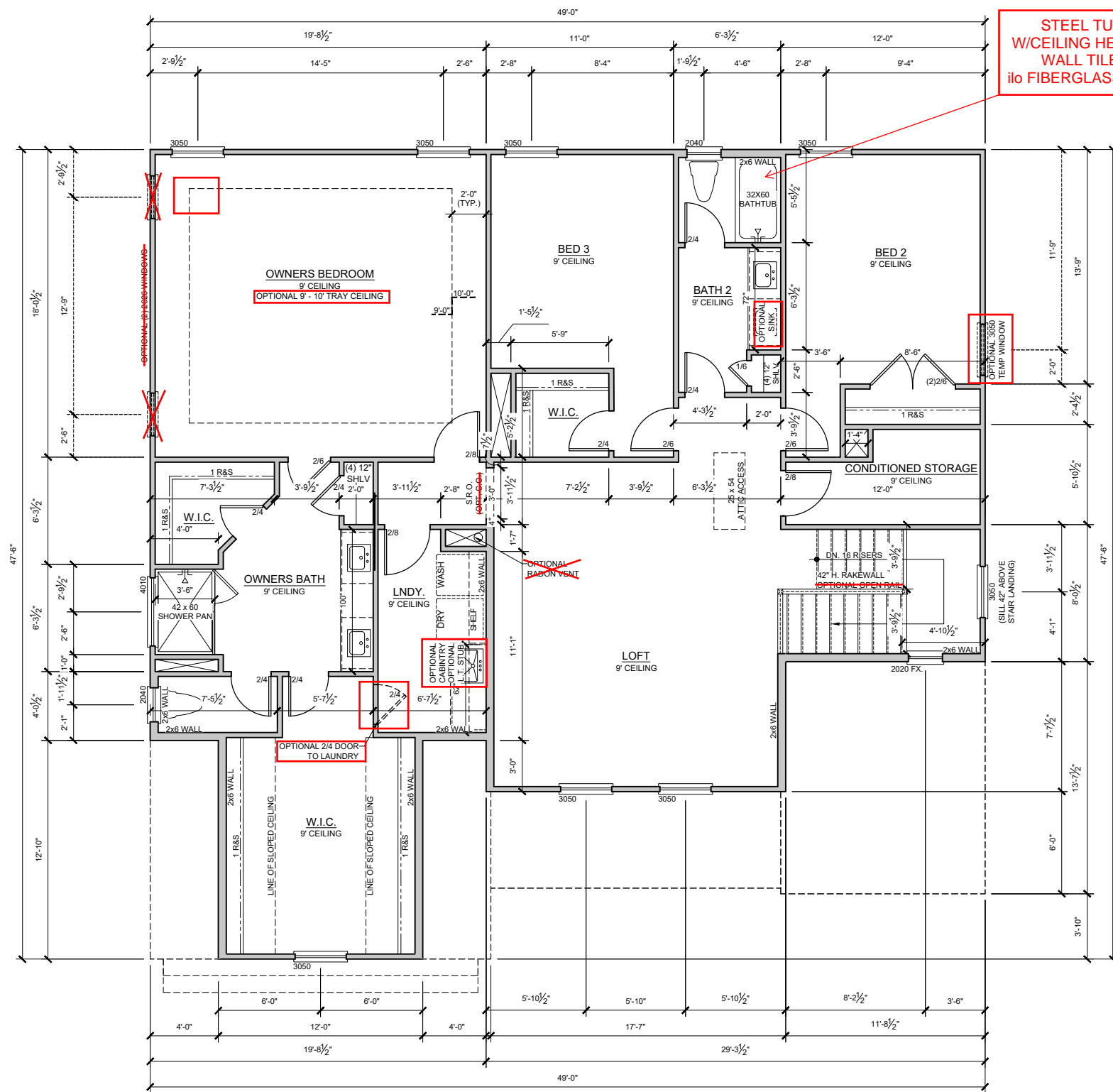
Tobacco Road Lot 99



- ## GENERAL FRAMING NOTES

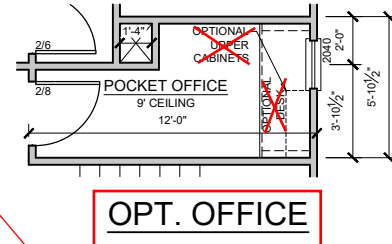
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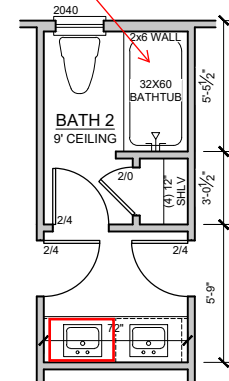


SECOND FLOOR PLAN D  
SCALE: 1/8" = 1'-0"

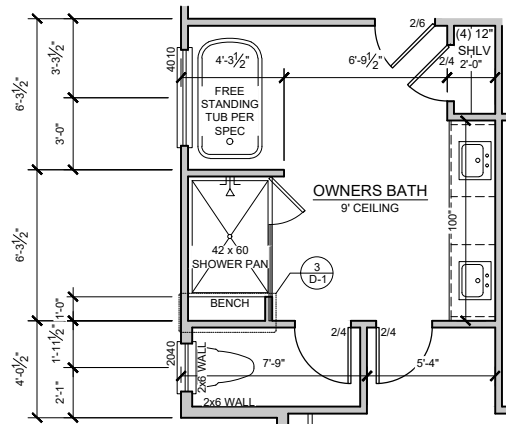
STEEL TUB  
W/CEILING HEIGHT  
WALL TILE  
ilo FIBERGLASS TUB



OPT. OFFICE



OPTIONAL SHARED BATH



OPT. OWNERS DELUXE BATH

GENERAL FRAMING NOTES

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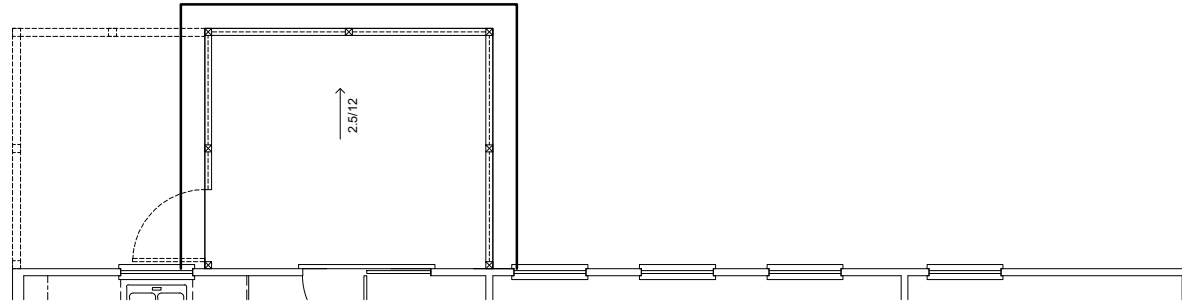
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PLAN NAME:	CRAWFORD A-D
SUBDIVISION:	---
LOT#:	---

REVISION NO.	10
BY	ZACHARY.MYRICK
REVISION DATE	2024-09-20
OPTIONAL SECOND FLOOR PLAN 9' PLT HT	
SHEET NO.	A-2.1D

Tobacco Road Lot 99

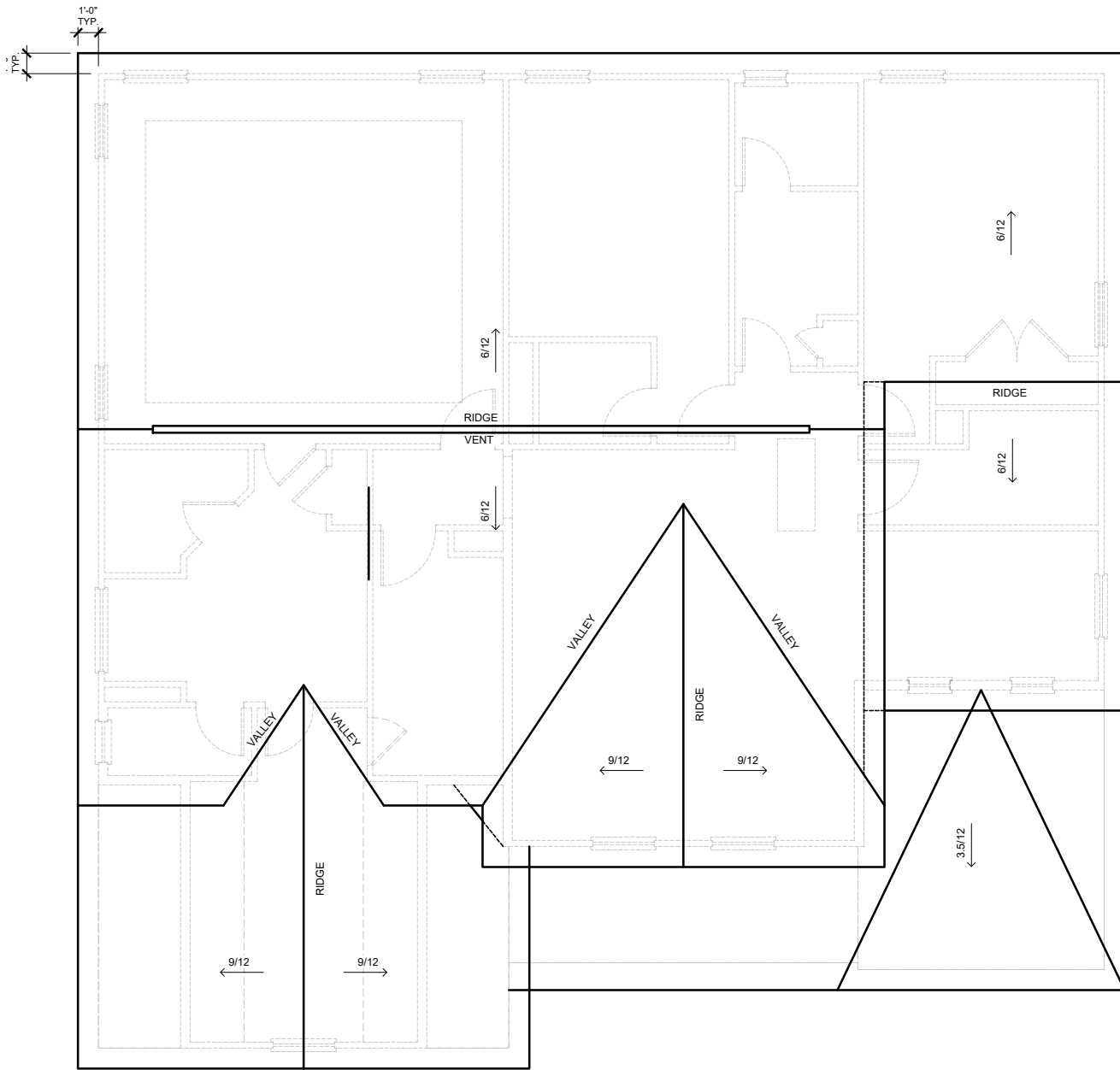




OPTIONAL SCREENED PORCH ROOF

SCALE: 1/8" = 1'-0"

MAIN ROOF			
2415 SQ FT UNDER ROOF ATTIC			
300 SQ FT / 1 SQ FT = 8.05 SQ FT VENTILATION			
RIDGE VENTS 18 SQ IN = (.125 SQ FT)			
VENTED SOFFIT 9 SQ IN = (.0625 SQ FT)			
BOX VENTS 50 SQ IN = (.347 SQ FT)			
INTAKE VENTS 36 SQ IN = (.25 SQ FT)			
8.05 SQ FT x	50%	4.025 SQ FT OF RIDGE	
8.05 SQ FT x	50%	4.025 SQ FT OF SOFFIT	
RIDGE VENT			
4.025 SQ FT	=	32.2 FEET OF RIDGE VENT	
0.125 SQ FT			
SOFFIT VENT			
4.025 SQ FT	=	64.4 FEET OF VENTED SOFFIT	
0.0625 SQ FT			
RIDGE VENT PROVIDED			
VENTED SOFFIT PROVIDED			60 FEET
# BOX VENTS @ RIDGE			64 FEET
# INTAKE VENTS @ SOFFIT			-9.6 COUNT
			0.1 COUNT
			(NEGATIVE = 0)



ROOF PLAN D

SCALE: 1/8" = 1'-0"

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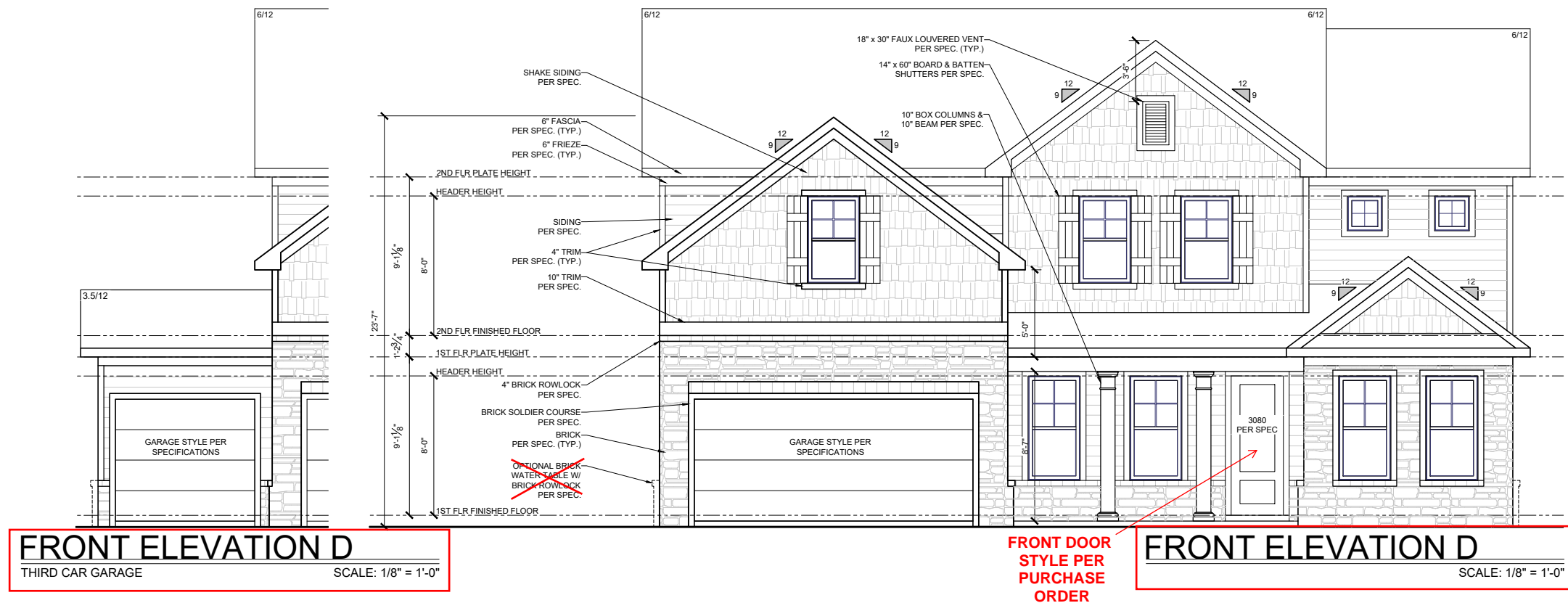
PLAN NAME: CRAWFORD A-D

SUBDIVISION: ---

LOT#: ---

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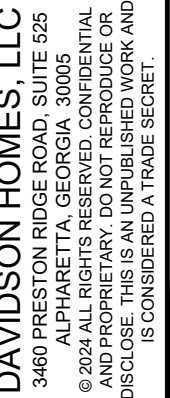
ROOF PLAN D
SHEET NO.
A-4.0D



### GENERAL ELEVATION NOTES

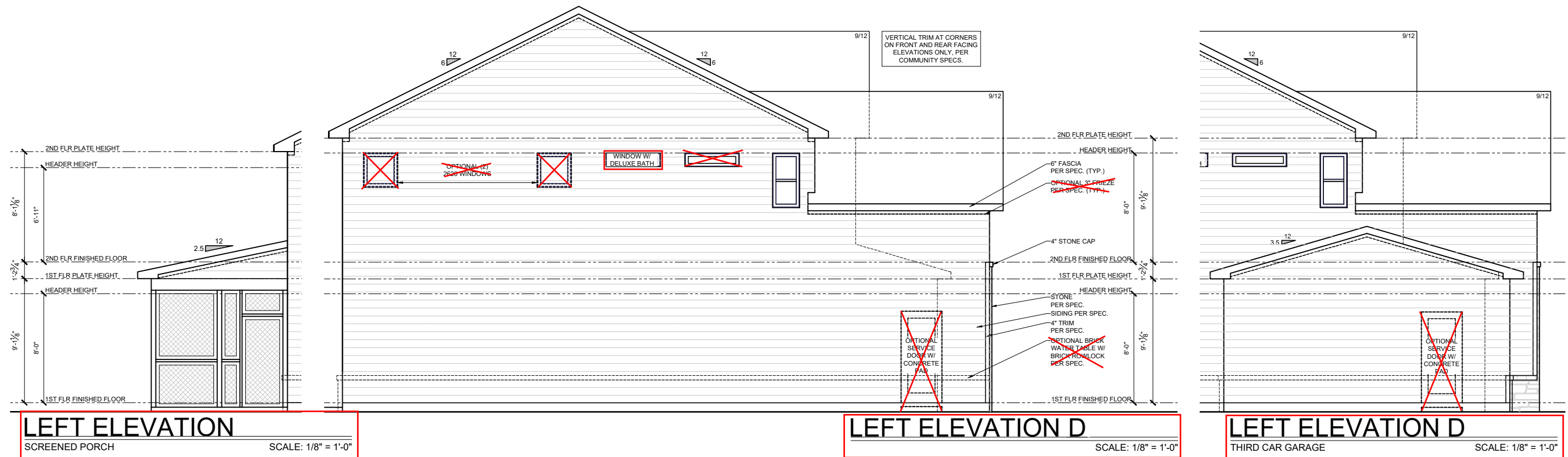
- FASCIA, FRIEZE, RAKE, AND SKIRT BOARDS TO BE 1X UNLESS OTHERWISE NOTED
- ALL OTHER TRIM TO BE 5/4 UNLESS OTHERWISE NOTED
- LAP SIDING REVEALS PER SPEC., UNLESS OTHERWISE NOTED
- ROOF COVERING TO BE SHINGLES PER SPEC., UNLESS OTHERWISE NOTED

# Tobacco Road Lot 99



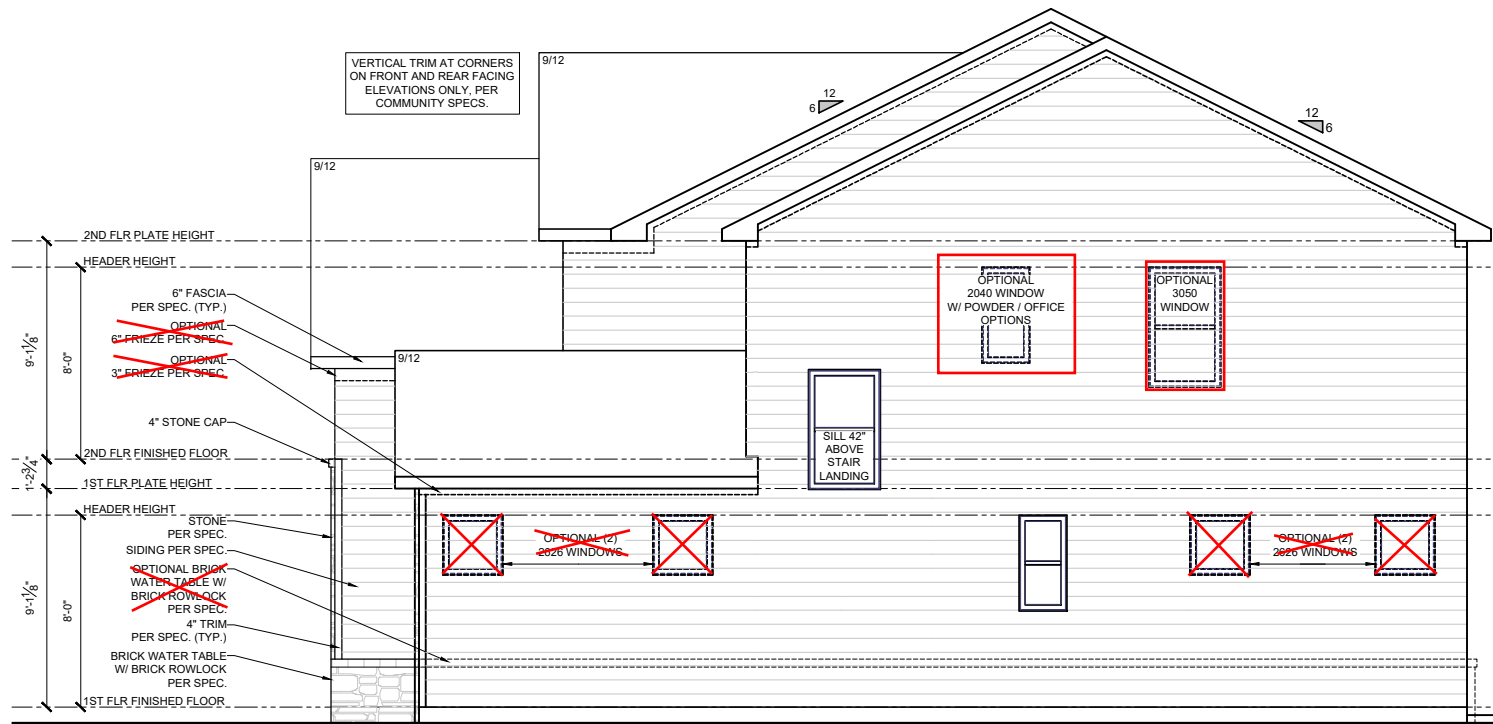
PLAN NAME:	CR
SUBDIVISION:	---
LOT#:	---

VISION NO. 10  
ZACHARY.MYRICK  
VISION DATE 2024-09-20  
LEFT ELEVATION D  
OPT. 9' 2ND FLOOR  
SHEET NO.  
**A-5.5D**



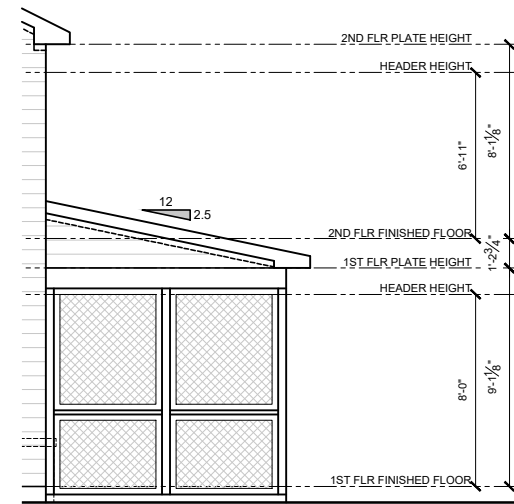
GENERAL ELEVATION  
NOTES

- FASCIA, FRIEZE, RAKE, AND SKIRT  
BOARDS TO BE 1X UNLESS OTHERWISE  
NOTED
- ALL OTHER TRIM TO BE 5/4 UNLESS  
OTHERWISE NOTED
- LAP SIDING REVEALS PER SPEC., UNLESS  
OTHERWISE NOTED
- ROOF COVERING TO BE SHINGLES PER  
SPEC., UNLESS OTHERWISE NOTED



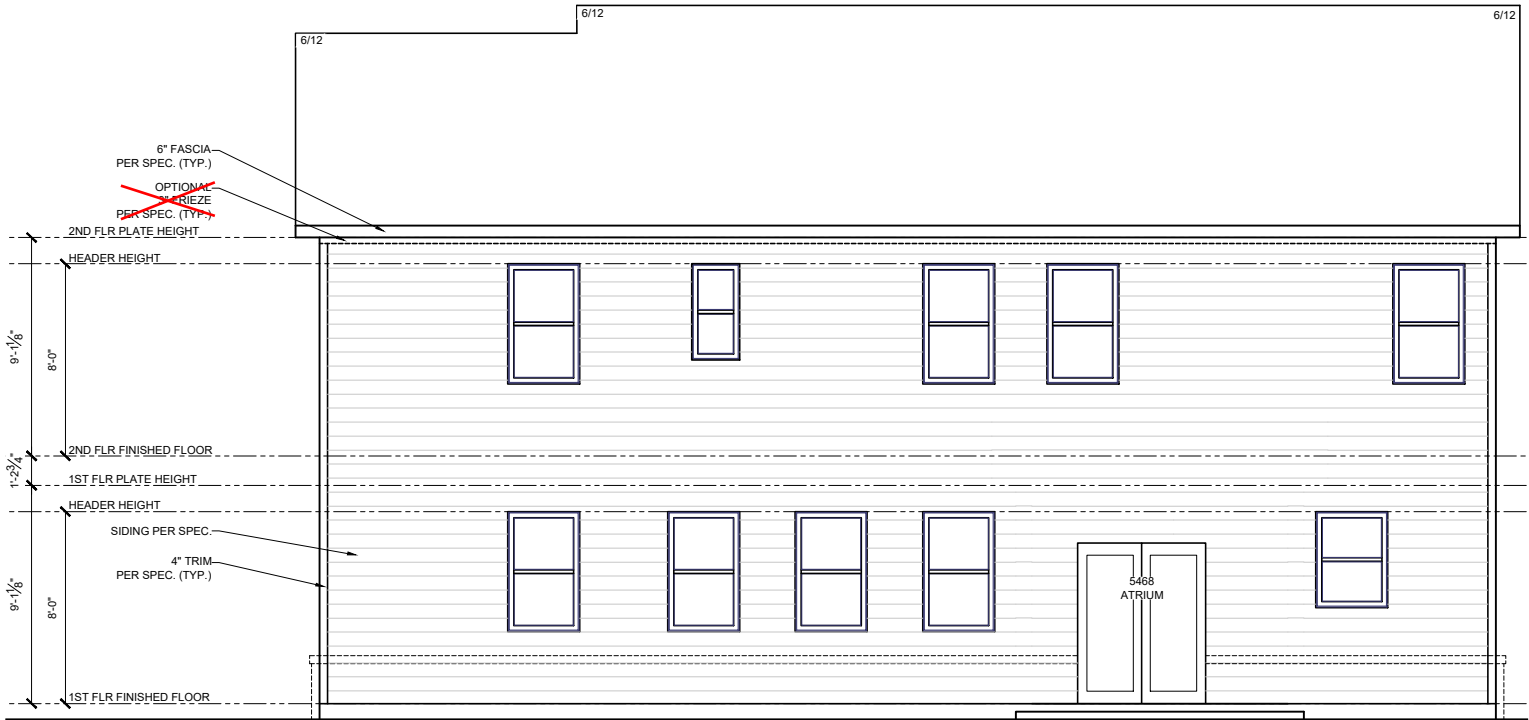
RIGHT ELEVATION D

SCALE: 1/8" = 1'-0"



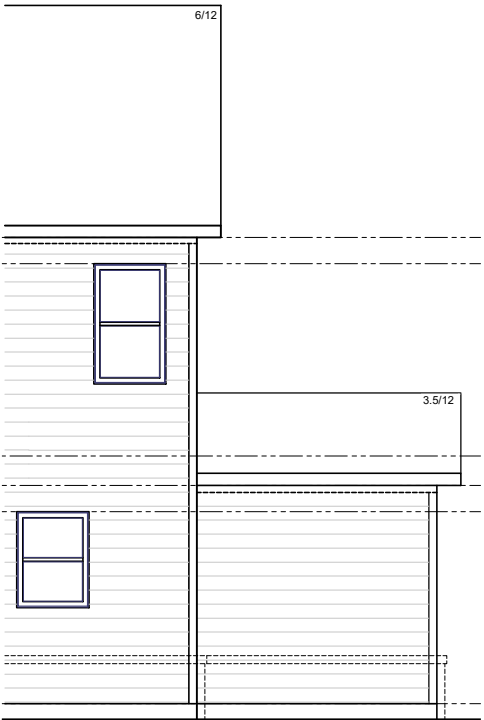
RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION D

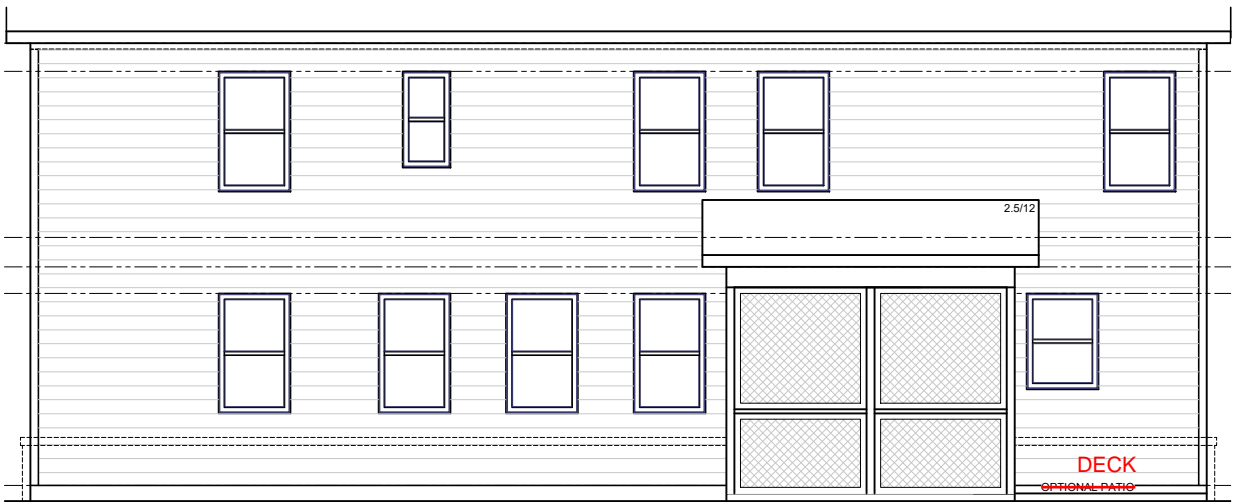
SCALE: 1/8" = 1'-0"



REAR ELEVATION D

THIRD CAR GARAGE

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCREENED PORCH

SCALE: 1/8" = 1'-0"

GENERAL ELEVATION  
NOTES

- FASCIA, FRIEZE, RAKE, AND SKIRT  
BOARDS TO BE 1X UNLESS OTHERWISE  
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- ALL OTHER TRIM TO BE 5/4 UNLESS  
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Tobacco Road Lot 99



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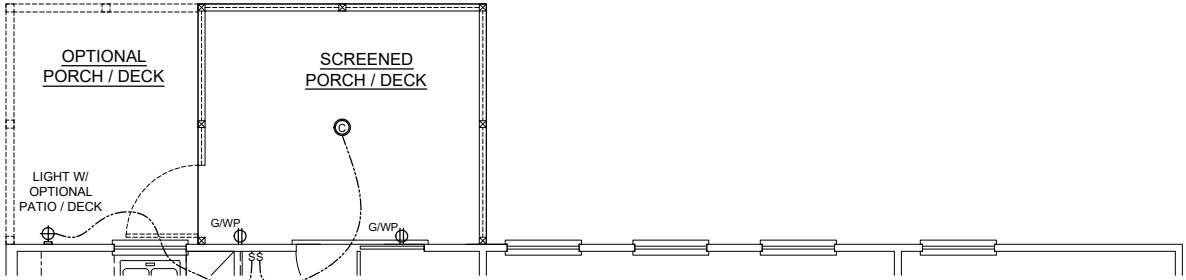
PLAN NAME: CRAWFORD A-D

SUBDIVISION: ---

LOT#: ---

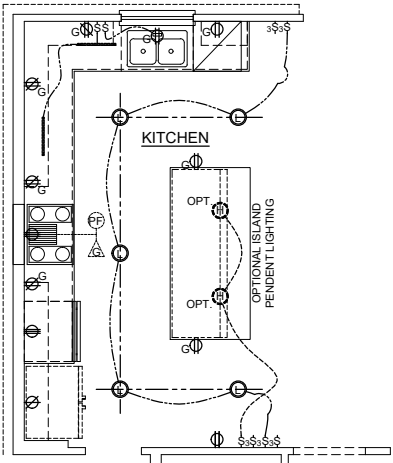
REVISION NO. 10  
BY ZACHARY.MYRICK  
REVISION DATE 2024-09-20  
FIRST FLOOR  
ELECTRICAL PLAN D  
SHEET NO.  
E-1.0D

ELECTRICAL SCHEDULE			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
SWITCHES			
\$	SWITCH	\$3	SWITCH - 3 WAY
\$4	SWITCH - 4 WAY		
OUTLETS			
Ø	DEDICATED	ØC	COUNTER
ØU	COUNTER USB	ØUG	COUNTER U / GF
ØG	COUNTER GFI	Ø	220 V
Ø	110 V	ØU	110 V USB
ØG	110 V GFI	ØGWP	110 V GFI / WP
Ø	CEILING	Ø	FLOOR
LIGHTING			
Ø	LED	Ø	CEILING MOUNT
Ø	HANGING	Ø	RECESSED CAN
Ø	FLOOD LIGHT	Ø	OPT. FLOOD LIGHT
Ø	WALL MOUNT		
Ø	FLUORESCENT	Ø	OPT. FLUORESCENT
Ø	CEILING FAN W/ LIGHT	Ø	UNDER CABINET
		Ø	OPT. UNDER CABINET
UTILITIES			
Ø	GARAGE DOOR OPENER	Ø	DOOR BELL
Ø	THERMOSTAT	Ø	MEDIA
Ø	DOOR BELL CHIME	Ø	OPTIONAL MEDIA
Ø	LOW VOLTAGE PANEL	Ø	EXHAUST FAN
Ø	SMOKE DETECTOR	Ø	SECURITY PANEL
Ø	SMOKE & CO2 DETECTOR	Ø	CEILING SPEAKER
Ø	STANDARD WATER HEATER	Ø	OPTIONAL STANDARD WATER HEATER
Ø	TANKLESS WATER HEATER	Ø	OPT. TANKLESS WATER HEATER
Ø	SUMP PUMP	Ø	OPTIONAL SUMP PUMP
Ø	POT FILLER	Ø	OPTIONAL POT FILLER
Ø	EXTERIOR HOSE BIBB	Ø	OPTIONAL GAS STUB
Ø	GAS STUB	Ø	OPTIONAL GAS STUB
METERS & PANELS			
Ø	ELECTRICAL METER	Ø	ELECTRICAL PANEL
NOTES & ABBREVIATIONS			
WP	WATER PROOF		
GFI	GROUND FAULT INTERCEPTOR		
FRB	FAN RATED BOX		

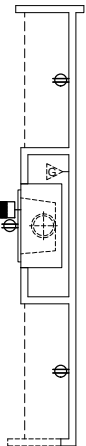


OPTIONAL SCREENED PORCH ELEC

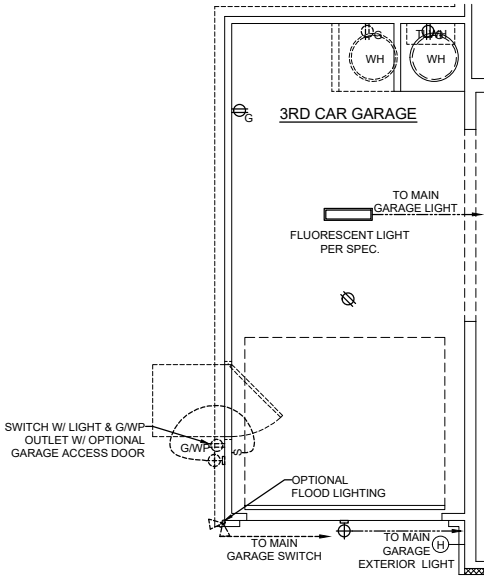
SCALE: 1/8" = 1'-0"



OPT. GOURMET KITCHEN



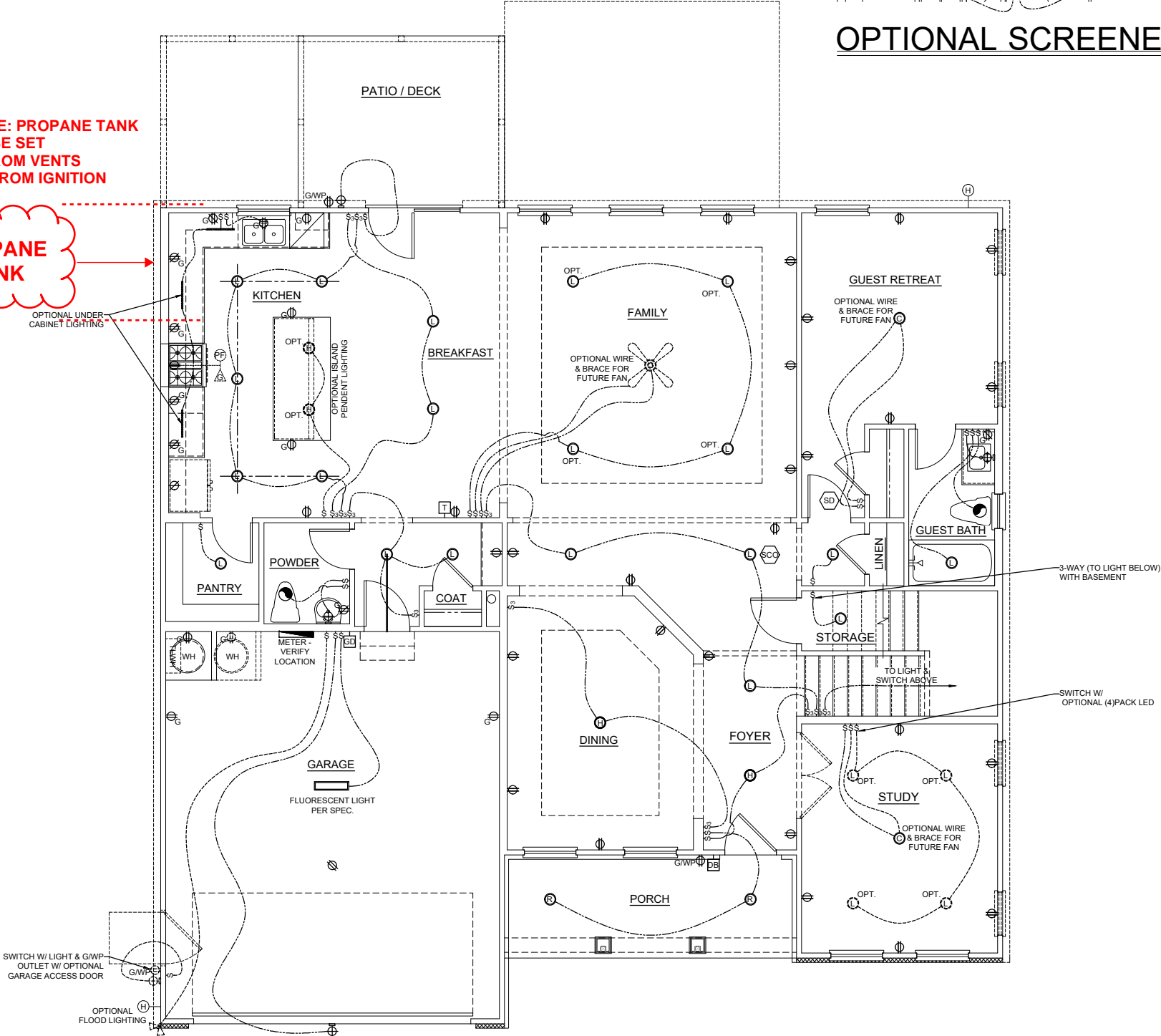
OPT. FIREPLACE



OPT. 3RD CAR GARAGE

NOTE: PROPANE TANK TO BE SET 5' FROM VENTS 10' FROM IGNITION

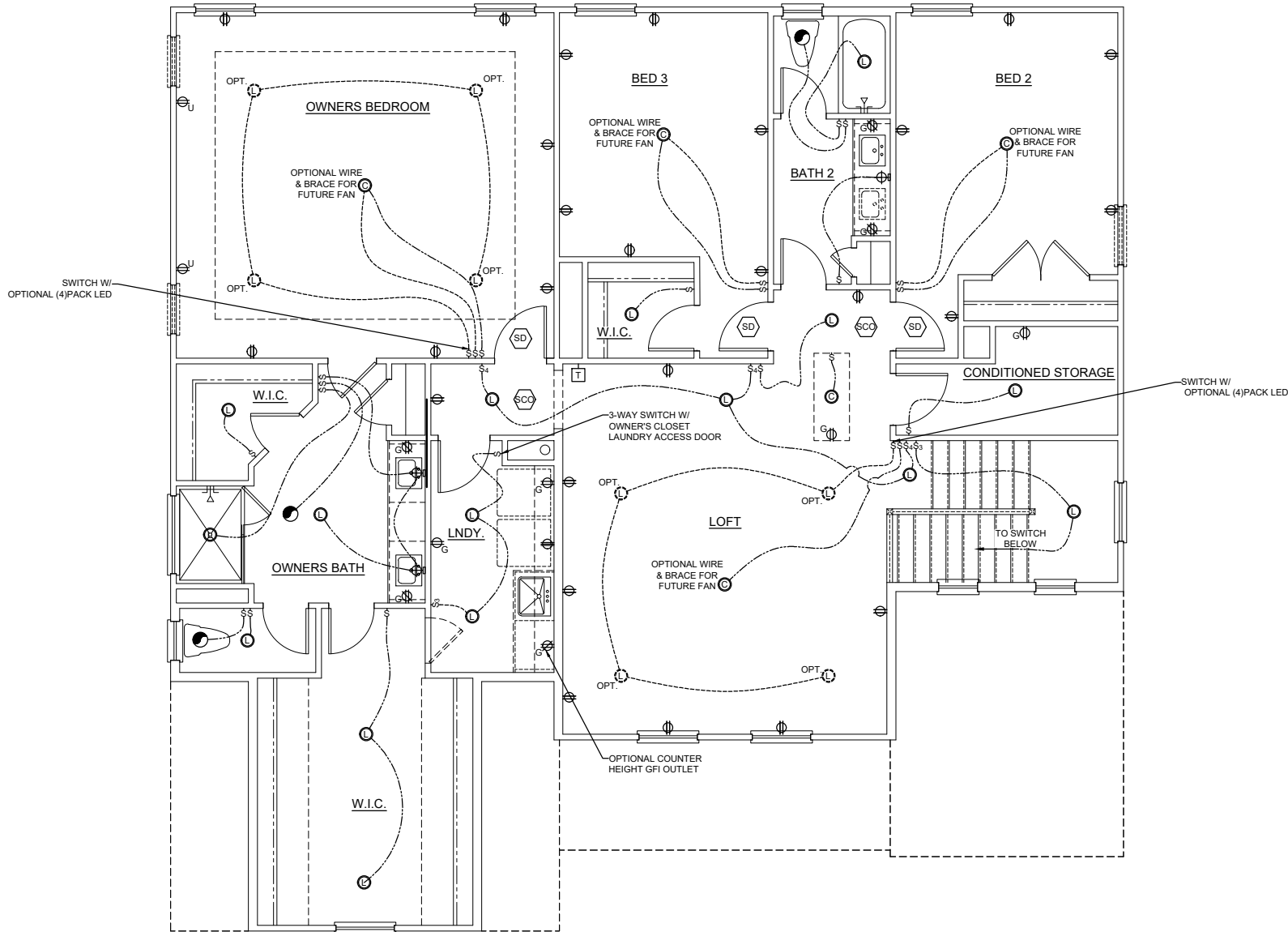
PROPANE TANK



1ST FLR. ELEC. PLAN D

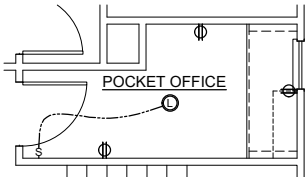
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Tobacco Road Lot 99

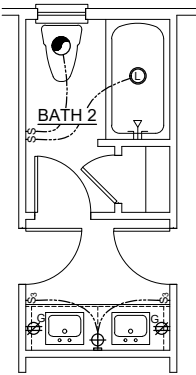


2ND FLR. ELEC. PLAN D

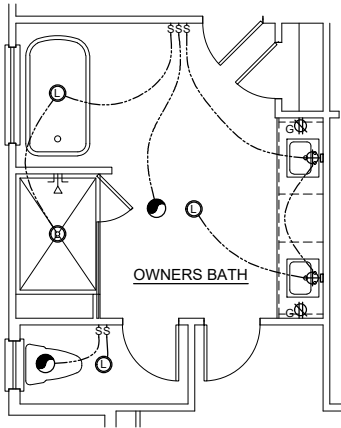
SCALE: 1/8" = 1'-0"



OPT. OFFICE



OPTIONAL SHARED BATH



OPT. OWNERS DELUXE BATH

ELECTRICAL SCHEDULE			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
SWITCHES			
⌚	SWITCH	⌚₃	SWITCH - 3 WAY
⌚₄	SWITCH - 4 WAY		
OUTLETS			
⌚	DEDICATED	⌚	COUNTER
⌚ᵤ	COUNTER USB	⌚ᵤᵢᵍ	COUNTER U / GF
⌚ᵍ	COUNTER GFI	⌚	220 V
⌚	110 V	⌚ᵤ	110 V USB
⌚ᵍ	110 V GFI	⌚ᵍᵂᵖ	110 V GFI / WP
⌚	CEILING	⌚	FLOOR
LIGHTING			
⌚	LED	⌚	CEILING MOUNT
⌚	HANGING	⌚	RECESSED CAN
⌚	FLOOD LIGHT	⌚	OPT. FLOOD LIGHT
⌚	WALL MOUNT		
⌚	FLUORESCENT	⌚	OPT. FLUORESCENT
⌚	CEILING FAN W/ LIGHT	⌚	UNDER CABINET
		⌚	OPT. UNDER CABINET
UTILITIES			
⌚	GARAGE DOOR OPENER	⌚	DOOR BELL
⌚	THERMOSTAT	⌚	MEDIA
⌚	DOOR BELL CHIME	⌚	OPTIONAL MEDIA
⌚ᵛᵃ	LOW VOLTAGE PANEL	⌚	EXHAUST FAN
⌚ᵈ	SMOKE DETECTOR	⌚	SECURITY PANEL
⌚ᶜᵈ	SMOKE & CO2 DETECTOR	⌚ᶜᵈ	CEILING SPEAKER
⌚ᵂᵃ	STANDARD WATER HEATER	⌚ᵂᵃ	OPTIONAL STANDARD WATER HEATER
⌚ᵀᵂᵂᵃ	TANKLESS WATER HEATER	⌚ᵀᵂᵂᵃ	OPT. TANKLESS WATER HEATER
⌚ᵖ	SUMP PUMP	⌚ᵖ	OPTIONAL SUMP PUMP
⌚ᵖᶠ	POT FILLER	⌚ᵖᶠ	OPTIONAL POT FILLER
⌚	EXTERIOR HOSE BIBB		
⌚	GAS STUB	⌚	OPTIONAL GAS STUB
METERS & PANELS			
⌚	ELECTRICAL METER	⌚	ELECTRICAL PANEL
NOTES & ABBREVIATIONS			
WP	WATER PROOF		
GFI	GROUND FAULT INTERCEPTOR		
FRB	FAN RATED BOX		



**BUILDING SECTION A**  
SCALE: 1/8" = 1'-0"

# Tobacco Road Lot 99



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PLAN NAME: CRAWFORD A-D

SUBDIVISION: ---  
LOT#: ---

REVISION NO. 10  
BY ZACHARY.MYRICK  
REVISION DATE 2024-09-20

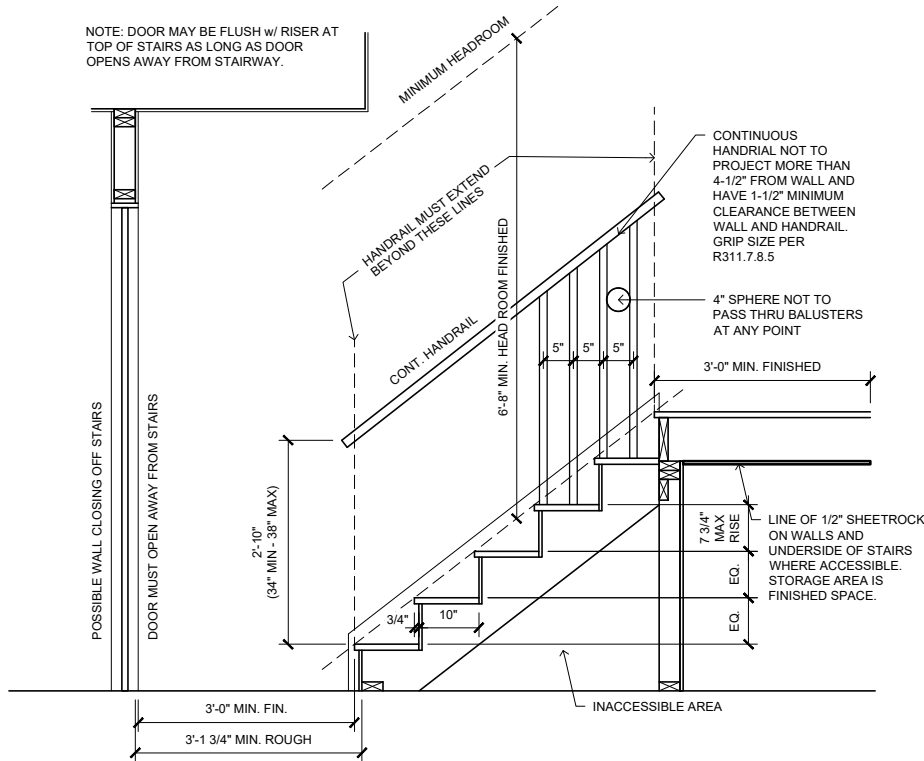
BUILDING SECTION  
SHEET NO.  
AD-P-1.0

R311.7.8.5 Grip size.

Required handrails shall be of one of the following types or provide equivalent graspability.

1. Type I. Handrails with a circular cross section shall have an outside diameter of not less than 1 1/4 inches (32 mm) and not greater than 2 inches (51 mm). If the handrail is not circular, it shall have a perimeter of not less than 4 inches (102 mm) and not greater than 6 1/4 inches (160 mm) and a cross section of not more than 2 1/4 inches (57 mm). Edges shall have a radius of not less than 0.01 inch (0.25 mm).
2. Type II. Handrails with a perimeter greater than 6 1/4 inches (160 mm) shall have a graspable finger recess area on both sides of the profile. The finger recess shall begin within 3/4 inch (19 mm) measured vertically from the tallest portion of the profile and have a depth of not less than 5/16 inch (8 mm) within 7/8 inch (22 mm) below the widest portion of the profile. This required depth shall continue for not less than 3/8 inch (10 mm) to a level that is not less than 1 3/4 inches (45 mm) below the tallest portion of the profile. The width of the handrail above the recess shall be not less than 1 1/4 inches (32 mm) and not more than 2 3/4 inches (70 mm). Edges shall have a radius of not less than 0.01 inch (0.25 mm).

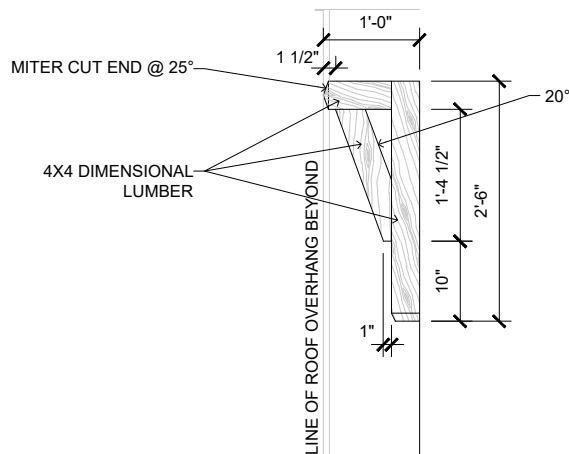
NOTE: DOOR MAY BE FLUSH w/ RISER AT TOP OF STAIRS AS LONG AS DOOR OPENS AWAY FROM STAIRWAY.



1

INTERIOR STAIRCASE DETAIL

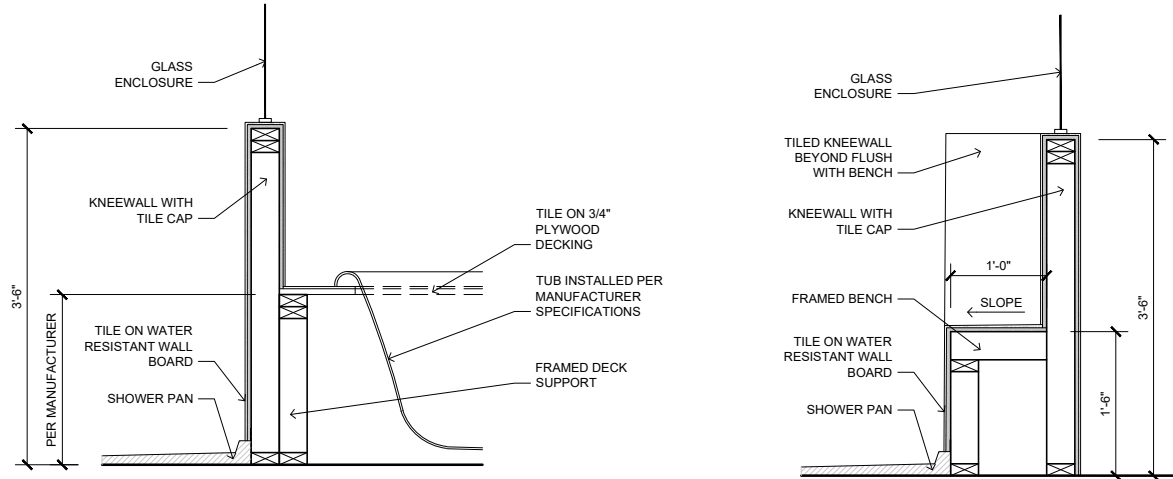
SCALE: 3/8" = 1'-0"



2

CORBEL DETAIL

SCALE: 1/2" = 1'-0"

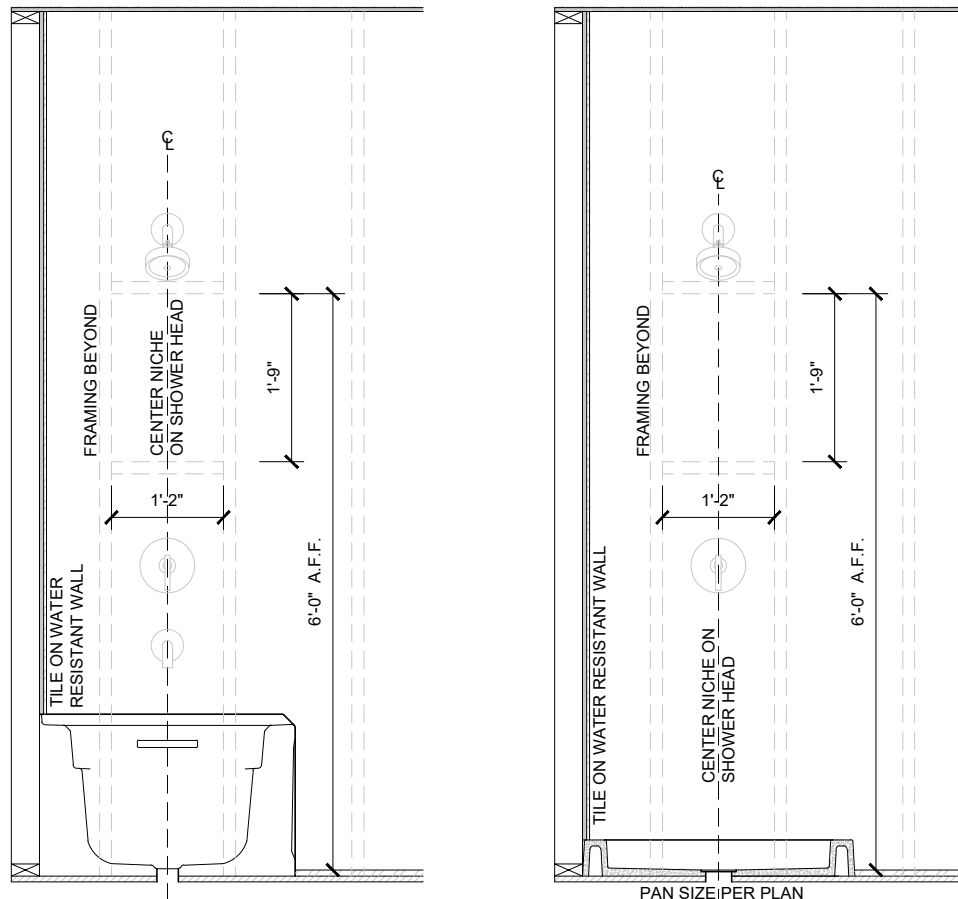


3

TYP. SHOWER KNEEWALLS

SCALE: 1/2" = 1'-0"

# Tobacco Road Lot 99



4

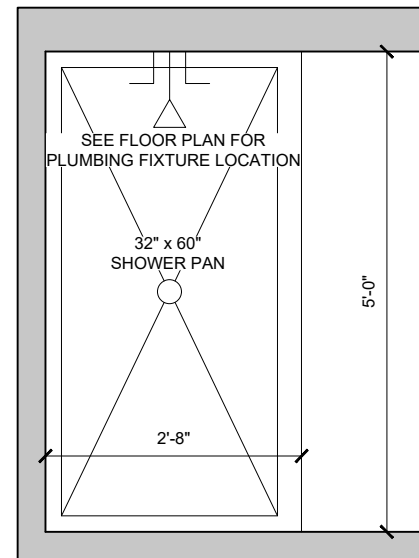
TYP. TUB NICHE W/ OPT. TILE WALLS

SCALE: 1/2" = 1'-0"

5

TYP. SHOWER NICHE

SCALE: 1/2" = 1'-0"



6

SHOWER ILO BATHTUB

SCALE: 1/2" = 1'-0"

TYPICAL DETAILS

PLAN NAME:

SUBDIVISION:

LOT#:

REVISION NO. 2

BY MICHAEL MAY

REVISION DATE 2024-08-21

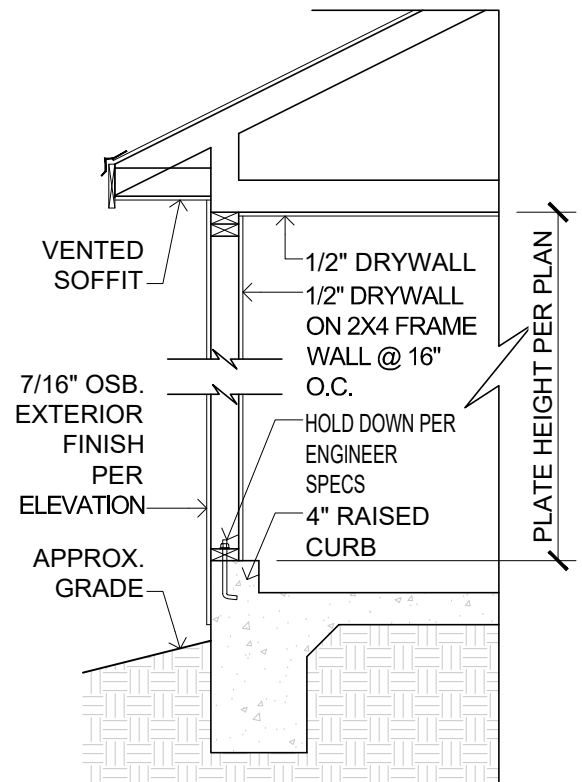
TYPICAL DETAILS

SHEET NO.

D-1

DAVIDSON HOMES, LLC  
3460 PRESTON RIDGE ROAD, SUITE 525  
ALPHARETTA, GEORGIA 30005  
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DAVIDSON  
HOMES.

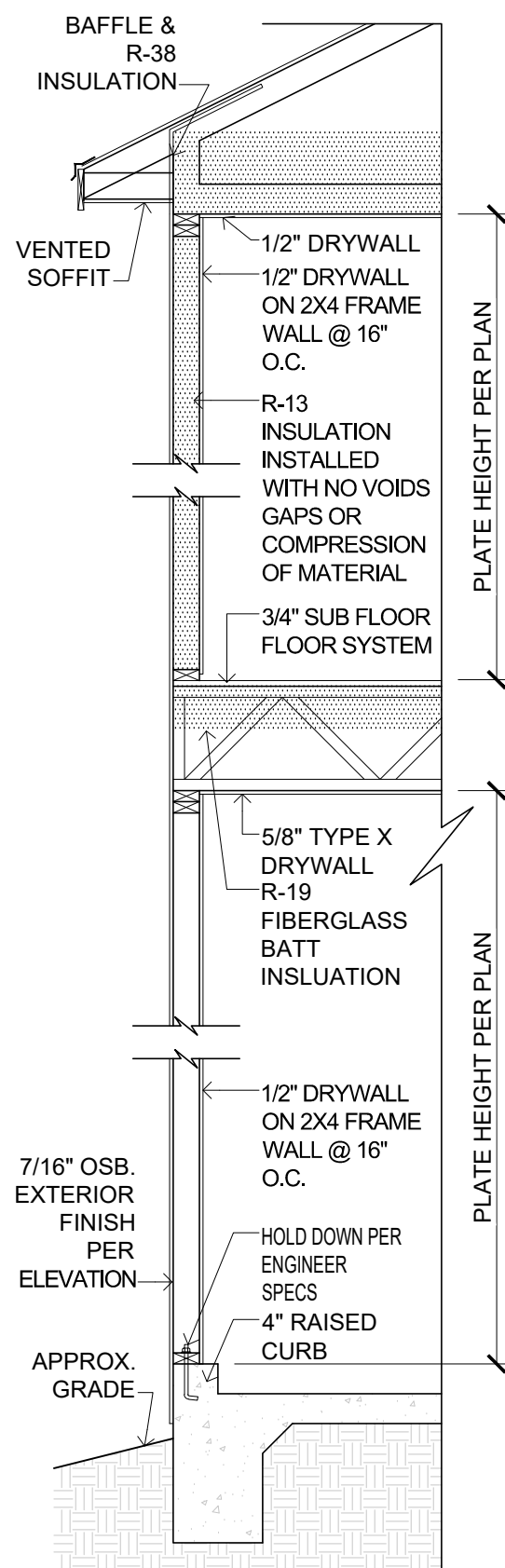


TYPICAL WALL SECTION  
@ GARAGE

A

0-1 1

SCALE: 1/2" = 1'

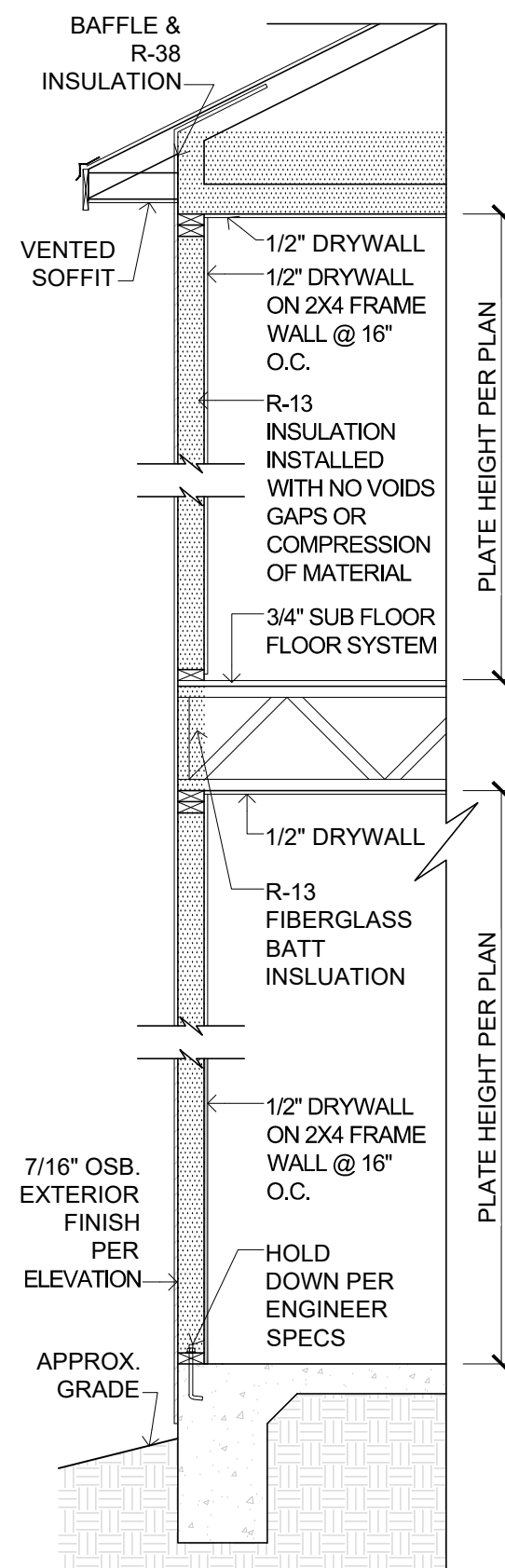


TYPICAL 2 STORY WALL  
SECTION @ GARAGE

C

D-1 1

SCALE: 1/2" = 1'

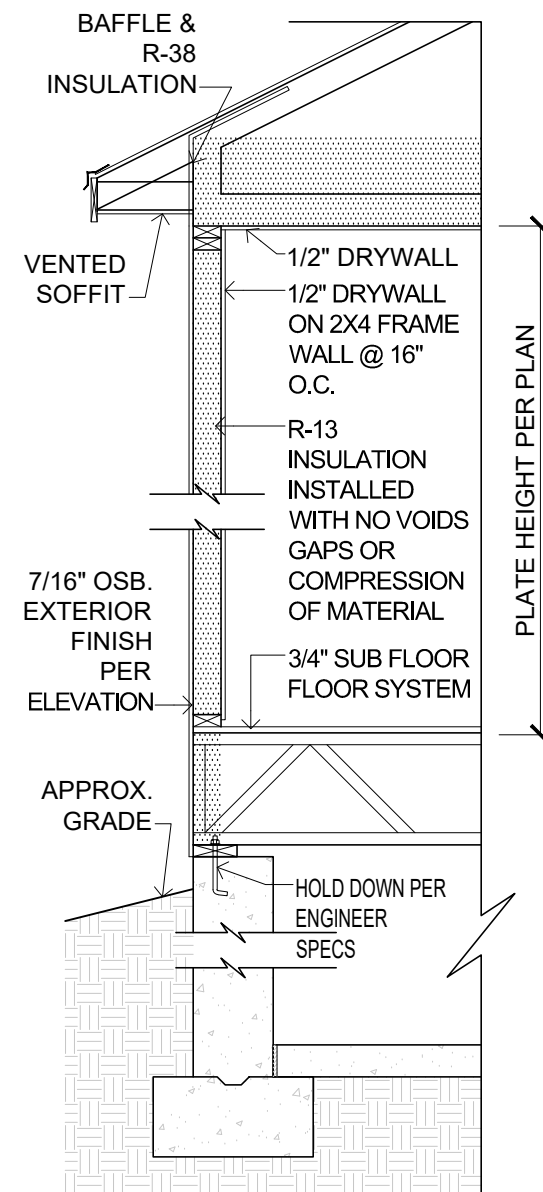


### TYPICAL 2 STORY WALL SECTION

D

D-1 1

SCALE: 1/2" = 1'

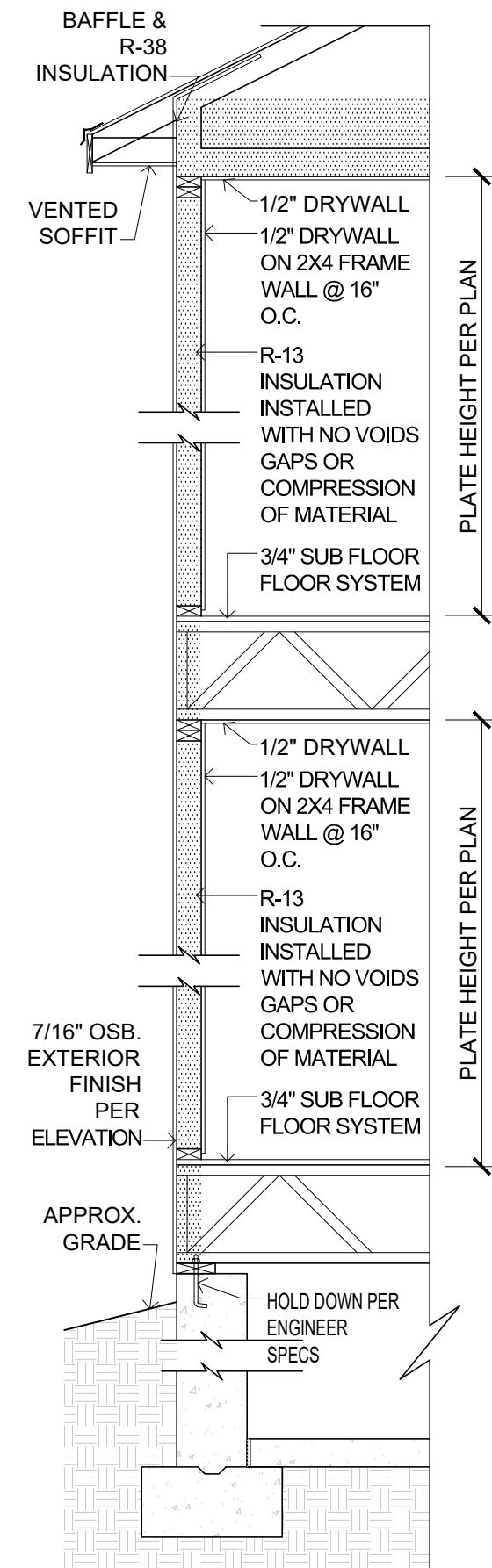


TYPICAL WALL SECTION @  
BASEMENT

E

D-1 1

SCALE: 1/2" = 1'



TYPICAL WALL SECTION @ BASEMENT

F

D-1 1

SCALE: 1/2" = 1'

NOTES:  
SEE ELEVATIONS FOR EXTERIOR FACADE  
MATERIALS, ROOF PITCHES, PLATE HEIGHTS,  
HEADER HEIGHTS, AND HEEL HEIGHTS.

# Tobacco Road Lot 99

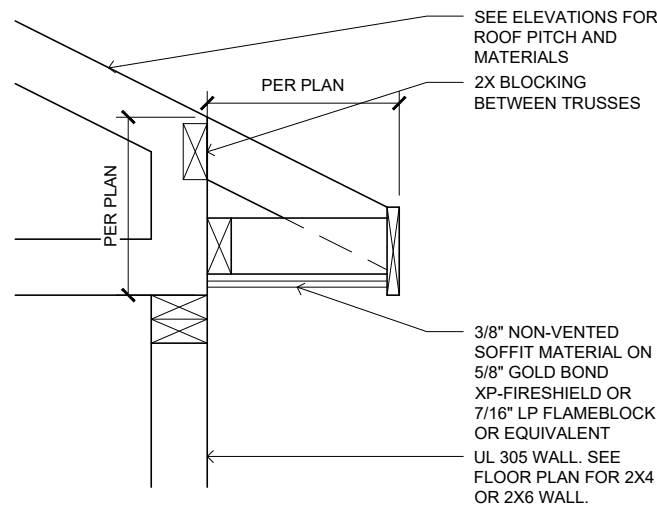




# Tobacco Road Lot 99

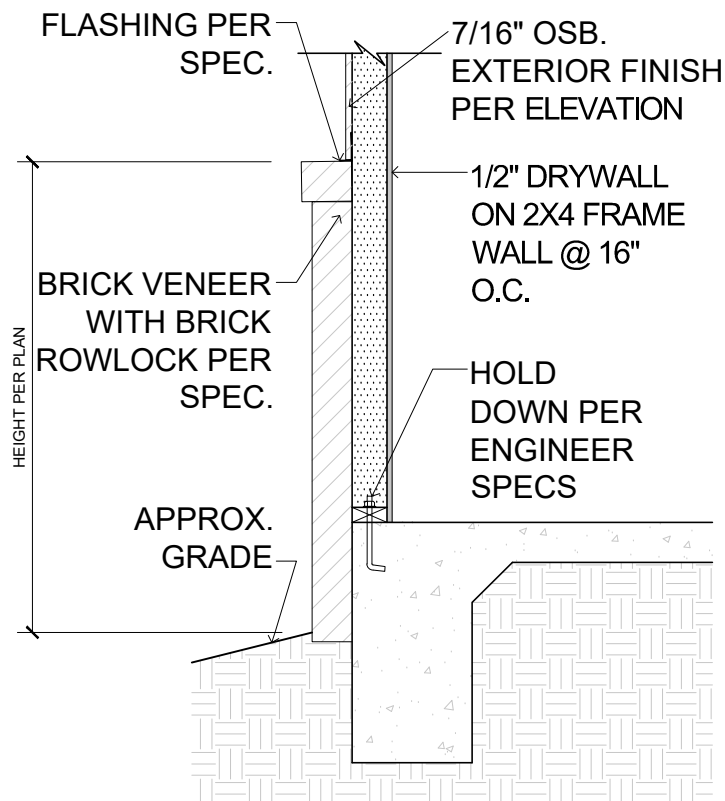


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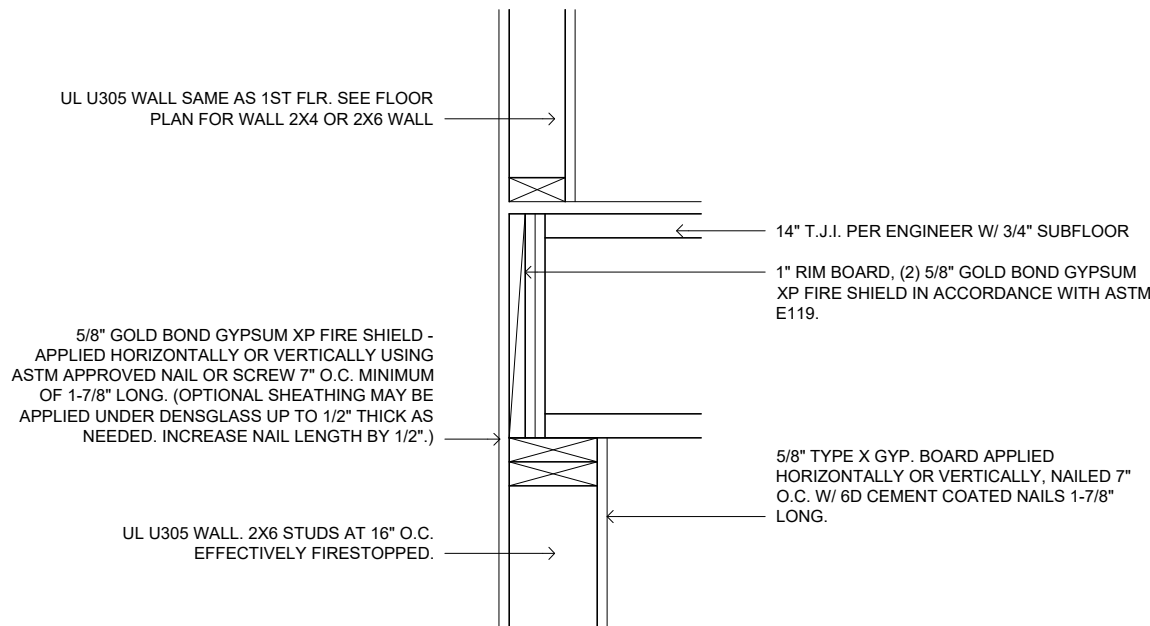
2 UL U305 1- HOUR FIRE RATED SOFFIT

SCALE: 1" = 1'-0"



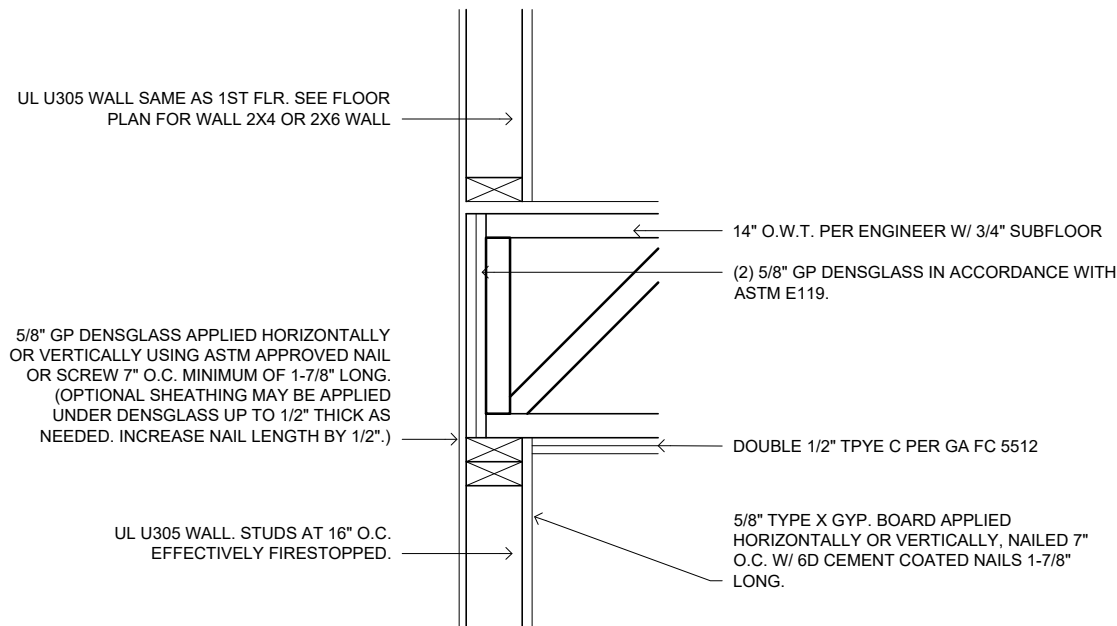
4 EXTERIOR WALL W/ BRICK VENEER

SCALE: 1" = 1'-0"



1 UL-305 2-STORY- 1 HOUR FIRE RATED WALL W/ ASTM E119

SCALE: 1" = 1'-0"



3 UL-305 OPEN WEB TRUSS 2-STORY- 1 HOUR FIRE RATED WALL W/ ASTM E119

SCALE: 1" = 1'-0"

## TYPICAL DETAILS

PLAN NAME:	SUBDIVISION:	LOT#:
	---	---

REVISION NO.	2
BY	MICHAEL MAY
REVISION DATE	2024-08-21

FIRE RATED DETAILS

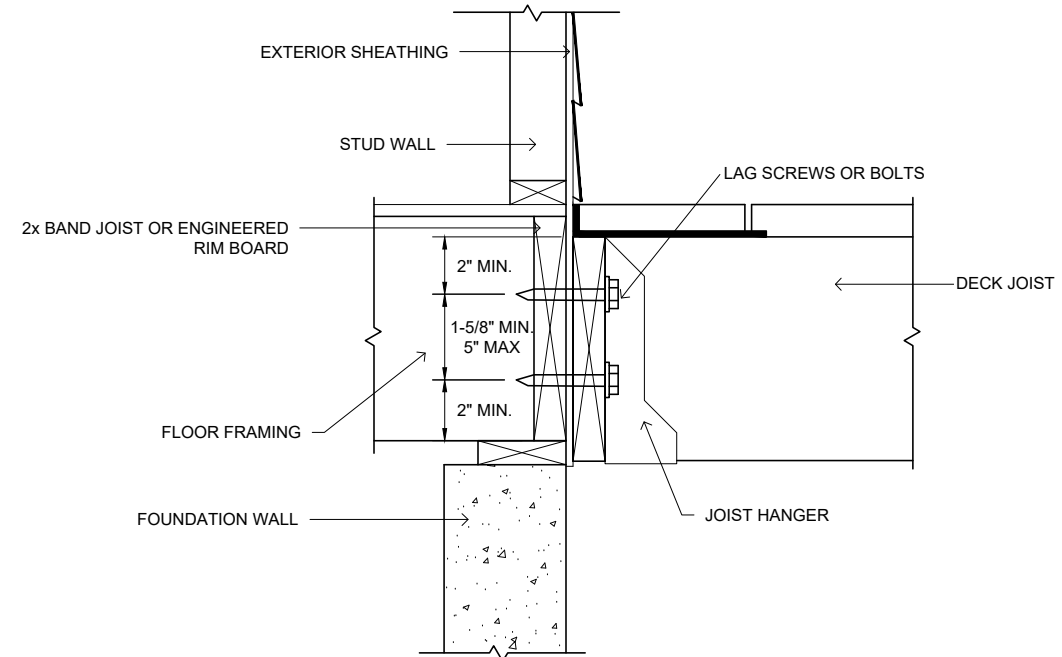
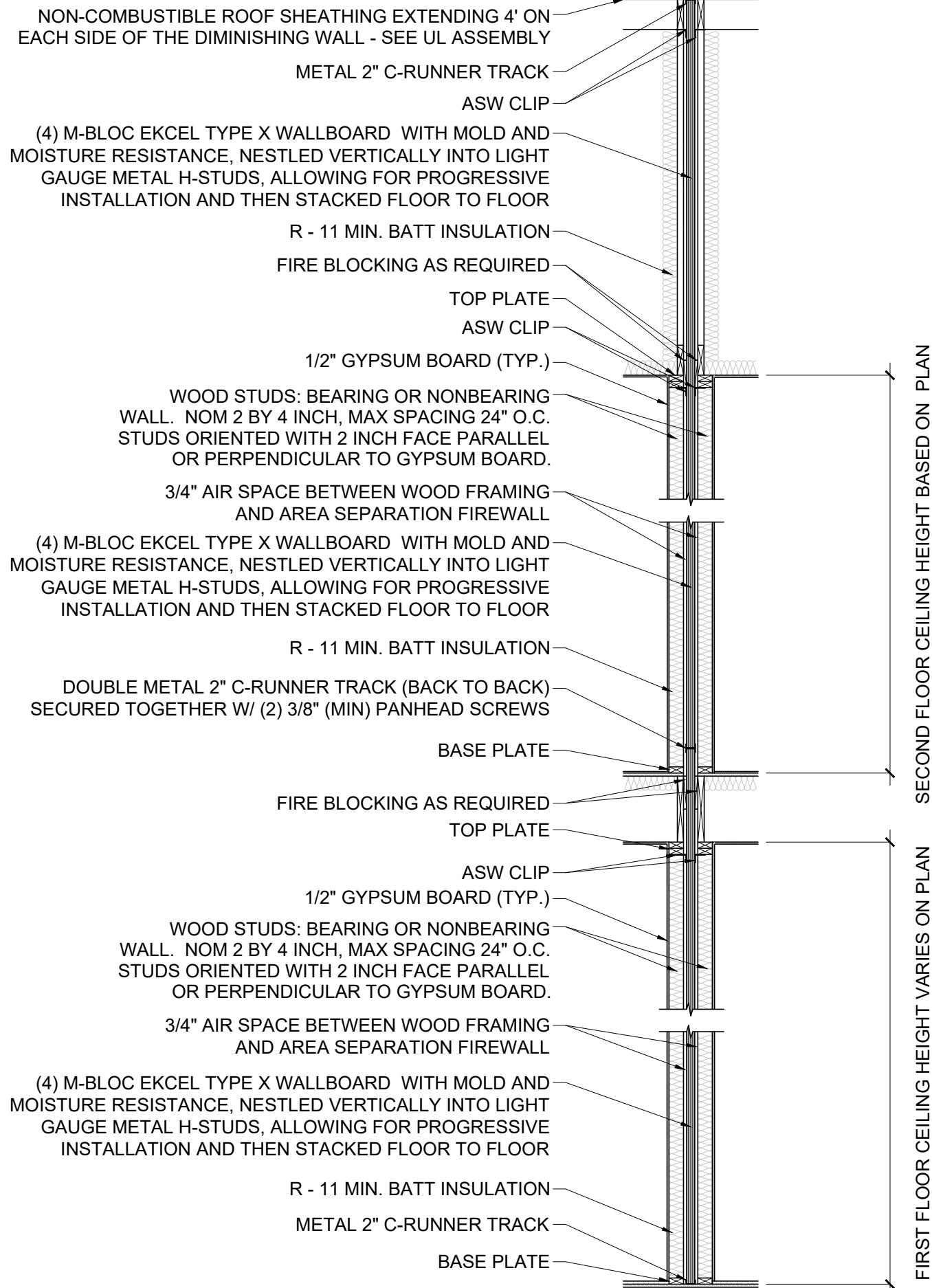
SHEET NO.

D-2

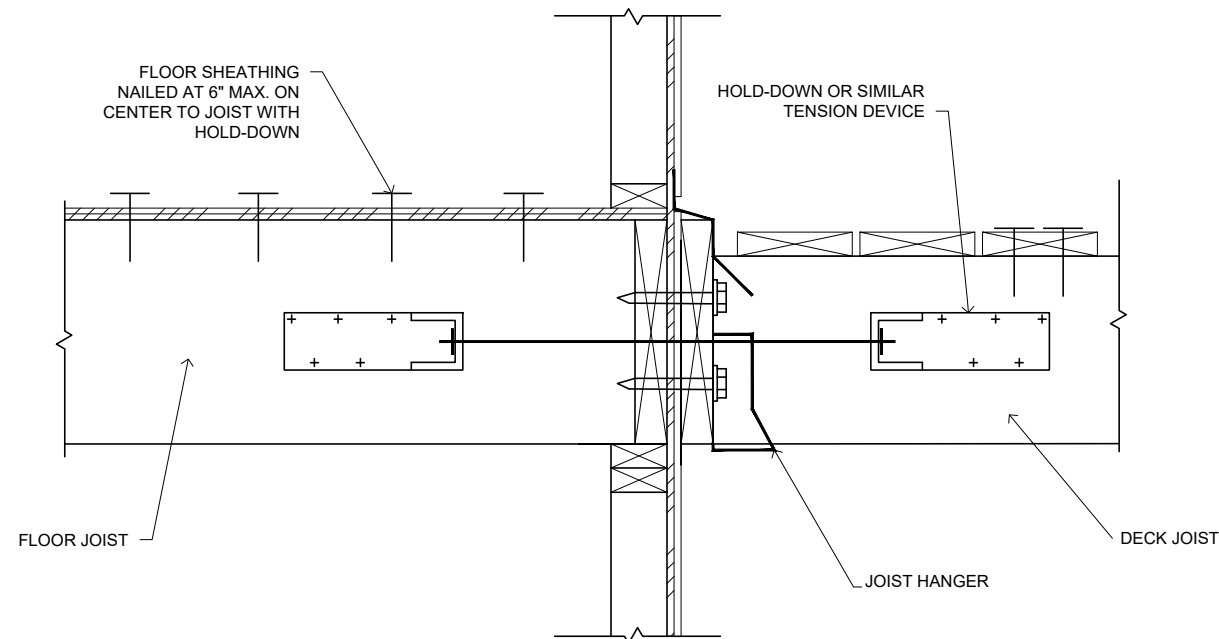
# Tobacco Road Lot 99



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1 DECK ATTACHMENT DETAILS  
IRC FIGURE R507.9.2(2) SCALE: 1/2" = 1'-0"



1 DECK ATTACHMENT FOR LATERAL LOADS  
IRC FIGURE R507.9.2(1) SCALE: 1/2" = 1'-0"

## TYPICAL DETAILS

PLAN NAME: ---  
SUBDIVISION: ---  
LOT#: ---

REVISION NO. 2  
BY MICHAEL MAY  
REVISION DATE 2024-08-21

DECK DETAILS

SHEET NO.

D-3

# Tobacco Road Lot 99



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## TYPICAL DETAILS

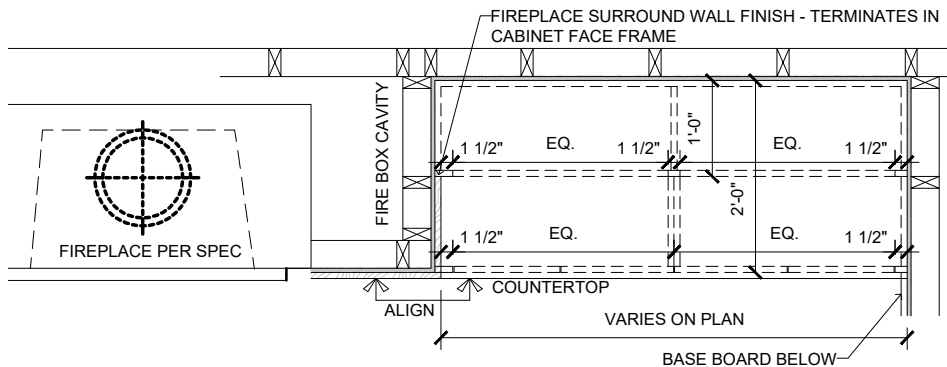
PLAN NAME: TYPICAL DETAILS  
SUBDIVISION: ---  
LOT#: ---

REVISION NO. 2  
BY MICHAEL.MAY  
REVISION DATE 2024-08-21

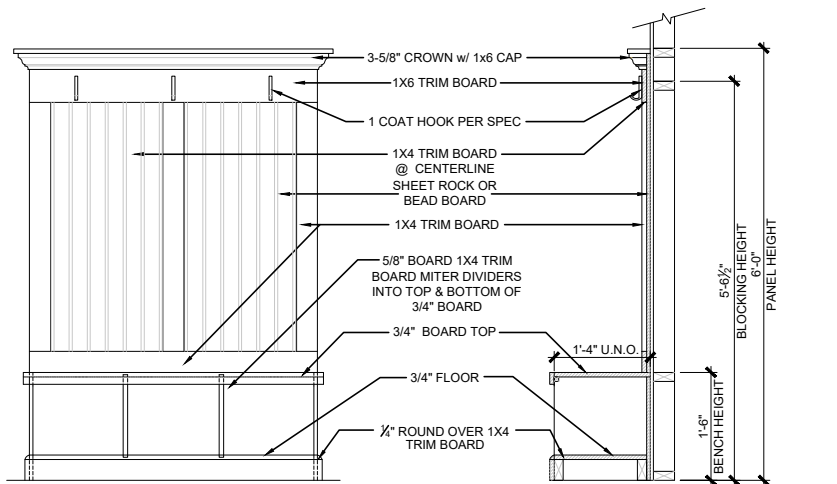
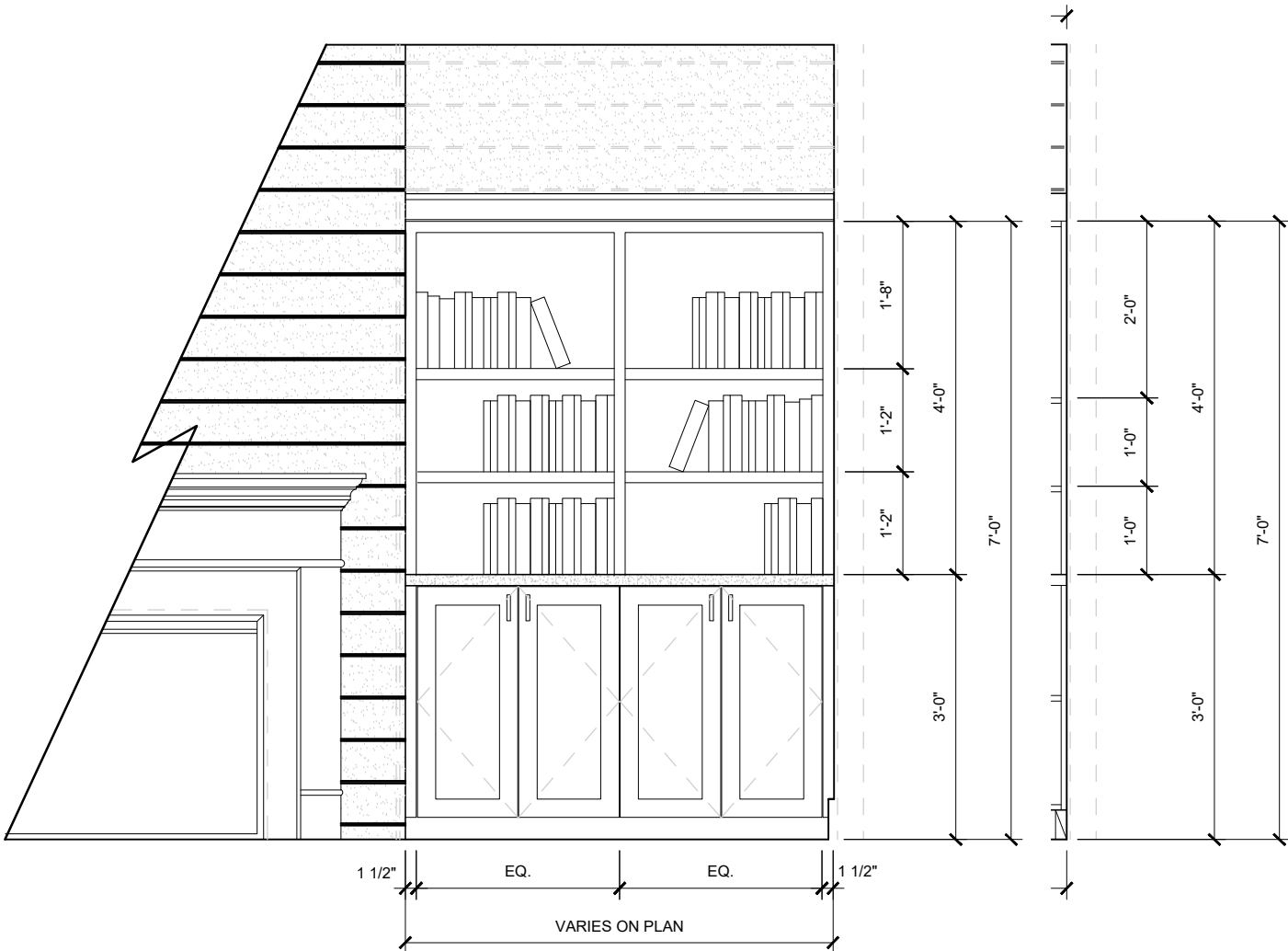
TYPICAL DETAILS

SHEET NO.

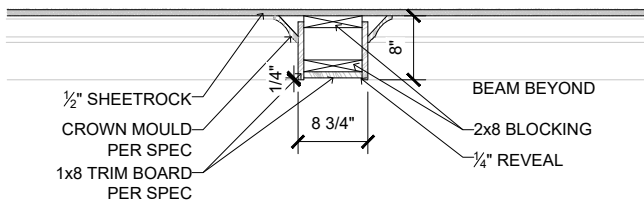
D-4



1 TYP. FIREPLACE BUILT-INS  
SCALE: 1/2" = 1'-0"



3 OPTIONAL MUD BENCH  
SCALE: 3/8" = 1'-0"

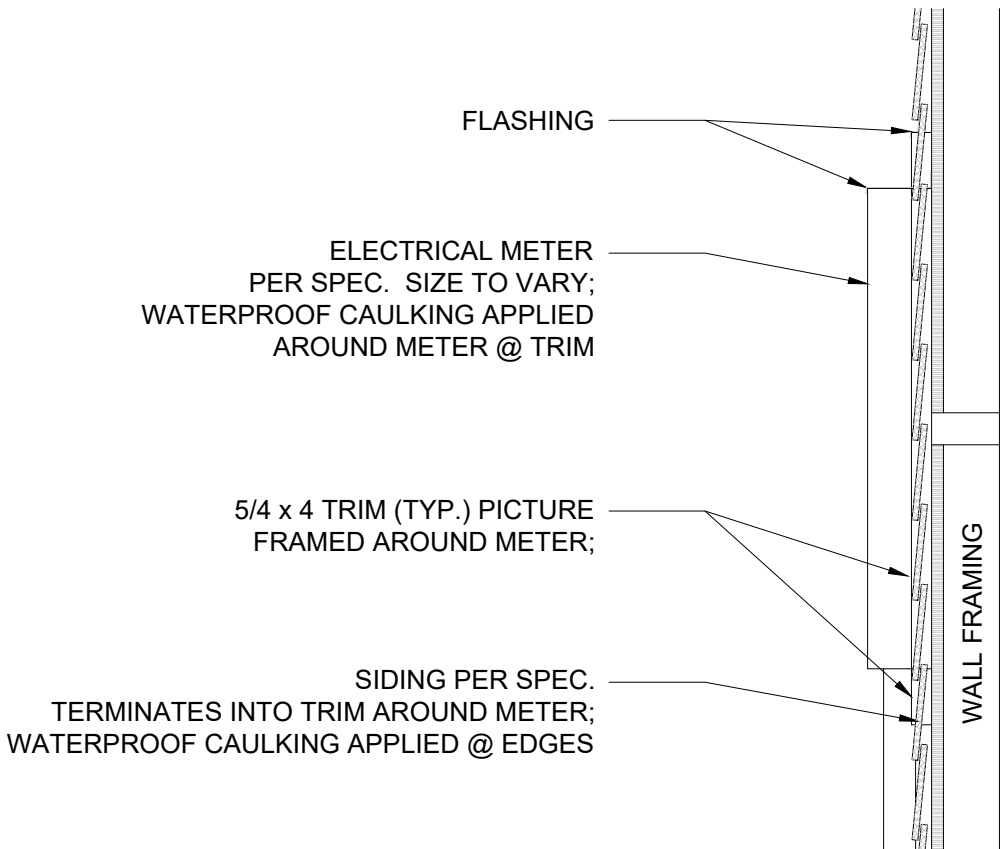


2 8x8 COFFERED CEILING DETAIL  
SCALE: 1/2" = 1'-0"

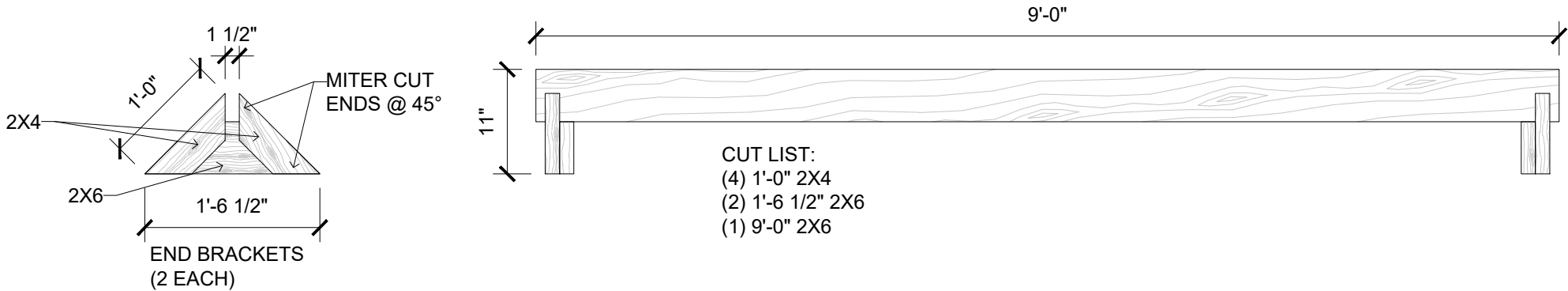
# Tobacco Road Lot 99



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1 TYP. METER DETAIL  
SCALE: 1" = 1'-0"



2 TYP. DRIVEWAY BARRICADE DETAIL  
SCALE: 3/4" = 1'-0"

## TYPICAL DETAILS

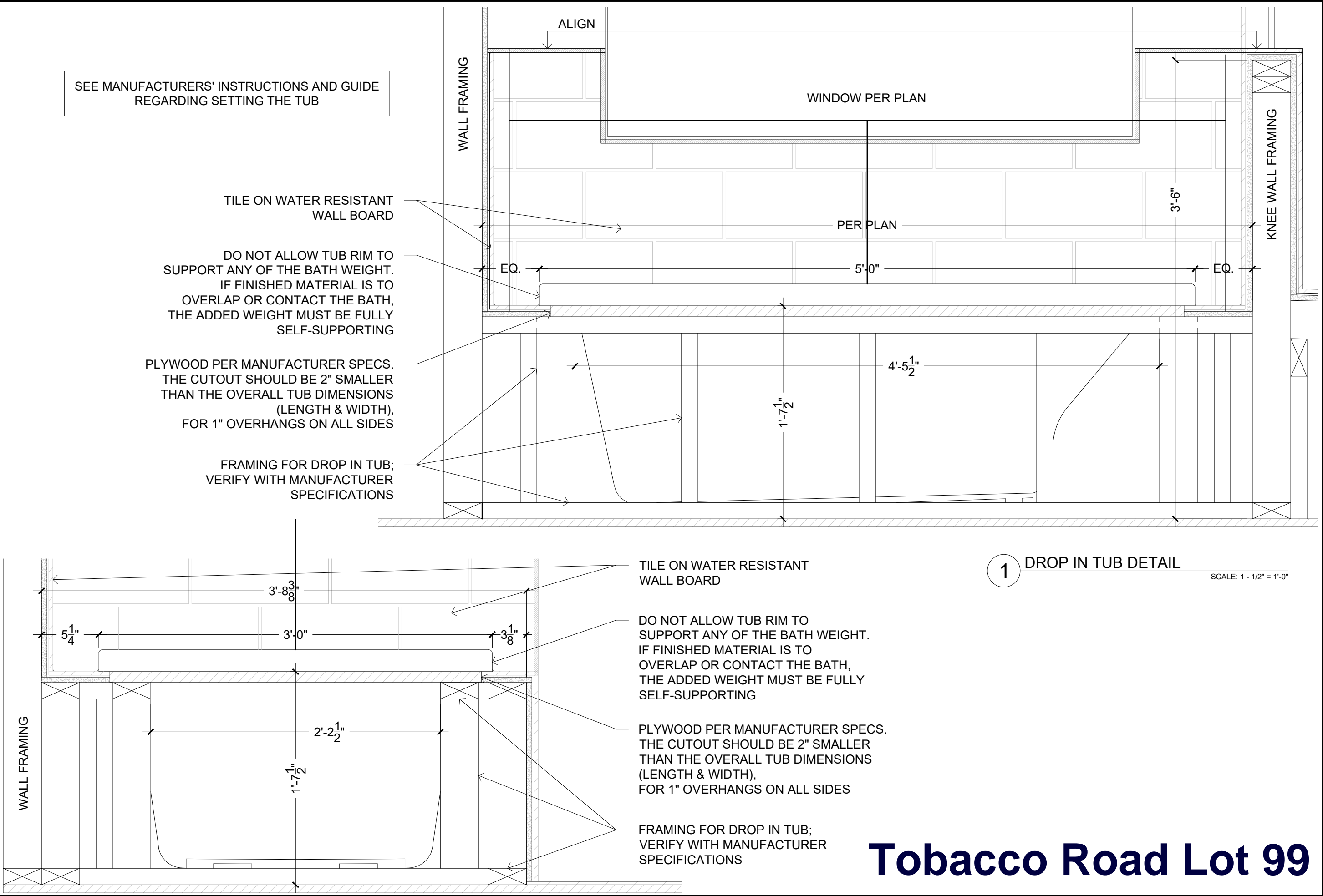
PLAN NAME:	---	---
SUBDIVISION:	---	---
LOT#:	---	---

REVISION NO.	2
BY	MICHAEL.MAY
REVISION DATE	2024-08-21

TYPICAL DETAILS

SHEET NO.  
D-5







DAVIDSON HOMES, LLC  
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TYPICAL DETAILS		
PLAN NAME:	---	---
SUBDIVISION:	---	---
LOT#:	---	---
REVISION NO.	2	
BY	MICHAEL.MAY	
REVISION DATE	2024-08-21	
TYPICAL DETAILS		
SHEET NO.		
D-6		



CONNECTION SPECIFICATIONS (TYP. U.N.O.)

DESCRIPTION OF BLDG. ELEMENT	3"x0.131" NAILS	3"x0.120" NAILS
JOIST TO SOLE PLATE SOLE PL. TO JOIST/RIM OR BLKG STUD TO PLATE	(3) TOENAILS NAILS @ 4" o.c.	(3) TOENAILS* NAILS @ 4" o.c.
RIM TO TOP PLATE BLKG. BTWN. JOISTS TO TOP PL.	(4) TOENAILS/ (3)END NAILS TOENAILS @ 6" o.c.	(4) TOENAILS/ (4)END NAILS* TOENAILS @ 4" o.c.*
DOUBLE STUD DOUBLE TOP PLATE DOUBLE TOP PLATE LAP SPLICE (24" MIN.)	NAILS @ 16" o.c. NAILS @ 12" o.c.	NAILS @ 16" o.c. NAILS @ 8" o.c.
TOP PLATE LAP @ CORNERS & INTERSECTING WALLS SOLE PLATE TO LADDER TRUSS OR CONT. RIBBON	(3) NAILS NAILS @ 6" o.c.	(3) NAILS NAILS @ 4" o.c.
LADDER TRUSS BOTTOM CHORD TO TOP PLATE OR SILL PLATE (PARALLEL)	NAILS @ 6" o.c.	NAILS @ 4" o.c.
BOTTOM CHORD OF EA. TRUSS TO TOP PLATE OR SILL PLATE (PERPENDICULAR)	(3) TOENAILS	(3) TOENAILS*
RAFTER/TRUSSES TO TOP PLATE	(3) TOENAILS + (1) SIMPSON H2.5T TOENAILS @ 8" o.c.	(3) TOENAILS + (1) SIMPSON H2.5T TOENAILS @ 6" o.c.
GAB. END TRUSS TO DBL. TOP PL. R.T. w/ HEEL HT. 9 1/4" TO 12"	2x10 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ TOENAILS @ 6" O.C.	2x10 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ TOENAILS @ 4" O.C.
R.T. w/ HEEL HT. 12" TO 16"	2x12 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ TOENAILS @ 6" O.C.	2x12 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ TOENAILS @ 4" O.C.
R.T. w/ HEEL HT. UP TO 24"	LAP WALL SHTG. w/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN w/ NAILS @ 6" O.C.	LAP WALL SHTG. w/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN w/ NAILS @ 6" O.C.*
R.T. w/ HEEL HT. 24" TO 48"	LAP WALL SHTG. w/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN w/ NAILS @ 6" O.C. PROVIDE 2x BLK @ EA. BAY AT TOP OF HEEL	LAP WALL SHTG. w/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN w/ NAILS @ 6" O.C. PROVIDE 2x BLK @ EA. BAY AT TOP OF HEEL*
WALL TO FOUNDATION	WALL SHTG. LAP w/ SILL PL. & FASTENED PER SHEAR WALL FASTENING SPEC.	

\* 2 1/2"x0.113 IS AN ACCEPTABLE ALTERNATIVE TO A 3"x0.120", SAME SPACING OR NUMBER OF NAILS.  
(ONLY ACCEPTABLE WHERE \* ARE SHOWN)

ADDITIONAL NOTES FOR TRUSS &  
I-JOIST MANUFACTURER

ROOF TRUSS, FLOOR TRUSS AND ENGINEERED  
JOISTS SHALL BE DESIGNED TO MEET THE  
DEFLECTION CRITERIA BELOW, UNLESS NOTED  
OTHERWISE ON PLAN. MULHERN & KULP CANNOT BE  
HELD RESPONSIBLE FOR ANY STRUCTURAL ISSUES  
RELATED TO ANY BUILDING COMPONENT IF  
COMPONENT SHOP DRAWINGS ARE NOT SUBMITTED  
TO MKK FOR REVIEW PRIOR TO FABRICATION,  
DELIVERY, OR INSTALLATION.

TRUSSES/JOISTS SHALL BE DESIGNED SO THAT  
DIFFERENTIAL DEFLECTION BETWEEN ADJACENT  
PARALLEL TRUSSES/JOISTS OR GIRDER TRUSSES/FLUSH  
BEAMS DO NOT EXCEED THE FOLLOWING:

- A. ROOF TRUSSES:  
1/4" DEAD LOAD  
B. FLOOR TRUSSES, ATTIC TRUSSES, & I-JOISTS:  
1/8" DEAD LOAD

ABSOLUTE DEAD LOAD DEFLECTION OF FLOOR  
TRUSSES/ATTIC TRUSSES WHEN ADJACENT TO FLOOR  
FRAMING BY OTHERS SHALL BE LIMITED TO 3/16". (NOT  
DIFFERENTIAL DEFLECTION)

VENEER LINTEL SCHEDULE

SPAN (MAX)	HEIGHT OF VENEER ABOVE LINTEL	STEEL ANGLE SIZE
3'-0"	20 FT. MAX	L3"x3"x1/4"
	3 FT. MAX	L3"x3"x1/4"
6'-0"	12 FT. MAX	L4"x3"x1/4"
	20 FT. MAX	L5"x3 1/2"x3/8"
8'-0"	3 FT. MAX	L4"x4"x1/4" *
	12 FT. MAX	L5"x3 1/2"x3/8" *
	16 FT. MAX	L6"x3 1/2"x3/8" *
9'-6"	12 FT. MAX	L6"x3 1/2"x3/8" *
16'-0"	2 FT. MAX	L7"x4"x1/2" **
	3 FT. MAX	L8"x4"x1/2" **

ALL LINTELS:  
- SHALL SUPPORT 2 3/4" - 3 1/2" VENEER w/ 40 psf MAXIMUM HEIGHT.  
- < 8" SHALL HAVE 4" MIN. BEARING  
- >= 16" SHALL HAVE 8" MIN. BEARING  
- >= 16" SHALL NOT BE FASTENED BACK TO HEADER.  
- >= 16" SHALL BE FASTENED BACK TO WOOD HEADER IN WALL @48"o.c. w/ 1/2" DIA. x 3 1/2"  
LONG LAG SCREWS IN 2" LONG VERTICALLY SLOTTED HOLES.  
- MAX. VENEER HT. APPLIES TO ANY PORTION OF BRICK OVER THE OPENING.  
- ALL LINTELS SHALL BE LONG-LEG VERTICAL.  
- WHEN SUPPORTING VENEER (< 3" WIDE THE EXTERIOR TOE OF THE HORIZONTAL LEG  
MAY BE CUT IN THE FIELD TO BE 3 1/2" WIDE OVER THE BEARING LENGTH ONLY. THIS  
IS TO ALLOW FOR MORTAR JOINT FINISHING.  
- SEE STRUCTURAL PLANS FOR ANY LINTEL CONDITION NOT ENCOMPASSED BY THE  
ABOVE PARAMETERS.  
\* FOR GREEN VENEER USE L4"x3"x1/4"  
\*\* FOR 3/2" VENEER ONLY. SEE PLAN FOR VENEER SUPPORT IF VENEER < 3/2" THICK.

LATERAL/WALL BRACING & WALL  
SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST  
LATERAL FORCES RESULTING FROM:  
120 MPH WIND IN 2018 NC5BC  
(120 MPH WIND SPEED IN ASCE 7  
WIND MAP, PER IRC R301.2.1.1)  
EXP. B, RISK CAT. 2 & SEISMIC CAT. A/B.

THE DESIGN WAS COMPLETED PER 2015 IBC  
(SECTION I609) & ASCE 7, AS PERMITTED BY R301.1.3  
OF THE 2018 NC5BC.RC. ACCORDINGLY, THIS  
MODEL, AS DOCUMENTED AND DETAILED  
HEREIN, IS ADEQUATE TO RESIST THE CODE  
REQUIRED LATERAL FORCES.

DESIGN WIND UPLIFT LOADS HAVE BEEN  
CALCULATED UTILIZING ASCE 7 (ACCEPTED  
ENGINEERING PRACTICE) AS ALLOWED PER 2018  
NC5BC.RC SECTION R802.11.1.1. THIS MODEL HAS  
BEEN DETAILED WHERE REQUIRED & ENGINEERED TO  
RESIST THE WIND UPLIFT LOAD PATH PER SECTIONS  
R602.3.5 & R802.11.

EXT. WALL SHEATHING SPECIFICATION

- 7/16" OSB OR 15/32" PLYWOOD:  
FASTEN SHEATHING w/ 2 3/8" x 0.113" NAILS @ 6" O.C.  
AT EDGES & @ 12" O.C. IN PANEL FIELD. (TYP. U.N.O.)
- HORIZONTAL BLOCKING OF EXT. WALL/SHEAR WALL  
PANEL EDGES IS NOT REQUIRED BY THIS DESIGN  
EXCEPT FOR THOSE AREAS SPECIFICALLY NOTED.
- ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED  
AND ARE CONSIDERED SHEAR WALLS.
- ALT. STAPLE CONNECTION SPEC: 1 3/4" 16 GA STAPLES  
(1/16" CROWN) @ 3" O.C. AT EDGES & @ 6" O.C. IN FIELD.

BLOCKED PANEL EDGES

- AT DESIGNATED AREAS - FASTEN SHEATHING w/  
2 3/8" x 0.113" NAILS @ 6" O.C. AT ALL PANEL EDGES  
AND 12" O.C. IN THE PANEL FIELD QR. 1 3/4" 16 GA  
STAPLES (1/16" CROWN) @ 3" O.C. AT EDGES & @ 6"  
O.C. IN FIELD. ALL SHEATHING PANELS SHALL BE  
ORIENTED VERTICALLY (LONG DIRECTION PARALLEL  
TO STUDS) AND INSTALLED FULL HEIGHT OF SHEAR  
WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE  
PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL  
EDGES & EDGE FASTENING.

3" O.C. EDGE NAILING

- AT DESIGNATED AREAS - FASTEN PANEL EDGES OF  
WOOD STRUCTURAL WALL SHEATHING TO FRAMING w/  
2 3/8" x 0.113" NAILS @ 3" O.C. AND 12" O.C. IN THE  
PANEL FIELD NO STAPLE ALTERNATIVE AVAILABLE  
AT THIS SPEC. ALL SHEATHING PANELS SHALL BE  
ORIENTED VERTICALLY (LONG DIRECTION PARALLEL  
TO STUD) AND INSTALLED FULL HEIGHT OF SHEAR  
WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE  
PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES  
AND 3" O.C. EDGE FASTENING.

NOTES

- SEE CONNECTION SPECIFICATIONS CHART FOR  
STANDARD SHEAR TRANSFER DETAILING. IF  
ADDITIONAL CAPACITY IS REQUIRED BY DESIGN,  
IT WILL BE SPECIFICALLY NOTED ON PLAN.
- DESIGN ASSUMES 16" O.C. MAX. STUD SPACING, U.N.O.
- ALL STRUCTURAL PANELS ARE TO BE DIRECTLY  
APPLIED TO STUD FRAMING.
- PRE-MANUFACTURED PANELIZED WALLS:  
FASTEN TOGETHER END STUDS OF WALL PANELS  
SHEATHED w/ OSB OR PLYWOOD w/ 3" x 0.120"  
NAILS @ 4" O.C. (THRU ONE SIDE ONLY)

INDICATES EXTENT OF INT. OSB  
SHEARWALL, BLOCKED PANEL EDGES,  
AND/OR 3" O.C. EDGE NAILING

INDICATES HOLDOWN

GENERAL STRUCTURAL NOTES

FOUNDATION

- DESIGN IS BASED ON 2018 NC5BC-RESIDENTIAL CODE
- FOOTING DESIGN - 2,000 PSF NET ALLOWABLE SOIL BEARING  
PRESSURE IS ASSUMED. BUILDER/CONTRACTOR MUST VERIFY.
- FASTEN 2x4/6 SILL PLATES TO CONC. FND WITH A MINIMUM OF 2  
ANCHORS PER PLATE, 12" MAX. FROM PLATE ENDS - UTILIZING:
  - 1/2" DIA. ANCHOR BOLTS @ 6'-0" O.C. 7" MIN. EMBEDMENT
  - 1/2" DIA. x 6" LONG SIMPSON TITEN HD @ 6'-0" O.C.
  - SIMPSON MASA ANCHOR STRAPS @ 6'-0" O.C.
- ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT W/ PERIMETER  
FOUNDATION SHALL BE PRESERVATIVE-TREATED SOUTHERN PINE #2.
- BUILDER TO VERIFY CORROSION-RESISTANCE COMPATIBILITY OF  
HARDWARE & FASTENERS IN CONTACT W/ PRESERVATIVE-TREATED  
WOOD. CONTACT LUMBER & HARDWARE SUPPLIERS TO COORD.
- FOUNDATION WALLS & FOOTINGS SHALL BE PLAIN CONCRETE, U.N.O.
- CONCRETE DESIGN BASED ON ACI 318. CONCRETE SHALL ATTAIN  
THE FOLLOWING MIN. COMPRESSIVE STRENGTHS IN 28 DAYS, U.N.O.:  
f'c = 4,000 psi: ..... FOUNDATION WALLS  
3,000 psi: ..... FOOTINGS & INTERIOR SLABS ON GRADE  
3,500 psi: ..... GARAGE & EXTERIOR SLABS ON GRADE  
f'y = 60,000 psi
- BASEMENT FOUNDATION WALL DESIGN BASED ON:
  - 8' OR 9' HEIGHT (AS NOTED ON PLANS)
  - TALLER WALLS MUST BE ENGINEERED.
  - DESIGNS ARE BASED ON ACTUAL WALL WIDTHS. NOMINAL WIDTH  
(7 1/2" FOR 8" WALL, 9 1/2" FOR 10" WALL) MAY NOT BE USED.
- BASEMENT WALL DESIGN IS BASED ON 30 OR 45 PCF BACKFILL  
SOIL TYPE CLASSIFICATIONS:  
30 PCF TYPE (GM, GP, SM, SP)  
45 PCF TYPE (GM, GC, SM, SM-SG, ML)
  - IMPORTANT - IF 60 PCF SOIL TYPE (SC, ML-CL, OR CL) IS  
UTILIZED FOR BACKFILL, CONTACT MULHERN & KULP FOR  
FURTHER EVALUATION OF FOUNDATION DESIGN.
- BASEMENT WALLS SHALL BE BRACED, PRIOR TO BACKFILLING, BY  
ADEQUATE TEMPORARY BRACING OR INSTALL 1st FLOOR DECK.
- ALL CONCRETE EXPOSED TO THE WEATHER SHALL NOT HAVE LESS  
THAN 5% OR MORE THAN 7% AIR ENTRAINMENT.
- ALL FOOTINGS SHALL BEAR BELOW FROST LINE (TYP.) OR 12" MIN  
IN REGIONS WHERE CODE FROST DEPTH IS NOT APPLICABLE. CONSULT  
SOILS REPORT OR BUILDING DEPT. FOR MINIMUM DEPTH BELOW  
GRADE.
- FOOTINGS AND SLABS ON GRADE SHALL BEAR ON VIRGIN SOIL OR  
95% COMPACTED FILL.
- PROVIDE CONTROL JOINTS AT ALL INSIDE CORNERS OF SLAB  
EDGES, AND OTHER LOCATIONS WHERE SLAB CRACKS ARE LIKELY  
TO DEVELOP.
  - JOINTS SHALL BE LOCATED @ 10'-0" O.C. (RECOMMENDED) OR  
15'-0" O.C. (MAXIMUM)
  - JOINT GRID PATTERN SHALL BE AS CLOSE TO SQUARES AS  
POSSIBLE (1:1 RATIO), WITH A MAXIMUM OF 1:1.5 RATIO
  - CONTROL JOINTS SHALL NOT BE INSTALLED IN STRUCTURAL  
SLABS
- TYPICAL REINFORCEMENT DETAILS - PROVIDE 3" MIN. CLEAR  
COVER WHERE CAST AGAINST EARTH, 1 1/2" MIN. CLEAR COVER  
AGAINST FORMS. LAP ALL REBAR 48 BAR DIAMETERS MIN. (24"  
FOR #4 BARS) & BEND BARS AND LAP AT CORNERS. PROVIDE 6"  
HOOK INTO SUPPORTING FOOTINGS WHEN FOOTINGS INTERSECT.
- DIMENSIONS BY OTHERS, BUILDER TO VERIFY.

MEANS & METHODS NOTES

THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE  
AFTER THE BUILDING IS FINISHED AND ALL PLAN, DETAIL, AND NOTE  
SPECIFICATIONS HAVE BEEN COMPLETED. IT IS THE CONTRACTOR'S  
SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES  
AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS  
COMPONENTS DURING CONSTRUCTION. THIS INCLUDES, BUT IS NOT  
LIMITED TO, THE ADDITION OF NECESSARY SHORING, SHEETING,  
TEMPORARY BRACING, GUYS, AND TIE-DOWNS. CONTRACTOR SHALL  
BE RESPONSIBLE FOR ALL SHORING AND BRACING REQUIRED TO  
STABILIZE AND PROTECT EXISTING AND ADJACENT STRUCTURES AND  
SYSTEMS DURING COURSE OF DEMOLITION AND CONSTRUCTION OF  
THE PROJECT.

STRUCTURAL DESIGN AND SPECIFICATIONS ASSUME THAT ALL  
SUPPORTING AND NON-SUPPORTING ELEMENTS IN CONTACT WITH  
FLOOR FRAMING ARE LEVEL, INCLUDING, BUT NOT LIMITED TO:  
FOUNDATIONS, SLABS ON GRADE, BEAMS, WALLS, AND NON-BEARING  
ELEMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY  
LEVELNESS AND MAKE ADJUSTMENTS AS NECESSARY, INCLUDING  
CONSIDERATION OF THOSE AREAS THAT MAY BE WITHIN  
CONTRACTUAL, INDUSTRY, OR WARRANTY TOLERANCES.

FLOOR FRAMING

- I-JOISTS/TRUSSES SHALL BE DESIGNED BY MANUF. TO MEET OR  
EXCEED L/480 LIVE LOAD DEFLECTION CRITERIA. (EXCLUDES  
STONE/MARBLE OR WET BED CONSTRUCTED FLOORS - CONTACT  
MKK FOR EXCLUDED FLOOR DESIGNS)
- PER THE GUIDELINES OF THE TILE COUNCIL OF NORTH AMERICA  
(TCNA HANDBOOK), IT SHALL BE THE FLOOR FINISH INSTALLER'S  
RESPONSIBILITY TO VERIFY THAT THE FINISHES TO BE INSTALLED  
MATCH THE DESIGN CRITERIA NOTED ABOVE (UNDER "DESIGN  
LOADS") .
- FLOOR SYSTEMS & SHEATHING HAVE BEEN DESIGNED TO SUPPORT  
ADDITIONAL DEAD LOAD FROM CERAMIC TILE (EXCLUDING MARBLE  
OR STONE). HOWEVER, IT SHALL BE THE FLOOR FINISH INSTALLER'S  
RESPONSIBILITY TO PROVIDE PROPER UNDERLAYMENT, UNCOUPLING  
MEMBRANE AND MORTAR/GROUT PER THE ASSEMBLY DESIGNATIONS  
IN THE TCNA HANDBOOK (TILE COUNCIL OF NORTH AMERICA).
- 2x FLOOR JOISTS HAVE BEEN DESIGNED TO MEET OR EXCEED  
L/360 LIVE LOAD DEFLECTION CRITERIA.
- AT I-JOIST FLOORS, PROVIDE 1 1/8" MIN. OSB RIM BOARD.
- METAL HANGERS SHALL BE SPECIFIED BY MANUFACTURER, U.N.O.
- I-JOIST/TRUSS SHOP DWGS. SHALL BE SUBMITTED TO ARCH. & ENG.  
FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY.
- FLOOR SHEATHING SHALL BE 23/32" A.P.A. RATED "STURD-I-FLOOR"  
24" O.C. EXPOSURE 1 (OR APPROVED EQUAL) WITH TONGUE AND  
GROOVE EDGES. FASTEN TO FRAMING MEMBERS W/ GLUE AND  
- 2 1/2" x 0.131" NAILS @ 6"o.c. @ PANEL EDGES & @ 12"o.c. FIELD.  
- 2 3/8" x 0.120" NAILS @ 4" O.C. @ PANEL EDGES & @ 8" O.C. FIELD.  
- 2 3/8" x 0.113" NAILS @ 3" O.C. @ PANEL EDGES & @ 6" O.C. IN FIELD.

ROOF FRAMING

- ROOF SHEATHING SHALL BE 7/16" A.P.A. RATED SHEATHING 24/16  
EXPOSURE 1 (OR APPROVED EQUAL). FASTEN TO FRAMING MEMBERS  
- w/ 2 1/2" x 0.131" NAILS @ 6"o.c. @ PANEL EDGES & @ 12" O.C. FIELD.  
- w/ 2 3/8" x 0.120" NAILS @ 4"o.c. @ PANEL EDGES & @ 8" O.C. FIELD.  
- w/ 2 3/8" x 0.113" NAILS @ 3"o.c. @ PANEL EDGES & @ 6" O.C. FIELD.
- WITHIN 48" OF ALL ROOF EDGES, RIDGES, & HIPs FASTEN ROOF  
SHEATHING FIELDS PER EDGE NAILING SPEC.
- FASTEN EACH ROOF TRUSS TO TOP PLATE W/ SIMPSON H2.5T CLIP  
(OR APPROVED EQUAL) @ ALL BEARING POINTS. PROVIDE (2) H2.5T  
CLIPS AT 2-PLY GIRDER TRUSSES, (3) H2.5T CLIPS AT 3-PLY  
GIRDER TRUSSES & ROOF BEAMS - AT ALL BEARING POINTS.
- METAL HANGERS SHALL BE SPECIFIED BY THE MANUFACTURER, U.N.O.
- ROOF TRUSS SHOP DWGS. SHALL BE SUBMITTED TO ARCH. & ENG.  
FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY.
- ERECT AND INSTALL ROOF TRUSSES PER NTCA & TP15 BC01 I  
"GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING & BRACING  
OF METAL PLATE CONNECTED WOOD TRUSSES."
- SUPPORT SHORT SPAN ROOF TRUSSES w/2x4 LEDGER FASTENED TO  
FRAMING w/(2) 3" x 0.120" NAILS @ 16" O.C. (UP TO 1" SPAN).

MKK STD. - MAR 2016

LEGEND

- R.T. INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF.  
MANUF. (TYP. U.N.O.)
- OF. INDICATES TRUSS OVERFRAMING @  
24" O.C. (TYP. U.N.O.)
- F.J. INDICATES 14" DEEP FLOOR I-JOISTS (19.2" O.C.  
MAX SPACING). JOIST SERIES AND SPACING SHALL  
BE THE RESPONSIBILITY OF THE JOIST  
MANUFACTURER
- F.T. INDICATES 16" DEEP FLOOR TRUSSES (24" O.C. MAX  
SPACING).
- F.S. INDICATES 14" DEEP FLOOR JOISTS (19.2" O.C. MAX  
SPACING). JOIST SERIES AND SPACING SHALL BE  
THE RESPONSIBILITY OF THE JOIST MANUFACTURER  
-OR- 14" DEEP FLOOR TRUSSES (24" O.C. MAX  
SPACING).
- D.J. INDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX.)
- INDICATES LOCATIONS OF POTENTIAL TILE FLOOR.  
JOIST MANUFACTURER SHALL DESIGN FLOOR  
SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE  
LOCATIONS.
- INTERIOR BEARING WALL
- BEARING WALL ABOVE (B.W.A.)
- BEAM/HEADER
- METAL HANGER
- INDICATES POST ABOVE (P.A.) PROVIDE SOLID  
BLOCKING UNDER POST OR JAMB ABOVE.

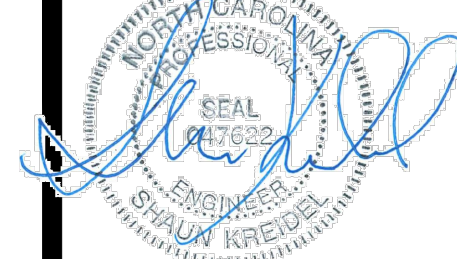
GENERAL STRUCTURAL NOTES

- DESIGN IS BASED ON 2018 NC5BC-RESIDENTIAL CODE
- WOOD FRAME ENGINEERING IS BASED ON NDS, "NATIONAL DESIGN  
SPECIFICATION FOR WOOD CONSTRUCTION" - LATEST EDITION.
- DESIGN LOADS:  
ROOF LIVE = 20 PSF  
DEAD = 1 PSF T.C., 10 PSF B.G.  
LOAD DURATION FACTOR = 1.25  
FLOOR LIVE = 40 PSF (30 PSF @ SLEEPING AREAS)  
DEAD = 10 PSF (I-JOISTS & SOLID SAWN)  
10 PSF T.C., 5 PSF B.G. (TRUSSES)  
ADD'L 10 PSF @ CERAMIC TILE IN  
BATHS AND LAUNDRY  
SOIL 2,000 PSF ASSUMED ALLOWABLE BEARING  
PRESSURE (TO BE VERIFIED BY BUILDER)

GENERAL FRAMING

- ALL TYP. NAIL FASTENER REQUIREMENTS ARE NOTED IN STANDARD  
CONNECTIONS TABLE (IRC TABLE R602.3.11) OR ON PLANS. ALL  
NAILS SPECIFIED ARE MIN DIAMETER AND LENGTH REQUIRED FOR  
CONNECTION. ALL HANGER NAILS SHALL BE INSTALLED PER  
MANUFACTURER'S REQUIREMENTS FOR MAX CHARTED CAPACITY.  
NOTE: HANGERS USE COMMON NAIL DIAMETERS NOT TYPICAL  
FRAMING GUN NAILS.
- EXT. & INT. BEARING WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON  
PLANS) @ 16" O.C. SPF/SP "STUD" GRADE LUMBER, OR BETTER, U.N.O.
  - WALLS OVER 12" TALL SHALL BE PER PLAN.
- ALL INTERIOR BEARING WALLS ARE ASSUMED TO BE SHEATHED w/  
GYP WALL BOARD (ONE SIDE MIN) OR PROVIDE MID HT. BLOCKING.
- ALL HEADERS, BEAMS & OTHER STRUCTURAL MEMBERS SHALL BE  
SPRUCE-PINE-FIR #2 (SPF) OR SOUTHERN PINE #2 (SP) LUMBER, OR  
BETTER. SUPPORT ALL HEADERS/ BEAMS w/ (1)2x JACK STUD & (1)2x  
KING STUD, MINIMUM.
  - THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE  
NUMBER OF JACK STUDS REQUIRED, U.N.O.
- ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED  
WITH 2x "STUD" GRADE MEMBERS SPACED @ 24" O.C. (MAX., U.N.O.)
  - HEADERS IN NON-LOAD BEARING WALLS SHALL BE:  
(1)2x4/6 FLAT @ OPENINGS UP TO 4'; (2)2x4/6 FLAT UP TO 8'.
- ALL FRAMING LUMBER SHALL BE DRIED TO 15% MC (KD-15).
- ENGINEERED LUMBER BEAMS TO MEET OR EXCEED THE FOLLOWING:
  - LVL' - Fb=1700 psi; Fv=425 psi; E=1.3x10<sup>6</sup> psi
  - LVL' - Fb=2600 psi; Fv=285 psi; E=2.0x10<sup>6</sup> psi
- ENGINEERED LUMBER POSTS TO MEET OR EXCEED THE FOLLOWING:
  - LVL' - Fb=2400 psi; Fc11=2500 psi; E=1.8x10<sup>6</sup> psi
- FOR 2 & 3 PLY BEAMS OF EQUAL 1 3/4" MAX. WIDTH, FASTEN PLIES  
TOGETHER WITH 3 ROWS OF 3"x0.120" NAILS @ 8" O/C OR 2 ROWS  
1/4"x3/8" SIMPSON SDS SCREWS (OR 3/8" TRUSSLOK SCREWS) @ 16"  
O/C. USE A MINIMUM OF 4 ROWS FOR BEAM DEPTHS OF 14" OR  
GREATER. APPLY FASTENING AT BOTH FACES FOR 3-PLY  
CONDITION. LOCATE TOP & BOTTOM NAILS/SCREWS 2" FROM EDGE.  
SOLID 3 1/2" OR 5 1/4" BEAMS ARE ACCEPTABLE. USE 2 ROWS OF  
NAILS FOR 2x6 & 2x8 MEMBERS.
- FOR 4 PLY BEAMS OF EQUAL 1 3/4" MAX. WIDTH, FASTEN PLIES  
TOGETHER WITH 3 ROWS OF 1/4"x6" SIMPSON SDS SCREWS (OR 6 3/4"  
TRUSSLOK SCREWS) @ 16" O/C. USE A MINIMUM OF 4 ROWS FOR  
BEAM DEPTHS OF 14" OR GREATER. APPLY FASTENING AT BOTH  
FACES (ONE SIDE ONLY FOR TRUSSLOK SCREWS). LOCATE TOP AND  
BOTTOM SCREWS 2" FROM EDGE. A SOLID 1" BEAM IS ACCEPTABLE.
- PROVIDE SOLID BLOCKING IN FLOOR SYSTEM UNDER ALL POSTS  
CONTINUOUS TO FND/BEARING. BLOCKING TO MATCH POST ABOVE.
- ALL EXTERIOR 4x4 WOOD POSTS SHALL HAVE SIMPSON BC52-2/4  
CAP & ABW44 BASE, U.N.O.
- SIMPSON CONNECTORS SPECIFIED ON PLAN MAY BE SUBSTITUTED  
WITH EQUIVALENT UNITED STEEL PRODUCTS (USP), PROVIDED THE  
INSTALLED PRODUCT MATCHES THE MINIMUM  
REQUIREMENTS/CAPACITIES OF SPECIFIED SIMPSON HARDWARE.
- CORROSION NOTES:
  - BUILDER RESPONSIBLE TO DETERMINE CORROSION-RESISTANCE  
REQUIREMENTS AND COMPATIBILITY OF HARDWARE, FASTENERS  
AND CONNECTORS FOR ENVIRONMENTAL EXPOSURE AND IN  
CONTACT W/ PRESERVATIVE-TREATED WOOD OF ACTUAL FINAL  
CONDITIONS AND SOURCED MATERIALS. CONTACT LUMBER &  
HARDWARE SUPPLIERS TO COORD.
  - ALL FASTENERS AND CONNECTORS EXPOSED TO SALT WATER  
(WITHIN 300' OF SALT WATER SHORELINE, INCLUDING VENTED  
SPACES) SHALL BE STAINLESS STEEL.

seal:

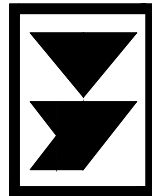


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NC License # C-3825



Mulhern+Kulp project number:

260-22002

project mgr:

SMK

drawn by:

RKS

issue date:

05.17.2024

REVISIONS:

date:

initial:

10/01/2024

FRANKLIN REVISIONS

DAVIDSON HOMES

GENERAL NOTES

CRAWFORD MODEL

RALEIGH, NC

sheet:

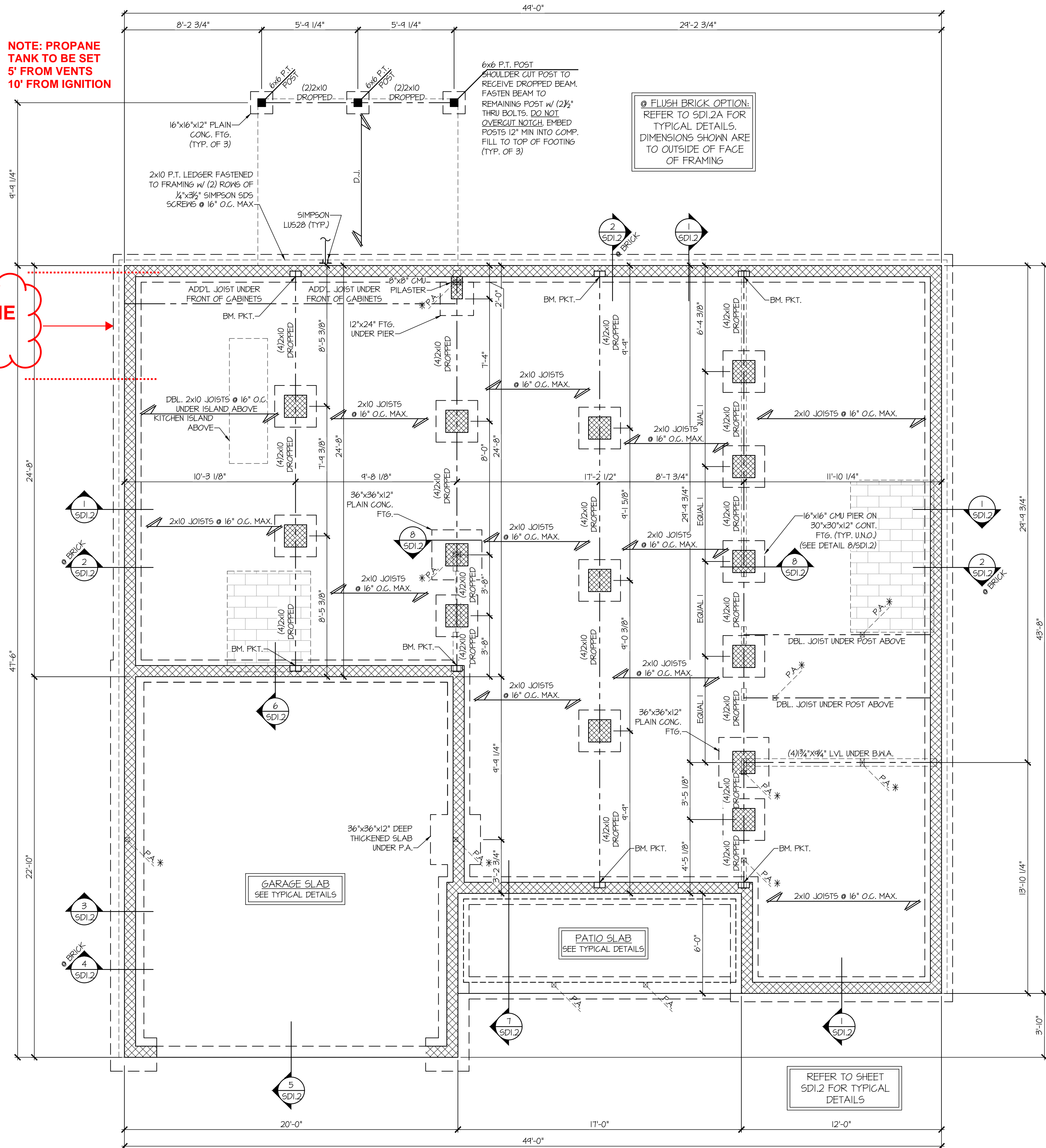
Tobacco Road Lot 99

S0.0

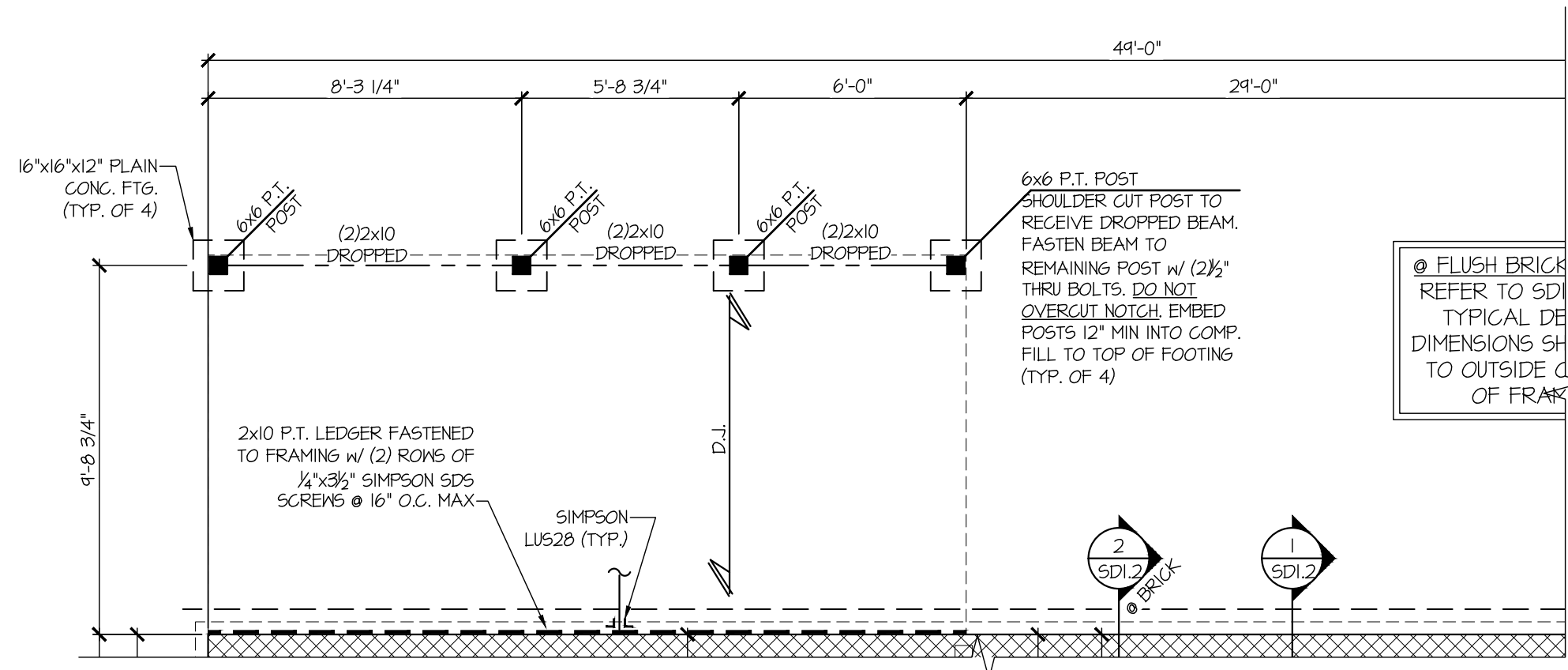


NOTE: PROPANE TANK TO BE SET 5' FROM VENTS 10" FROM IGNITION

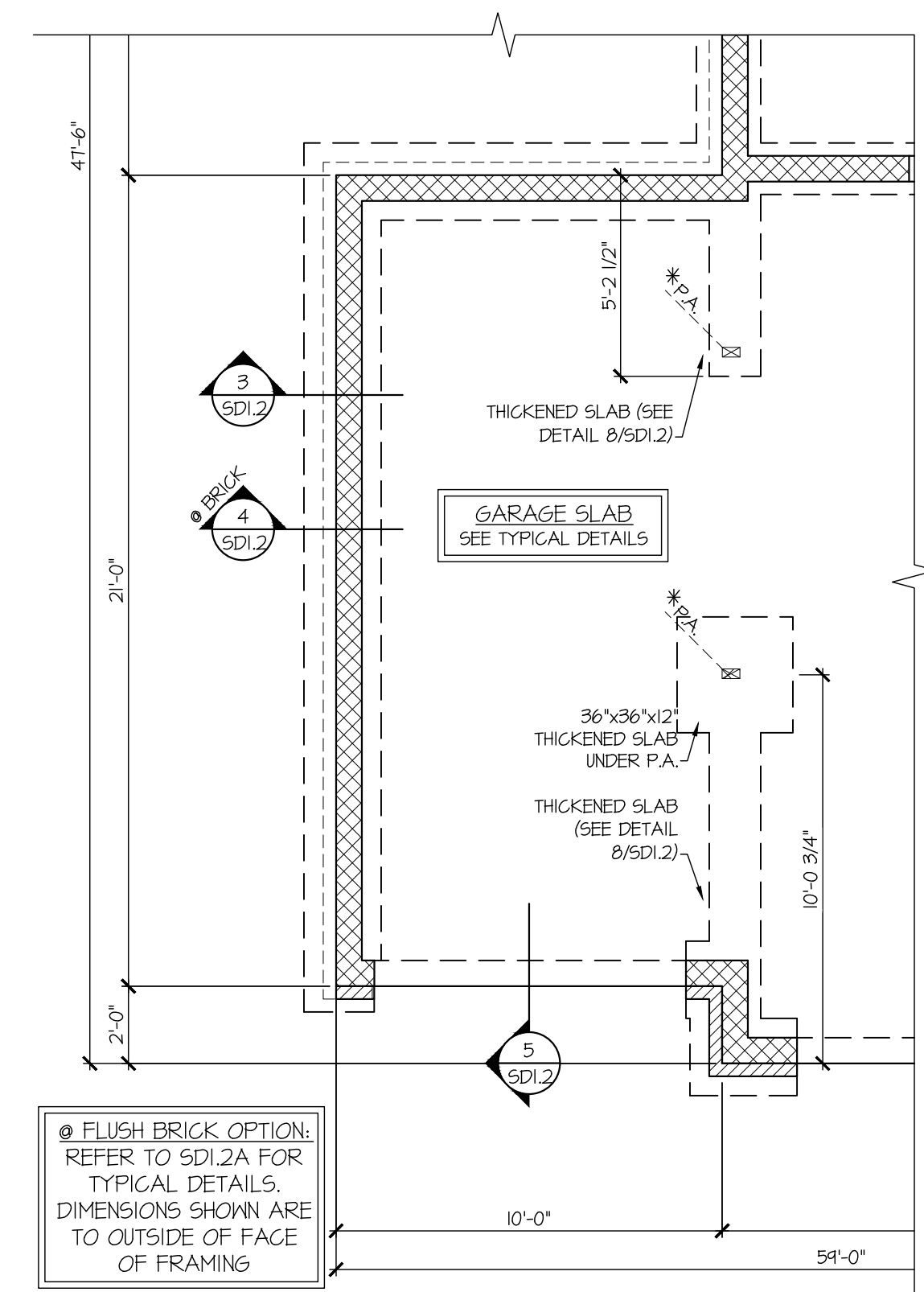
PROPANE TANK



1ST FLOOR FRAMING & CRAWLSPACE FOUNDATION PLAN w/ 2x JOISTS  
SCALE: 1/4"=1'-0" ON 22x34  
1/8"=1'-0" ON 11x17  
ELEV. D



PARTIAL CRAWLSPACE FOUNDATION PLAN  
SCALE: 1/4"=1'-0" ON 22x34  
1/8"=1'-0" ON 11x17  
OPT. DECK ALL ELEV. SIM.



PARTIAL CRAWLSPACE FOUNDATION PLAN  
SCALE: 1/4"=1'-0" ON 22x34  
1/8"=1'-0" ON 11x17  
OPT. 3RD CAR GARAGE ALL ELEV. SIM.

- LEGEND
- RT. INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. U.N.O.)
  - OF. INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. U.N.O.)
  - F.J. INDICATES 14" DEEP FLOOR I-JOISTS (19.2" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER
  - F.T. INDICATES 16" DEEP FLOOR TRUSSES (24" O.C. MAX SPACING).
  - F.S. INDICATES 14" DEEP FLOOR JOISTS (19.2" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER -OR- 14" DEEP FLOOR TRUSSES (24" O.C. MAX SPACING).
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  - INTERIOR BEARING WALL
  - BEARING WALL ABOVE (B.W.A.)
  - BEAM/HEADER
  - Metal Hanger
  - INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

seal:

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260-22002

project mgr: SMK  
drawn by: RKS  
issue date: 05.17.2024

REVISIONS:  
date: 10/01/2024 initial: SMM  
FRANKLIN REVISIONS

DAVIDSON HOMES

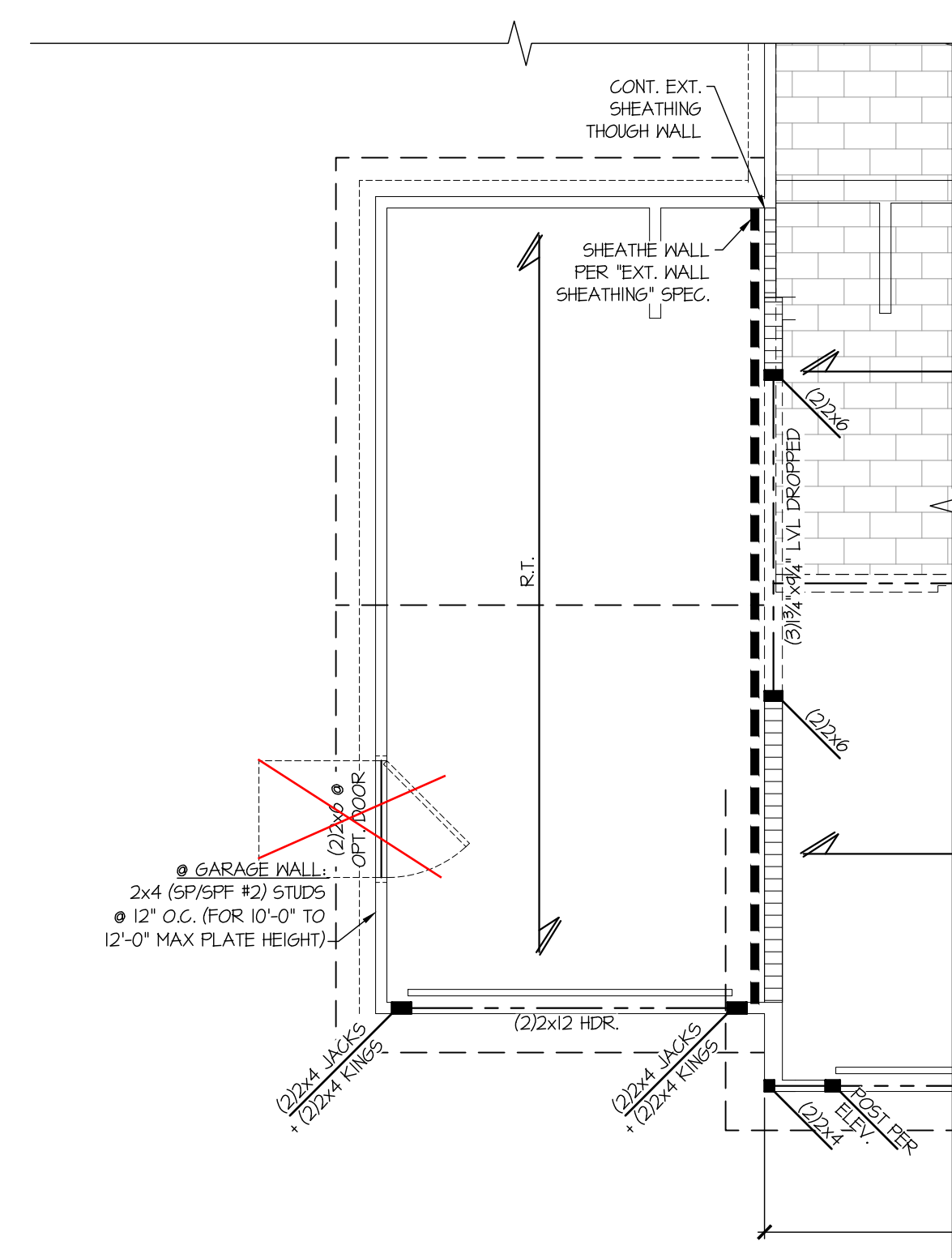
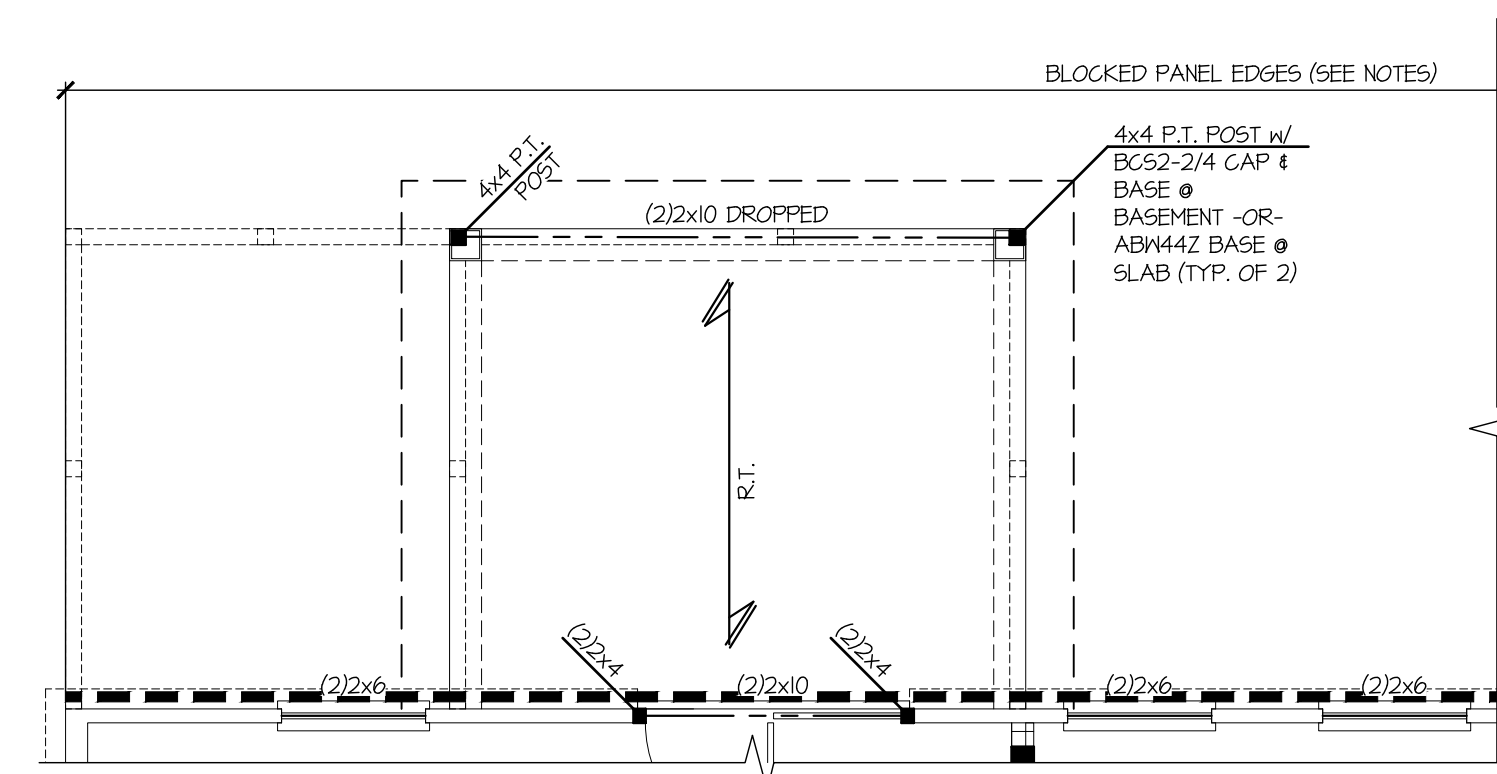
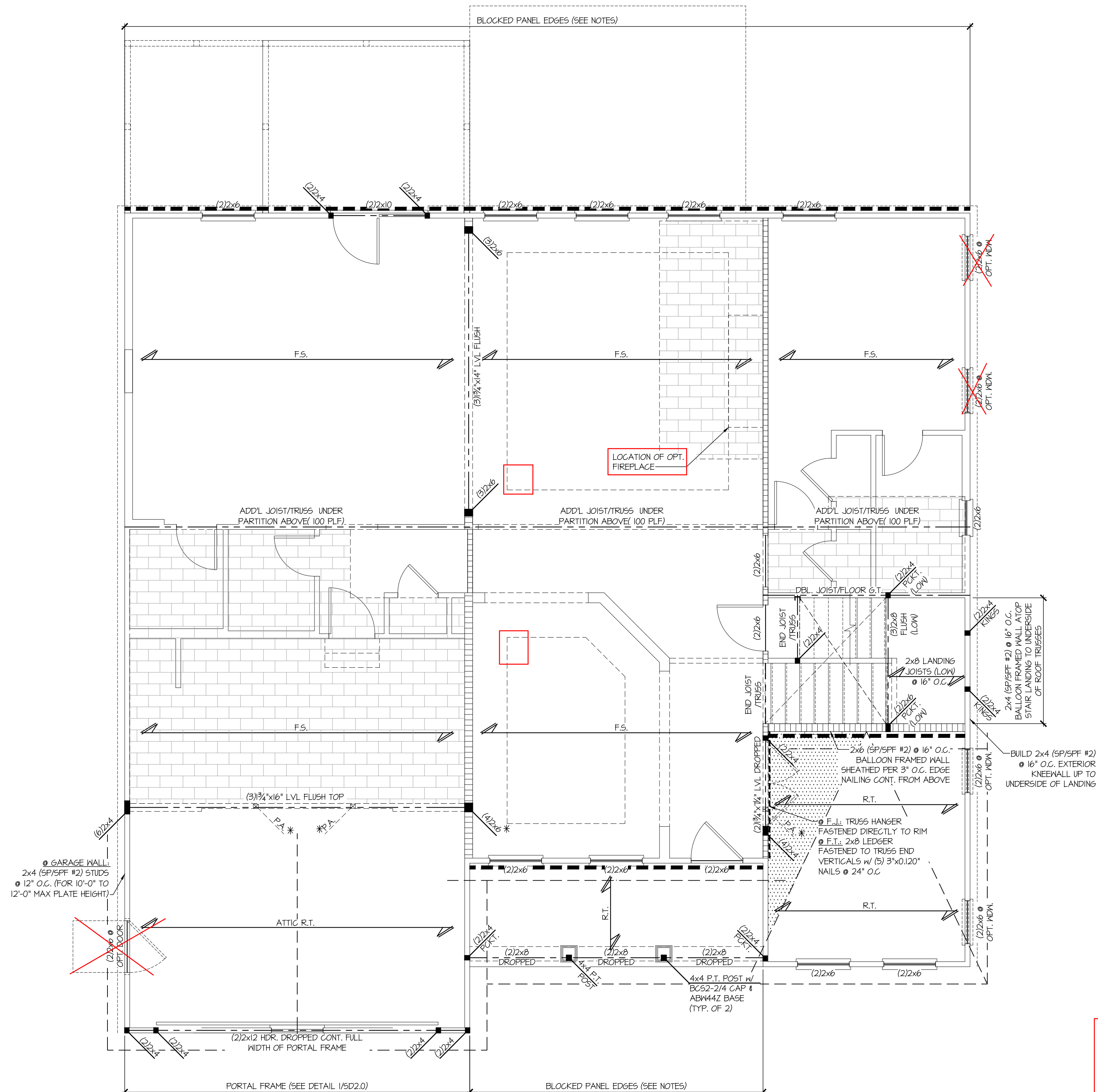
FOUNDATION PLAN  
CRAWFORD MODEL

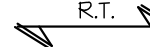
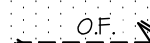
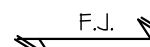

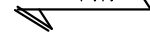
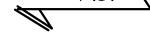

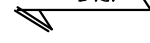


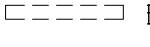

RALEIGH, NC

sheet:  
**S1.19M**

Tobacco Road Lot 99






- # LEGEND
- 
-  INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. U.N.O.)
  -  INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. U.N.O.)
  -  INDICATES 14" DEEP FLOOR I-JOISTS (19.2" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER
  -  INDICATES 16" DEEP FLOOR TRUSSES (24" O.C. MAX SPACING).
  -  INDICATES 14" DEEP FLOOR JOISTS (19.2" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER -OR- 14" DEEP FLOOR TRUSSES (24" O.C. MAX SPACING).
  -  INDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX.)
  -  INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS.
  -  INTERIOR BEARING WALL
  -  BEARING WALL ABOVE (B.W.A.)
  -  BEAM/HEADER
  -  JL METAL HANGER
  -  INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

seal: 

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Mulhern+Kulp project number:  
260-22002

project mgr: SMK  
drawn by: RKS  
issue date: 05.17.2024

REVISIONS:	
date:	initial:
10/01/2024	SMM
FRAMEWORK REVISIONS	

DAVIDSON HOMES

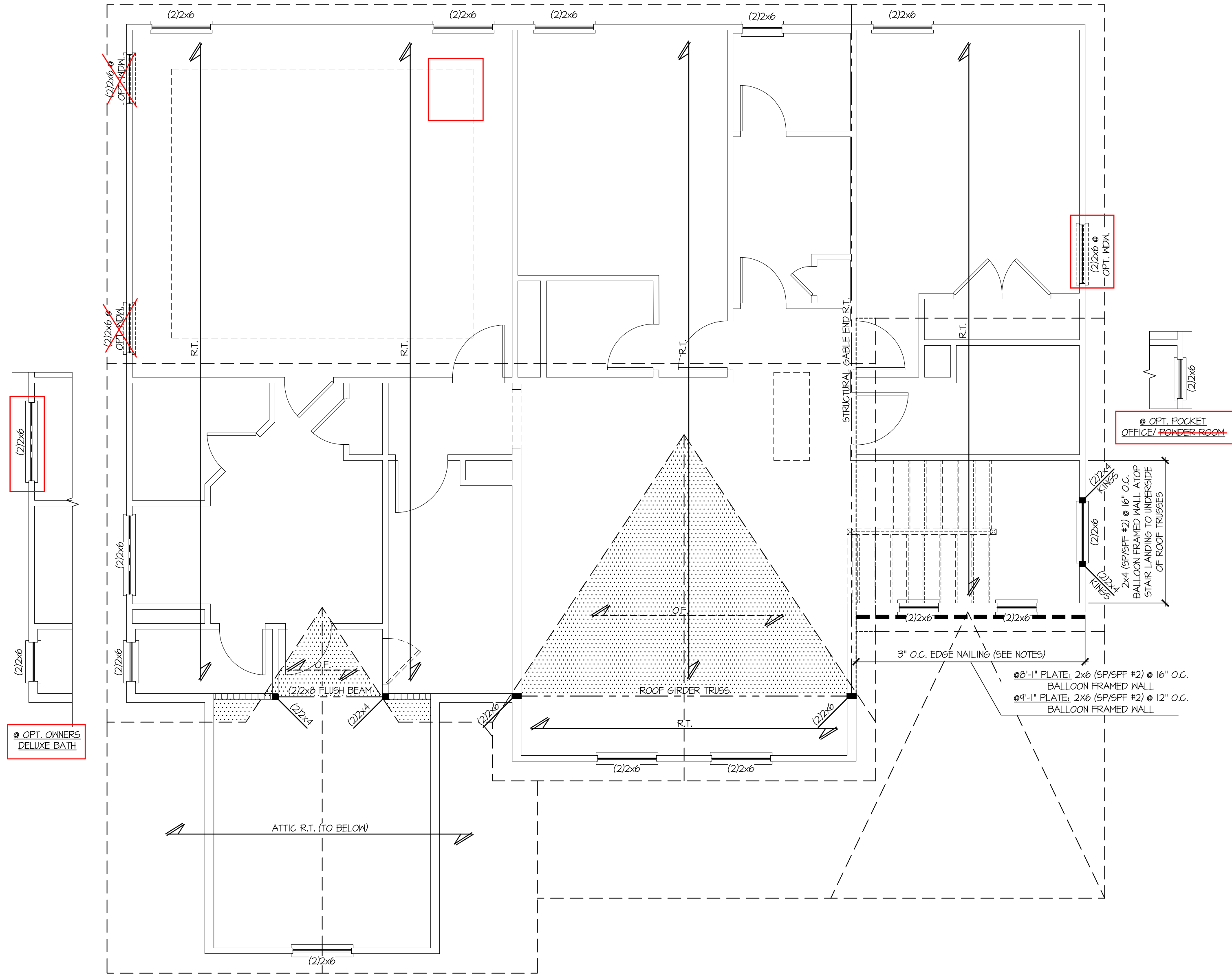
## 2ND FLR FRAMING PLAN

# CRAWFORD MODEL

RALEIGH, NC

sheet:

**S2.3M**



**1 ROOF FRAMING PLAN**  
SCALE: 1/4"=1'-0" ON 22x34  
1/8"=1'-0" ON 11x17  
ELEV. D

REFER TO S.O. FOR TYPICAL  
STRUCTURAL NOTES & SCHEDULES

THIS LEVEL HAS BEEN DESIGNED  
FOR 8'-1" AND 9'-1" PLATE HEIGHT

**LEGEND**

- R.T. INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. UNO.)
- O.F. INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. UNO.)
- F.J. INDICATES 14" DEEP FLOOR I-JOISTS (19.2" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER
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- INTERIOR BEARING WALL
- BEARING WALL ABOVE (B.W.A.)
- BEAM/HEADER
- JL METAL HANGER
- \* INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

seal:  
  
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NC License # C-3825

Mulhern+Kulp project number:  
**260-22002**

project mgr: **SMK**  
drawn by: **RKS**  
issue date: **05.17.2024**

REVISIONS:  
date: 10/01/2024 initial: **SMK**  
FRAMING REVISIONS

DAVIDSON HOMES

ROOF FRAMING PLAN

CRAWFORD MODEL

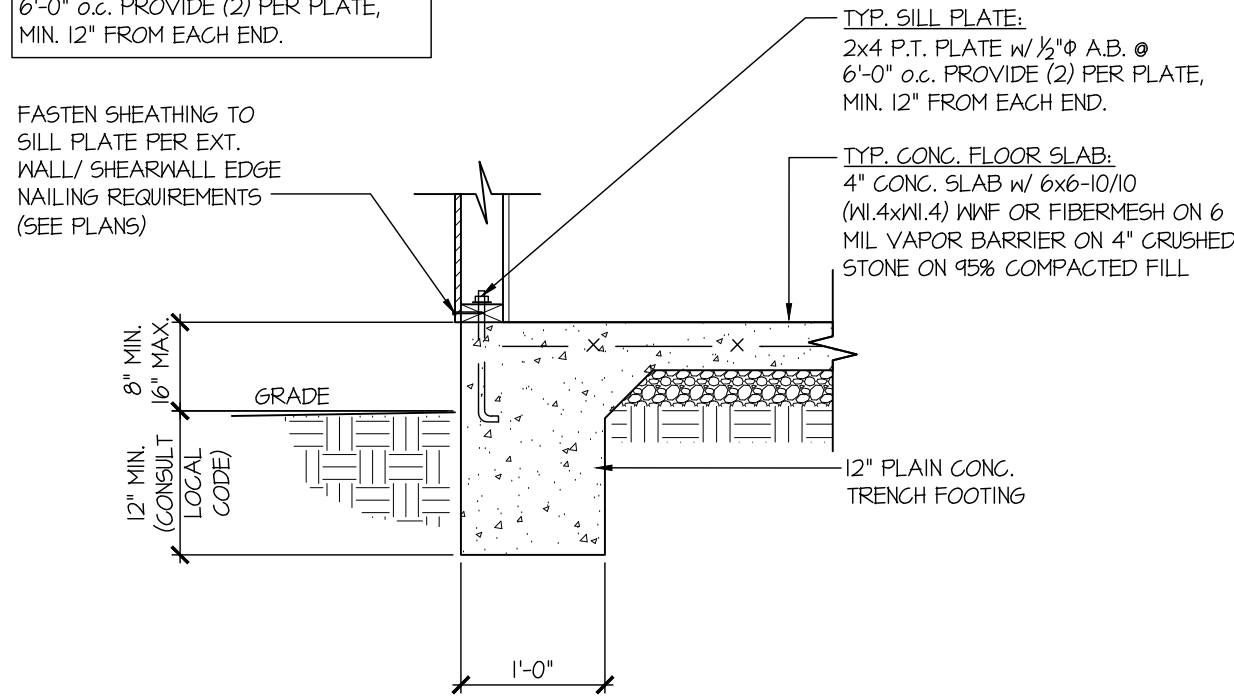
RALEIGH, NC

sheet:  
**S3.3M**

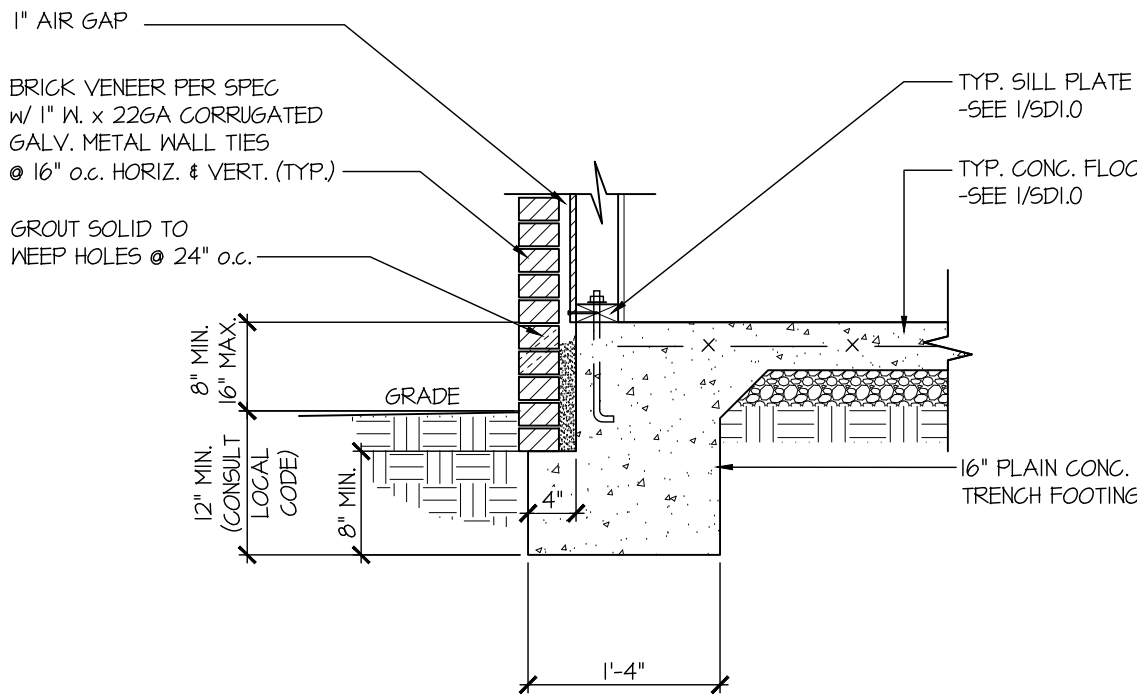
**Tobacco Road Lot 99**



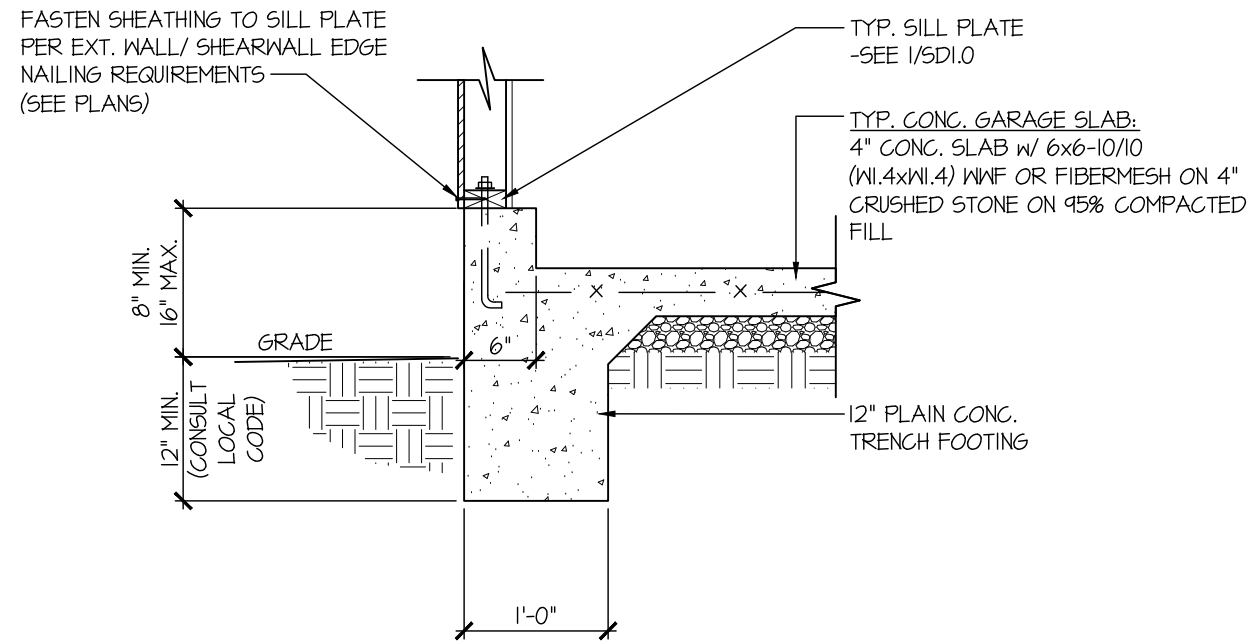
ALT. TO ANCHOR BOLTS:  
SIMPSON MASA MUDSILL ANCHORS @  
6'-0" o.c. PROVIDE (2) PER PLATE,  
MIN. 12" FROM EACH END.



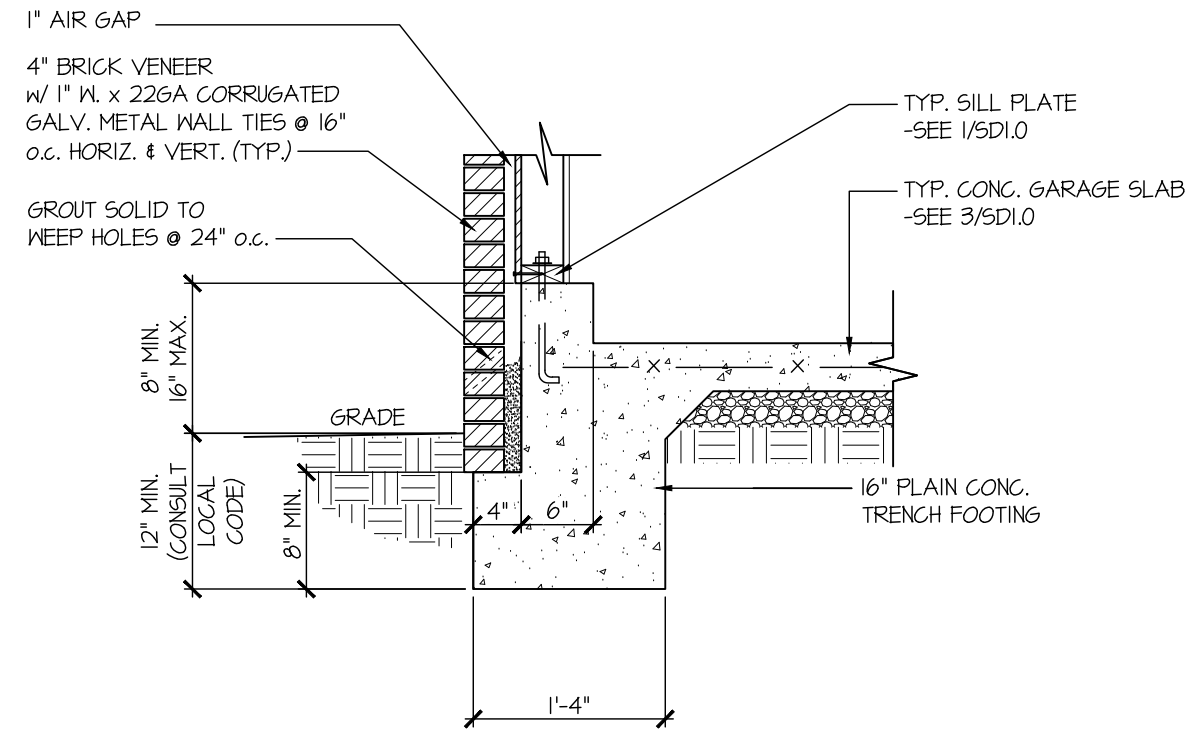
1 TYPICAL SLAB ON GRADE PERIMETER FOOTING



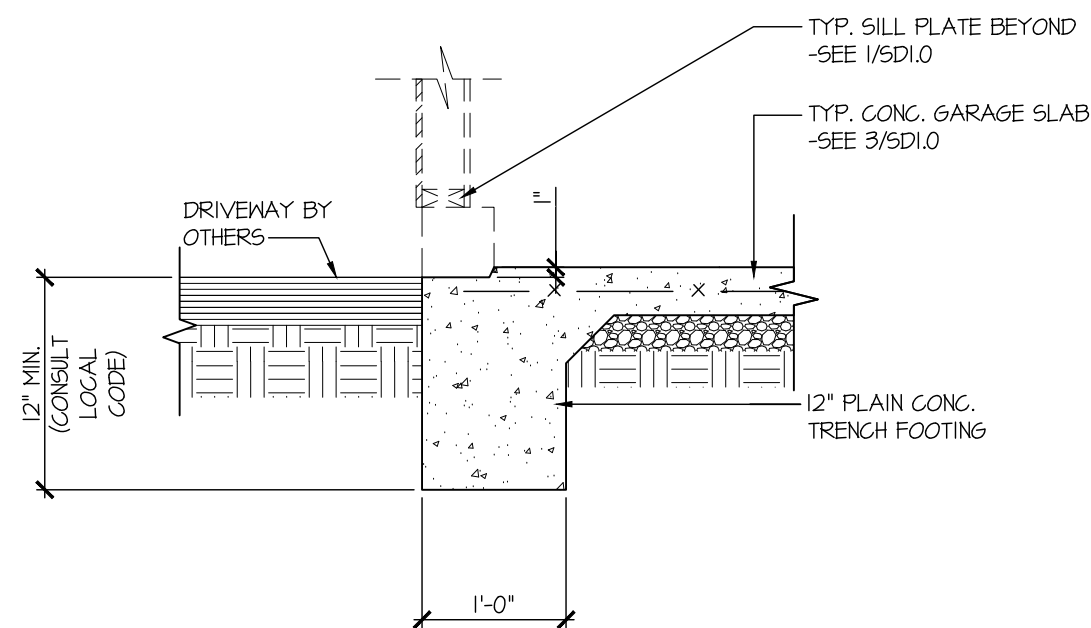
2 TYPICAL SLAB ON GRADE PERIMETER FOOTING w/ BRICK VENEER



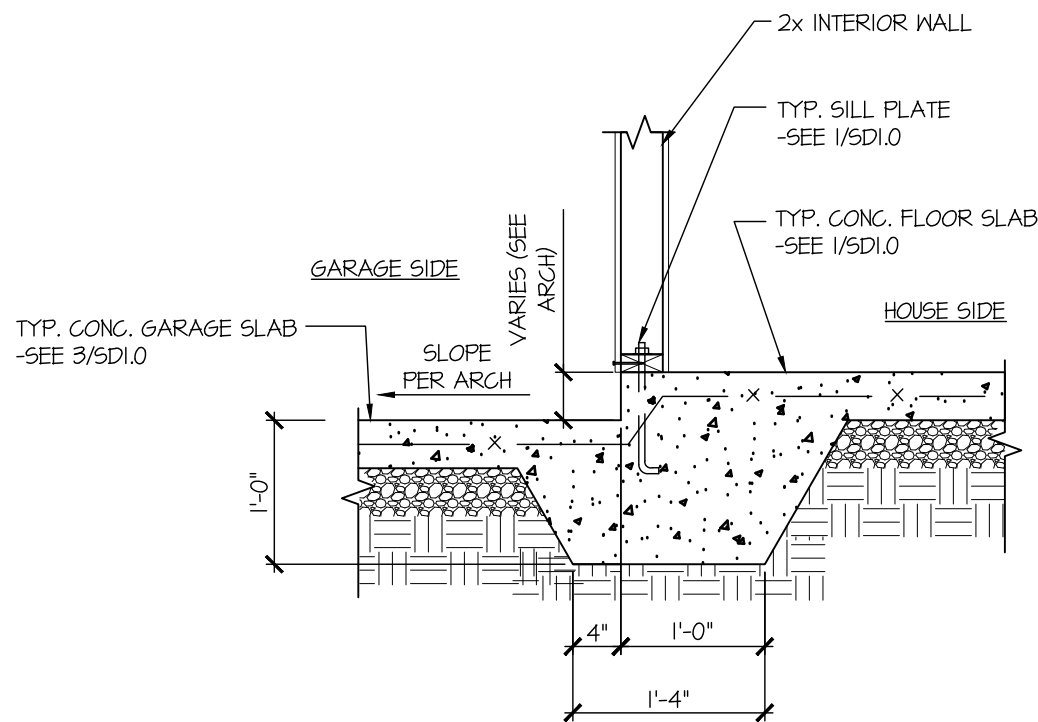
3 TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING



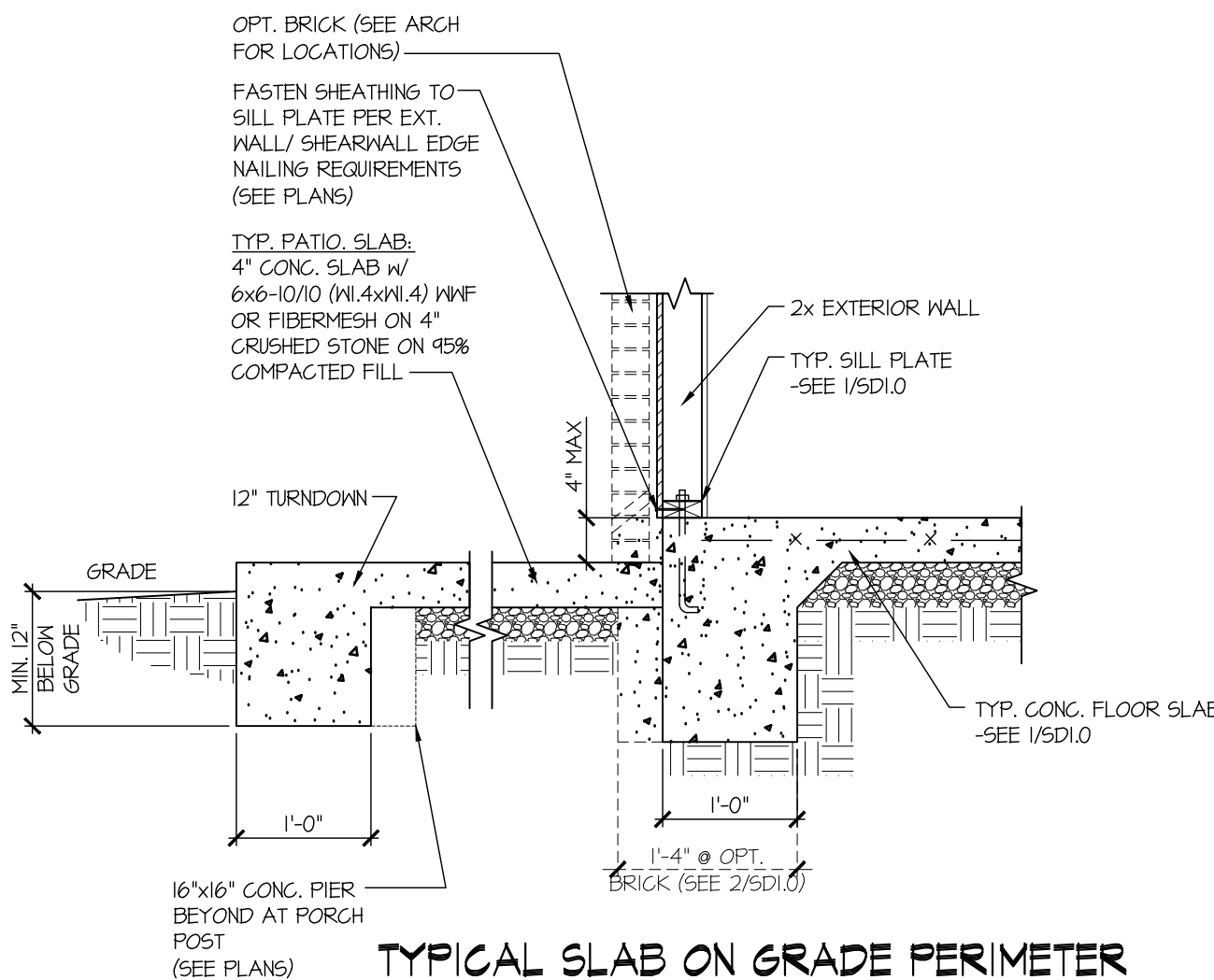
4 TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING w/ BRICK VENEER



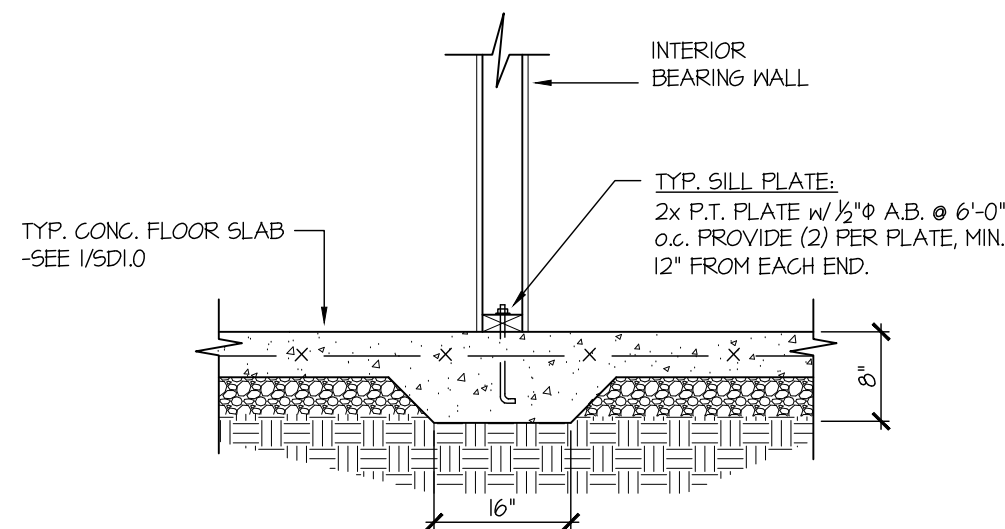
5 TYPICAL SLAB ON GRADE GARAGE ENTRY @ PERIMETER FOOTING



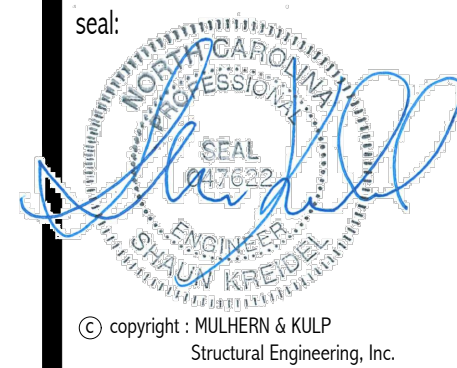
6 TYPICAL MONOLITHIC INTERIOR GARAGE FOOTING



7 TYPICAL SLAB ON GRADE PERIMETER FOOTING @ PORCH/PATIO



8 TYPICAL THICKENED SLAB @ INTERIOR BEARING WALL



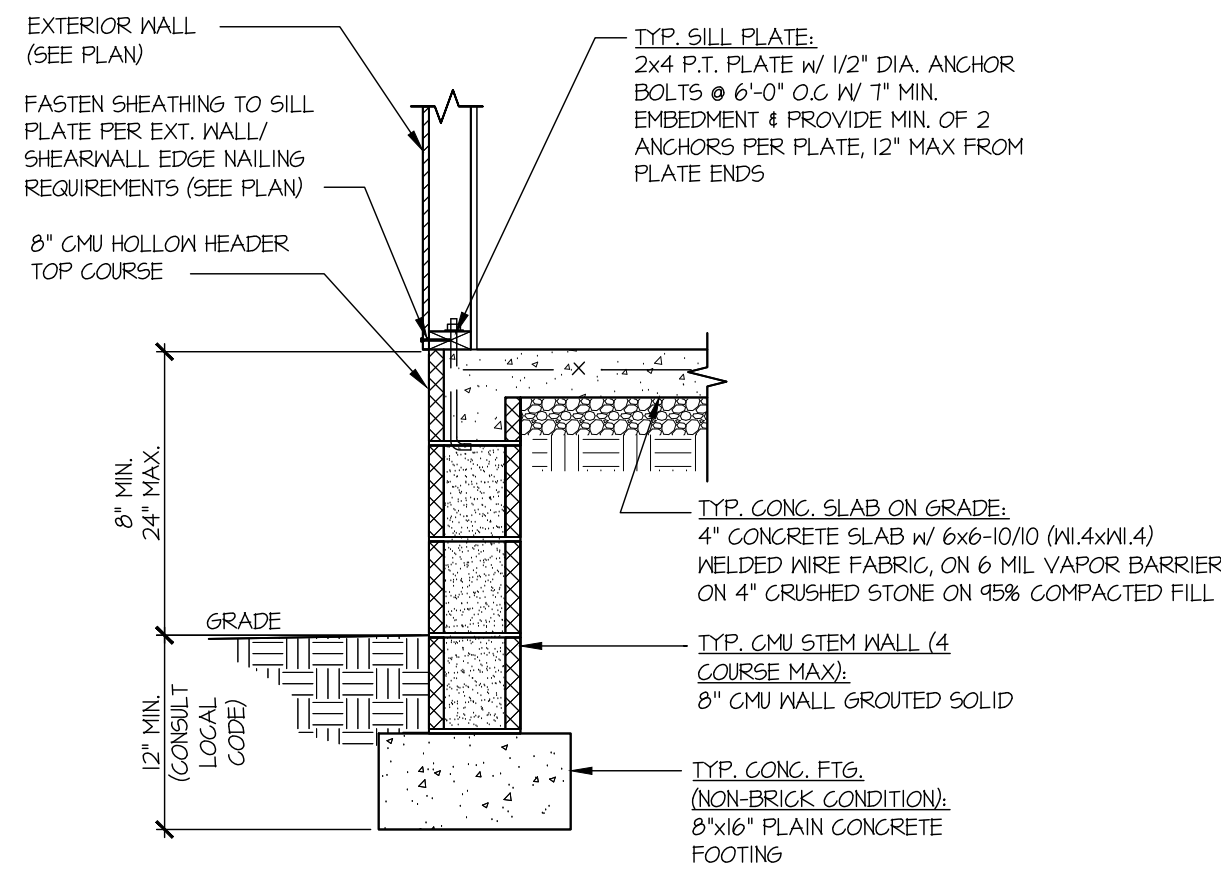
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Mulhern+Kulp project number:  
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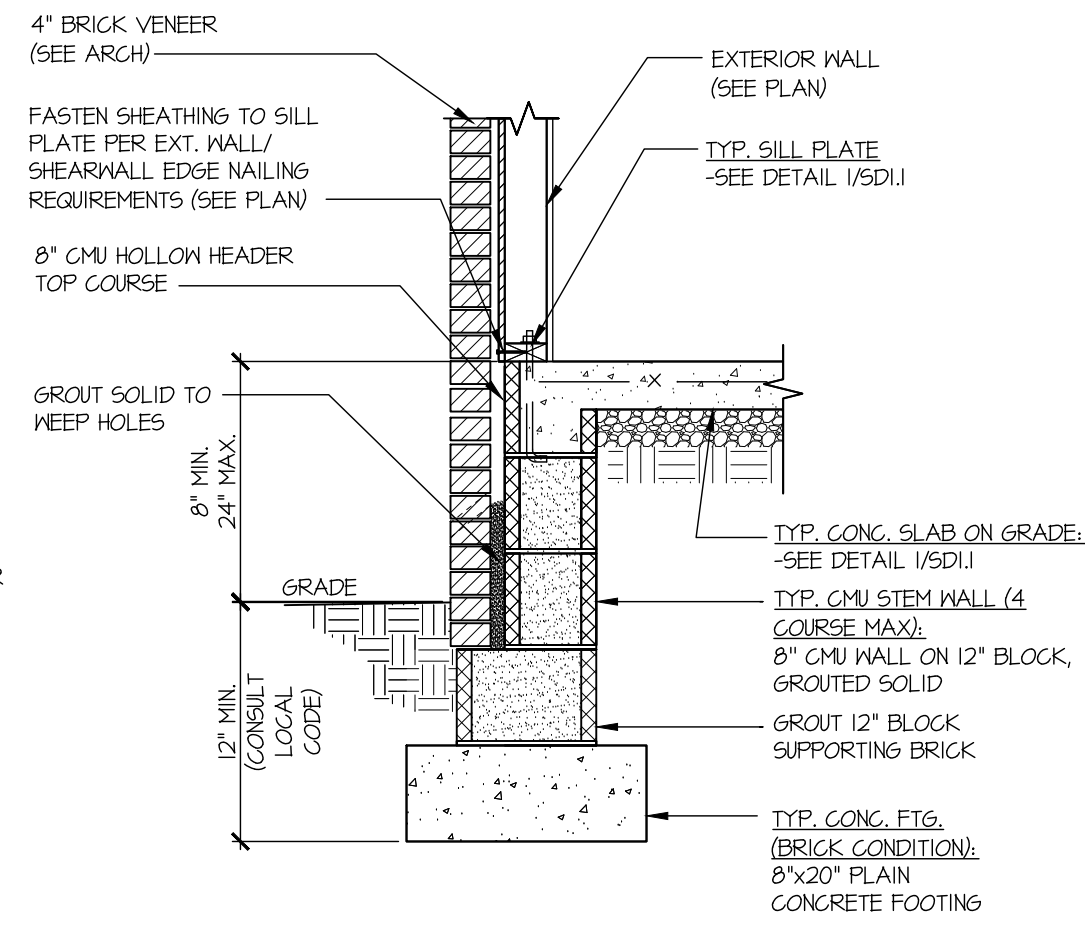
REVISIONS:	
date:	initial:
10/01/2024	SMM
FRANKLIN REVISIONS	

DAVIDSON HOMES	
FOUNDATION DETAILS	CRAWFORD MODEL
	RALEIGH, NC

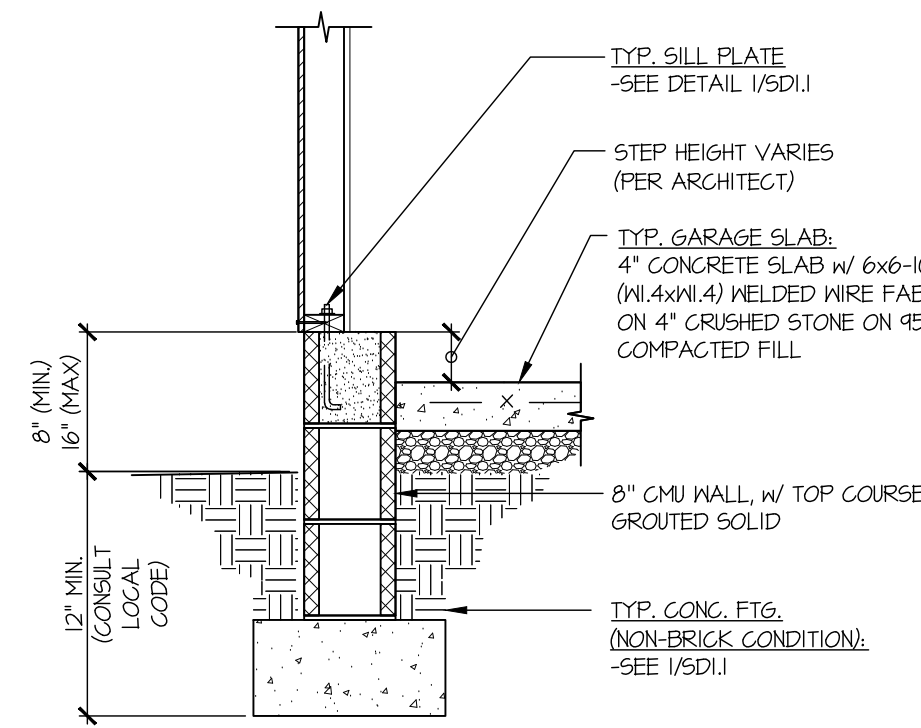
sheet:  
**SD1.0**



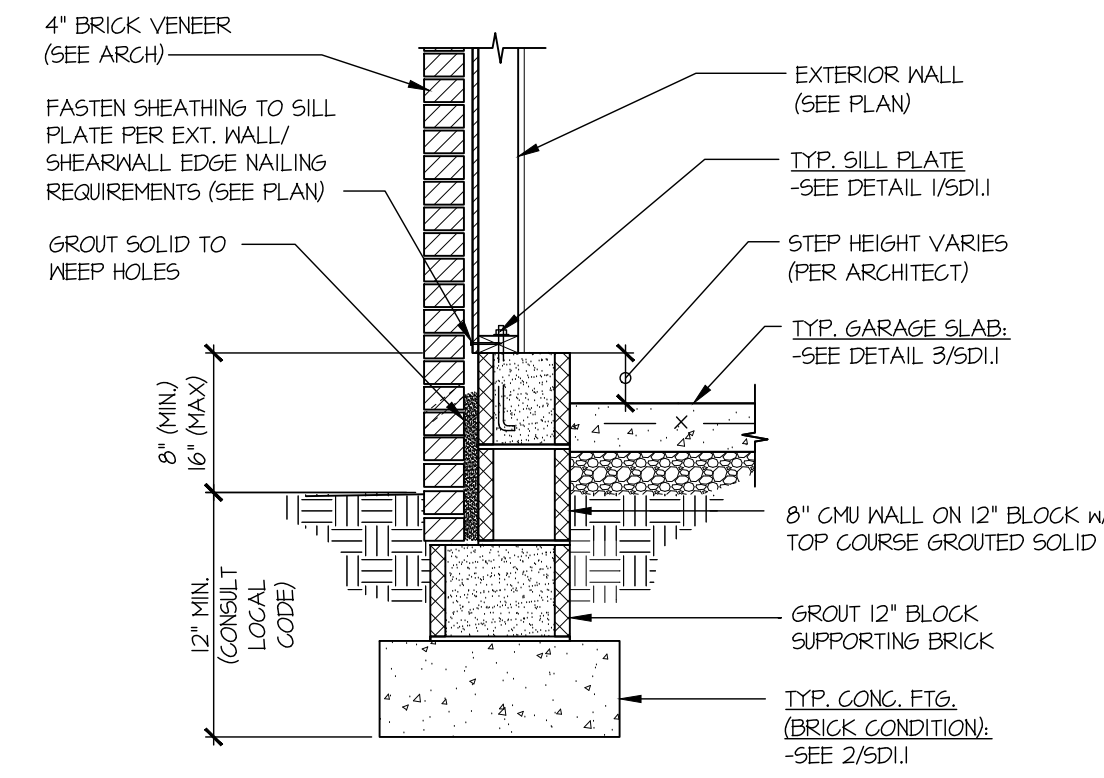
1 TYPICAL STEMWALL  
SLAB @ EXT. WALL



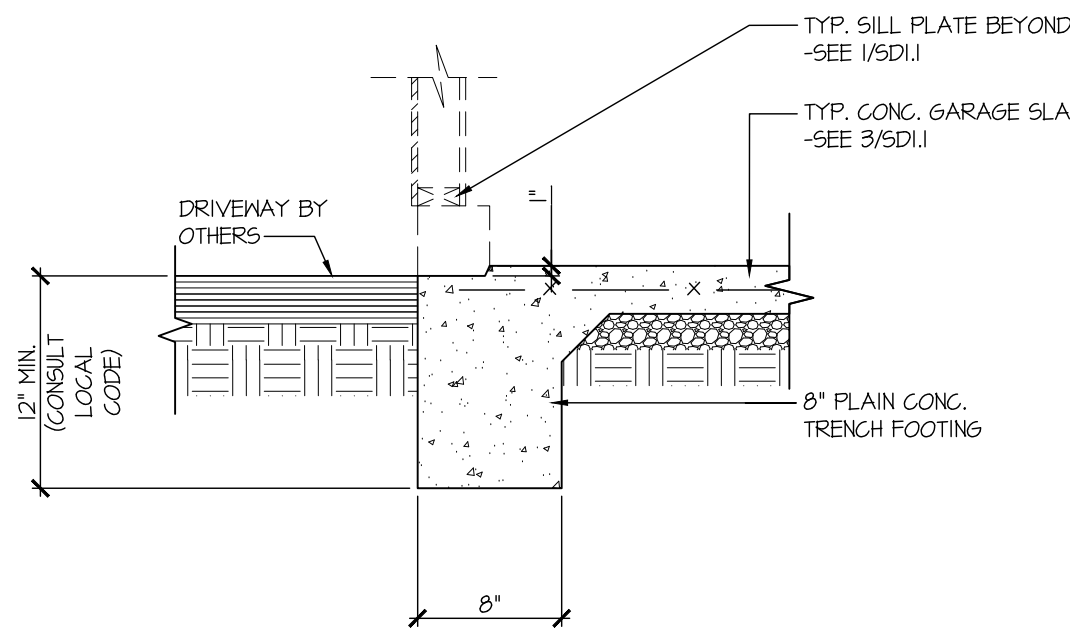
2 TYPICAL STEMWALL SLAB @  
EXT. WALL (BRICK)



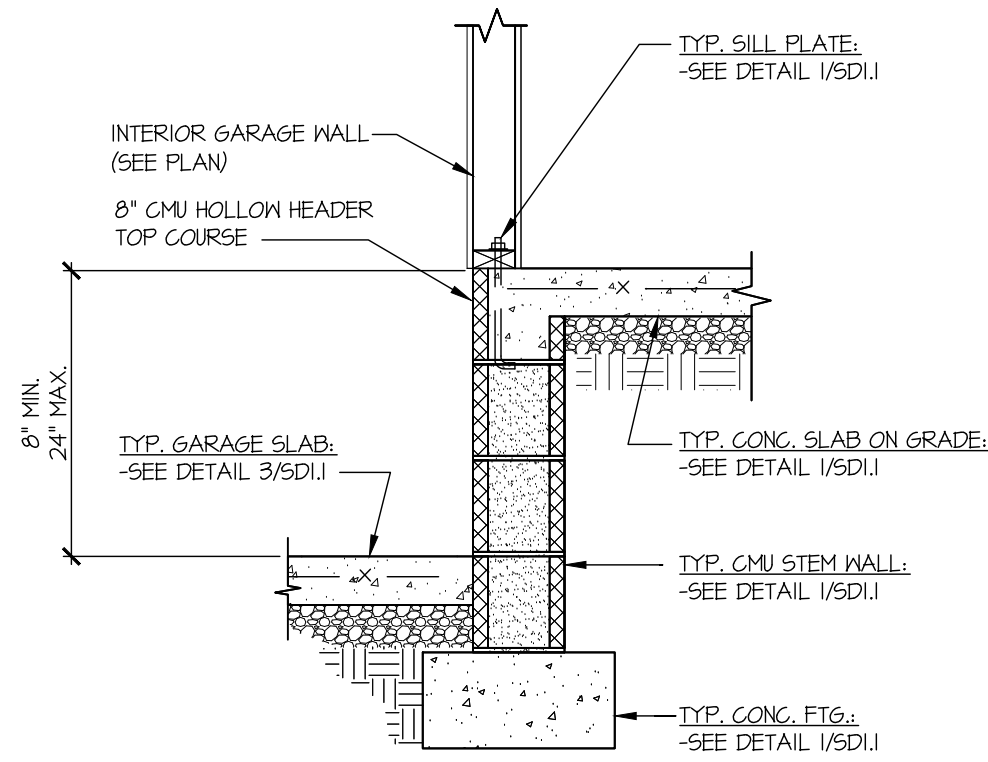
3 TYPICAL PERIMETER  
FOOTING @ GARAGE



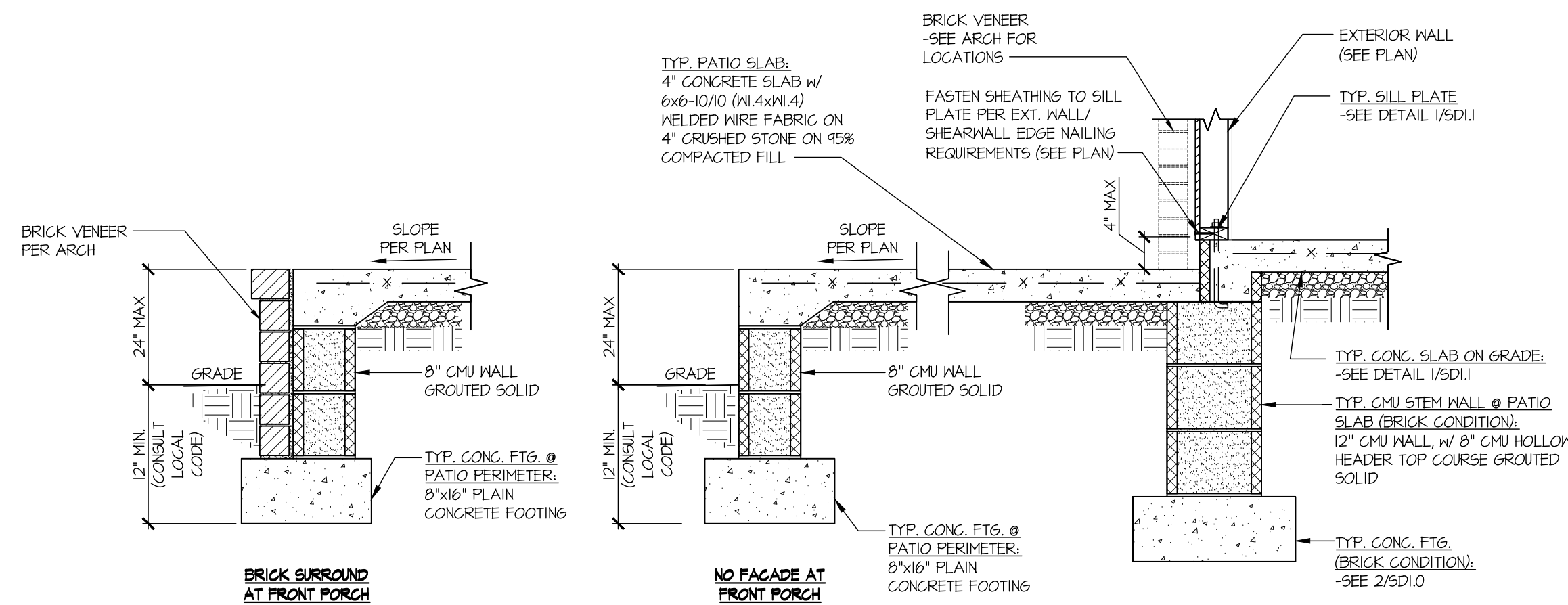
4 TYPICAL PERIMETER FOOTING  
@ GARAGE (BRICK)



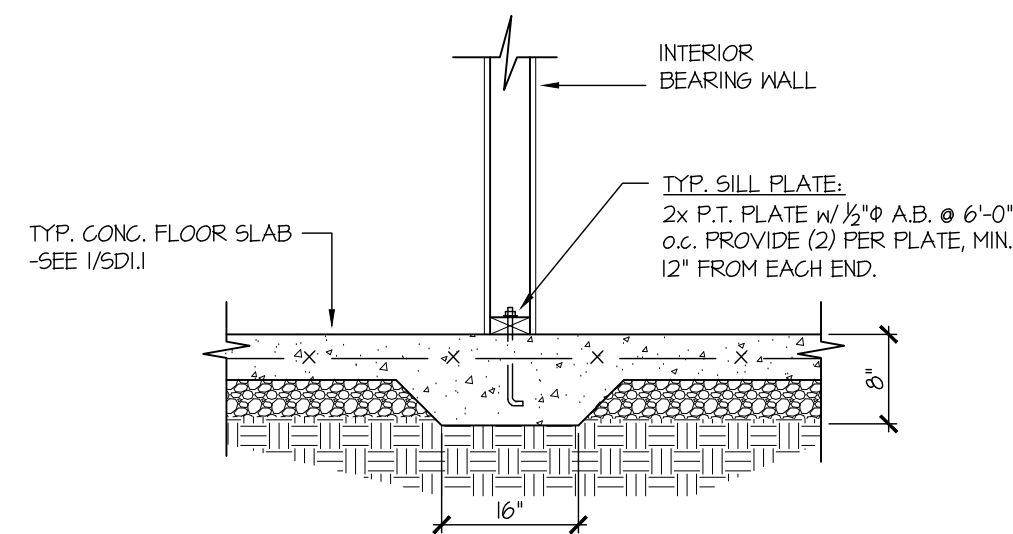
5 TYPICAL SLAB ON GRADE GARAGE  
ENTRY @ PERIMETER FOOTING



6 TYPICAL INT. FOOTING  
BETWEEN HOUSE & GARAGE



7 TYPICAL STEMWALL SLAB @ PATIO

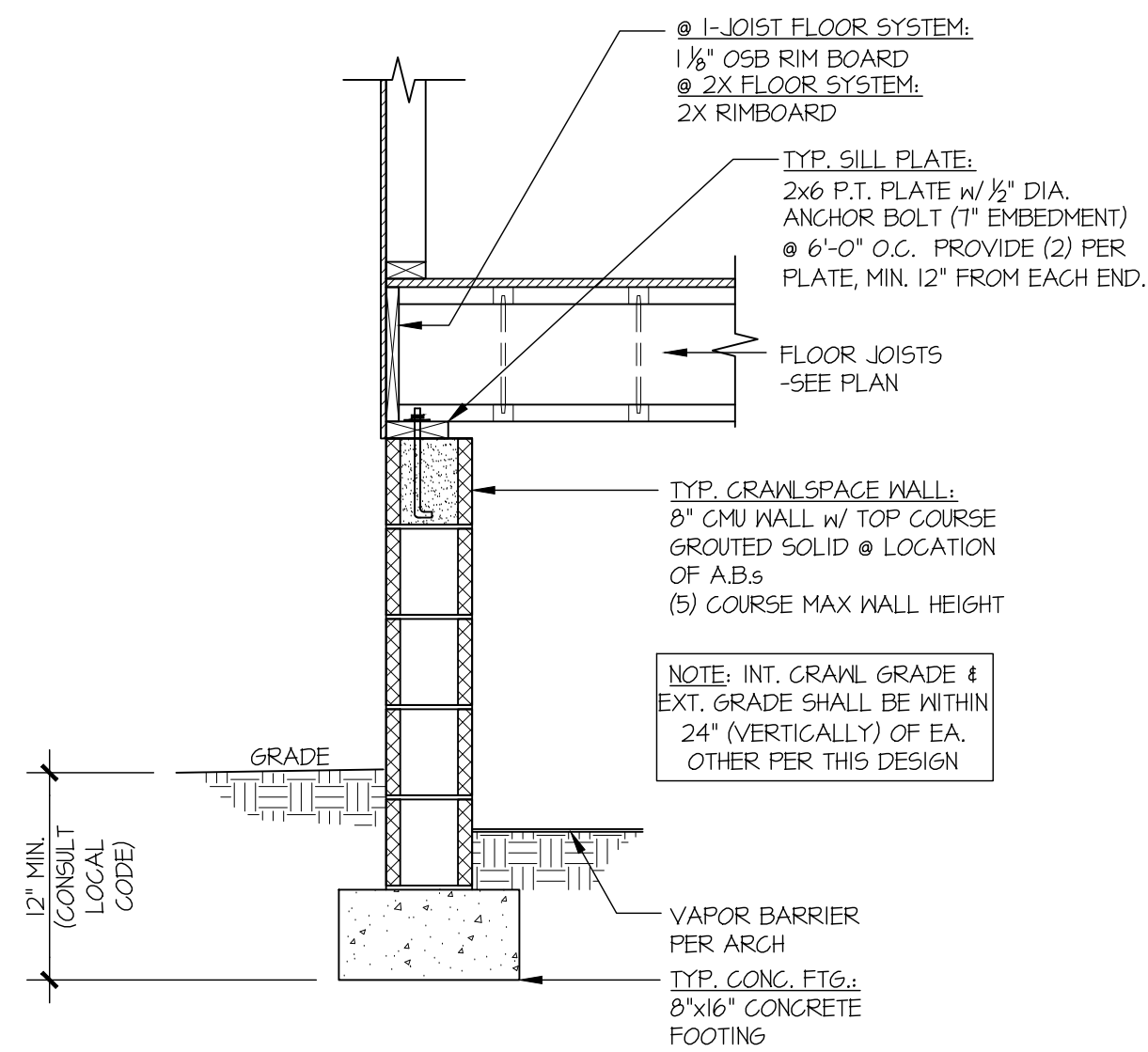


8 TYPICAL THICKENED SLAB @  
INTERIOR BEARING WALL

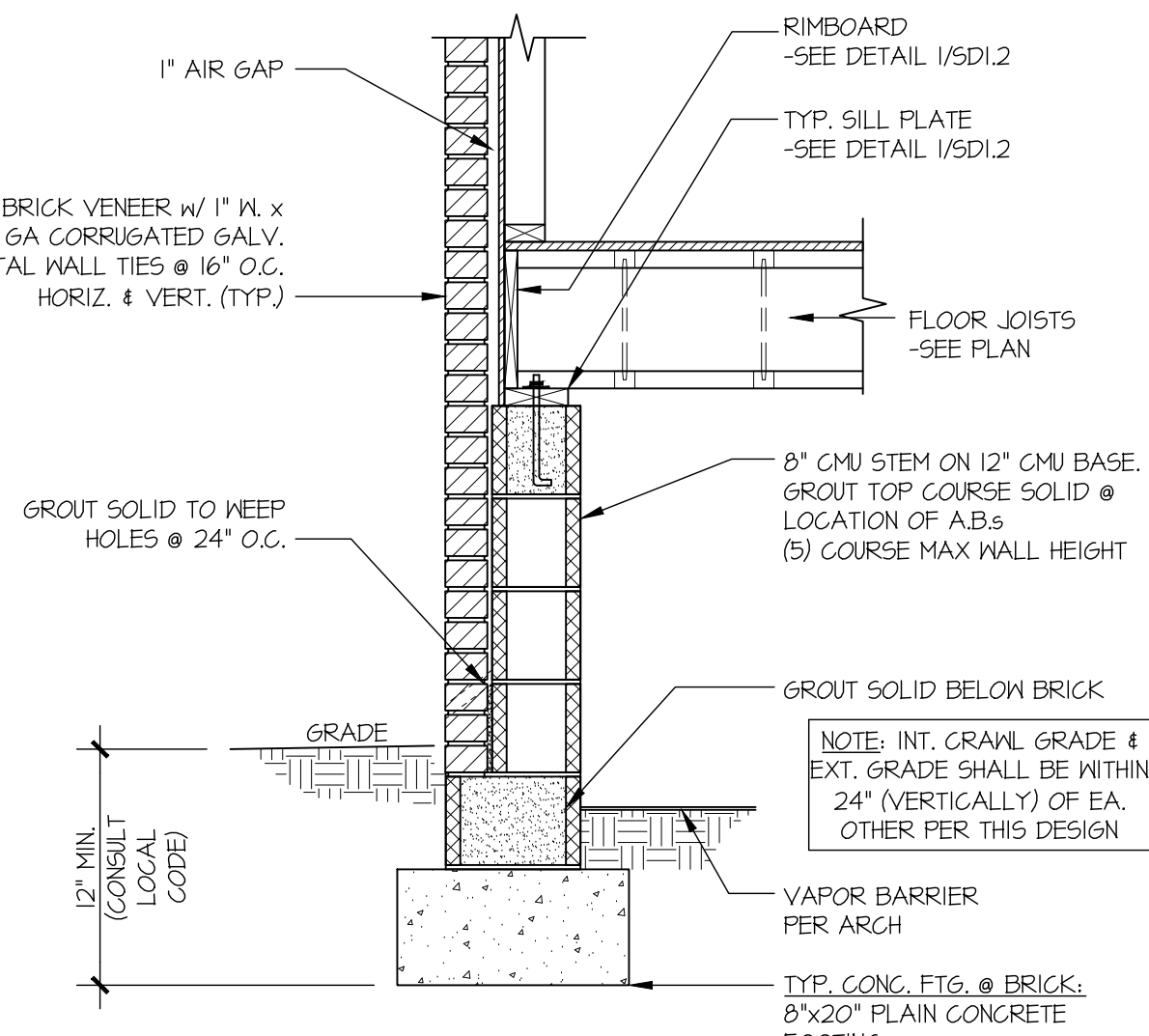




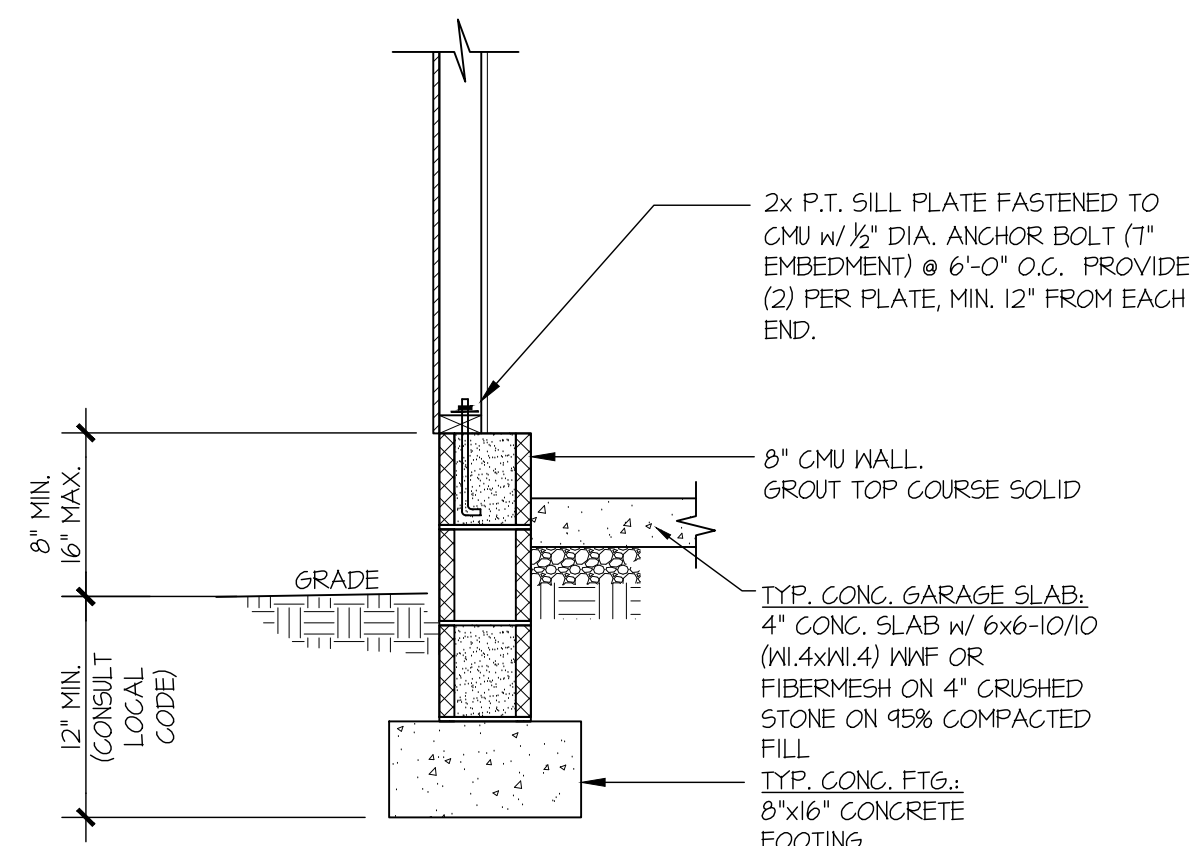




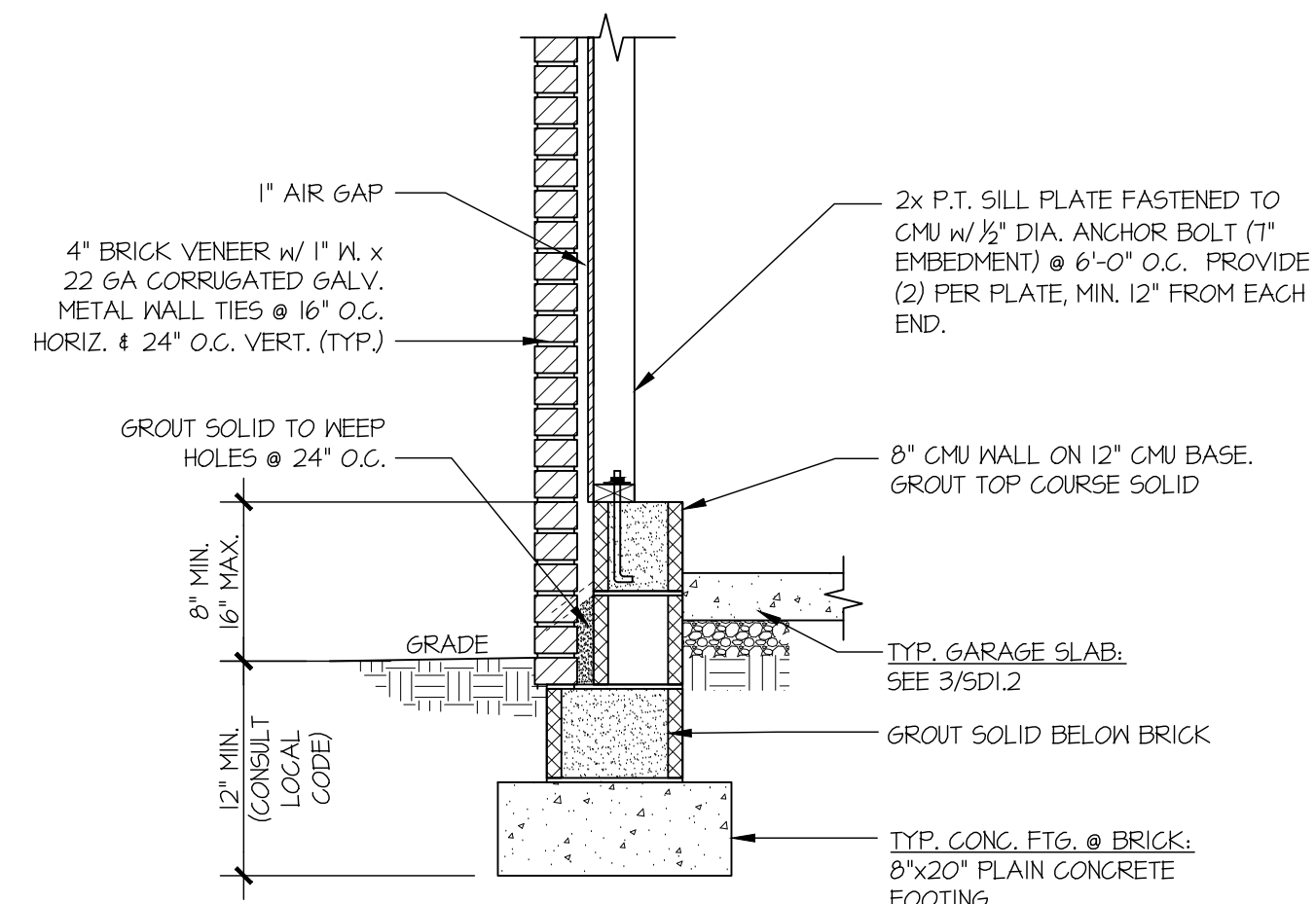
1 TYPICAL CRAWLSPACE FOUNDATION



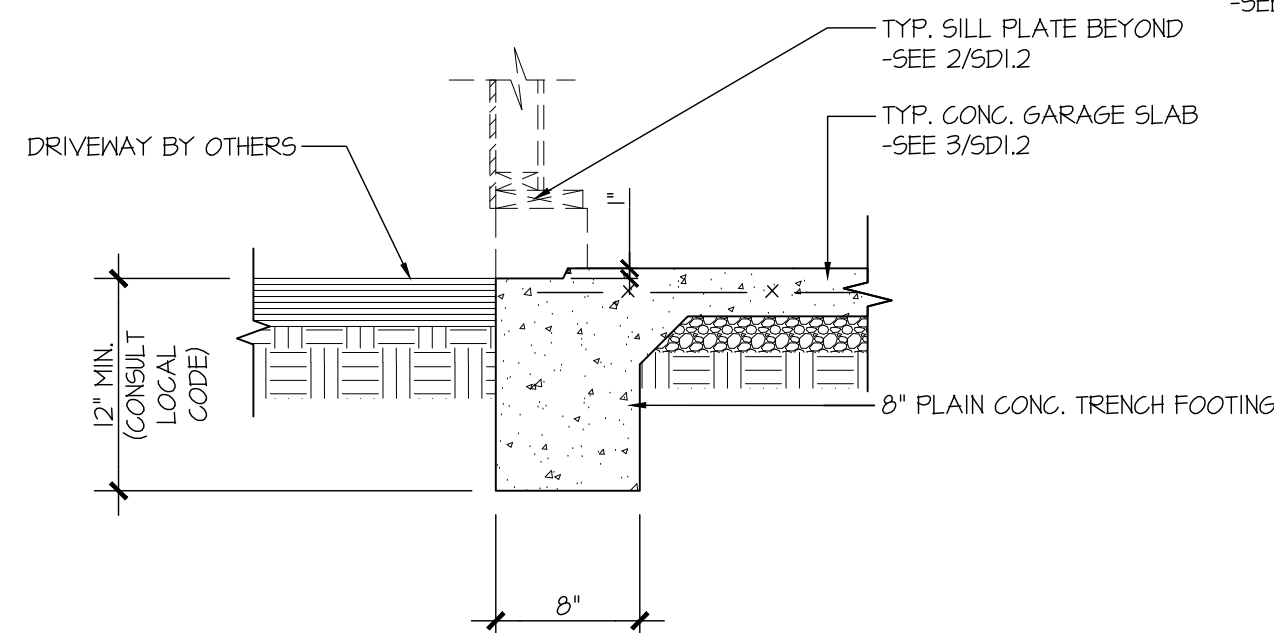
2 TYPICAL CRAWLSPACE FOUNDATION w/ FULL BRICK VENEER



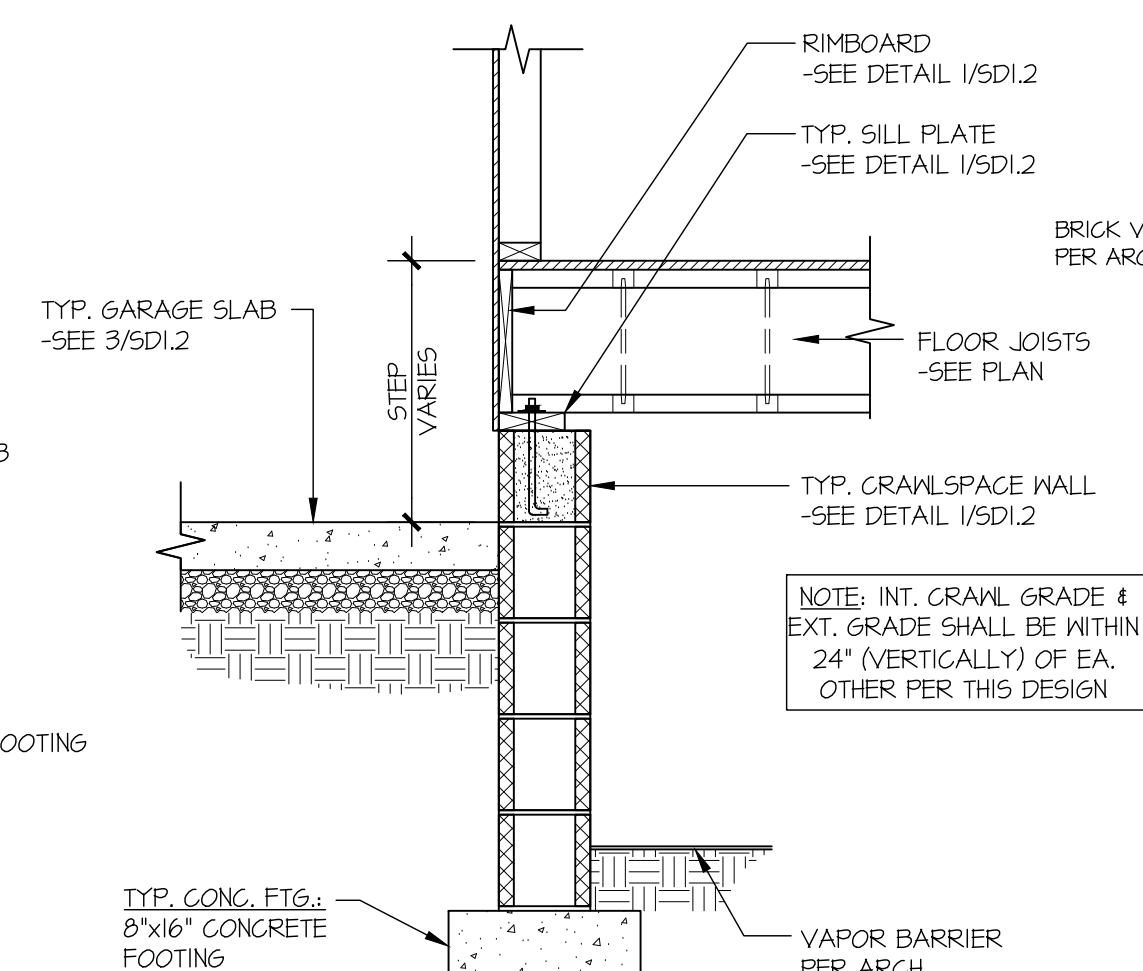
3 TYPICAL PERIMETER FOOTING @ EXTERIOR GARAGE WALL



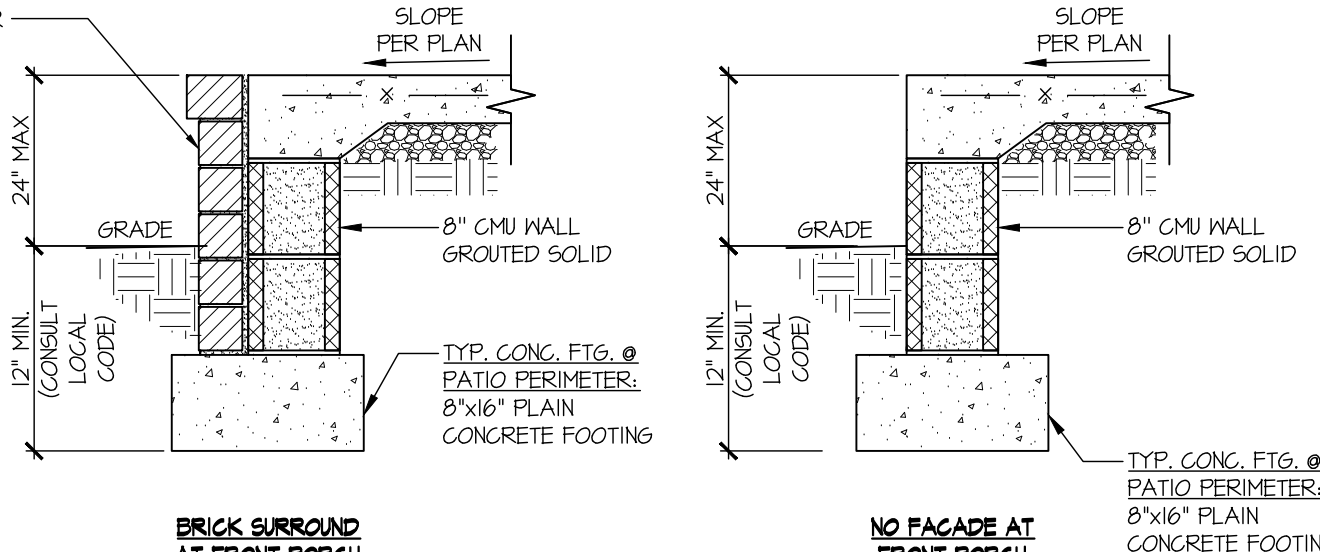
4 TYPICAL CRAWLSPACE FOUNDATION @ EXTERIOR GARAGE WALL w/ FULL BRICK VENEER



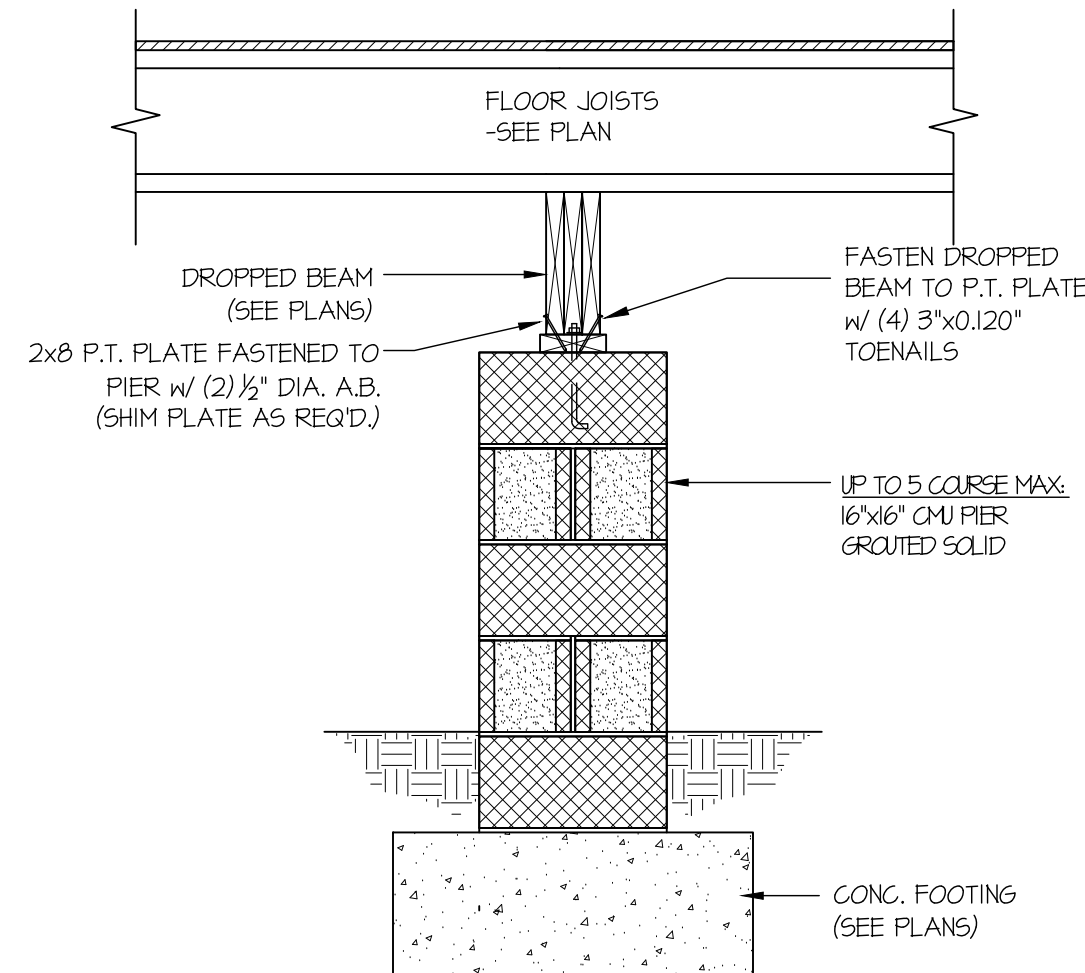
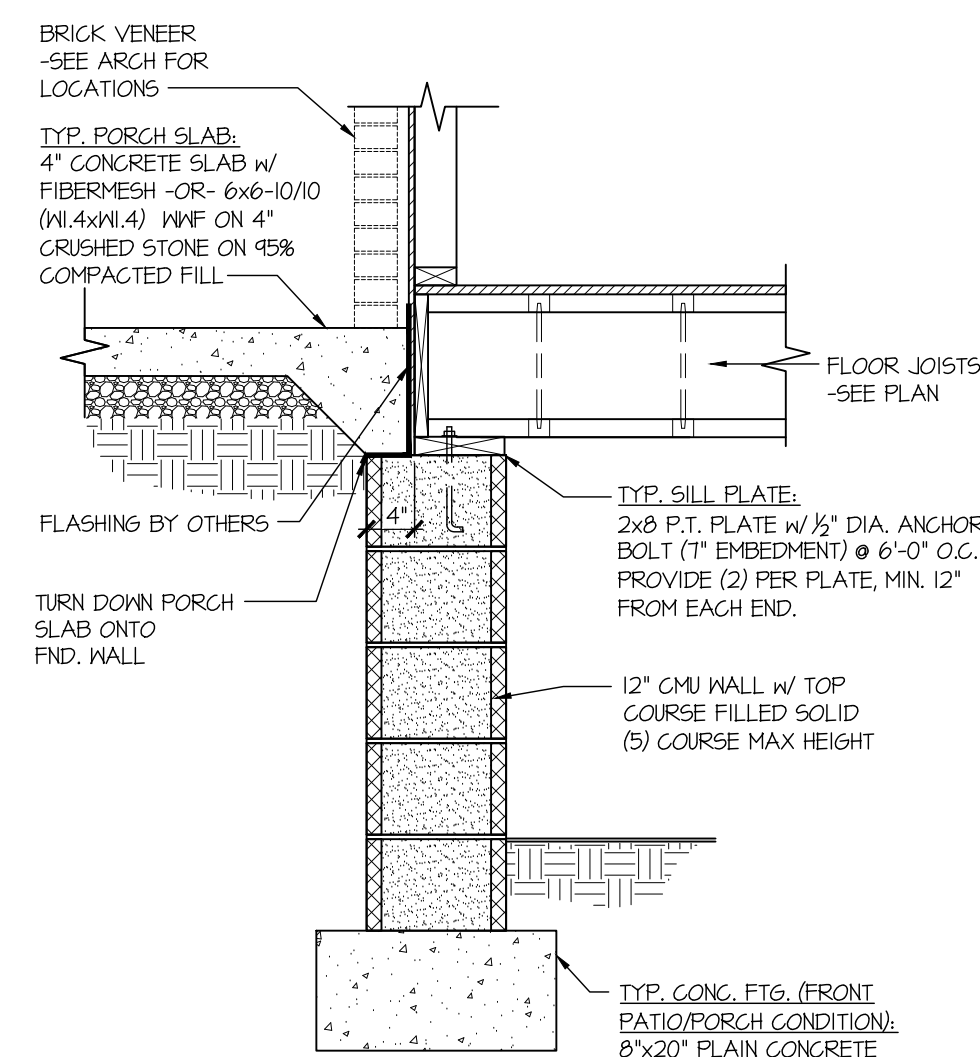
5 TYPICAL SLAB ON GRADE GARAGE ENTRY @ PERIMETER FOOTING



6 TYPICAL CRAWLSPACE FOUNDATION @ INTERIOR GARAGE WALL

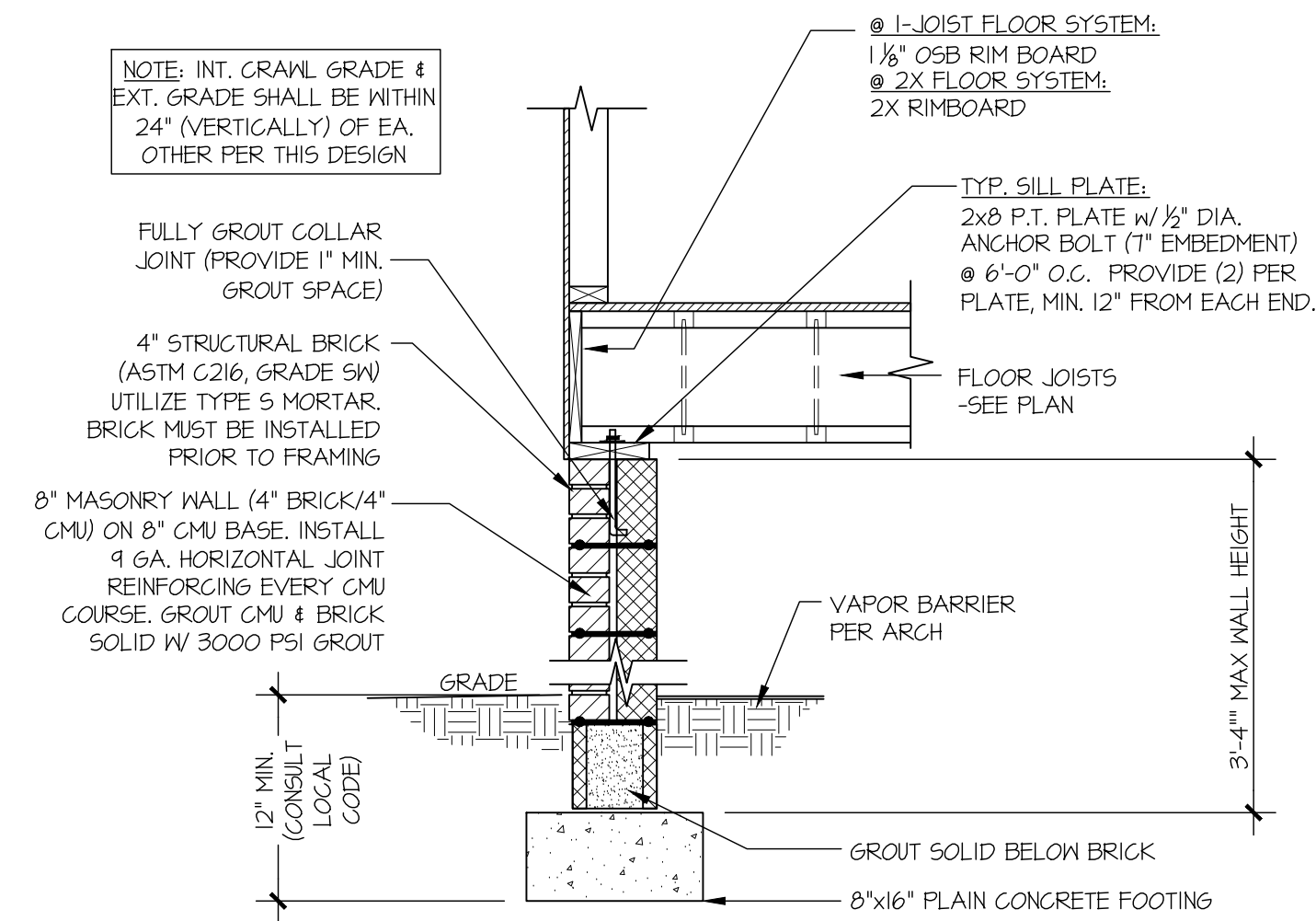


7 TYPICAL CRAWLSPACE FOUNDATION @ FRONT PATIO/COVERED PORCH

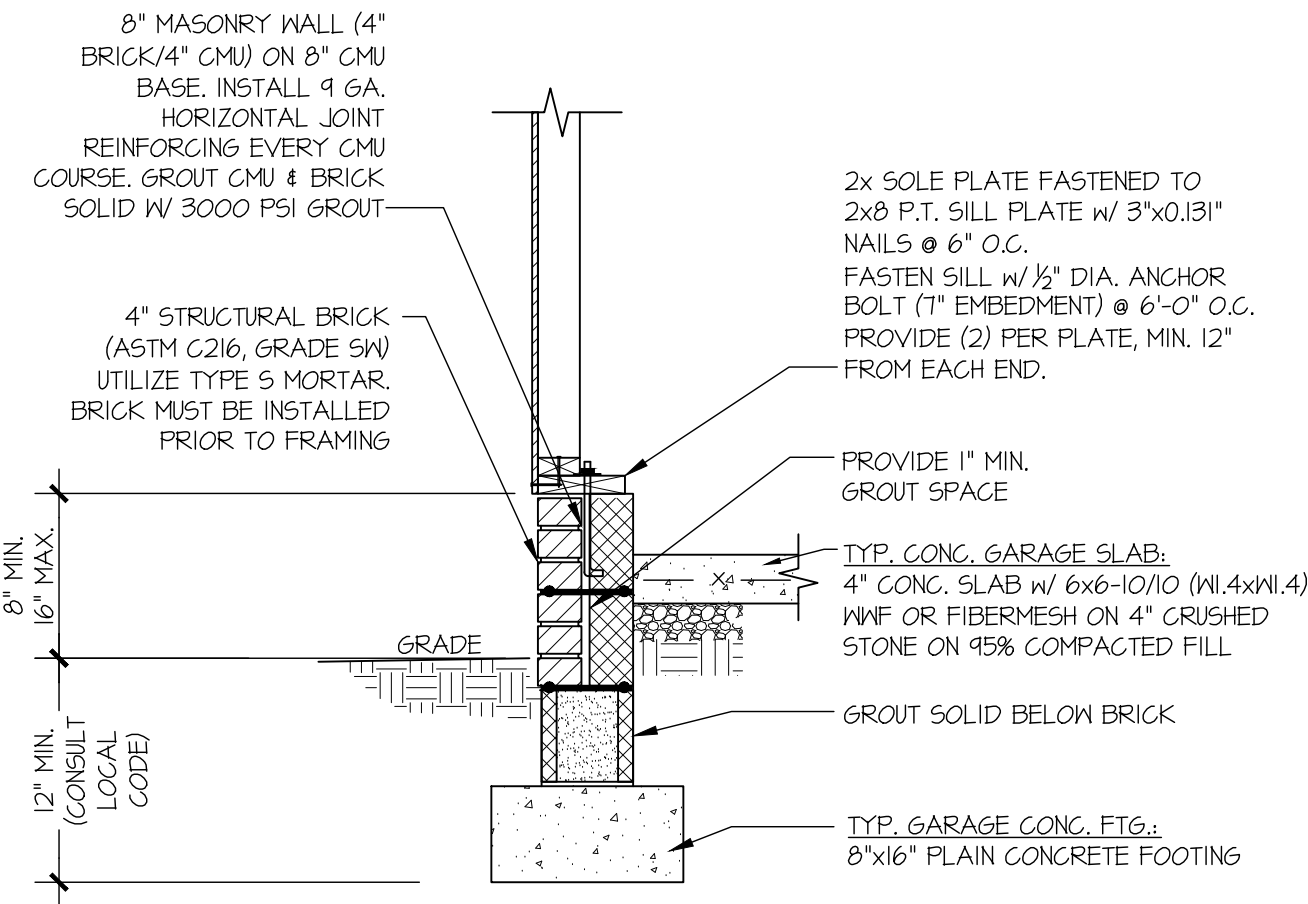


8 TYPICAL CRAWLSPACE FOUNDATION @ INTERIOR PIER

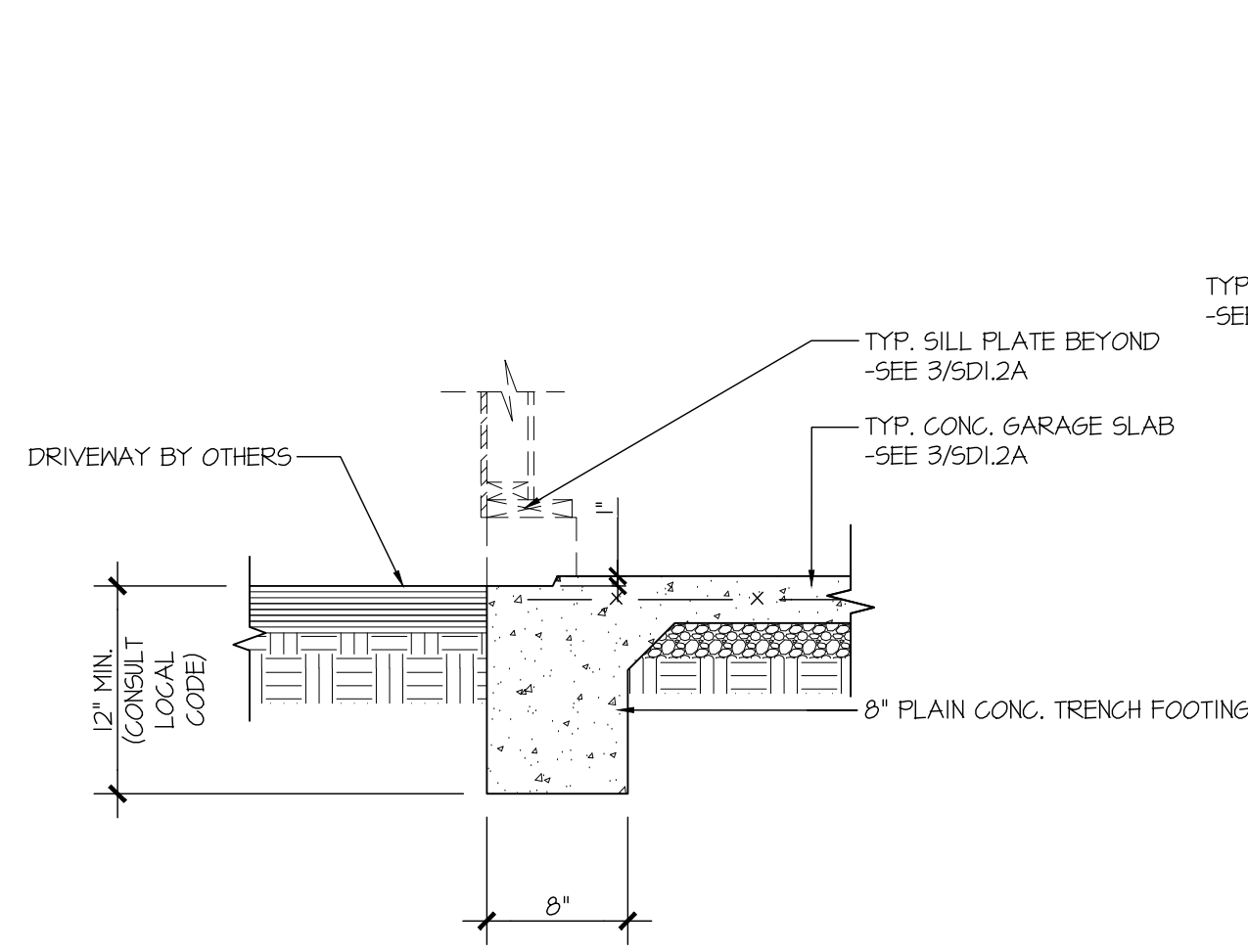




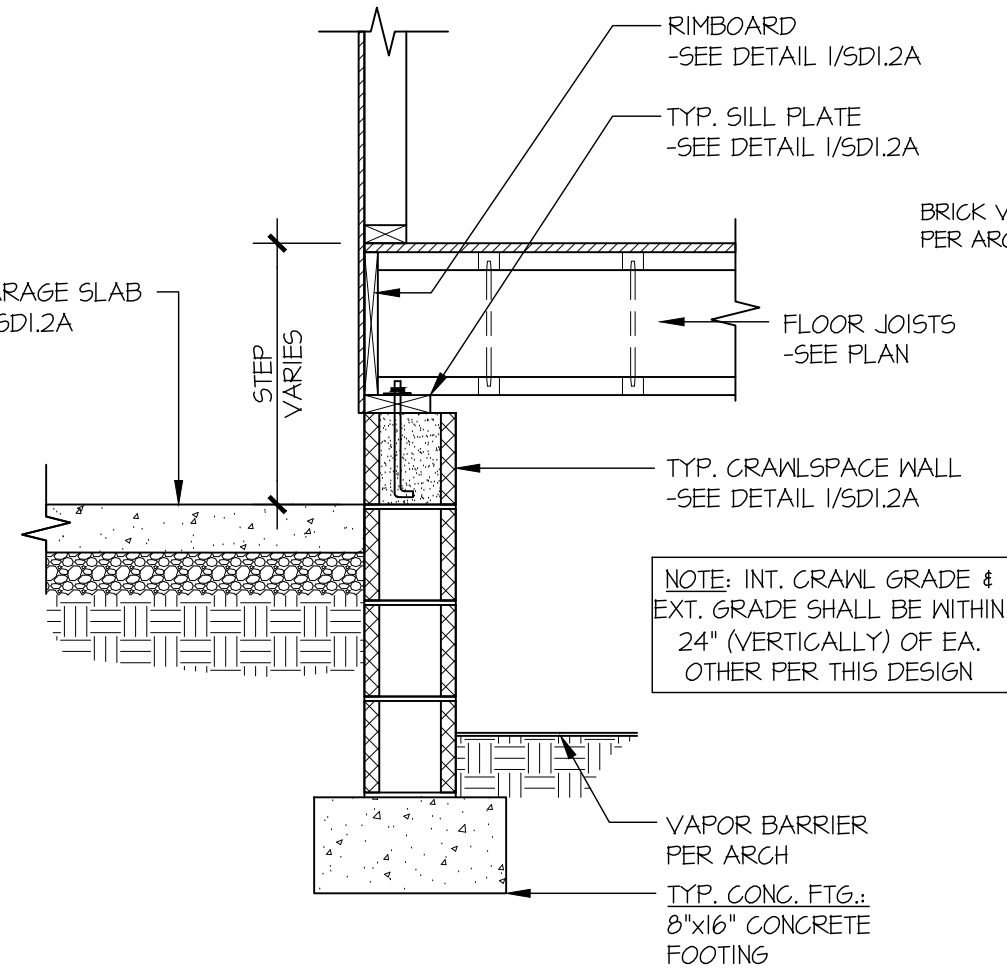
① TYPICAL CRAWLSPACE FOUNDATION  
w/ BRICK WATERTABLE



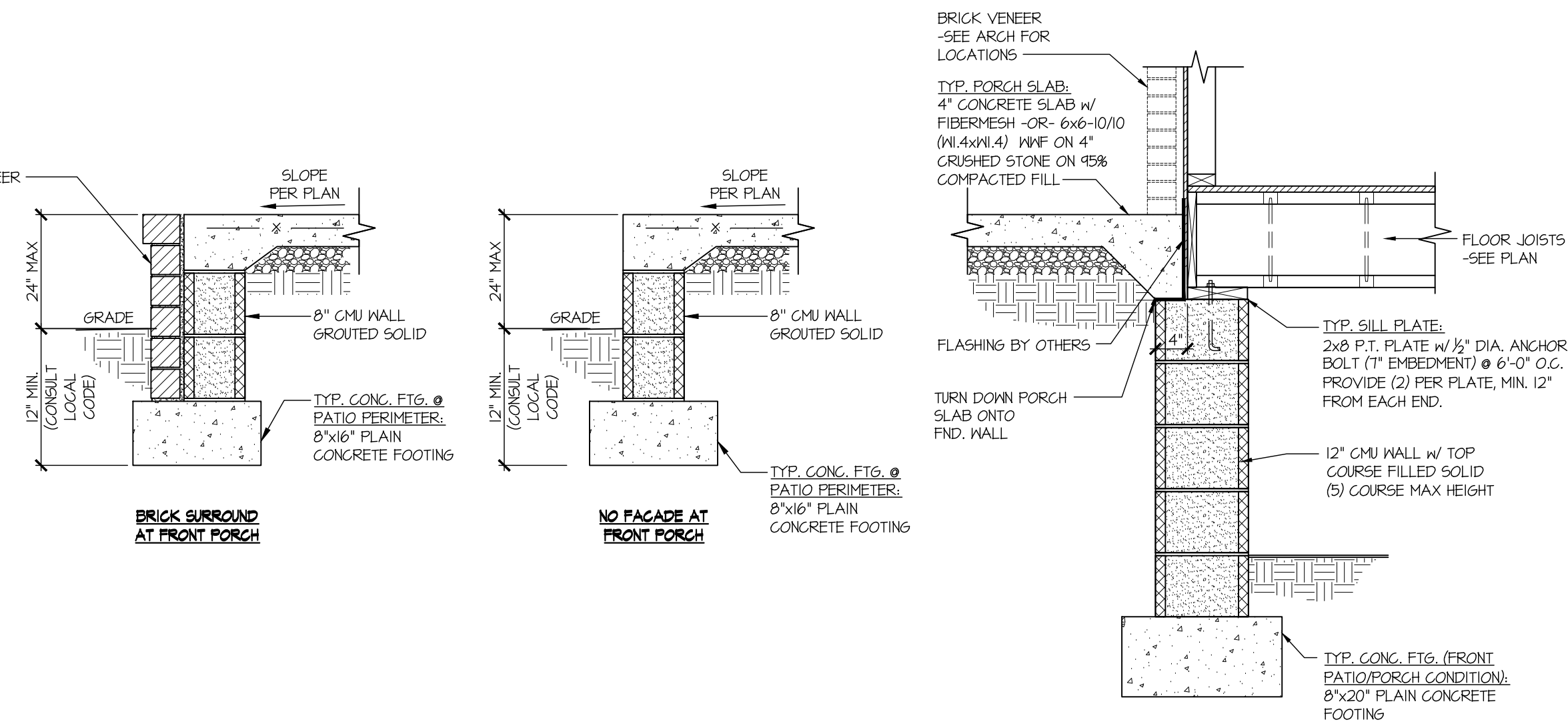
③ TYPICAL CRAWLSPACE FOUNDATION  
@ EXTERIOR GARAGE WALL



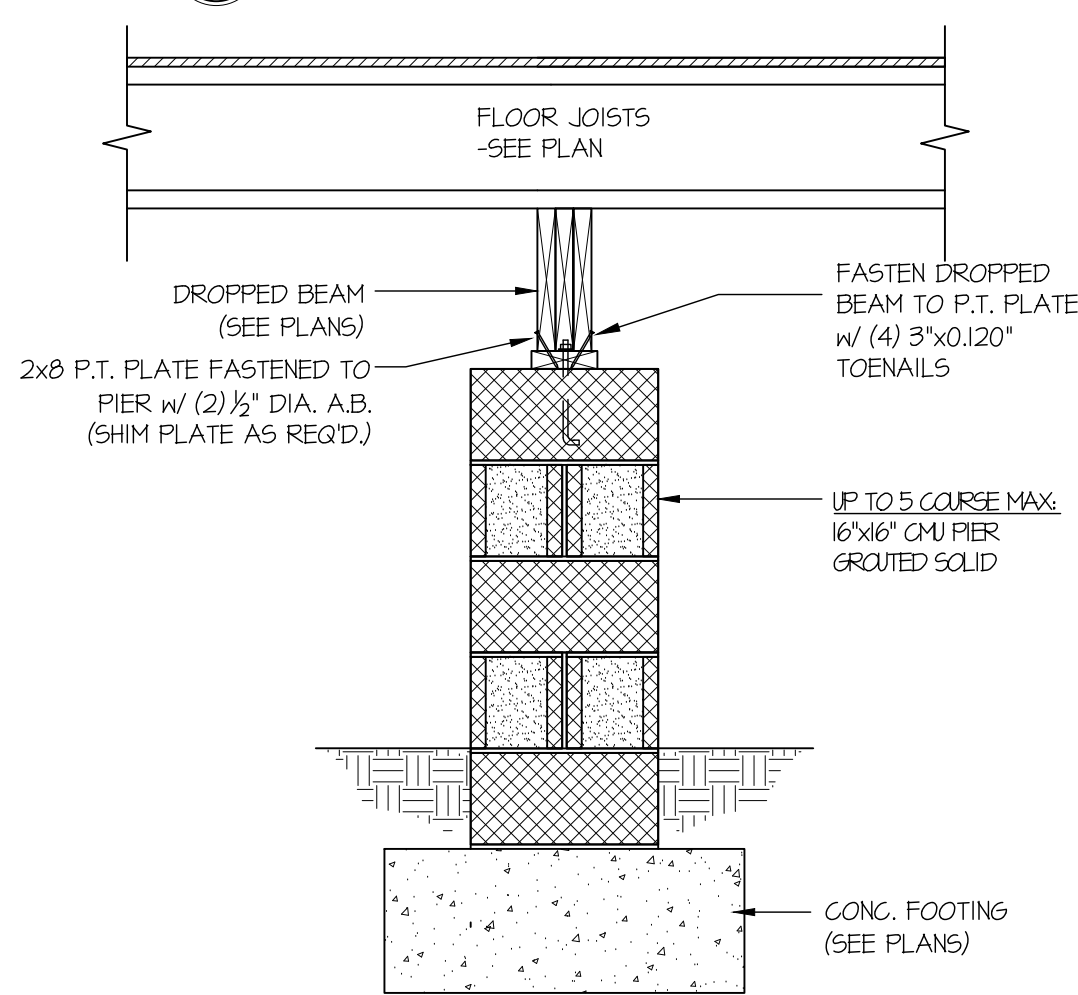
⑤ TYPICAL SLAB ON GRADE GARAGE  
ENTRY @ PERIMETER FOOTING



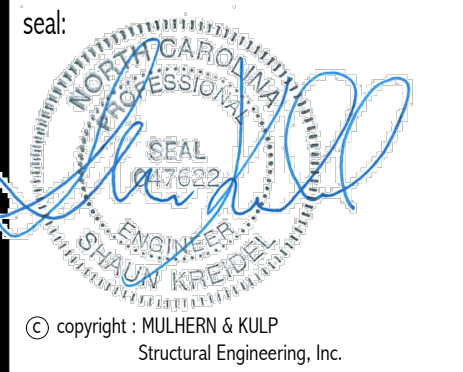
⑥ TYPICAL CRAWLSPACE FOUNDATION  
@ INTERIOR GARAGE WALL



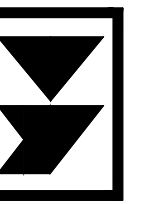
⑦ TYPICAL CRAWLSPACE FOUNDATION @ FRONT PATIO/COVERED PORCH



⑤ TYPICAL CRAWLSPACE  
FOUNDATION @ INTERIOR PIER



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Mulhern+Kulp project number:  
260-22002

project mgr: SMK  
drawn by: RKS  
issue date: 05.17.2024

REVISIONS:  
date: 10/01/2024 initial: SMM  
FRANKLIN REVISIONS

DAVIDSON HOMES

FOUNDATION DETAILS

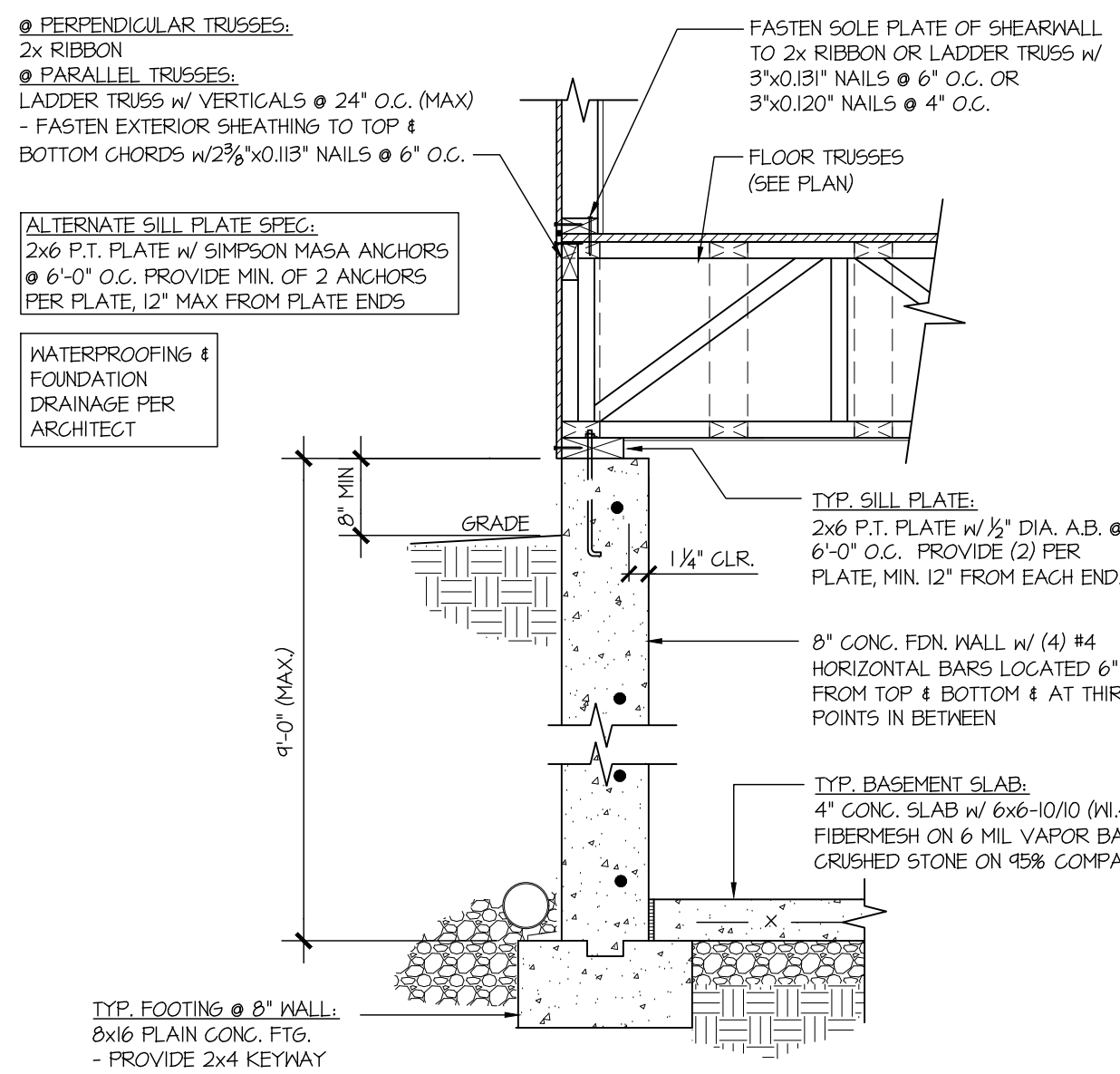
CRAWFORD MODEL

RALEIGH, NC

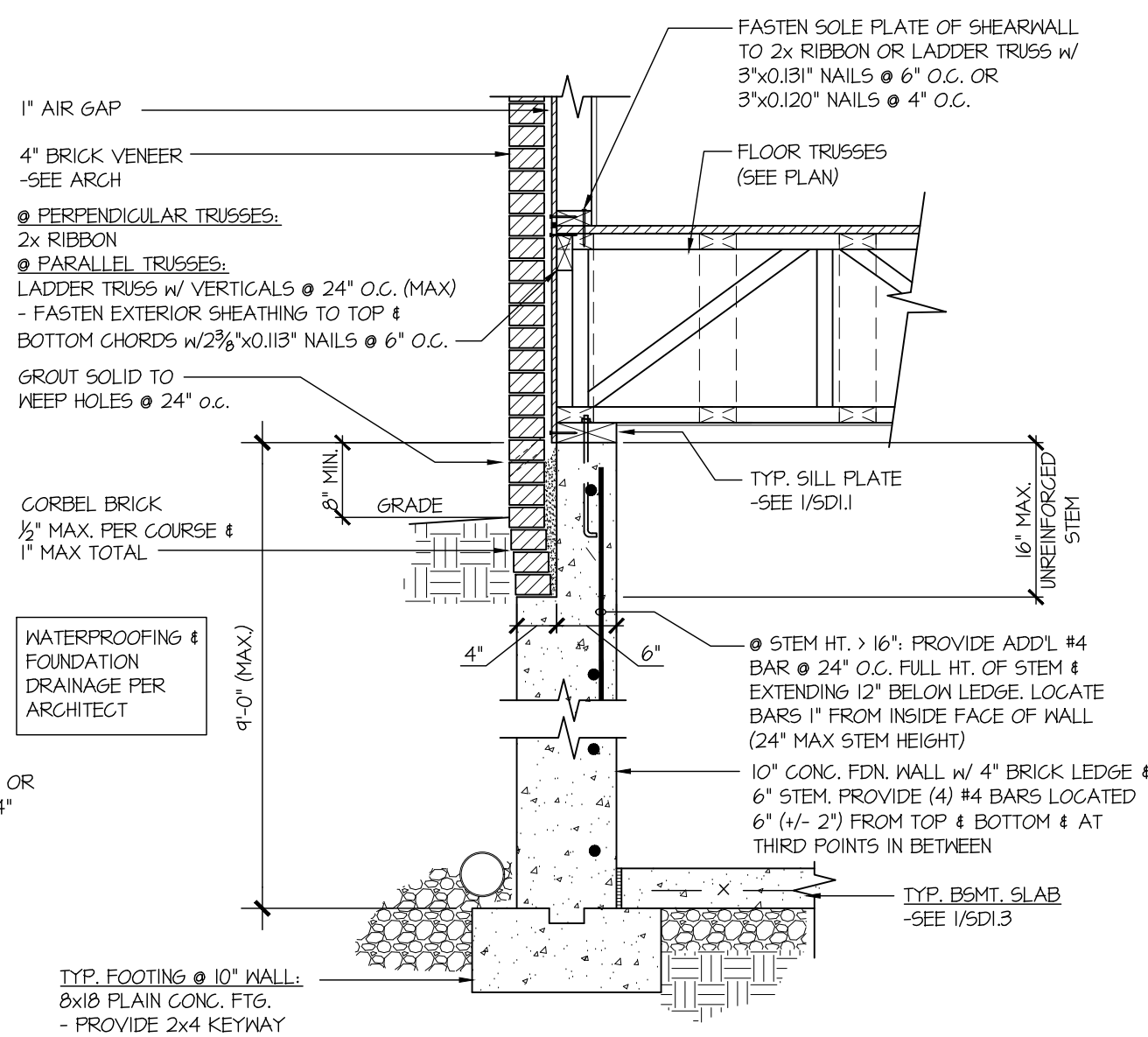
sheet:  
**SD1.2A**

Tobacco Road Lot 99

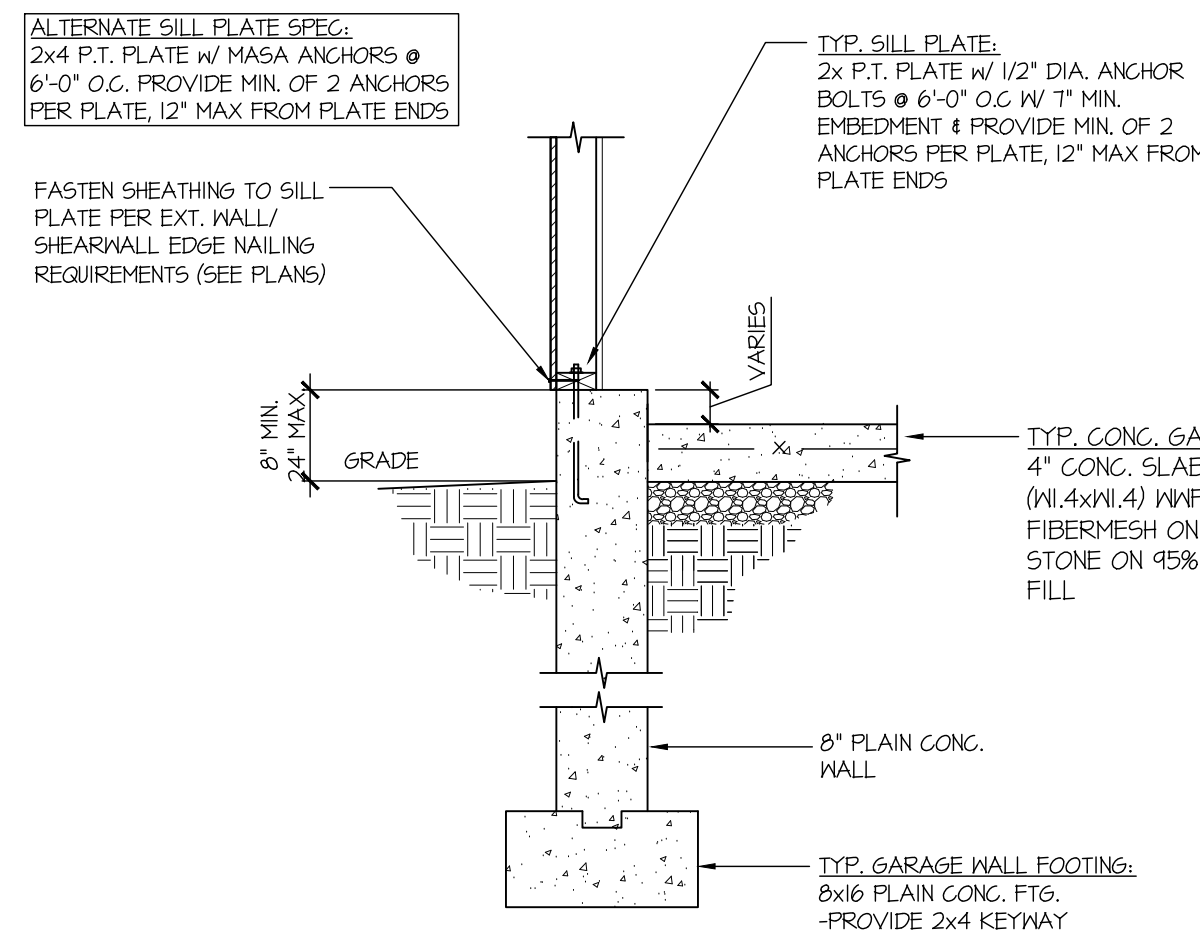




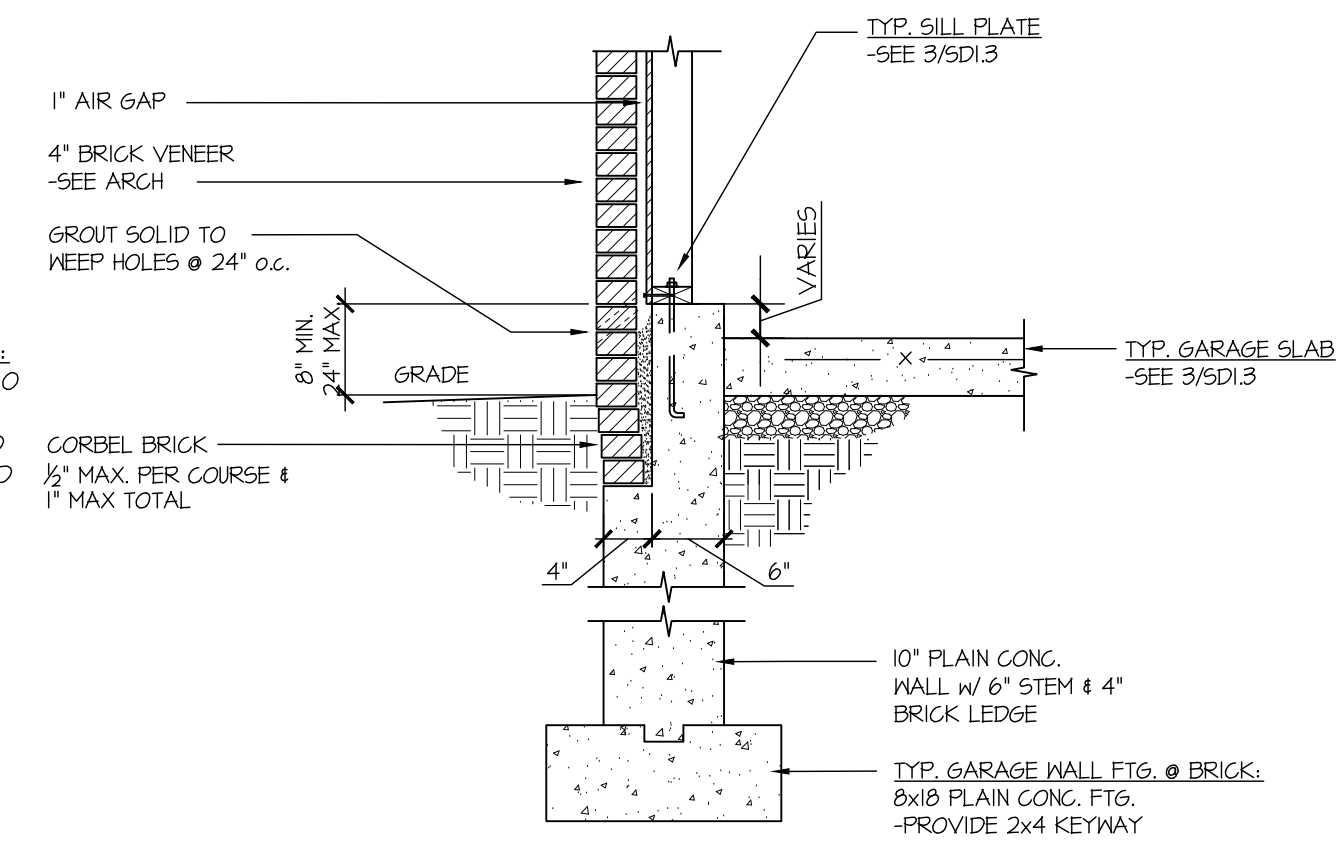
1 TYPICAL CONCRETE BSMT. FDN. WALL (FRONT OF HOUSE)



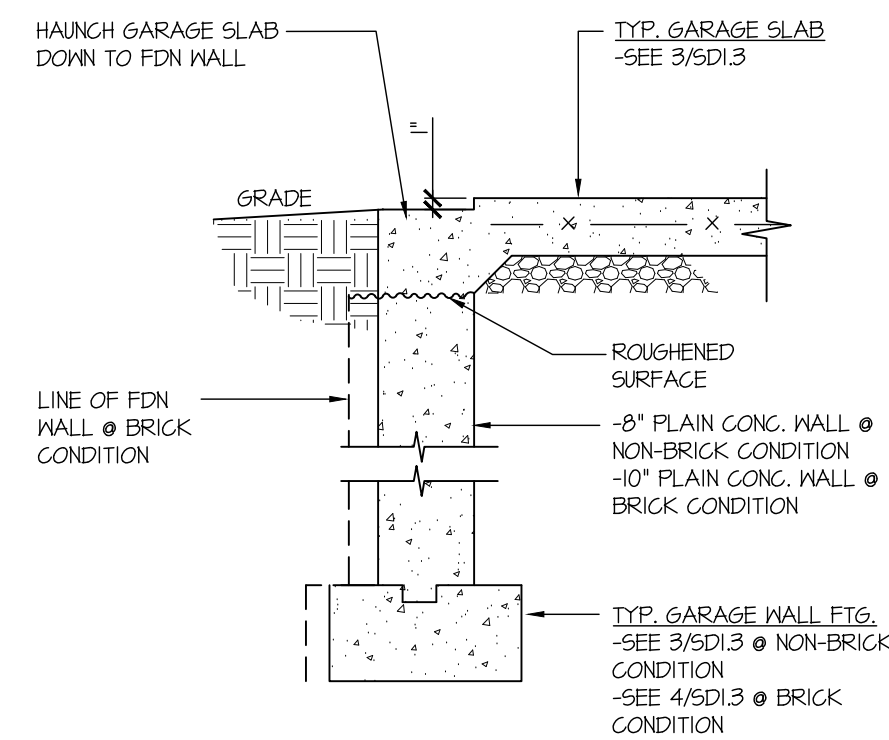
2 TYPICAL CONCRETE BSMT. FDN. WALL (FRONT OF HOUSE) (BRICK)



3 TYPICAL PERIMETER FOOTING @ GARAGE - BASEMENT FOUNDATION

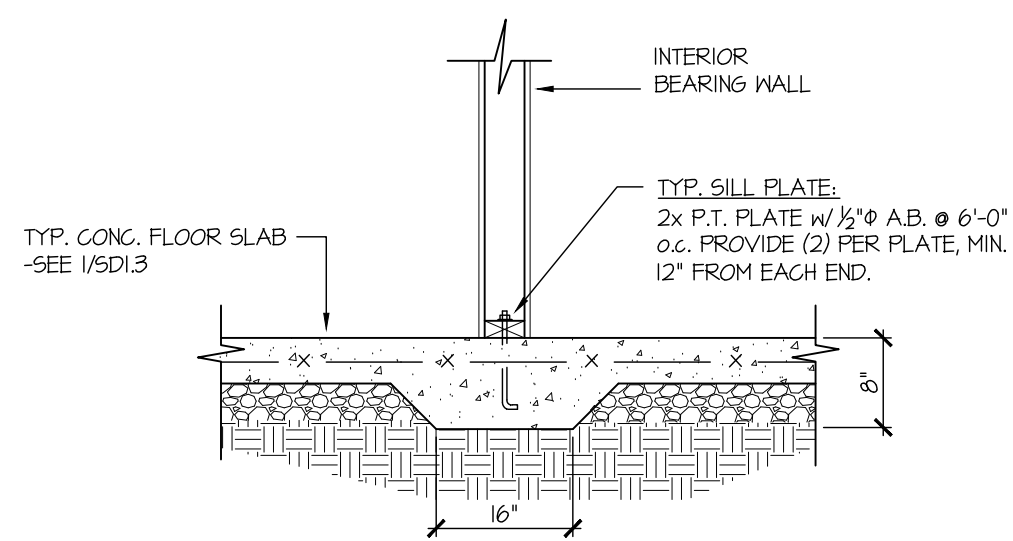


4 TYPICAL PERIMETER FOOTING @ GARAGE - BASEMENT FOUNDATION (BRICK)

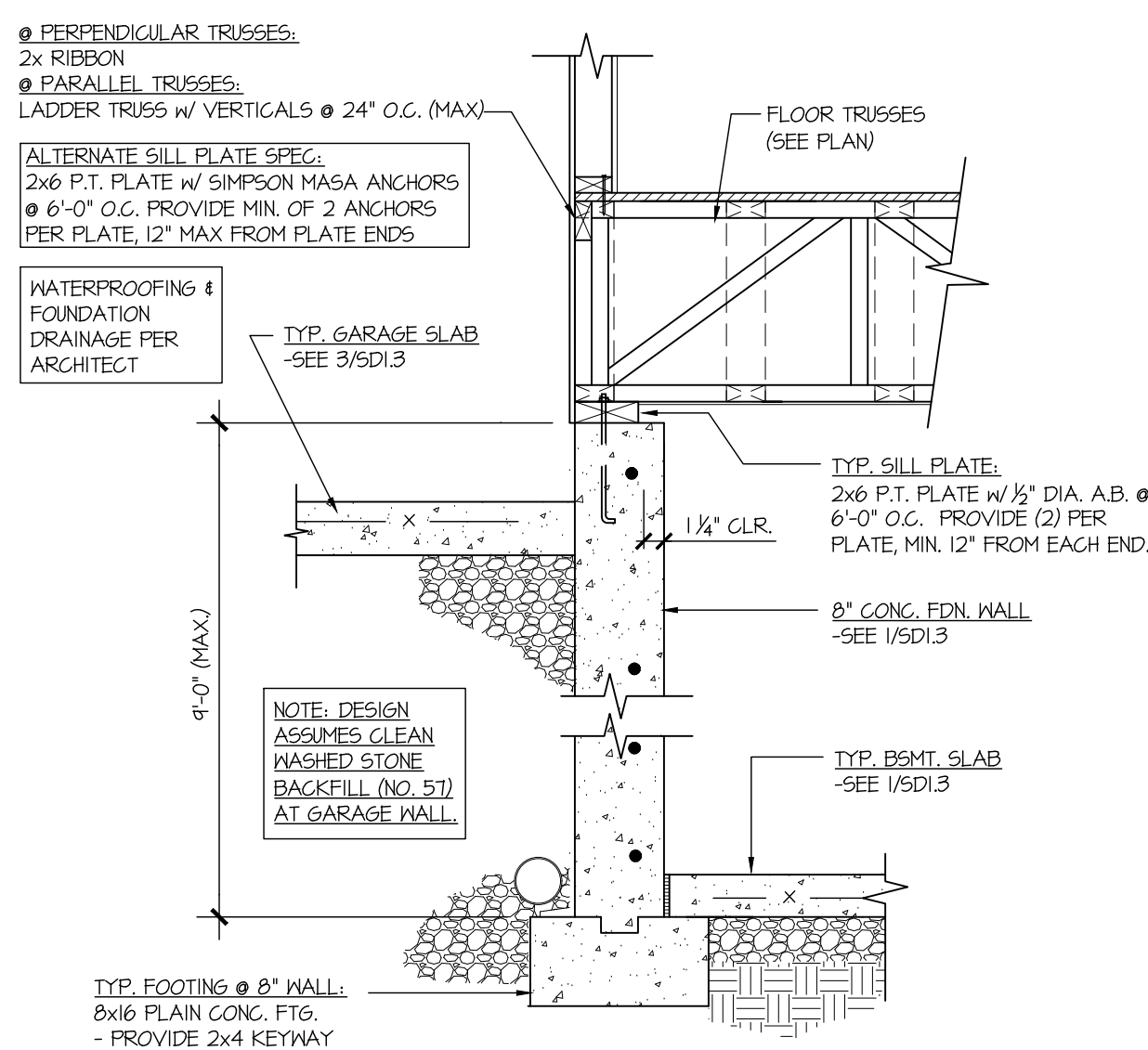


5 TYPICAL CONCRETE FDN. @ GARAGE DOOR OPENING

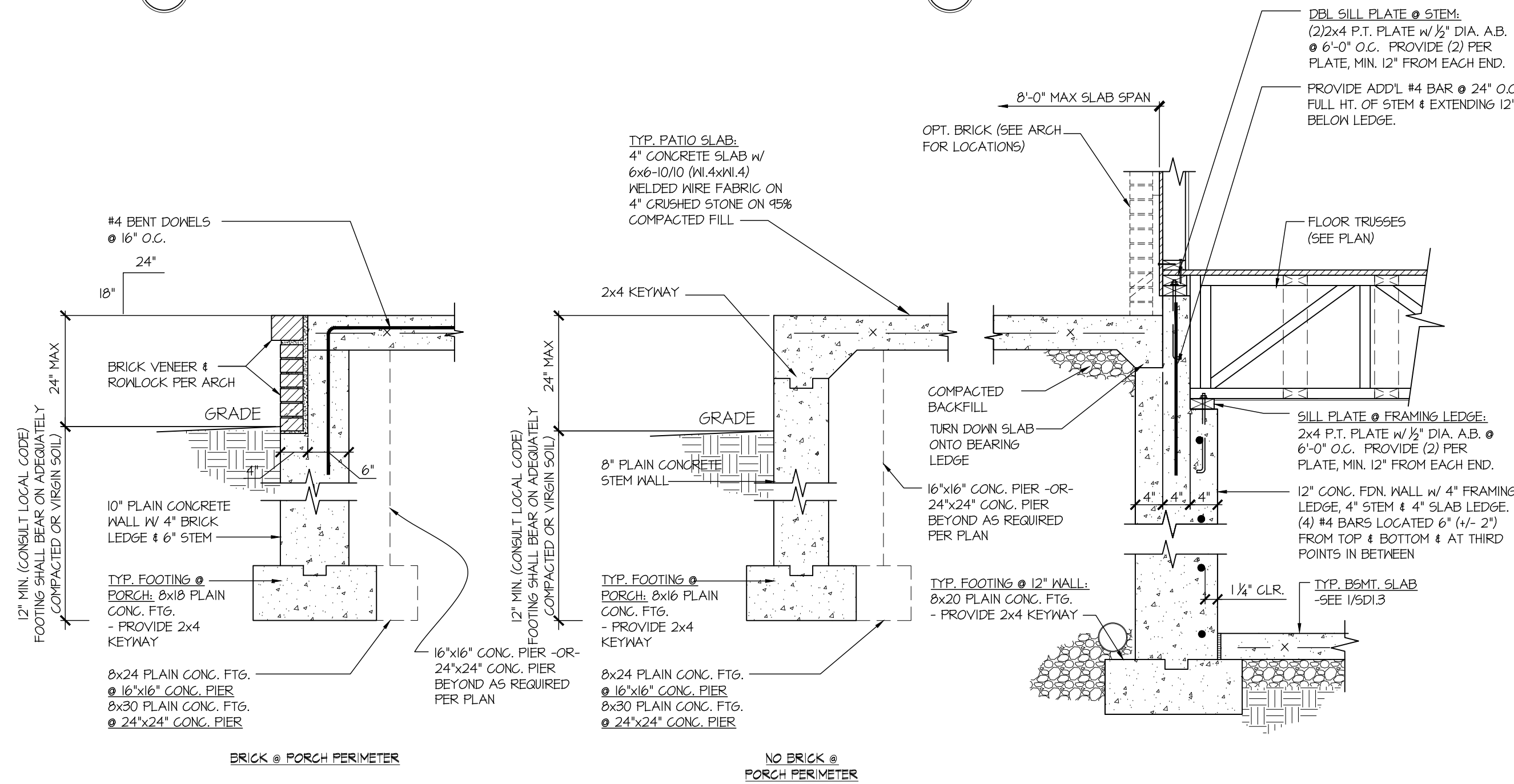
SCALE: 3/4"=1'-0"



8 TYPICAL THICKENED SLAB @ INTERIOR BEARING WALL



6 TYPICAL CONCRETE BSMT. FDN. WALL (FRONT OF HOUSE)



7 TYPICAL CONCRETE BSMT. FDN. WALL @ FRONT PORCH SLAB



Mulhern+Kulp project number:  
 260-22002

project mgr: SMK  
 drawn by: RKS  
 issue date: 05.17.2024

REVISIONS:  
 date: 10/01/2024 initial: SMM  
 REVISIONS

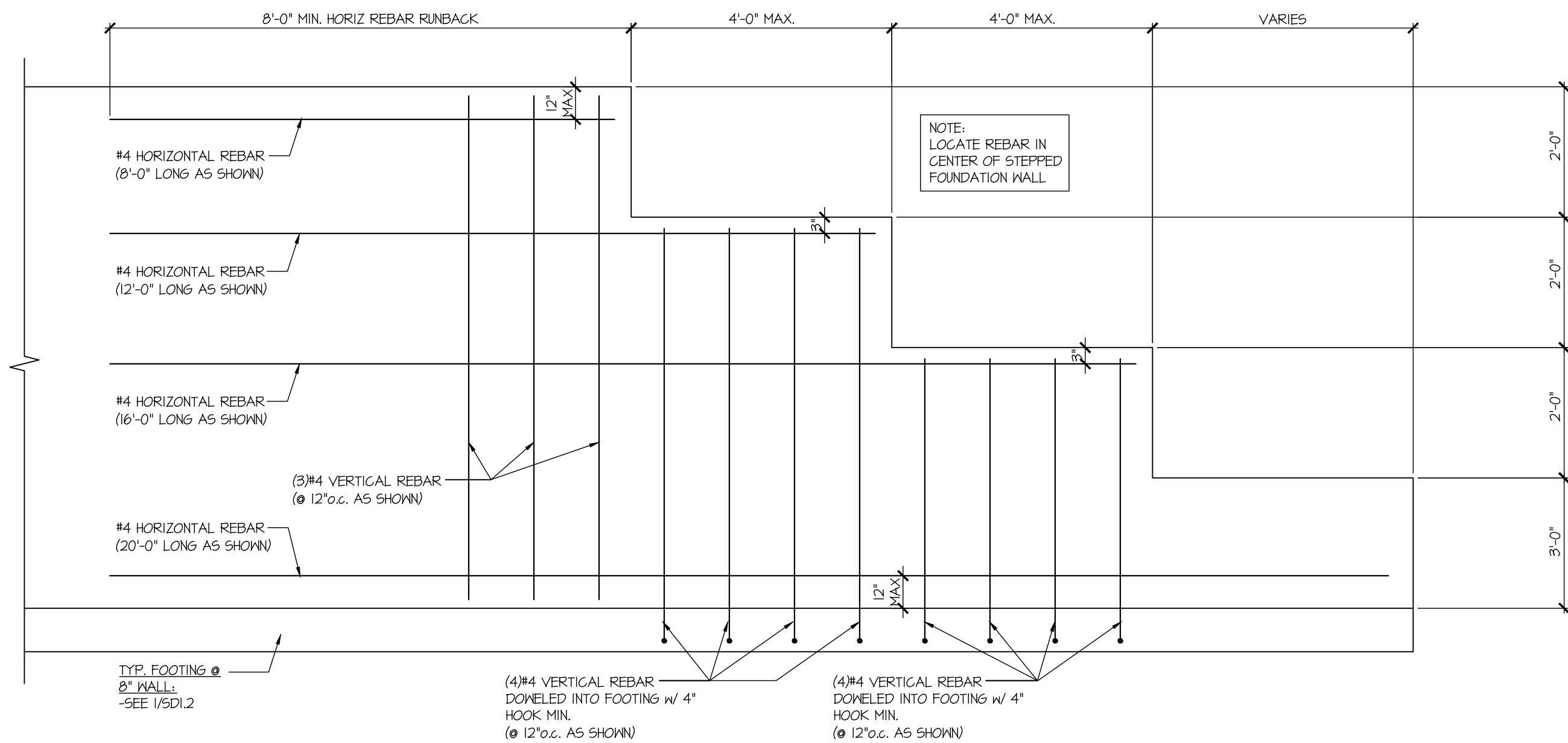
DAVIDSON HOMES

FOUNDATION DETAILS

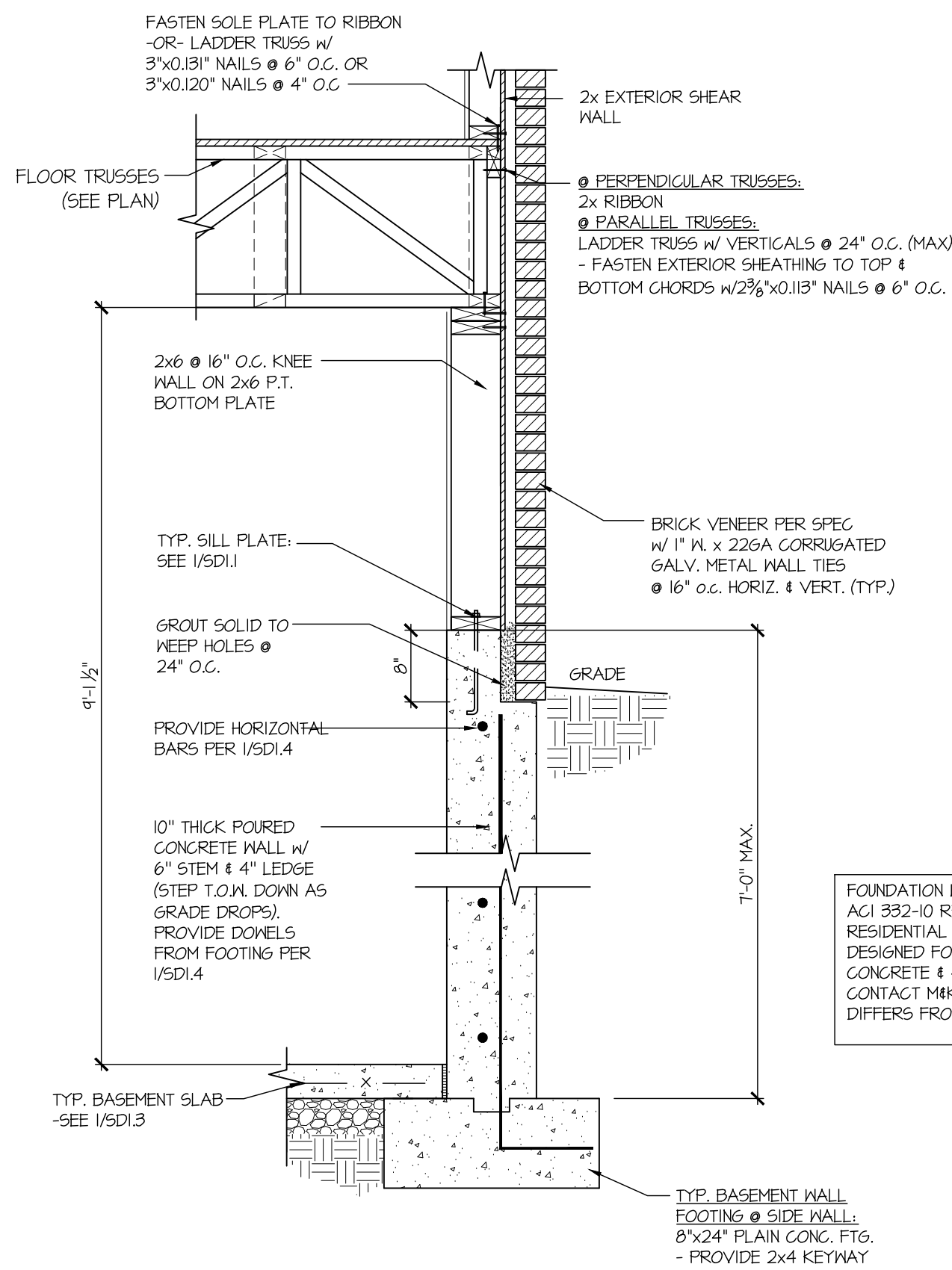
CRAWFORD MODEL

RALEIGH, NC

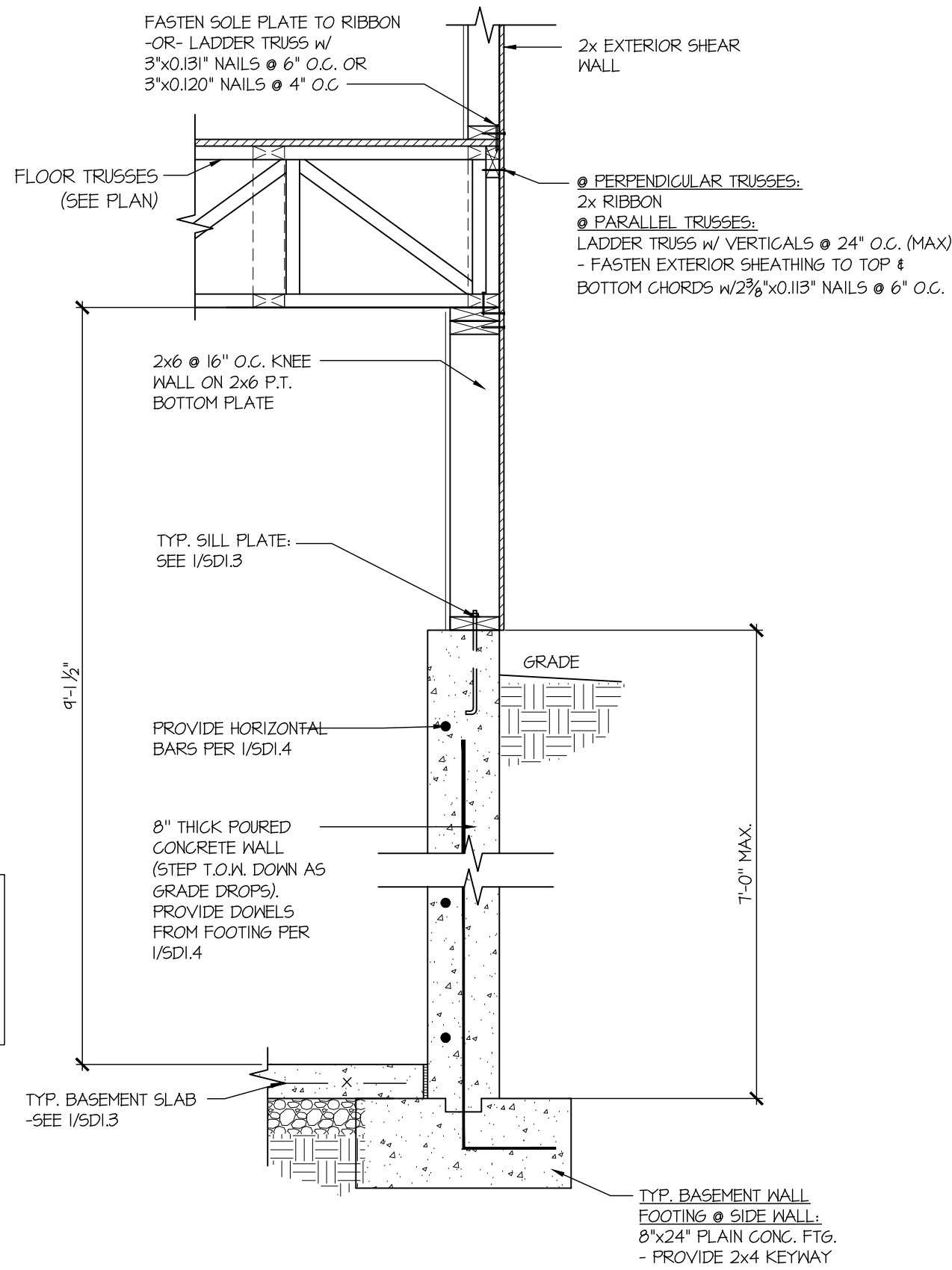




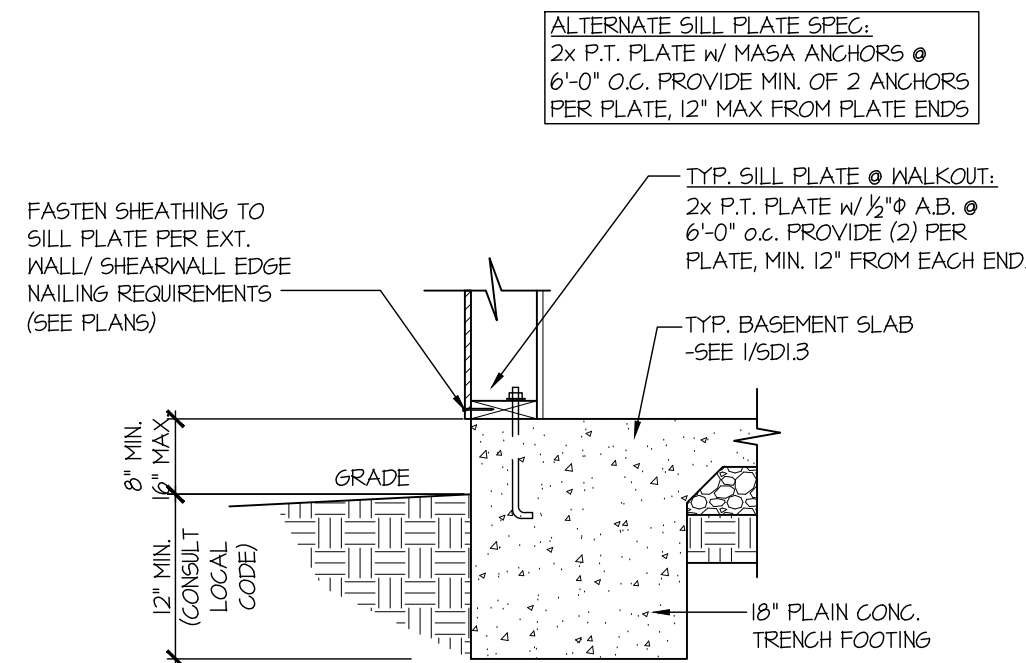
1  
TYPICAL STEPPED BASEMENT  
FOUNDATION FOLLOWING GRADE  
SCALE: 1/2"=1'-0"



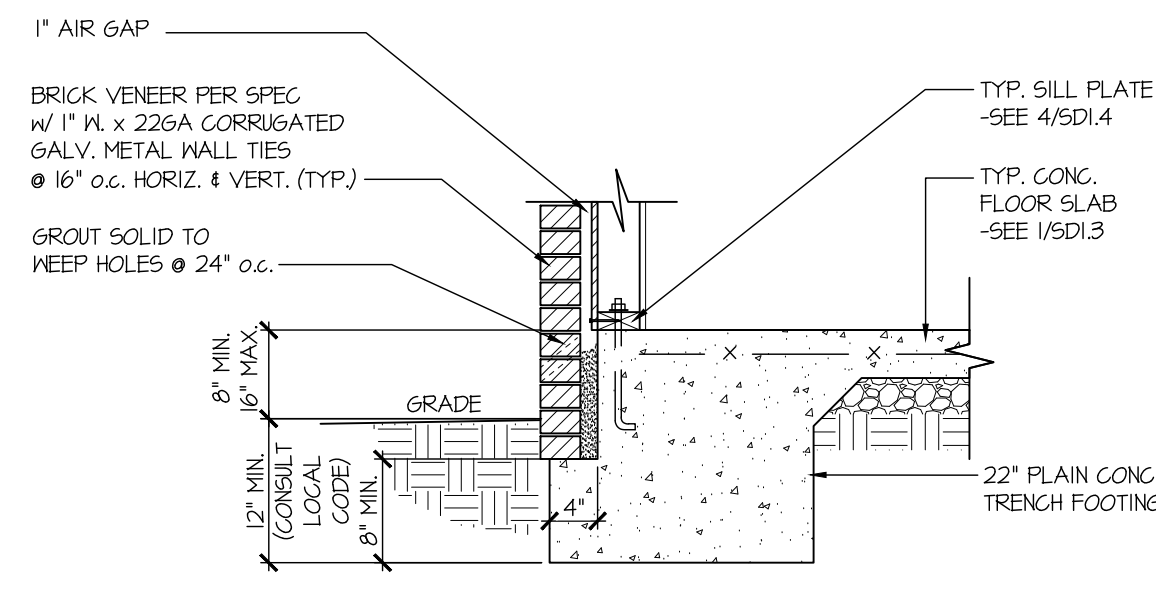
2  
CONCRETE SIDE WALL @ DESCENDING GRADE  
SCALE: N.T.S.



3  
CONCRETE SIDE WALL @ DESCENDING GRADE  
SCALE: N.T.S.



4  
TYPICAL BASEMENT FOUNDATION  
@ WALKOUT  
SCALE: N.T.S.



5  
TYPICAL BASEMENT FOUNDATION  
@ WALKOUT  
SCALE: N.T.S.



Mulhern & Kulp project number:  
260-22002

project mgr: SMK  
drawn by: RKS  
issue date: 05.17.2024

REVISIONS:  
date: 10/01/2024 initial: SMM  
FRAMING REVISIONS

DAVIDSON HOMES

FOUNDATION DETAILS  
CRAWFORD MODEL

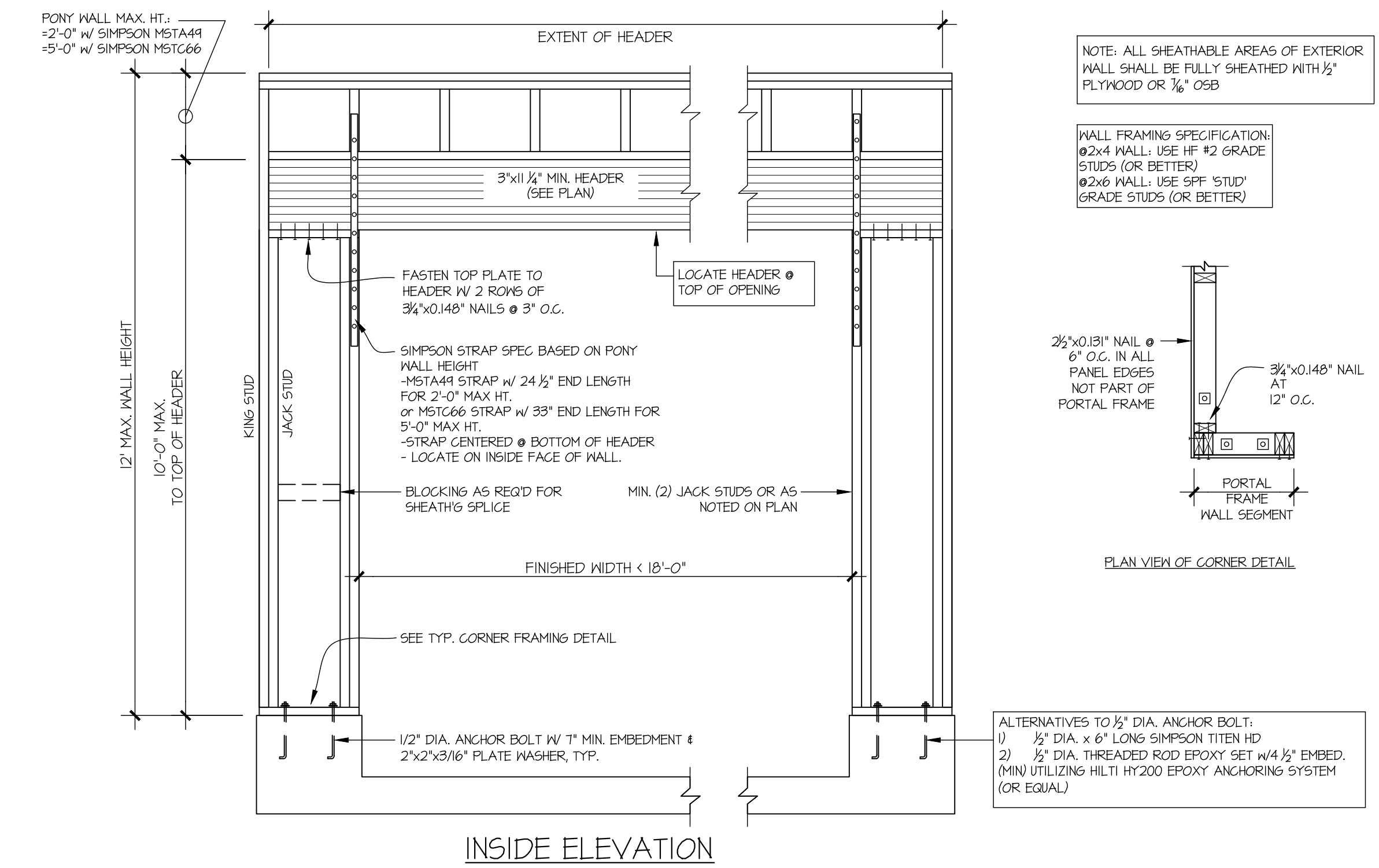
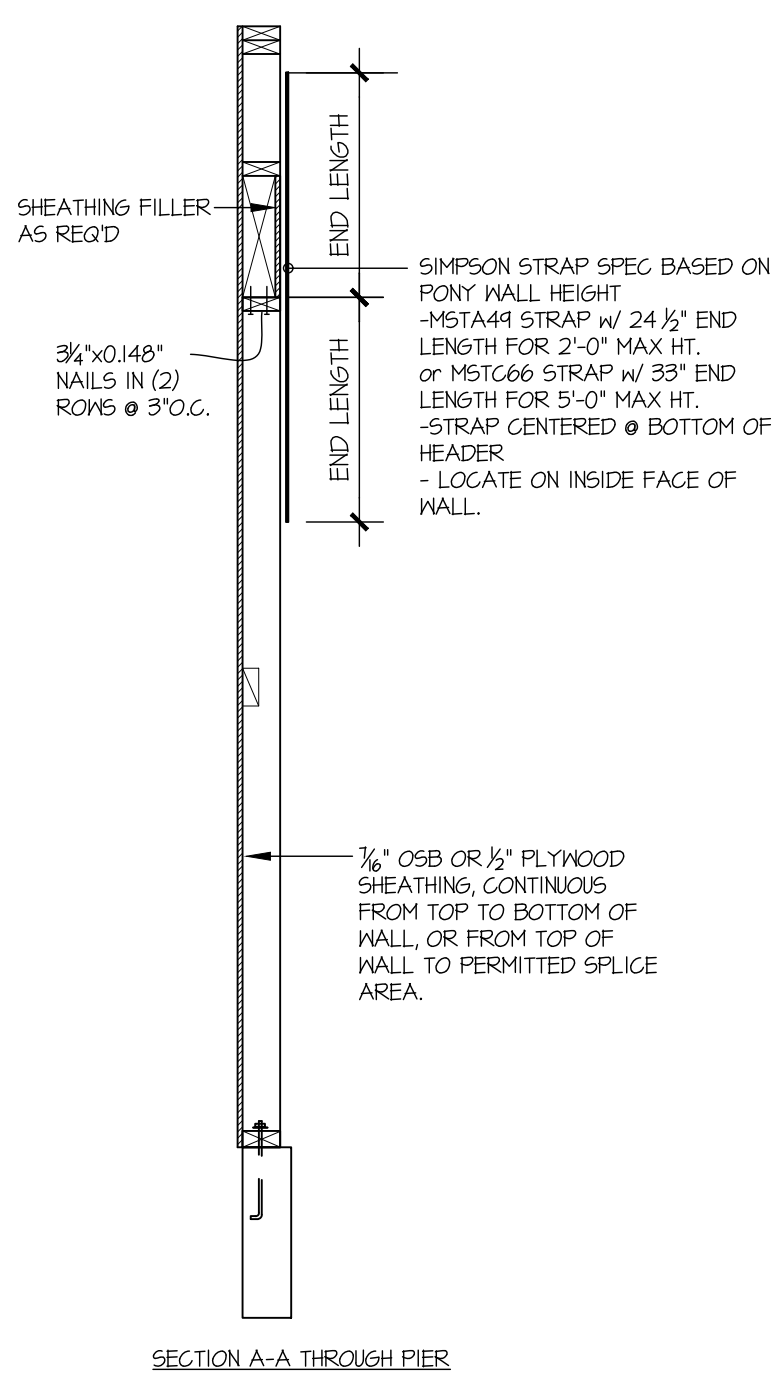
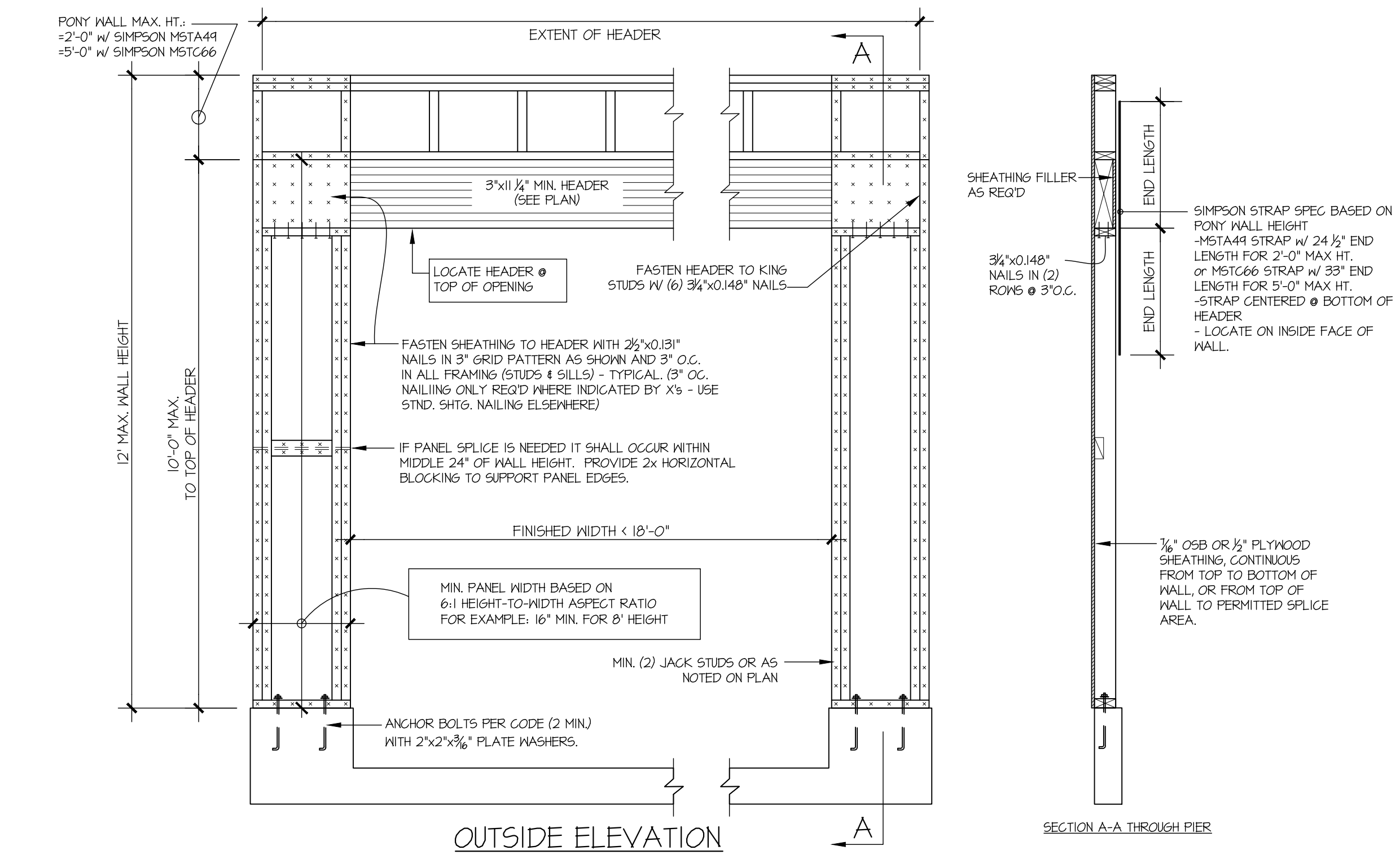
RALEIGH, NC

sheet:  
SD1.4

Tobacco Road Lot 99

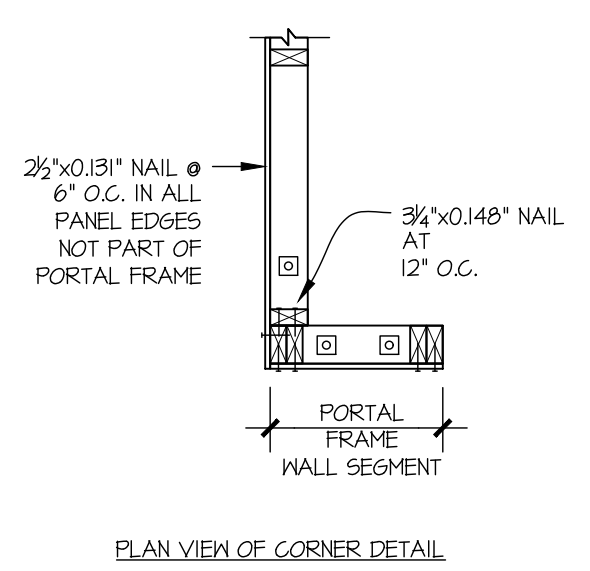
Mulhern+Kulp project number:	
260-22002	
project mgr:	SMK
drawn by:	RKS
issue date:	05.17.2024
REVISIONS:	
date:	initial:
10/01/2024	SMM
FRAMER/REVISIONS	

DAVIDSON HOMES	
FOUNDATION DETAILS	CRAWFORD MODEL
	RALEIGH, NC



NOTE: ALL SHEATHABLE AREAS OF EXTERIOR WALL SHALL BE FULLY SHEATHED WITH 1/2" PLYWOOD OR 7/8" OSB

WALL FRAMING SPECIFICATION:  
#2x4 WALL: USE #2 GRADE STUDS (OR BETTER)  
#2x6 WALL: USE SPF 'STUD' GRADE STUDS (OR BETTER)




ALTERNATIVES TO 1/2" DIA. ANCHOR BOLT:  
1) 1/2" DIA. x 6" LONG SIMPSON TITEN HD  
2) 1/2" DIA. THREADED ROD EPOXY SET w/ 4 1/2" EMBED. (MIN UTILIZING HILTI HY200 EPOXY ANCHORING SYSTEM (OR EQUAL))

# 1 GARAGE PORTAL FRAME BRACING ELEVATION SCALE: N.T.S. BOTH SIDES OF GARAGE DOOR 115 MPH WIND SPEED (ULT)



seal:



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p 770-777-0074 • mulhernkulp.com

NC License # C-3825

Davidson Homes

Foundation Details

Crawford Model

Raleigh, NC

Mulhern+Kulp project number:  
260-22002

project mgr: SMK  
drawn by: RKS  
issue date: 05.17.2024

REVISIONS:  
date: 10/01/2024 initial: SMM  
FRANKLIN REVISIONS

sheet:

SD2.1

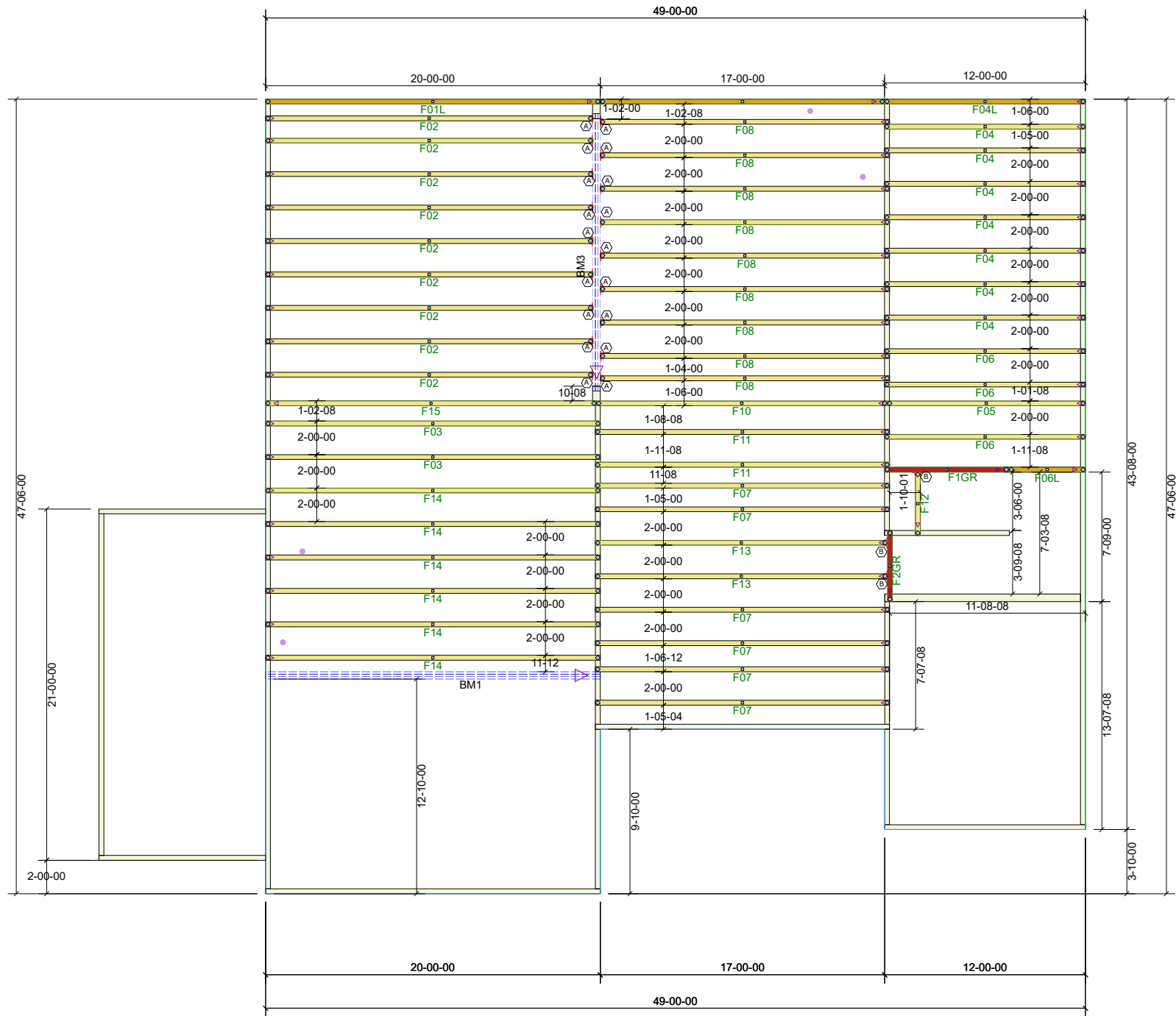
**A** TYPICAL GABLE END BRACING DETAIL  
SCALE: NONE  
REQ'D @ GABLE END TRUSS  
HEIGHT UP TO 9'-0"

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT IS LESS THAN 9'-0". 1" BRACES REQUIRED WHERE NOTED BY TRUSS MANUFACTURER.

**B** TYPICAL GABLE END BRACING DETAIL  
SCALE: NONE  
REQ'D @ GABLE END TRUSS  
HEIGHT BETWEEN 9'-0" TO 14'-0"

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT EXCEEDS 9'-0". 1" BRACES NOT REQUIRED.

**I** SHEAR TRANSFER DETAIL @  
EXTERIOR SHEARWALL ABOVE  
SCALE: 3/4"=1'-0"



Products						
Fab Type	Net Qty	Plies	Product	Length	PlotID	
MFD	3	3	1-3/4" x 14" VERSA-LAM® LVL 2.1E 3100 SP	18-00-00	BM3	
MFD	3	3	1-3/4" x 16" VERSA-LAM® LVL 2.1E 3100 SP	20-00-00	BM1	

HANGER LIST		
18	LUS410	A
3	THA422	B
-	-	C

# Tobacco Road Lot 99



84 Components  
200 Emmett Rd  
Dunn NC 28334  
United States  
Office: (910) 892-8400

Davidson Homes  
99 Tobacco Road

CRAWFORD - D - FLOOR  
Job# - P00769-22154

Location 2383-Dunn

Designer Brenda Sierra

DO NOT CUT, NOTCH, OR BORE HOLES  
UNLESS SPECIFIC, WRITTEN PERMISSION IS  
PROVIDED BY AN AUTHORIZED REPRESENTATIVE OF  
84 LUMBER.

TRUSS INSTALLATION REQUIRES TEMPORARY AND  
PERMANENT BRACING. GENERAL GUIDANCE IS  
PROVIDED IN SBCA DOC's  
B-1 and B-3. THESE ARE INCLUDED WITH EACH JOB  
IN YOUR TRUSS PACKET.

Sheet # 1 of 1

Floor Truss  
Placement Plan

NOT TO SCALE

DESIGNED DATE

2/25/2025

