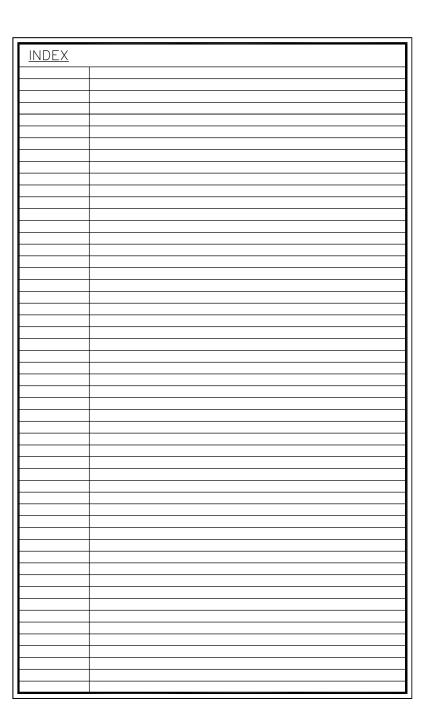
DRAYTON-RALE

RALEIGH - LOT 00.0034 THE FARM AT NEILL'S CREEK

(MODEL# 2695)

ELEVATION 2 - GR

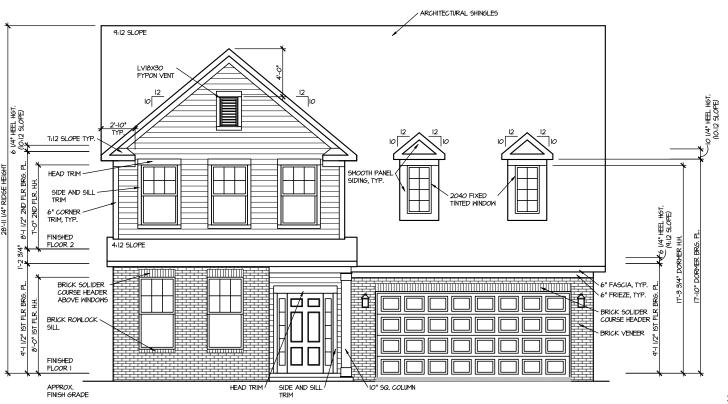




AREA CALCULATIONS ELEVATION 2 FIRST FLOOR	HEATED 1266 SF	COVERED / UNHEATED	UNCOVERED
GARAGE		547 SF	
FRONT PORCH - ELEVATION 2		53 SF	
SECOND FLOOR	1430 SF	00 01	
SECOND FLOOR	1430 SF		
OPTIONS			
SCREEN PORCH		120 SF	
TOTAL	2696 SF	720 SF	
		720 01	
			-
			-

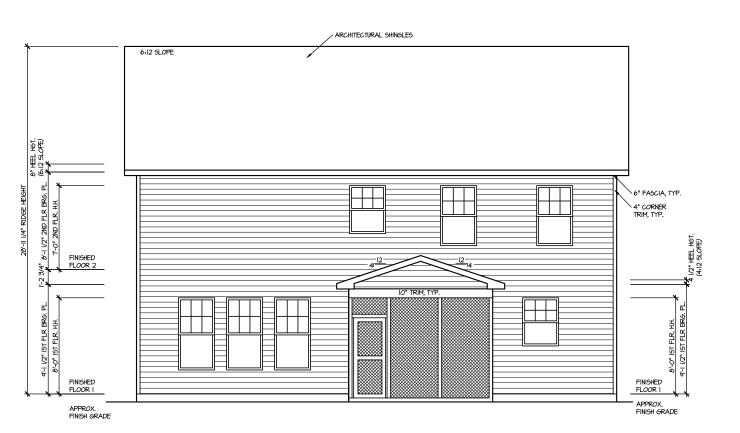
392 Peach Grove Way

LOT	<u>SPECIFIC</u>	
1	LOT 00.0034	THE FARM AT NEILL'S CREEK
		DRAYTON REV. RALE 2 ELEVATION 2
2	ADDRESS	392 PEACH GROVE WAY LILLINGTON, NC 27546



FRONT ELEVATION 2

SCALE: 1/8" = 1'-0"



REAR ELEVATION 2

SCALE: 1/8" = 1'-0"

| MASTER PLAN INFORMATION | PAGE | PLAN INFORMATION |

DRAWN BY: ITS DATE: 02/20/2025

PLAN NO. 2695



HOUSE NAME:

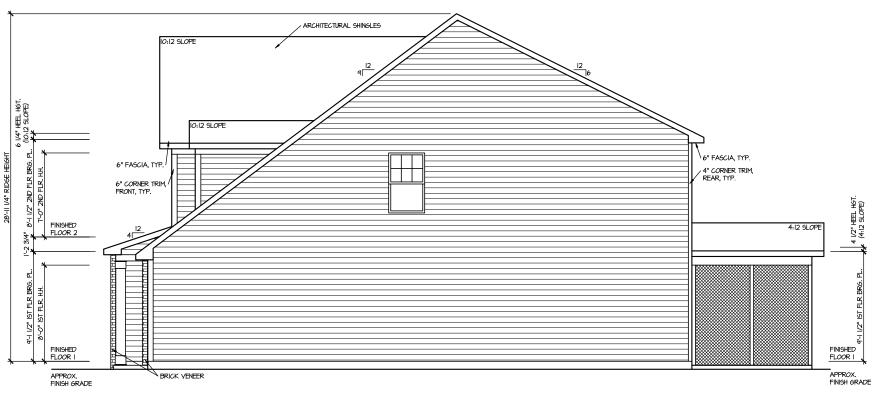
DRAYTON

DRAWING TITLE

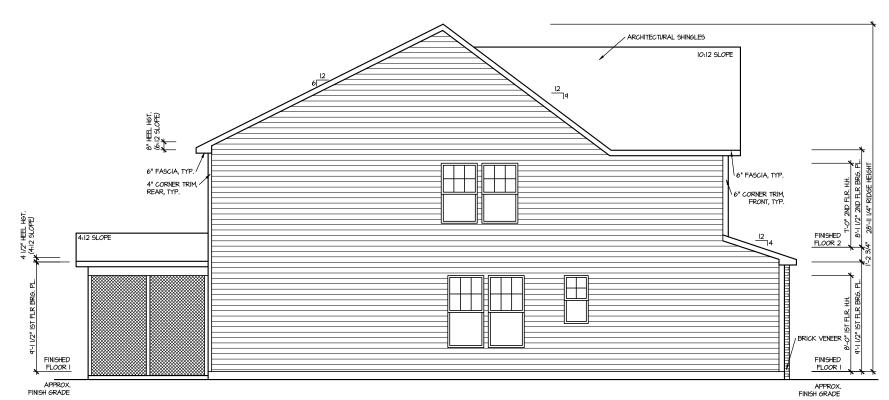
FRONT & REAR ELEVATIONS

SHEET No.

ot 00.0034.dwg DATE: 2/20/2025 1:30 F



RIGHT ELEVATION 2



LEFT ELEVATION 2
SCALE: 1/8" = 1'-0"

DRAWN BY:

DATE: 02/20/2025 PLAN NO. 2695



HOUSE NAME:
DRAYTON
DRAWING TITLE
RIGHT & LEFT <u>i</u>⊥ ∐ ∐

ROOF VENTILATION CALCULATIONS:

ROOF AREA = 1715 50. FT.

OVERALL REQUIRED VENTILATION:

1 TO 150 = 11.83 50. FT.

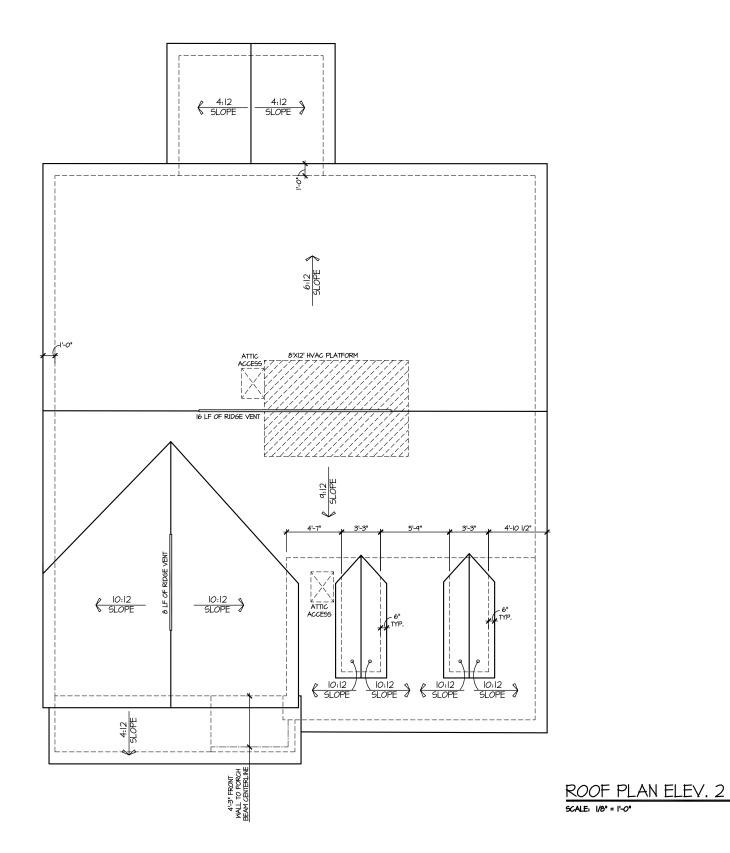
1 TO 300 = 5.42 50. FT.

50-80% IN TOP THIRD = 2.96- 4.66 FT. (1 TO 300)

NET FREE AREA OF VENTED SOFFIT = 5.7 SQ. IN / LINEAR FT. NET FREE AREA OF RIDGE VENT = 18 SQ. IN/ LINEAR FT.

LOWER VENTING: (BOTTOM 2/3 RD5)
T5 LINEAR FIET OF SOFFIT X 5.1 SQ. IN. = 2.46 SQ. FT.

UPPER VENTING: (TOP 1/3 RD)
24 LINEAR FIET OF RIDGE X IB SQ. IN = 3 SQ. FT.
3 SQ. FT. BETIVEEN SO% - 80%
(I TO 300 ALLONED)
TOTAL ROOF VENTILATION: 5.46 SQ. FT. > 4.66 SQ. FT. (RQID)

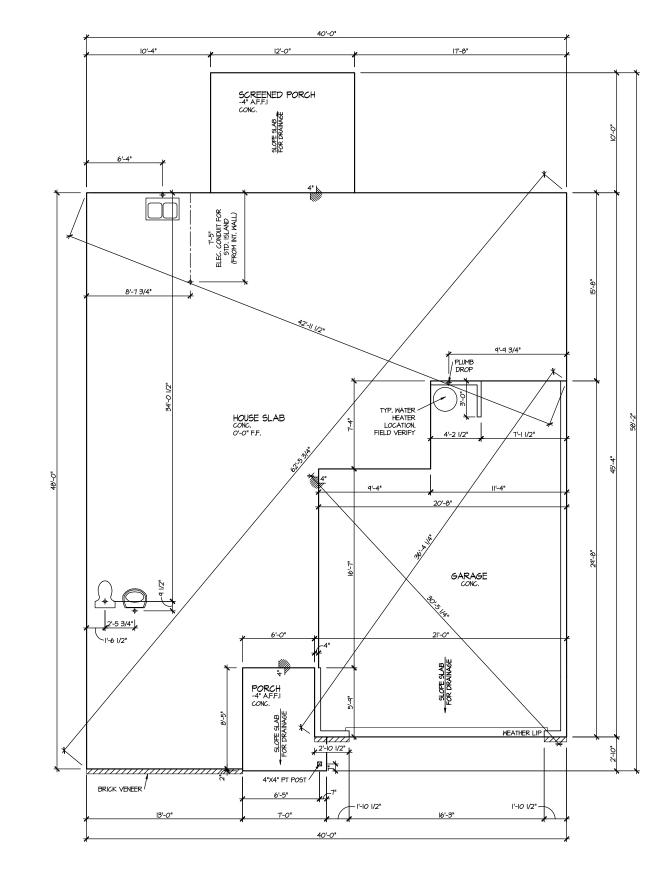


DRAWN BY: DATE: 02/20/2025 PLAN NO. 2695

SHEET No.

AI.3

HOUSE NAME:
DRAYTON
DRAWING TITLE
ROOF PLAN



ELEVATION 2 SLAB PLAN SCALE: 1/8" = 1'-0"

DRAWN BY:

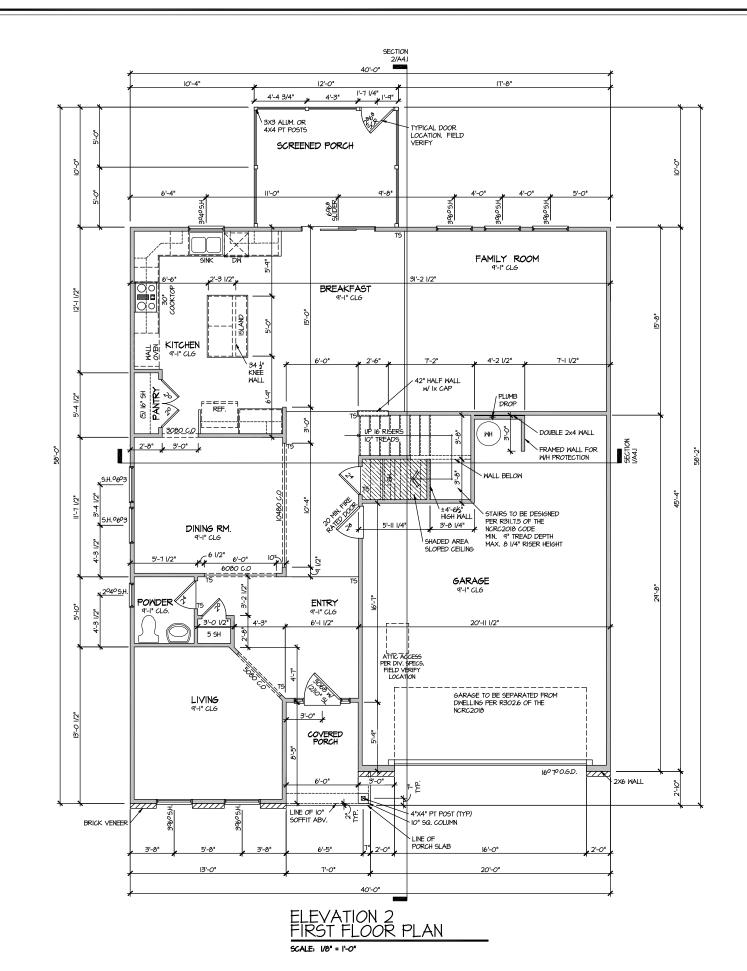
DATE: 02/20/2025 PLAN NO. 2695



HOUSE NAME:
DRAYTON
DRAWING TITLE
SLAB PLAN

SHEET No.

A2.1



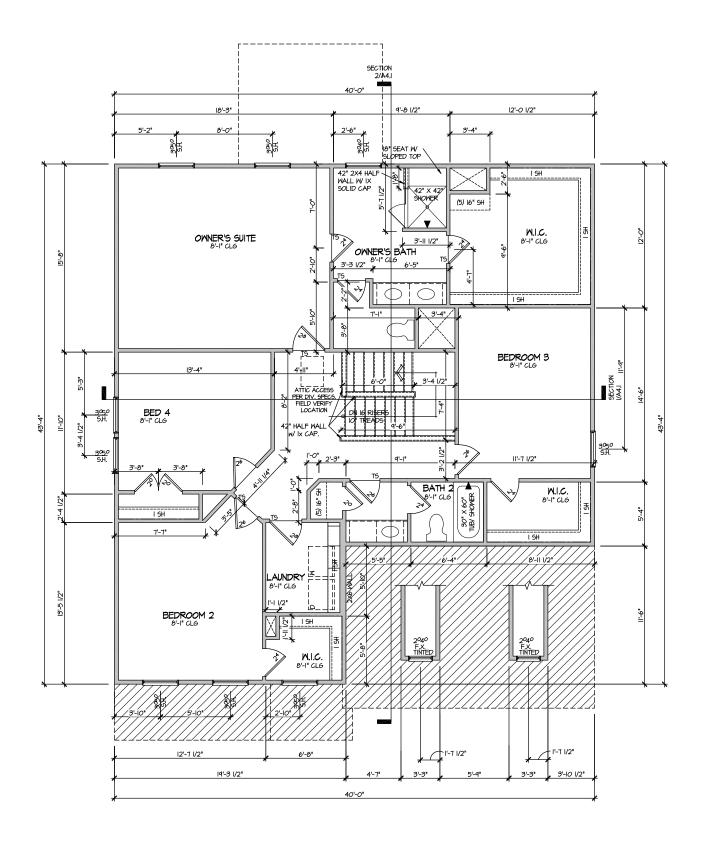
DATE: 02/20/2025
PLAN NO. 2695

DRAWN BY:

HOUSE NAME:

DRAYTON
DRAWING TITLE

FIRST FLOOR PLAN



ELEVATION 2 SECOND FLOOR PLAN SCALE: 108" = 11-0"

| MASTER PLAN INFORMATION | MASTER PLAN INFORMATION | REVISION | DATE | O3-06-2019 | O4-26-2024 | O4-26-2024

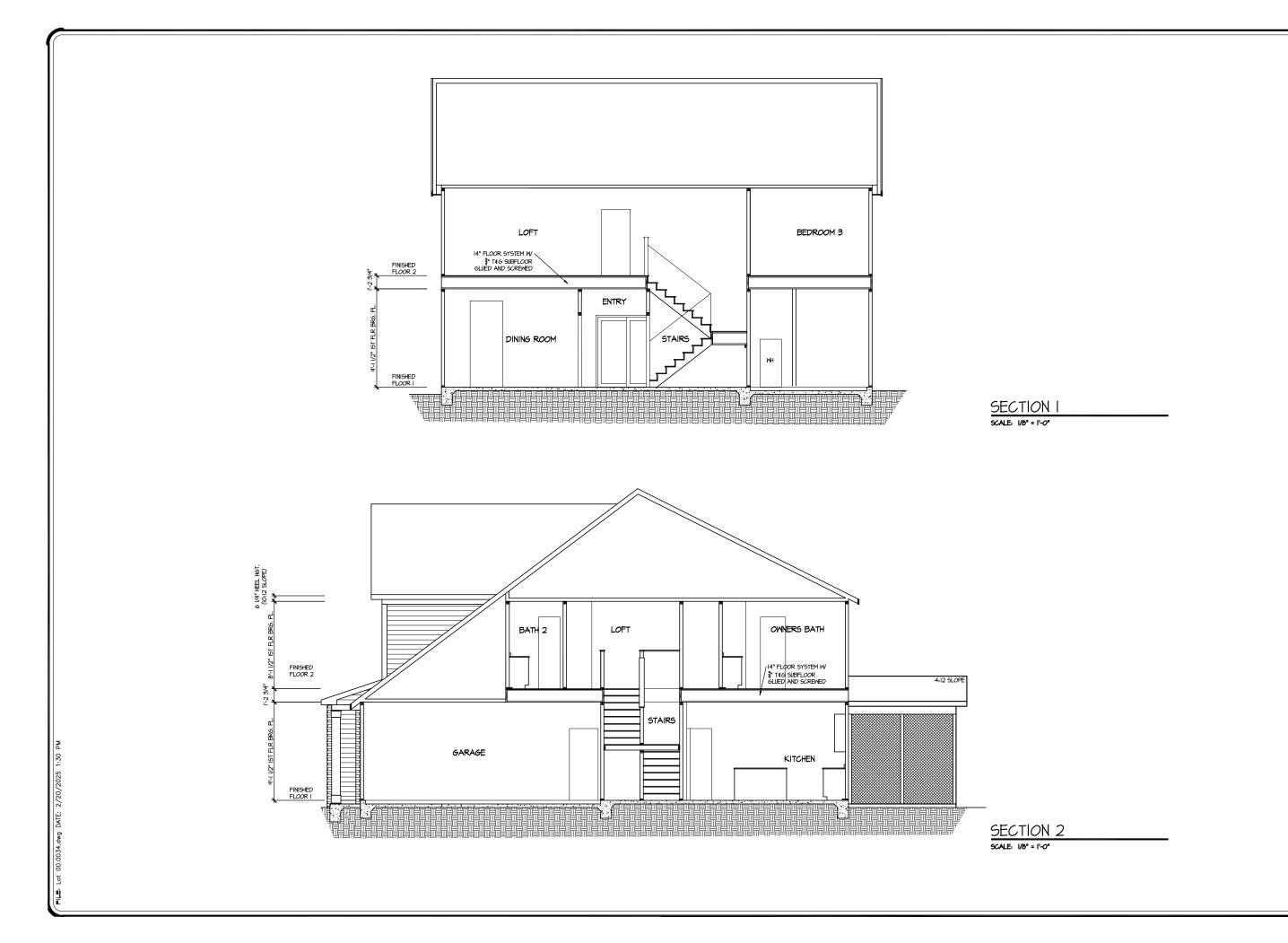
PLAN NO. 2695

ING TITLE
OND FLOOR PLAN

HOUSE NAME:
DRAYTON
DRAWING TITLE
SECOND FLO

SHEET No.

A3.2

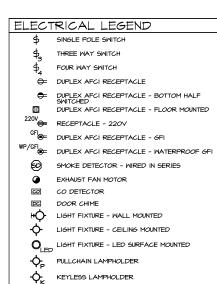


DRAWN BY: DATE: 02/20/2025 PLAN NO. 2695

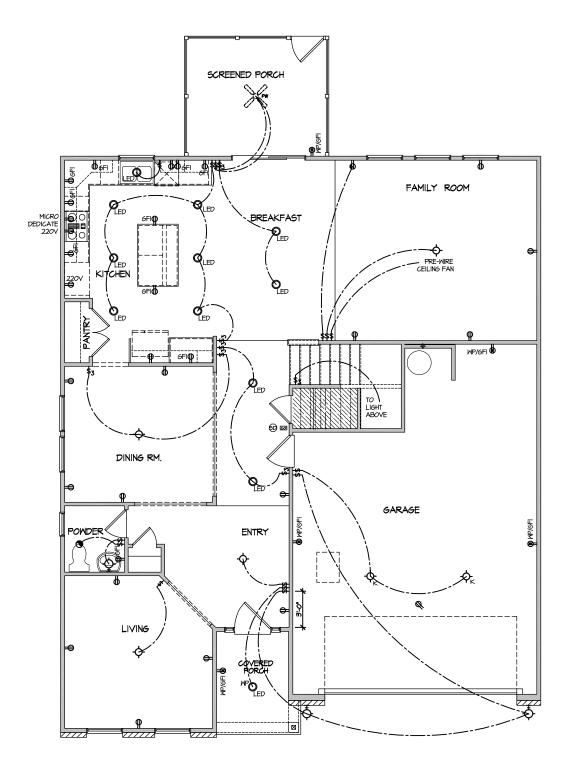


の間のエ HOUSE NAME:
DRAYTON
DRAWING TITLE
BUILDING SEC

SHEET No. A4.



NOTE: ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE ADDPTED VERSION OF THE NATIONAL ELECTRICAL CODE, THE LOCAL POWER COMPANY AND TO ALL APPLICABLE LOCAL REGULATIONS.



ELECTRICAL PLAN FIRST FLOOR - ELEV. 2 SCALE: 1/8" = 1'-0"

DRAWN BY:

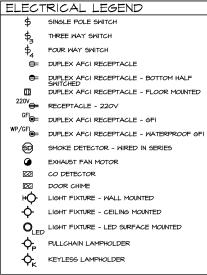
DATE: 02/20/2025 PLAN NO. 2695



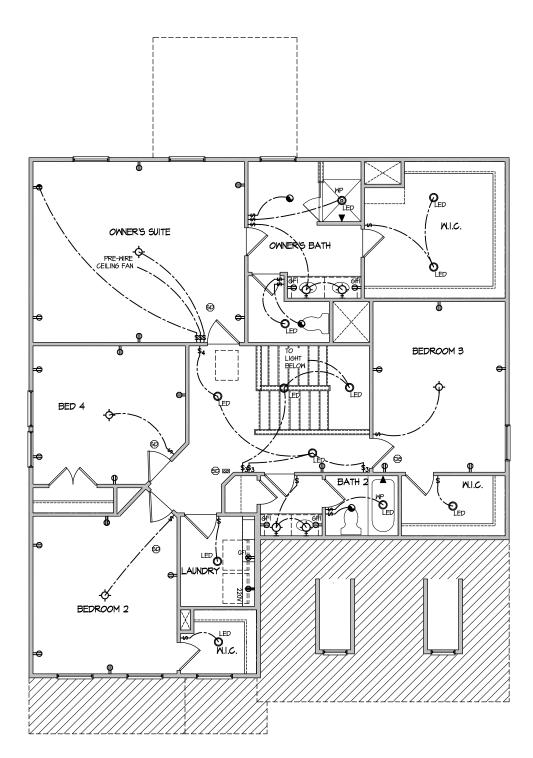
O ᇳ HOUSE NAME:

DRAYTON

DRAWING TITLE



NOTE. ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE ADOPTED VERSION OF THE NATIONAL ELECTRICAL CODE, THE LOCAL POWER COMPANY AND TO ALL APPLICABLE LOCAL REGULATIONS.



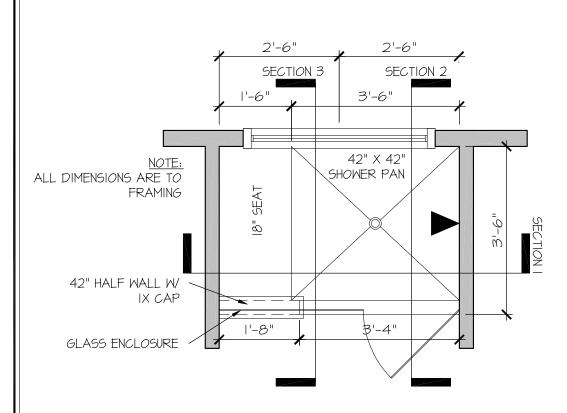
ELECTRICAL PLAN SECOND FLOOR - ELEV. 2 SCALE: 1/8" = 1'-0"

ᇳ HOUSE NAME:
DRAYTON
DRAWING TITLE
SECOND FLO

DRAWN BY:

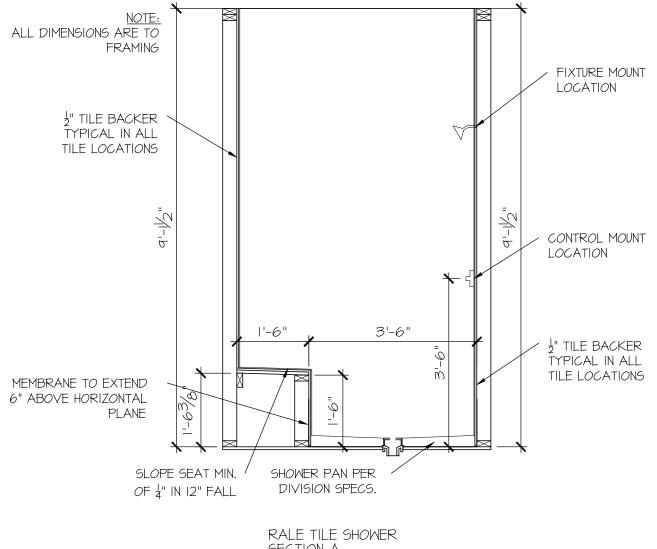
PLAN NO. 2695

DATE: 02/20/2025



RALE TILE SHOWER 42" X 42" W 18" SEAT

SCALE: 1/2" = 1'-0"



SECTION A

SCALE: 1/2" = 1'-0"

CONSULTANT LOGO

DRAWN BY: L. BEAVERS DATE: 9/1/22 PLAN NO.

11 X 17 SCALE

24 X 36 SCALE



DETAIL SHOWER RALE



SEAL

DRAWN BY:
L. BEAVERS
DATE: 9/1/22

PLAN NO.

24 X 36 SCALE

~ "

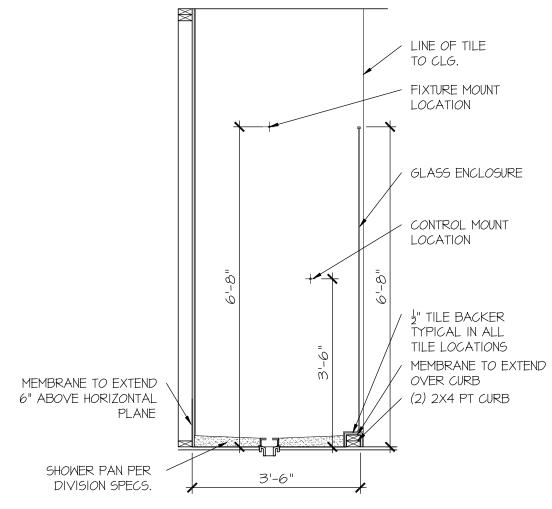


E ILE SHOWER DETAIL

OUSE NAME:

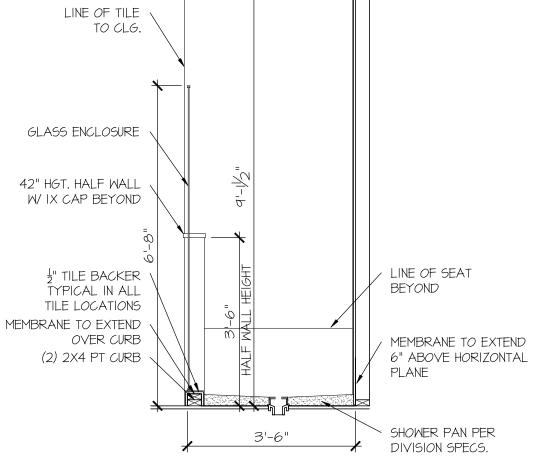
SHEET No.

P||.2



SCALE: 1/2" = 1'-0"





SCALE: 1/2" = 1'-0"

FOUNDATION

- DESIGN IS BASED ON 2018 NORTH CAROLINA STATE BUILDING CODE RESIDENTIAL CODE.
- FOOTING DESIGN 2,000 PSF ALLOWABLE SOIL BEARING PRESSURE IS ASSUMED. BUILDER/CONTRACTOR MUST VERIFY.
- FASTEN 2x4/6 SILL PLATES TO FND WITH A MINIMUM OF 2 ANCHORS PER PLATE, 12" MAX. FROM PLATE ENDS - UTILIZING:

 ■ 1/2" DIA. ANCHOR BOLTS ● 6'-0" O.C., 7" MIN. EMBEDMENT
- (CONC), 15" MIN. EMBEDMENT (CMU)
- SIMPSON MASA ANCHOR STRAPS @ 6'-0" O.C. (CONC)
- SIMPSON MAB23 ANCHOR STRAPS @ 2'-8" O.C. (CMU)
- (REFER TO DETAILS FOR IO' TALL WALL ANCHOR REQUIREMENTS)
- ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT W/ CONCRETE OR CMU SHALL BE PRESERVATIVE TREATED SOUTHERN PINE #2.
- BUILDER TO VERIEY CORROSION-RESISTANCE COMPATIBILITY OF HARDWARE & FASTENERS IN CONTACT W PRESERVATIVE-TREATED WOOD, CONTACT LUMBER & HARDWARE SUPPLIERS TO COORD.
- BASEMENT INTERIOR BEARING WALLS & EXTERIOR WALK-OUT BASEMENT WALLS SHALL BE 2x6 🛭 16" O.C. SPF OR SYP, "STUD" GRADE OR BETTER.
- ONCRETE DESIGN BASED ON ACI 318. CONCRETE SHALL ATTAIN THE FOLLOWING MIN. COMPRESSIVE STRENGTHS IN 28 DAYS, U.N.O.:
- 4,000 psi: FOUNDATION WALLS
 2,500 psi: FOOTINGS & INTERIOR SLABS ON GRADE 3,000 psi: GARAGE & EXTERIOR SLABS ON GRADE 60,000 psi
- BASEMENT FOUNDATION WALL DESIGN BASED ON
- 9' OR 10' HEIGHT (AS NOTED ON PLANS)
- TALLER WALLS MUST BE ENGINEERED. NOMINAL WIDTH (9 ½" FOR 10" THICK WALL).
- BASEMENT WALL DESIGN IS BASED ON 60 PCF BACKFILL SOIL TYPE CLASSIFICATIONS (SC. ML-CL. OR CL).
- BASEMENT WALLS SHALL BE BRACED, PRIOR TO BACKFILLING, BY ADEQUATE TEMPORARY BRACING OR INSTALL 1st FLOOR DECK
- PROVIDE (2) #5 BARS AROUND ALL SIDES OF OPENINGS IN CONCRETE BSMT, FND, WALL WITH 2" CLEAR, REINFORGEMENT
- SHALL EXTEND 12" PAST CORNER OF OPENING IN ALL DIRECTIONS • FOR OPENINGS UP TO 36", PROVIDE MINIMUM IO" CONCRETE
- DEPTH OVER OPENING OR (3)2x10 w/ (2)2x6 JACK STUDS, U.N.C LARGER OPENINGS SHALL BE PER PLAN.
- ALL CONCRETE EXPOSED TO THE WEATHER SHALL NOT HAVE LESS THAN 5% OR MORE THAN 7% AIR ENTRAINMEN
- ALL FOOTINGS SHALL BEAR AT LEAST 12" BELOW FINISH GRADE.
- FOOTINGS AND SLABS ON GRADE SHALL BEAR ON VIRGIN SOIL OR 95% COMPACTED FILL.
- PROVIDE CONTROL JOINTS AT ALL INSIDE CORNERS OF SLAB EDGES, AND OTHER LOCATIONS WHERE SLAB CRACKS ARE LIKELY
- JOINTS SHALL BE LOCATED @ 10'-0" O.C. (RECOMMENDED) OR 15'-0" O.C. (MAXIMUM)
- · JOINT GRID PATTERN SHALL BE AS CLOSE TO SQUARES AS
- POSSIBLE (I:I RATIO), WITH A MAXIMUM OF I:1.5 RATIO · CONTROL JOINTS SHALL NOT BE INSTALLED IN STRUCTURAL
- CONCRETE MASONRY UNITS (CMU) SHALL BE ASTM C90 WITH A MIN. COMPRESSIVE STRENGTH OF 1900 psi (Fm=1500 psi), MORTAR SHALL BE ASTM C270, TYPE S. CMU DESIGN PER ACI 530 & 530.1.
- CMU FOUNDATION WALLS SHALL HAVE 'DUR-O-WALL' HORIZONTAL JOINT REINFORCEMENT (OR EQUAL) - 9 GA, MINIMUM @ 16" O.C.
- PROVIDE 2x8 x 16" LONG P.T. PLATE ON TOP OF ALL CRAWL SPACE PIERS. ALL PIERS SHALL BE GROUTED SOLID.
- PROVIDE 2x6 P.T. PLATE ON INTERIOR CRAWL SPACE WALLS. FASTENED PER ANCHORAGE SPECIFICATION NOTED ABOVE.
- DIMENSIONS BY OTHERS, BUILDER TO VERIFY
- BUILDER TO VERIFY THAT MODEL HAS BEEN ADEQUATELY TREATED BY A LICENSED AND BONDED PEST CONTROL COMPANY FOR SUBTERRANEAN TERMITES. METHOD AND TYPE OF TREATMENT TO BE DETERMINED BY PEST CONTROL COMPANY.

GENERAL STRUCTURAL NOTES

- DESIGN IS BASED ON 2018 NORTH CAROLINA STATE BUILDING CODE: RESIDENTIAL CODE.
- WOOD FRAME ENGINEERING IS BASED ON NDS. "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" - LATEST EDITION.
- DESIGN LOADS:

DEAD = 7 PSF T.C., 10 PSF B.C.

LOAD DURATION FACTOR = 1.25

LIVE = 40 PSF (30 PSF @ SLEEPING AREAS)

DEAD = 10 PSF (I-JOISTS & SOLID SAWN)
10 PSF T.C., 5 PSF B.C. (TRUSSES) (ADD'L IO PSF @ TILE)

LATERAL 120 MPH, EXPOSURE B. SEISMIC A/B.

2,000 PSF ASSUMED ALLOWABLE BEARING PRESSURE (TO BE VERIFIED BY BUILDER)

GENERAL FRAMING

- ALL TYP, NAIL FASTENER REQUIREMENTS ARE NOTED IN STANDARD CONNECTIONS TABLE OR ON PLANS. ALL NAILS SPECIFIED ARE MII DIAMETER AND LENGTH REQUIRED FOR CONNECTION, ALL HANGER NAILS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENT FOR MAX CHARTED CAPACITY. NOTE: HANGERS USE COMMON NAIL DIAMETERS NOT TYPICAL FRAMING GUN NAILS.
- REFER TO FASTENING SCHEDULE TABLE R602.3(I) FOR ALL CONNECTIONS, TYP. U.N.O.
- EXT. & INT. BRG WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS, @ 16" O.C. SPF OR SYP "STUD" GRADE LUMBER, OR BETTER, U.N.O. . WALLS OVER 12' TALL SHALL BE PER PLAN
- ALL HEADERS, BEAMS & OTHER STRUCTURAL MEMBERS SHALL BE SPRUCE-PINE-FIR #2 (SPF) OR SOUTHERN PINE #2 (SYP) LUMBER, OR BETTER (KILN-DRIED). ALL HEADERS HAVE BEEN DESIGNED BASED ON CALCULATED LOADS & SIZED ACCORDINGLY, CODE TABLES HAVE NOT BEEN USED.
- ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 2x 'STUD' GRADE MEMBERS SPACED @ 16" O.C. (MAX., UN.O.)

 • HEADERS IN NON-LOAD BEARING WALLS SHALL BE:
- ALL FRAMING LUMBER SHALL BE DRIED TO 15% MC (KD-15).
- ENGINEERED LUMBER BEAMS TO MEET OR EXCEED THE FOLLOWING:
- 'LSL' Fb=2325 psi; Fv=3I0 psi; E=1.55xI0^6 psi
 'LVL' Fb=2600 psi; Fv=285 psi; E=2.0xI0^6 psi
- 'PSL' FB=2400 PSI; FV=240 PSI; E=2.0XIO^6 PSI
- M+K SHALL BE FULLY INDEMNIFIED FOR ANY AND ALL ISSUES RESULTING FROM OR RELATED TO ANY BUILDING COMPONENT IF THE OWNER DOES NOT SUBMIT THE COMPONENT SHOP DRAWINGS TO M+K FOR STRUCTURAL REVIEW PRIOR TO FABRICATION, DELIVERY, OR INSTALLATION.
- FOR 2 & 3 PLY BEAMS OF EQUAL WIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF 3"x0.120" NAILS @ 8" O/C OR 2 ROWS 1/4"x31/2" SIMPSON SDS SCREWS (OR 31/3" TRUSSLOK SCREWS) @ 16" O/C. USE A MINIMUM OF 3 ROWS FOR BEAM DEPTHS OF 14" OR GREATER APPLY FASTENING AT BOTH FACES FOR 3-PLY CONDITION. LOCATE TOP & BOTTOM NAILS/SCREWS 2" FROM EDGE. SOLID 3 ½" OR 5 ¼" BEAMS ARE ACCEPTABLE. USE 2 ROWS OF NAILS FOR 2X6 & 2X6 MEMBERS
- FOR 4 PLY BEAMS OF EQUAL WIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF 1/4"x6" SIMPSON SDS SCREWS (OR 6 3/4" TRUSSLOK SCREWS) @ 16" O/C. USE A MINIMUM OF 4 ROWS FOR BEAM DEPTHS OF 14" OR GREATER. APPLY FASTENING AT BOTH FACES (ONE SIDE ONLY FOR TRUSSLOK SCREWS). LOCATE TOP AND BOTTOM SCREWS 2" FROM EDGE, A SOLID 7" BEAM IS ACCEPTABLE.
- ALL HEADERS SHALL BE SUPPORTED BY (1)2x JACK STUD & (1)2x
- THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK STUDS REQUIRED, U.N.O.,
- ALL MULTI-PLY STUDS TO BE FASTENED TOGETHER W/ 3"X0.131" NAILS @ 24" O.C. (MIN.), EACH PLY.
- PROVIDE SOLID BLOCKING IN FLOOR SYSTEM UNDER ALL POSTS CONTINUOUS TO FND./BEARING. BLOCKING TO MATCH POST ABOVE
- FASTEN 2x WOOD PLATES TO TOP FLANGE OF STEEL BEAMS WITH P.A.F.'s ('HILTI' X-CF PINS OR EQUAL) • 16" O.C. STAGGERED, OR 1/2" DIA. BOLTS • 48" O.C. STAGGERED.
- ALL EXTERIOR 4x4 WOOD POSTS SHALL HAVE SIMPSON BCS2-2/4 CAP & ABW44Z BASE, U.N.O.

FLOOR FRAMING

- I-JOISTS/TRUSSES SHALL BE DESIGNED BY MANUE, TO MEET OR EXCEED L/480 LIVE LOAD DEFLECTION CRITERIA. (EXCLUDES MARBLE FLOORS - CONTACT M&K FOR MARBLE FLOOR DESIGNS)
- AT I-JOIST FLOORS, PROVIDE I 1/8" MIN. OSB RIM BOARD.
- METAL HANGERS SHALL BE SPECIFIED BY MANUFACTURER, U.N.O.
- FLOOR SHEATHING SHALL BE 23/32" A.P.A. RATED 'STURD-I-FLOOR' 24" O.C, EXPOSURE I (OR APPROVED EQUAL) WITH TONGUE AND
- GROOVE EDGES. FASTEN TO FRAMING MEMBERS W/ GLUE AND - 2 1 × 0.131" NAILS @ 6"0.c. @ PANEL EDGES & @ 12"0.c. FIELD.
- 2 3 × 0.120" NAILS @ 4" O.C. @ PANEL EDGES & @ 8" O.C. FIELD.
- 2 🖁 × 0.113" NAILS 3" O.C. PANEL EDGES € 6" O.C. IN FIELD. #6 x 2" MIN. SCREWS @ 6" O.C. @ PANEL EDGES & @ 12" O.C. FIELD.

ROOF FRAMING

- BAY WINDOWS & SHED ROOFS (UP TO 6' SPAN) CAN BE 2x4 OR 2x6 RAFTERS & CEILING JOISTS @ 16/24" O.C.
- FASTEN FACH POOF TRIES TO TOP PLATE W/ SIMPSON H25T CLIE (OR APPROVED EQUAL) @ ALL BEARING POINTS. PROVIDE (2) H2.5T CLIPS AT 2-PLY GIRDER TRUSSES, (3) H2.5T CLIPS AT 3-PLY GIRDER TRUSSES & ROOF BEAMS - AT ALL BEARING POINTS.
- METAL HANGERS SHALL BE SPECIFIED BY THE MANUFACTURER, U.N.O.
- ERECT AND INSTALL ROOF TRUSSES PER WTCA & TPI'S BCSI I-08 "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING & BRACING OF METAL PLATE CONNECTED WOOD TRUSSES."
- SUPPORT PORCH & SHORT SPAN ROOF TRUSSES (MAX 7' SPAN) w/ 2x4 LEDGER FASTENED TO:
 - RIM BOARD W/ (2) 3"x0 131" NAILS @ 16" OC MAX (1-1015TS) - TRUSS VERTICALS w/ (3) 3"x0.131" NAILS @ 19.2" O.C. MAX. (FLOOR TRUSSES)
- ROOF SHEATHING SHALL BE 1/16" A.P.A. RATED SHEATHING 24/16 EXPOSURE I (OR APPROVED EQUAL). FASTEN TO FRAMING MEMBERS
- W/ 2 ½" x 0.131" NAILS @ 6"o.c. @ PANEL EDGES & @ 12" O.C. FIELD. - w/ 2 🖁 × 0.120" NAILS @ 4"o.c. @ PANEL EDGES & @ 8" O.C. FIELD.
- w/ 2 👸 x 0.113" NAILS 🥝 3"o.c. 🐠 PANEL EDGES 🕏 6" O.C. FIELD.

HOLD-DOWN SCHEDULE

5YMBOL	SPECIFICATION	
► HD-I	SIMPSON HTT4 HOLD-DOWN * (%" DIA. ANCHOR)	
HD-2	SIMPSON MSTC66 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM UN.O.) -OR- MSTC66B3 ALTERNATE	
un.a	CIMPGON CTUDIA/CTUDIAR I	

* UTILIZE THE SSTB24 ANCHOR BOLT ● ALL MONOSLAB & INTERIOR RAISED SLAB (I.E. THICKENED SLABS, FOOTINGS) CONDITIONS. MINIMUM 24" MIN. OOTING THICKNESS REQUIRED

EPOXY-SET ALTERNATE FOR MONOSLAB & INTERIOR RAISED SLAB THREADED ROD INTO CONCRETE FOUNDATION. PROVIDE 10" (FOR 5/8" DIA.) OR 5" (FOR 1/8" DIA.) MIN. EMBEDMENT INTO CONCRETE. NSTALL PER MANUE, INSTRUCTIONS, MINIMUM 16" FOOTING THICKNESS REQ'D. DO NOT LOCATE ANCHORS WITHIN I 3/4" OF EDGE OF CONCRET

LEGEND

- INTERIOR BEARING WALL
- □===□ BEARING WALL ABOVE
- BEAM / HEADER
- = = INDICATES SHEAR WALL & EXTENT
- EXTENT OF OVERFRAMING
- * INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

NON-BEARING HEADER SCHEDULE

SPAN	2x4 NON-BEARING PARTITION WALL	2x6 NON-BEARING PARTITION WALL
UP TO 3'-0"	(I)2x4 FLAT	(I)2x6 FLAT
UP TO 6'-0"	(2)2x4	(3)2x4
UP TO 8'-0"	(2)2x6	(3)2x6
UP TO 12'-0"	(2)2x8	(3)2x8

NOTES:

ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 2x 'STUD' GRADE MEMBERS SPACED @ 24" O.C. (MAX.)

LATERAL BRACING & SHEAR MALL SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM:

20 MPH WIND IN 2018 NCSBC:RC (120 MPH WIND SPEED IN ASCE 7-10 WIND MAP, PER IRG R301,21,1) EXP. B, RISK CAT. 2 & SEISMIC CAT. A/B

THE DESIGN WAS COMPLETED PER 2015 IBC (SECTION 1609) & ASCE 7-10, AS PERMITTED BY R301.1.3 OF THE 2018 NCSBC:RC, OR THE SIMPLIFIED PRESCRIPTIVE PROCEDURE IN ACCORDANCE WITH THE 2015 IRC IF THE PARAMETERS OF SECTION R602.12 COMPLY CCORDINGLY, THIS MODEL, AS DOCUMENTED AND DETAILED HEREWITHIN IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES.

DESIGN WIND UPLIET LOADS HAVE BEEN CALCULATED UTILIZING ASCE 7-10 (ACCEPTED ENGINEERING PRACTICE) AS ALLOWED PER 2018 NCSBC:RC SECTION R802.II.I. THIS MODEL HAS BEEN DETAILED WHERE REQUIRED & ENGINEERED TO RESIST THE WIND UPLIFT LOAD PATH PER SECTIONS R602.3.5¢ R802.II.

EXT. WALL SHEATHING SPECIFICATION

- 7/16" OSB OR 15/32" PLYWOOD: FASTEN SHEATHING W 2 3/8"XO.II3" NAILS @ 6" O.C. AT EDGES & @ 12" O.C. IN THE PANEL FIELD, TYP, U.N.O.
- HORIZONTAL BLOCKING OF EXT. WALL/SHEAR WALL PANEL EDGES IS <u>NOT</u> REQUIRED BY THIS DESIGN EXCEPT FOR THOSE AREAS SPECIFICALLY NOTED.
- ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED AND ARE CONSIDERED SHEAR WALLS.
- ALT STAPLE CONNECTION SPEC. I K" 16 GA STAPLES (1/6" CROWN) @ 3" O.C. AT EDGES \$ @ 6" O.C IN FIELD.

BLOCKED PANEL EDGES

AT DESIGNATED AREAS - FASTEN SHEATHING w/ 2 3/8" x 0.113" NAILS @ 6" O.C. AT ALL PANEL EDGES AND 12" O.C. IN THE PANEL FIELD OR 1 3/4" 16 GA STAPLES (1%" CROWN) @ 3" O.C. AT EDGES & @ 6" O.C IN FIELD. ALL SHEATHING PANELS SHALL BE ORIENTED AND INSTALLED FULL HEIGHT OF SHEAR WALL OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES & EDGE FASTENING.

3" O.C. EDGE NAILING

AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING √ 8d NAILS @ 3" O.C. NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC. ALL SHEATHING PANELS SHALL BE ORIENTED AND INSTALLED FULL HEIGHT OF SHEAR WALL OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. EDGE FASTENING.

NOTES

- SEE CONNECTION SPECIFICATIONS CHART FOR ADDITIONAL CAPACITY IS REQUIRED BY DESIGN T WILL BE SPECIFICALLY NOTED ON PLAN.
- DESIGN ASSUMES 16" O.C MAX. STUD SPACING, U.N.O.
- ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.
- PRE-MANUFACTURED PANELIZED WALLS: FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED W/ OSB OR PLYWOOD W/ 3" x 0.120" NAILS @ 4" O.C. (THRU ONE SIDE ONLY)

INDICATES EXTENT OF INT. OSB SHEARWALL OR 3" O.C. OSB SHEARWALL.

INDICATES HOLDOWN BELOW

AREAS THAT MAY BE WITHIN CONTRACTUAL, INDUSTRY, OR WARRANTY TOLERANCES.

ADDITIONAL NOTES FOR TRUSS & I-JOIST MANUFACTURER

ROOF TRUSS, FLOOR TRUSS AND ENGINEERED JOISTS SHALL BE DESIGNED TO MEET THE DIFFERENTIAL DEFLECTION CRITERIA BELOW, UNLESS NOTED OTHERWISE ON PLAN.

TRUSSES/JOISTS SHALL BE DESIGNED SO THAT IFFERENTIAL DEFLECTION BETWEEN ADJACENT PARALLEL TRUSSES/JOISTS OR GIRDER TRUSSES/FLUSI BEAMS DO NOT EXCEED THE FOLLOWING: ROOF TRUSSES:

- I/4" DEAD LOAD
- FLOOR TRUSSES, ATTIC TRUSSES, & I-JOISTS: 1/8" DEAD LOAD
- FLOOR TRUSSES & ATTIC TRUSSES ADJACENT TO FLOOR FRAMING BY OTHERS: LIMIT ABSOLUTE TRUSS DEFLECTION TO 3/16" DEAD LOAD (NOT DIFFERENTIAL DEFLECTION)

SD2.I REFERS TO SD2.IA FOR LVL/PSL/LSL BEAMS OR SD2.IB FOR FLITCH BEAMS OR SD2.IC FOR STEEL BEAMS

MEANS & METHODS NOTES

THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FINISHED AND ALL PLAN, DETAIL, AND NOTE SPECIFICATIONS HAVE BEEN COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF ECESSARY SHORING, SHEETING, BRACING, GUYS, AND TIE-DOWNS, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING REQUIRED TO STABILIZE AND PROTECT EXISTING AND ADJACENT STRUCTURES AND SYSTEMS DURING COURSE OF DEMOLITION AND CONSTRUCTION OF THE PROJECT.

STRUCTURAL DESIGN AND SPECIFICATIONS ASSUME THAT ALL SUPPORTING AND NON-SUPPORTING ELEMENT IN CONTACT WITH FLOOR FRAMING ARE LEVEL NCLUDING, BUT NOT LIMITED TO; FOUNDATIONS, SLABS ON GRADE BEAMS, WALLS, AND NON-BEARING LEMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LEVELNESS AND MAKE ADJUSTMENTS AS NECESSARY, INCLUDING CONSIDERATION OF THOSE AREAS THAT MAY BE WITHIN CONTRACTUAL INDUSTRY.

VENEER LINTEL SCHEDULE

A FUNEEN FUNITE 20UFDOFF			
SPAN (MAX)	HEIGHT OF VENEER ABOVE LINTEL	STEEL ANGLE SIZE	
3'-0"	20 FT. MAX	L3"x3"x¼"	
6'-0"	3 FT. MAX	L3"x3"x/4"	
	I2 FT. MAX	L4"x3"x¼"	
	20 FT. MAX	L5"x3½"x%;"	
8'-O"	3 FT. MAX	L4"x4"x¼" *	
	I2 FT. MAX	L5"x3½"x¾"	
	I6 FT. MAX	L6"x3½"x¾"	
9'-6"	I2 FT. MAX	L6"x3½"x"%"	
16'-0"	2 FT. MAX	L7"x4"x/2" **	
	3 ET MAY	1 01.41.1/1 ##	

- ALL LINIELS:
 SHALL SUPPORT 2 3/4" 3 1/4" VENEER W 40 psf MAXIMIM WEIGHT.

 (16" SHALL HAVE 4" MIN. BEARING

 (16" SHALL NOT BE FASTENED BACK TO HEADER.

 (16" SHALL NOT BE FASTENED BACK TO WOOD HEADER IN WALL 040" o.c.

 W/S 1DIA. x 3/4" LONG LAG SCREWS IN 2" LONG VERTICALLY

 SLOTTED HOLES. AX. VENEER HT. APPLIES TO ANY PORTION OF BRICK OVER THE
- OPENING.
 VILLINITELS SHALL BE LONG LEG VERTICAL.
 HEN SUPPORTING VENEER (3" MIDE THE EXTERIOR TOE OF THE
 HORIZONTAL LEG MAY BE CUT IN THE FIELD TO BE 3 1/4" MIDE OVER
 THE BEARING LENGTH ONLY. THIS IS TO ALLOW FOR MORTAR JOINT
- Finishing. SEE STRICTURAL PLANS FOR ANY LINTEL CONDITION NOT SNCOMPAGSED BY THE ABOVE PARAMETERS, FOR ANY LINTEL AGETIMED BACK TO BEAM, FASTEMERS SHALL MAINTAIN A 2%! MINIMAN) CLEAR DISTANCE FROM BOTTOM OF BEAM.

FOR QUEEN VENEER USE L4x3%4". | FOR 3½" VENEER ONLY, SEE PLAN FOR VENEER SUPPORT IF VENEER < 3%" THICK.

CAR OFESSIO ENGINE

STRUCTURAL ENGINEER



1&K project numbe 126-220

rawn by: JAI ssue date: 02-26-25

initial:

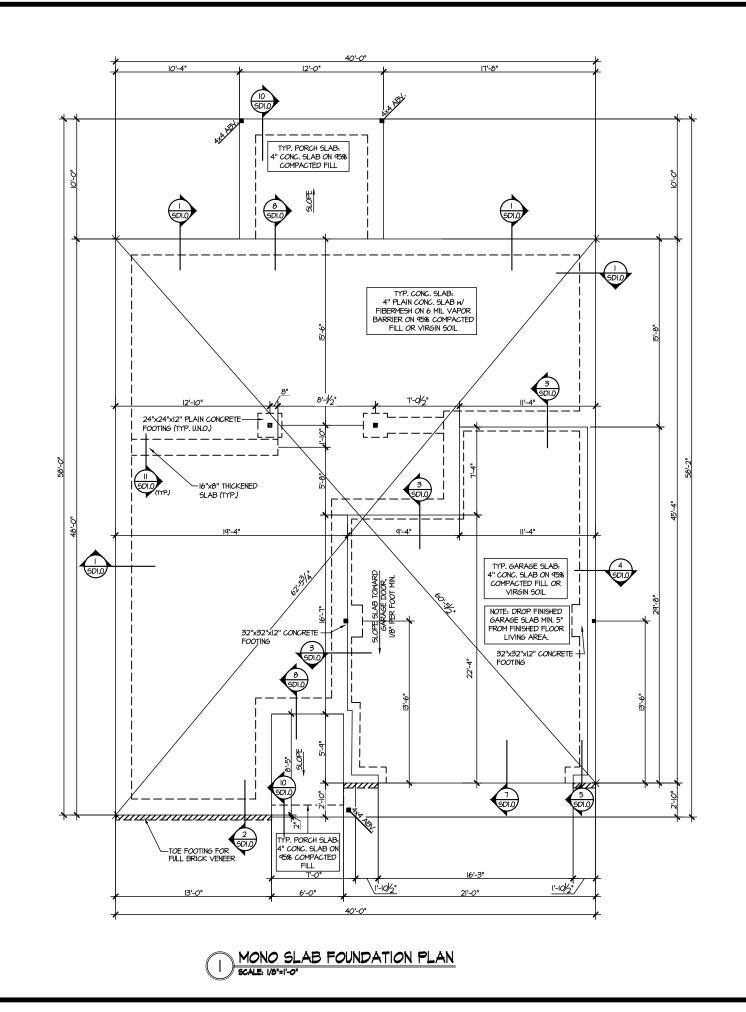
EVISIONS:



CREEK FO $\tilde{\infty}$ NEIL: DR/ \triangleleft

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3/3/25

MULHERN+KULP
RESIDENTIAL STRUCTURAL ENGINERING ¥

M&K project number: 126-2207

drawn by: JAE ssue date: 02-26-25

REVISIONS:

initial:

NEIL'S CREEK AT

LEGEND

ullet = \blacksquare INDICATES SHEAR WALL & EXTENT

* INDICATES POST ABOVE, PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

REFER TO SO.O FOR

TYPICAL STRUCTURAL NOTES

\$ SCHEDULES

• IIIIIII INTERIOR BEARING WALL □□□□□ BEARING WALL ABOVE

EXTENT OF OVERFRAMING

INDICATES HOLD-DOWN OR STRAP.
REFER TO SCHEDULE.

• --- BEAM / HEADER

FOUNDATION PLANS DRAYTON FARM LOT

S1

STEEL OPTION

WI2xI4 - F

WI2xI4 - F

WI2x26 - F

WI2xI4 - F

N/A

NΑ

WI2xI4 - F

MIOxI2 - D

N/A

W8xI0 - F

WI2xI4 - F

WI2xI4 - F

WI0x12 - D

FLITCH OPTION (2)2xl2 + (l) 以"xl以" STEEL FLITCH PLATES - FB

(2)2xl2 + (l) 从"xli以" STEEL FLITCH PLATES - FB

(2)2xl2 + (I) ¼"xll¼" STEEL FLITCH PLATES - FB

3)2xl2 + (2)从"xll%" STEEI FLITCH PLATES - H cont.

(3)2xl2 + (2)以"xll%" STEEL FLITCH PLATES - H cont.

(2)2xl2 + (I) ¼"xl4" STEEL FLITCH PLATES - FB

(2)2xi2 + (I) 以"xii以" STEEL FLITCH PLATES - D

(3)2x12 + (2) ½"xII¼" STEEL FLITCH PLATES - H cont.

(2)2x10 + (1) ¼"x4¼" STEEL FLITCH PLATES - F

(2)2xl2 + (I) 从"xli以" STEEL FLITCH PLATES - FB

(2)2xi2 + (I) 以"xi以" STEEL FLITCH PLATES - FB

(2)2xl2 + (l) 从"xll以" STEEL FLITCH PLATES - D

3/3/2



SK project number 126-2207

ssue date: 02-26-25

REVISIONS: initial:

Ö

CREEK

NEIL'S

AT

ARM

DRAYTON

LOT

FLOOR FRAMING

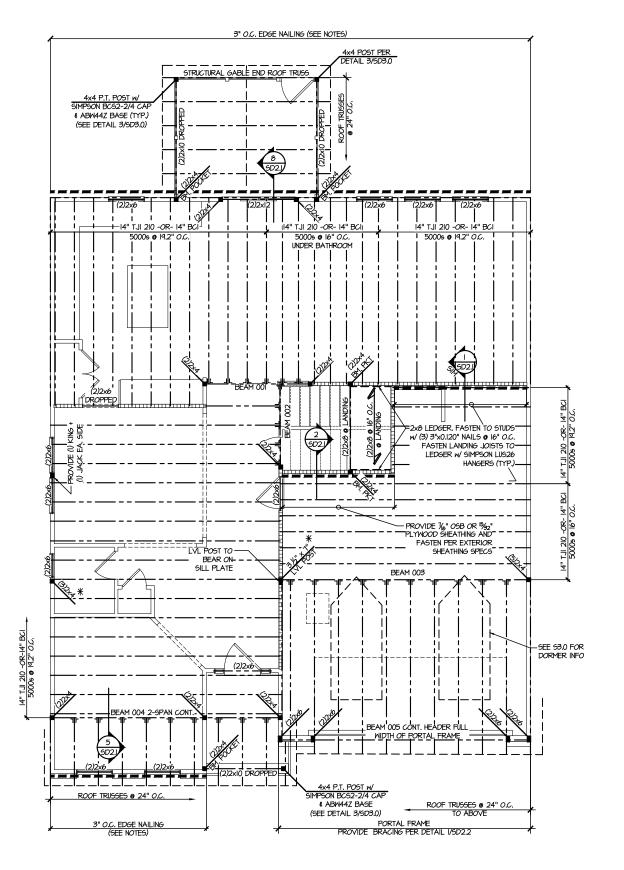
SD2.I REFERS TO SD2.IA FOR LVL/PSL/LSL BEAMS OR SD2.IB PLANS FOR FLITCH BEAMS OR SD2.IC FOR STEEL BEAMS

LEGEND

- = = INDICATES SHEAR WALL & EXTENT
- EXTENT OF OVERFRAMING

- * INDICATES POST ABOVE, PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES & SCHEDULES



2ND FLOOR FRAMING PLAN

• IIIIIII INTERIOR BEARING WALL ● □===□ BEARING WALL ABOVE

ENGINEERED BEAM MATERIAL SCHEDULE

LSL OPTION

(2)13/4"x14" - F

(2)13/4"x14" - F

(2)13/4"x14" - F

'2)13¼"×1136" - H con

N/A

(2)13/4"x14" - F

(2)13/4"×111/6" - D

(2)134"×94" - F

(2)13/4"x14" - F

(2)13/4"×14" - F

(2)134"x1136" - D

- 'HD' INDICATED FLUSH BOTTOM BEAM
- 'PJ' INDICATES PROPPED BEAM
- 'HI' INDICATES DROPPED OPENING HEADER
REFER TO DETAIL D/5D2.0 FOR TYPICAL FLITCH BEAM CONNECTIONS
REFER TO DETAIL E/5D2.0 FOR TYPICAL STELL BEAM CONNECTIONS
FOR FLUSH TOP BEAMS PROVIDE 2X STACKED PLATES BENEATH BEAM AS REQ'D. FASTEN

FOR FLUSH BOTTOM BEAMS PROVIDE 2X STACKED PLATES ATOP BEAM AS REQ'D. FASTEN PLATES IN SUCCESSION w/ (2) 3"X0.120" NAILS • 8" O.C.

LVL OPTION

(2)13/4"×14" - F

(2)13/4"×14" - F

(3)194"x18" - FB *o*r (2)194"x20" - FB

(2)13/4"×14" - F

2)13/4"×11%" - H cont.

3)13/4"x14" - H cont.

(I)I3/4"×I4" - F

(2)13/4"×11%" - D

2)194"×16" - H cont.

(2)134"×944" - F

(2)13/4"×14" - F

(2)13/4"×14" - F

(2)13/4"x117/6" - D

BEAM NOTATION: - "F" INDICATES FLUSH BEAM - "FT" INDICATES FLUSH TOP BEAM - "FB" INDICATES FLUSH BOTTOM BEAM

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PSL OPTION

3½"xl4" - F

5¼"xl8" - FB

3½"xl4" - F

3½"x11%" - H cont

51/4"x14" - H cont

3½"xl4" - F

3%"xII%" - D

3½"x16" - H cont.

3½"x9¼" - F

36"x|4" - F

3½"xl4" - F

3½"x11%" - D

PLATES IN SUCCESSION W (2) 3"X0,120" NAILS @ 8" O.C.

• BEAM / HEADER

S2.0

3/3/25

y

M&K project number:

126-2207

drawn by: JAD ssue date: 02-26-25

REVISIONS:

initial:

FARM AT NEIL'S CREEK
LOT 34 - DRAYTON 2
RALEIGH, NC

S3.0

REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES \$ SCHEDULES

LEGEND

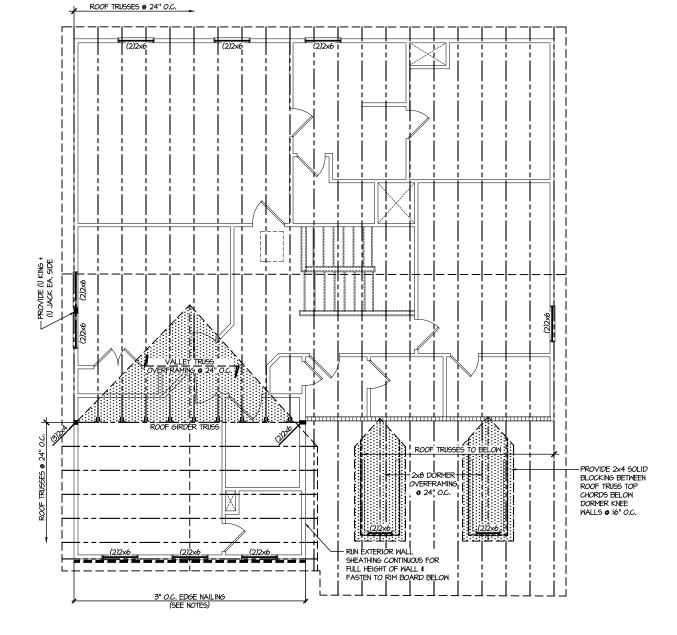
ullet = \blacksquare INDICATES SHEAR WALL & EXTENT

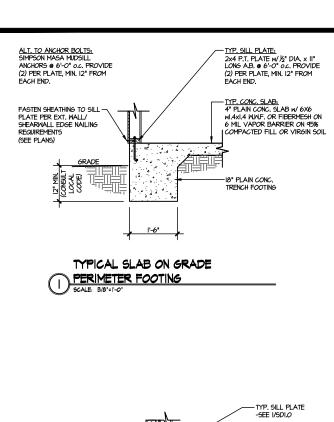
* INDICATES POST ABOVE, PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

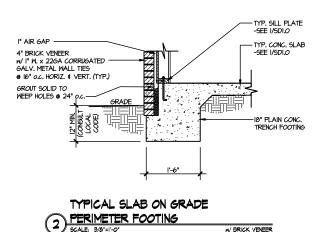
• IIIIII INTERIOR BEARING WALL ● □===□ BEARING WALL ABOVE • --- BEAM / HEADER

EXTENT OF OVERFRAMING

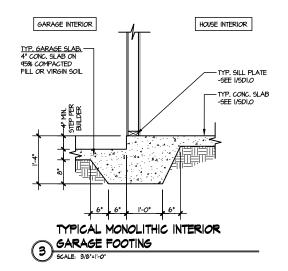
INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

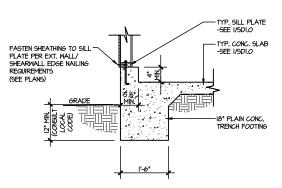




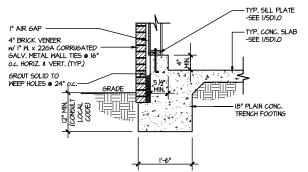


w/ BRICK VENEER

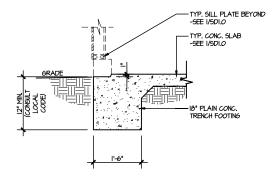




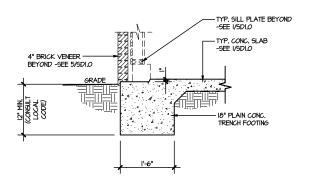




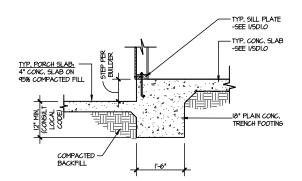




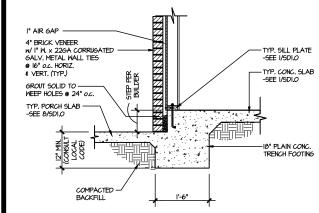




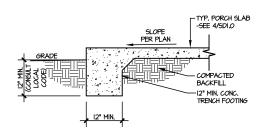
TYPICAL SLAB ON GRADE GARAGE PENTRY @ PERIMETER FOOTING



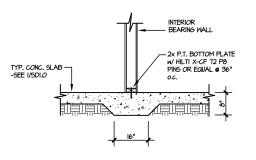
TYPICAL SLAB ON GRADE PERIMETER (8) FOOTING @ PORCH/PATIO



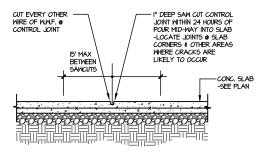




TYPICAL FOOTING @ PORCH SLAB



TYPICAL THICKENED SLAB @ INTERIOR BEARING WALL



A SCALE: 3/8"=1"-0" LOCATE @ 15'-O" o.c. MAX OR CORNERS WHERE CRACKS LIKELY TO DEVELOP

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.

OUNDATION DETAILS \triangleleft ARM

CREEK

NEIL'S

DRAYT

LOT

3/3/2

STRUCTURAL ENGINEER

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1&K project number 126-2207

ssue date: 02-26-25

JAI

initial:

frawn by:

REVISIONS:

CAR

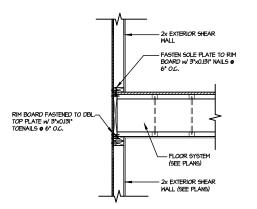
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ENGINE

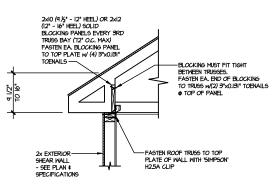
SEPH T. R

TYPICAL SHEAR

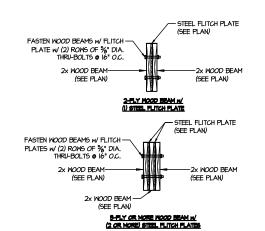
TRANSFER DETAIL @ ROOF
SCALE: 3/8"=1"-0" HEEL HEIGHT LESS THAN HEEL HEIGHT LESS THAN 9½" NO BLOCKING REQ'D



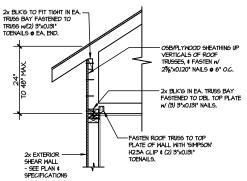
TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ EXTERIOR WALL
SCALE: 3/8"=1"-0"



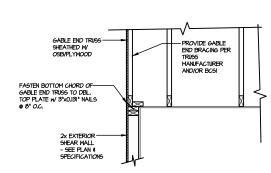
TYPICAL SHEAR TRANSFER DETAIL @ ROOF SCALE: 3/8"=1"-0" HEEL HEIGHT BETWEEN 9 1/2 HEEL HEIGHT BETWEEN 9½" - 16" BLOCKING REQ'D



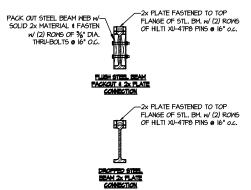
TYPICAL FLITCH BEAM CONNECTION DETAIL SCALE 544-1-0*



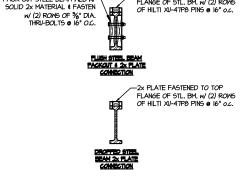
TYPICAL SHEAR TRANSFER DETAIL @ RAISED HEEL TRUSS



TYPICAL GABLE END DETAIL SCALE: 3/8°=1-0°



TYPICAL STEEL BEAM CONNECTION DETAIL SCALE 844-1-67



LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.

CREEK FARM AT NEIL'S CI AT NEI FARM LOT

3/3/2

MUCHERN+KULP RESIDENTIAL STRUCTURAL ENGINEERING SUBMISSIED AND STRUCTURAL ENGINEERING

Y

M&K project number: 126-2207

ssue date: 02-26-25

JAE

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REVISIONS:

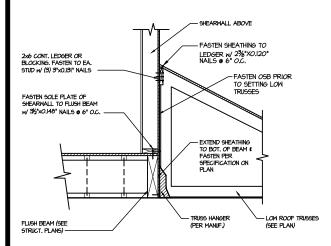
"H CAR

ENGINE

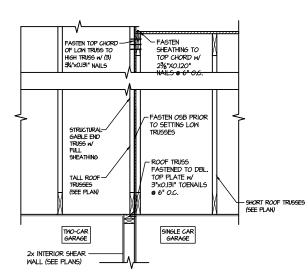
SEPH T. R

SD2.0

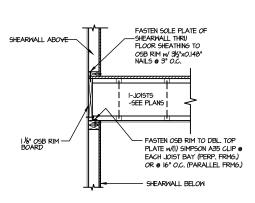
SHEAR TRANSFER DETAIL @ INTERIOR SHEARWALL BELOW SCALE: 9/4"=1"-0" PAR



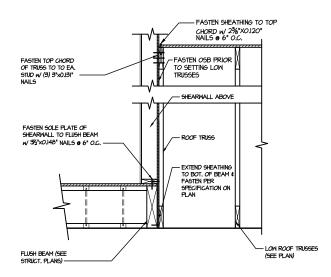
SHEAR TRANSFER DETAIL @ 5 EXTERIOR SHEARWALL ABOVE



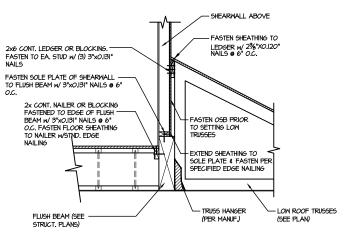
TYPICAL SHEAR TRANSFER DETAIL BETWEEN GARAGE BAYS



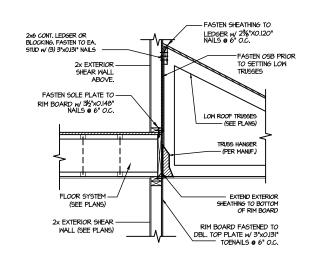
SHEAR TRANSFER DETAIL @ INT. 2 SHEARWALL ABOVE & BELOW SCALE: 8/4"=1"-A"



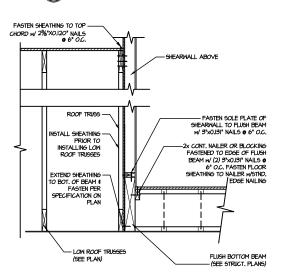
SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE



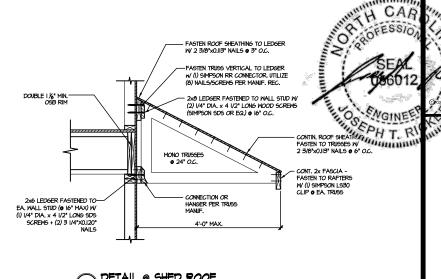
SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE

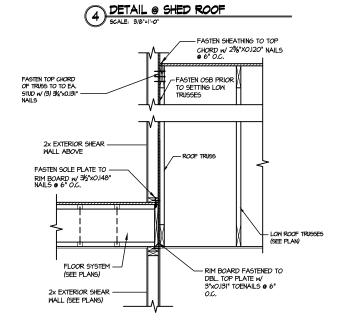


TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL



SHEAR TRANSFER DETAIL @ EXTERIOR SHEARMALL ABOVE





TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.

CREEK NEIL'S RAMING DETAIL AT I DRAYT ARM

3/3/2

STRUCTURAL ENGINEER

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1&K project number

REVISIONS:

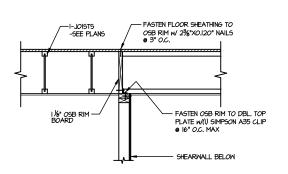
126-220

ssue date: 02-26-25

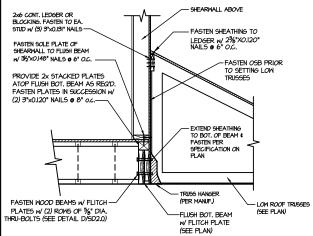
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LOT

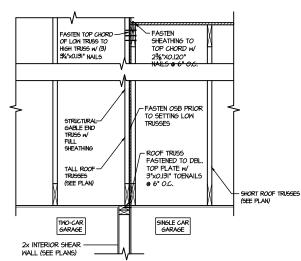
SD2.1A



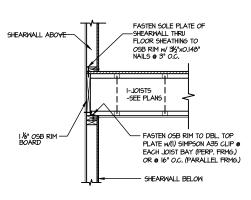
SHEAR TRANSFER DETAIL @ INTERIOR SHEARWALL BELOW SCALE: 3/4'=1'-0' PAR



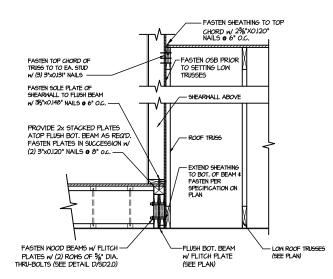
SHEAR TRANSFER DETAIL @ 5 EXTERIOR SHEARWALL ABOVE



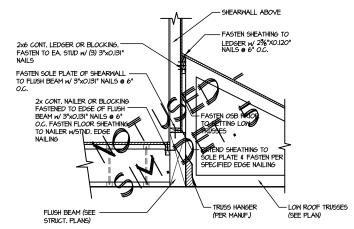
TYPICAL SHEAR TRANSFER DETAIL BETWEEN GARAGE BAYS



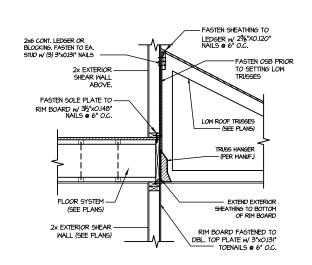
SHEAR TRANSFER DETAIL @ INT. 2 SHEARWALL ABOVE & BELOW SCALE: 3/4'=1'-0'



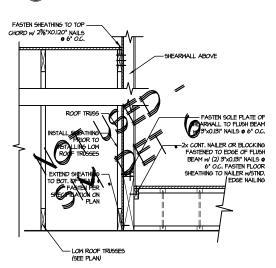
SHEAR TRANSFER DETAIL @ 6 EXTERIOR SHEARWALL ABOVE



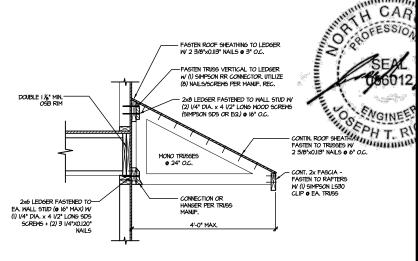
SHEAR TRANSFER DETAIL @ SCALE: 3/4'=1'-0"



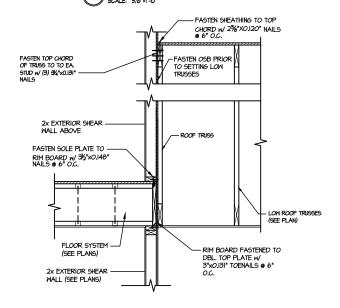
TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL



SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE



DETAIL @ SHED ROOF
SCALE: 3/8"=1"-0"



TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL

SCALE: 3/4':1'-0'

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

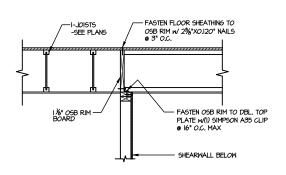
NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.

STRUCTURAL ENGINEER $\mathbf{\Sigma}^{\mathbf{g}}$ Y 1&K project number 126-220 ssue date: 02-26-25 REVISIONS: initial:

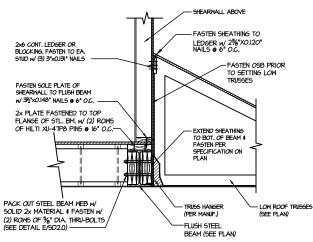
3/3/2

CREEK NEIL'S RAMING D AT I DRAYT ARM LOT

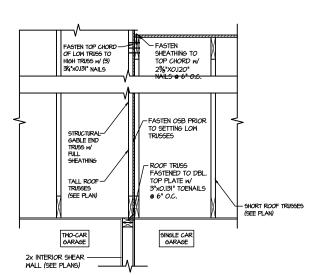
SD2.1B



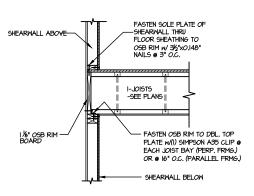
SHEAR TRANSFER DETAIL @ INTERIOR SHEARMALL BELOW



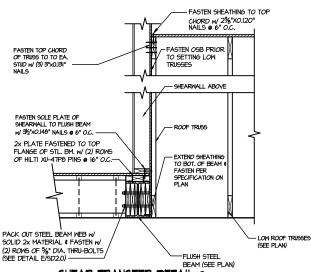




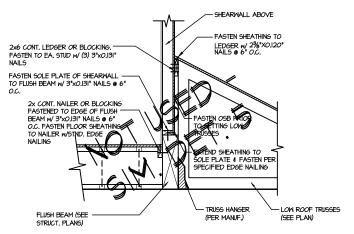
TYPICAL SHEAR TRANSFER DETAIL BETWEEN GARAGE BAYS BETALLIN SCALE: 3/4"=1"-0"



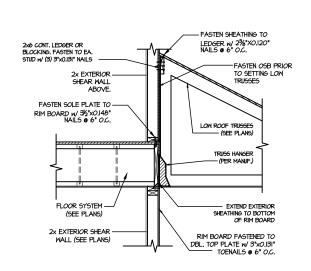
SHEAR TRANSFER DETAIL @ INT. 2 SHEARWALL ABOVE & BELOW



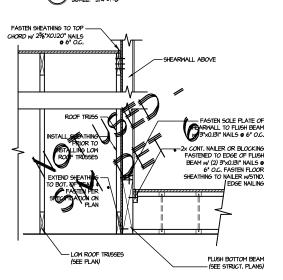
SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE



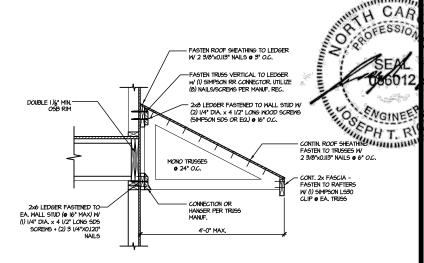
SHEAR TRANSFER DETAIL @ 3 EXTERIOR SHEARWALL ABOVE



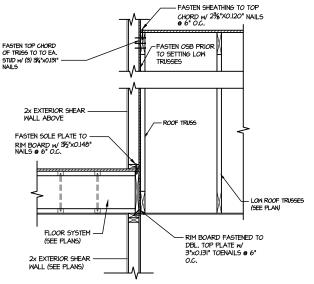
TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL



SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE SCALE SATISTY







TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.

STRUCTURAL ENGINEER $\mathbf{\Sigma}^{\mathbf{g}}$ Y 1&K project number

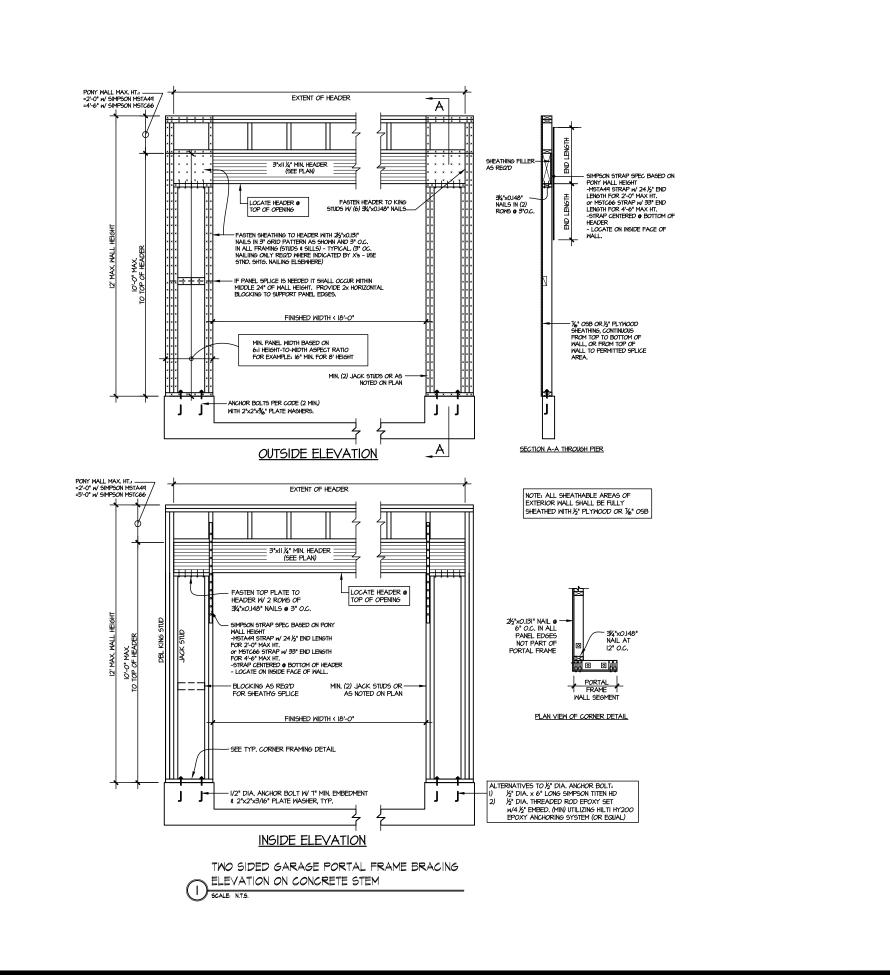
3/3/2

126-220 ssue date: 02-26-25 REVISIONS: initial:



CREEK NEIL'S RAMING D DRAYT \triangleleft ARM LOT

SD2.1C



3/3/25 CAR ENGINE OSEPH T. RI

MUCHERN+KULP ¥

M&K project number: 126-2207

drawn by: JAD ssue date: 02-26-25

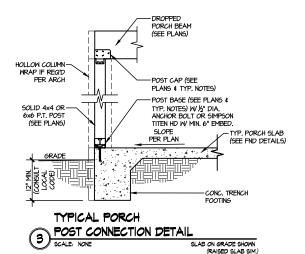
REVISIONS:

initial:

FRAMING DETAILS
FARM AT NEIL'S CREEK
LOT 34 - DRAYTON 2 LOT

SD2.2





FRAMING DETAILS
FARM AT NEIL'S CREEK
LOT 34 - DRAYTON 2

M&K project number:

REVISIONS:

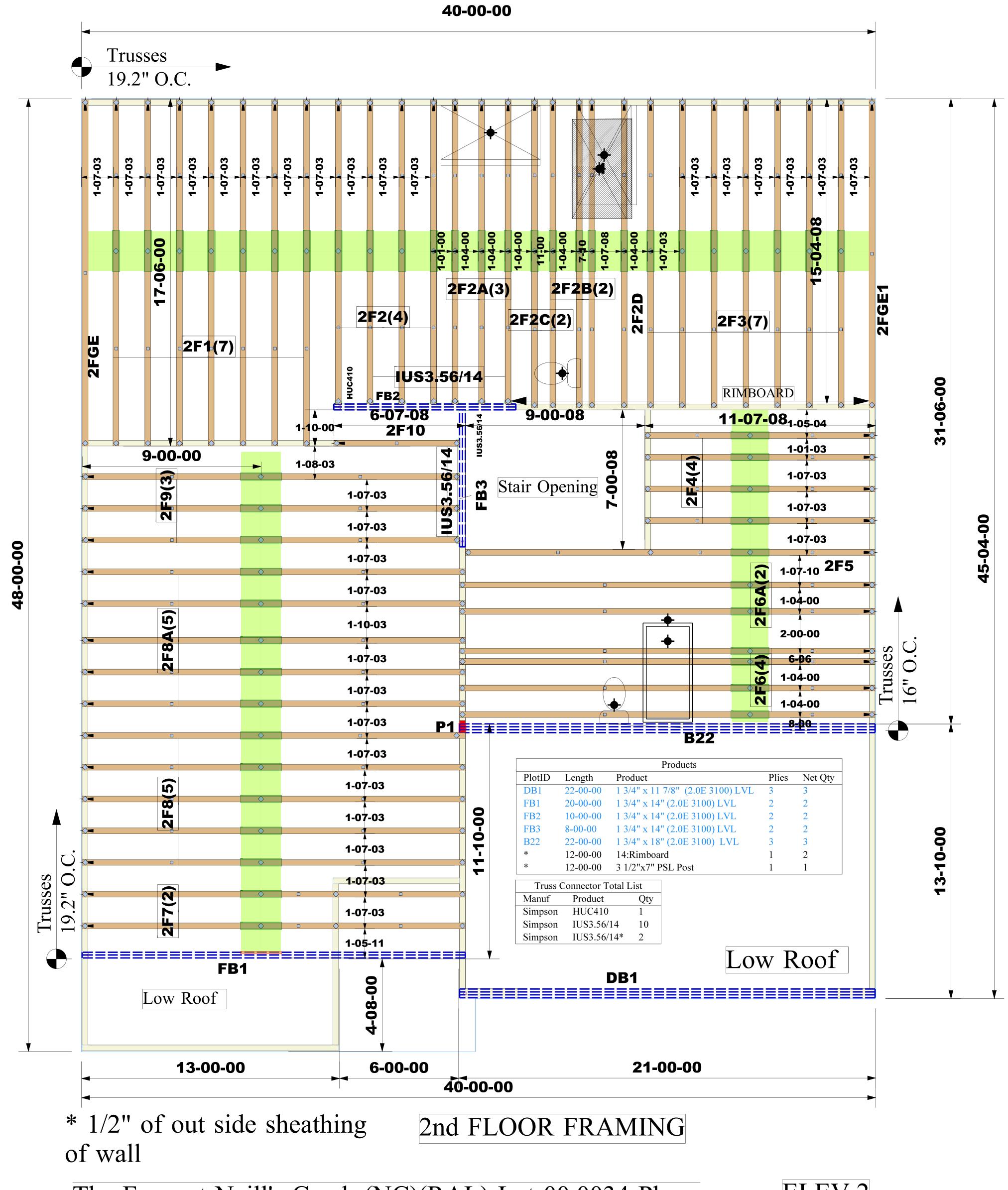
126-2207

drawn by: JAD issue date: 02-26-25

initial:

sheet:

SD3.0

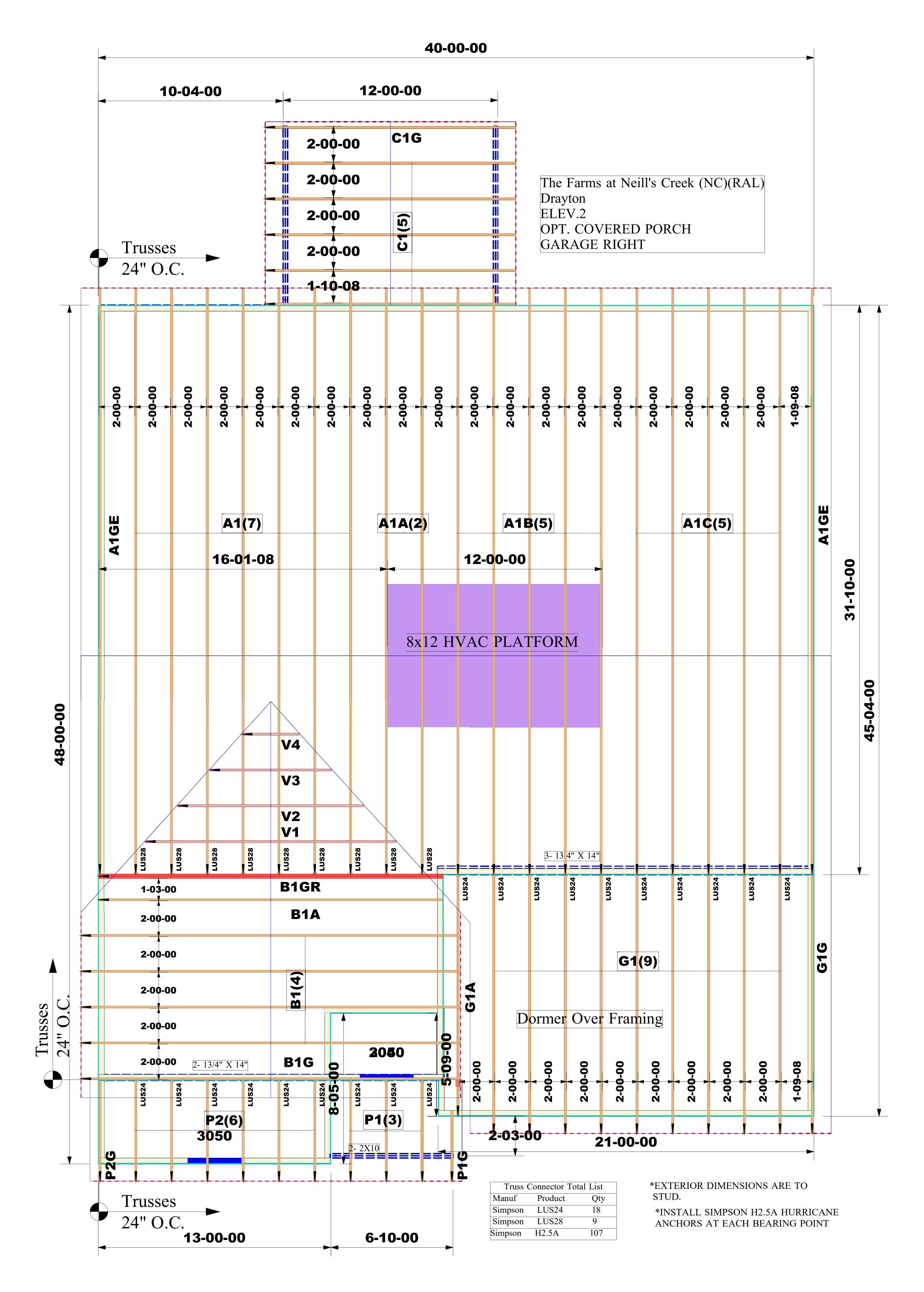


The Farm at Neill's Creek (NC)(RAL) Lot 00.0034 Phase Model-2695-1-Drayton Garage Right side

ELEV.2

Job #: 2502-2399	WARNING: CONVENTIONAL FRAMING, ERECTION AND/OR PERMANENT BRACING IS NOT THE RESPONSIBILITY OF THE TRUSS DESIGNER. PLATE MANUFACTURER. OR THE	NOTE: IT IS THE RESPONSIBILITY OF THE BUILDING DESIGNER OR ARCHITECT TO PROVIDE AN APPROPRIATE CONNECTION FOR TRUSSES TO	Customer: DRB Raleigh		
	TRUSS MANUFACTURER. PERSONS ERECTING TRUSSES ARE CAUTIONED TO SEEK PROFESSIONAL ADVICE REGARDING THE ERECTION BRACING WHICH IS ALWAYS REQUIRED TO PREVENT TOPPLING AND DOMINOING DURING ERECTION; AND PERMANENT BRACING WHICH MAY BE REQUIRED IN SPECIFIC	SUPPORTING STRUCTURE PER REACTIONS SHOWN	Job Name: The Farm at Neill's Creek	Third-Party Quality Assurance Licensee TPI Plant W974	
Designer: Sayan Roy Sales Rep:	APPLICATIONS. SEE "BRACING WOOD TRUSSES COMMENTARY AND RECOMMENDATIONS" (BCSI 1) FOR FURTHER INFORMAITON. TRUSSES SHALL BE INSTALLED IN A STRAIGHT AND PLUMB POSITION WHERE NO SHEATHING IS APPLIED DIRECTLY TO TOP AND/OR BOTTOM CHORDS. THEY	THIS COMPANY IS A TRUSS MANUFACTURER WHOSE RESPONSIBILITIES ARE LIMITED TO THOSE DESCRIBED IN WTCA 1-1995 "DESIGN RESPONSIBILITIES". ACCORDINGLY, IT DISCLAIMS ANY RESPONSIBILITIES AND/OR LIABILITY FOR THE CONSTRUCTIION DESIGN. DRAWINGS. DOCUMENTS	Lot #: Lot 00.0034	Structural, LLC 201 Poplar Avenue Thurmont, MD 21788	5
Sales Rep: Robbie Zarobinski	SHALL BE BRACED AS SPCIFIED ON THE ENGINEERED DESIGN. TRUSSES SHALL BE HANDLED WITH REASONABLE CARE DURING ERECTION TO PREVENT DAMAGE OR PERSONAL INJURY.	INCLUDING THE INSTALLATION, AND BRACING OF	Model Name: Drayton	Phone: 301-271-7591	

SCALE: NTS



ROOF FRAMING PLAN

