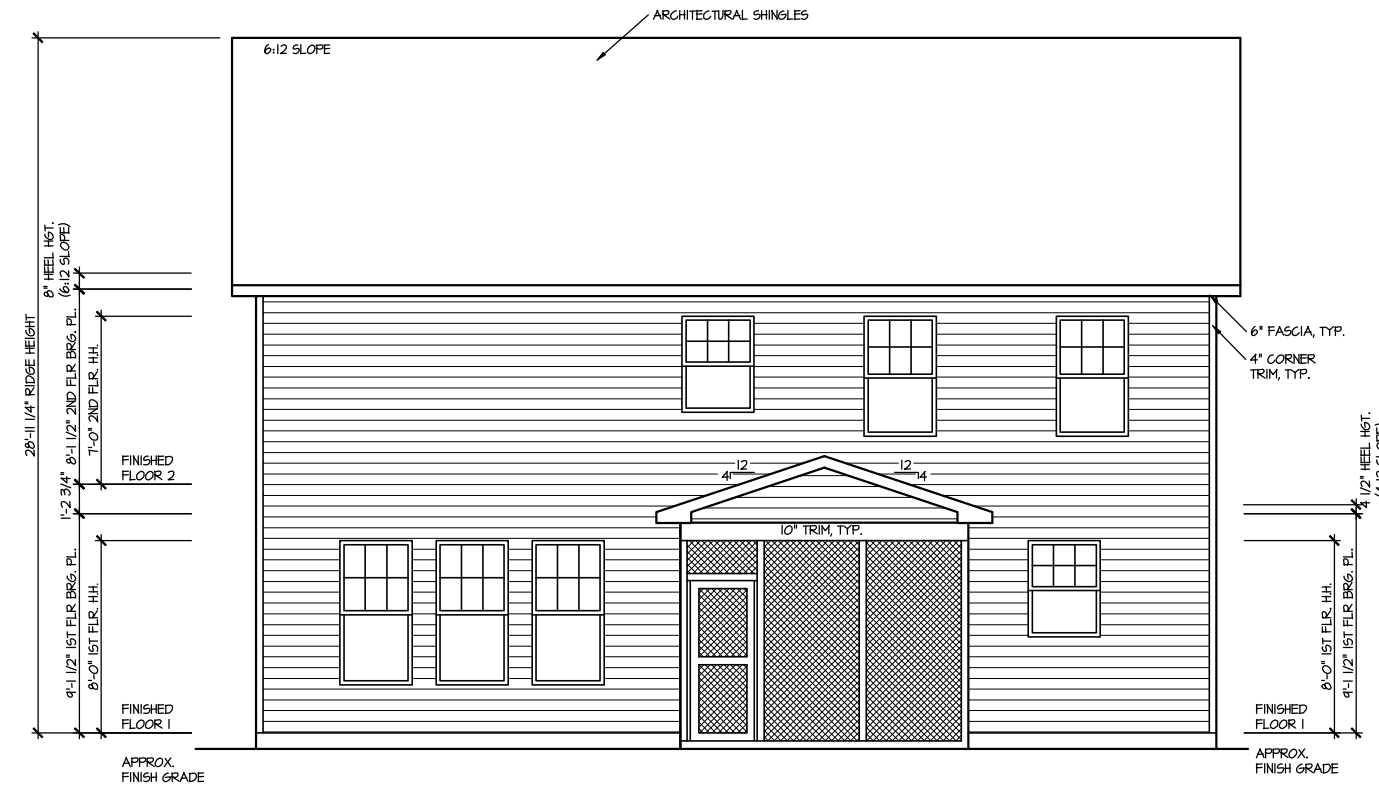


FRONT ELEVATION 2
SCALE: 1/8" = 1'-0"



REAR ELEVATION 2
SCALE: 1/8" = 1'-0"

FILE: Lot_00.0034.dwg DATE: 2/20/2025 1:30 PM

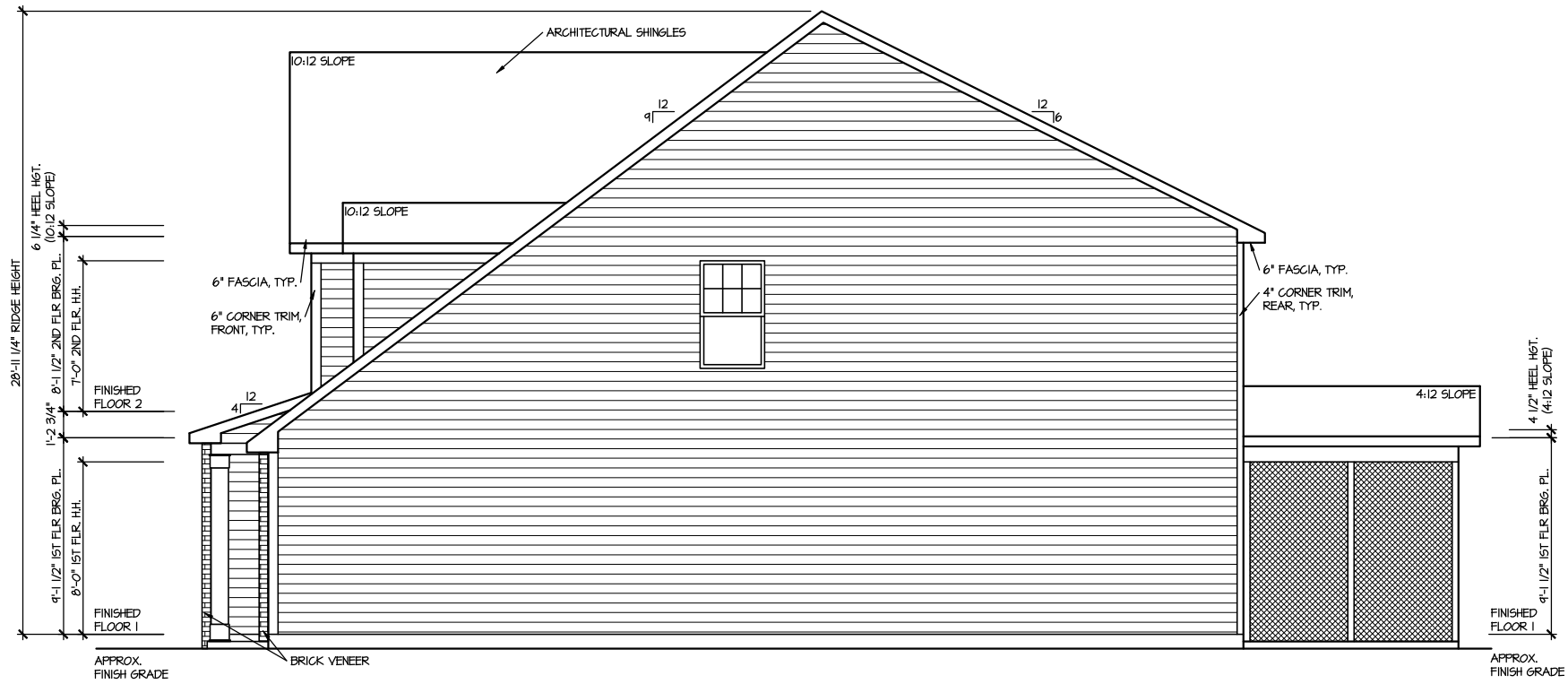
| MASTER PLAN INFORMATION | |
|-------------------------|--------------|
| REVISION | DATE |
| 2-RALE | 03-06-2019 |
| | UPDATED DATE |
| | 04-26-2024 |

| | |
|-----------|------------|
| DRAWN BY: | ITS |
| DATE: | 02/20/2025 |
| PLAN NO. | 2695 |



HOUSE NAME:
DRAYTON
DRAWING TITLE
FRONT & REAR ELEVATIONS

SHEET No.
A.1



RIGHT ELEVATION 2

SCALE: 1/8" = 1'-0"



LEFT ELEVATION 2

SCALE: 1/8" = 1'-0"

FILE: Lot_00.0034.dwg DATE: 2/20/2025 1:30 PM

| MASTER PLAN INFORMATION | |
|-------------------------|--------------|
| REVISION | DATE |
| 2-RALE | 03-06-2019 |
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| | 04-26-2024 |

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|-----------|------------|
| DRAWN BY: | ITS |
| DATE: | 02/20/2025 |
| PLAN NO. | 2695 |

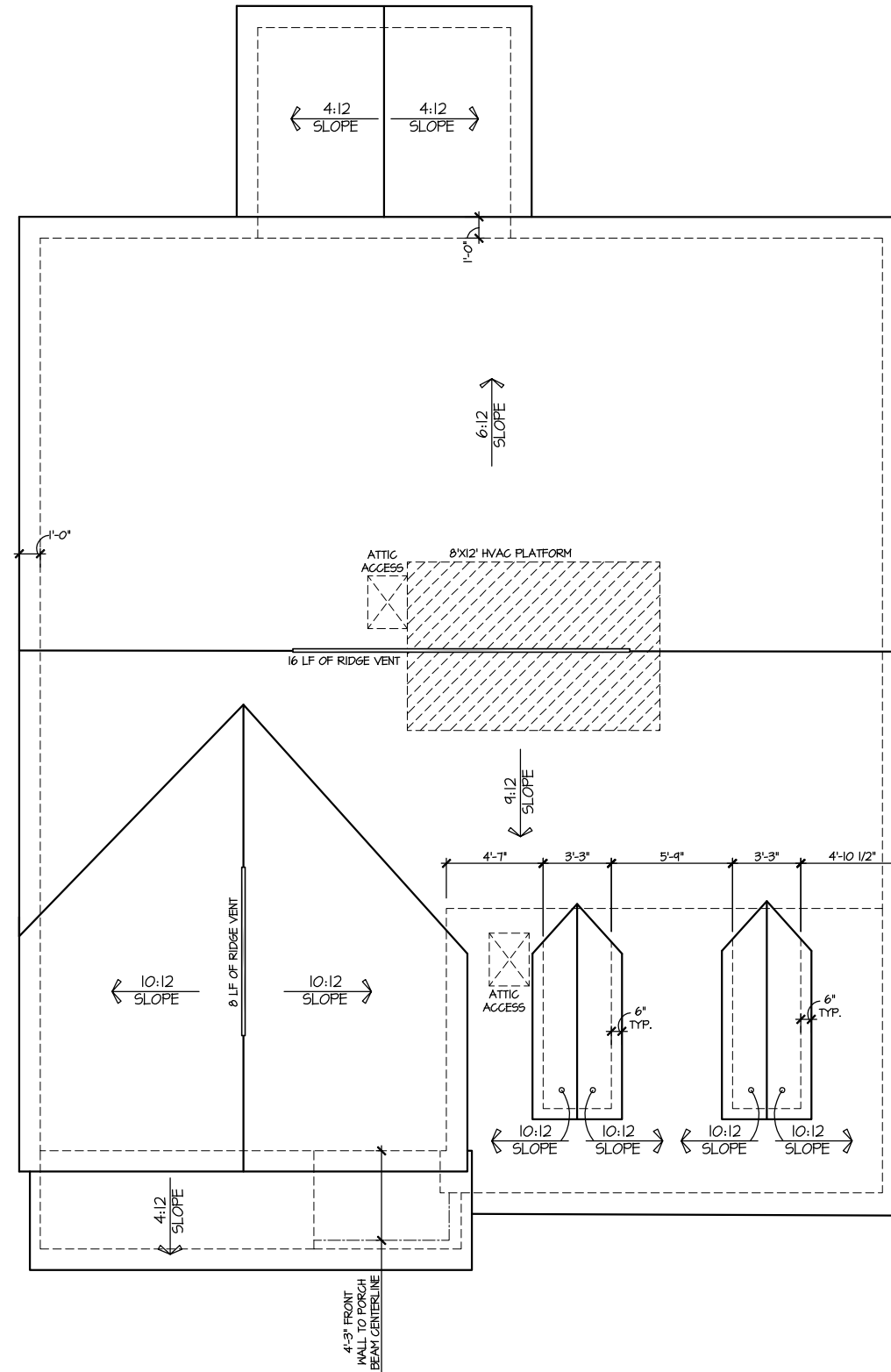


HOUSE NAME:
DRAYTON
DRAWING TITLE
RIGHT & LEFT ELEVATIONS

SHEET No.
A.2

ROOF VENTILATION CALCULATIONS:

ROOF AREA = 1775 SQ. FT.
OVERALL REQUIRED VENTILATION:
 1 TO 150 = 11.83 SQ. FT.
 1 TO 300 = 5.92 SQ. FT.
 50-80% IN TOP THIRD = 2.96- 4.66 FT. (1 TO 300)
 NET FREE AREA OF VENTED SOFFIT = 5.7 SQ. IN / LINEAR FT.
 NET FREE AREA OF RIDGE VENT = 18 SQ. IN / LINEAR FT.
LOWER VENTING (BOTTOM 2/3 RDS)
 75 LINEAR FEET OF SOFFIT X 5.7 SQ. IN. = 2.96 SQ. FT.
UPPER VENTING (TOP 1/3 RD)
 24 LINEAR FEET OF RIDGE X 18 SQ. IN. = 3 SQ. FT.
 3 SQ. FT. BETWEEN 50% - 80%
 (1 TO 300 ALLOWED)
TOTAL ROOF VENTILATION: 5.96 SQ. FT. > 4.66 SQ. FT. (REQ'D)



ROOF PLAN ELEV. 2

SCALE: 1/8" = 1'-0"

FILE: Lot_00.0034.dwg DATE: 2/20/2025 1:30 PM

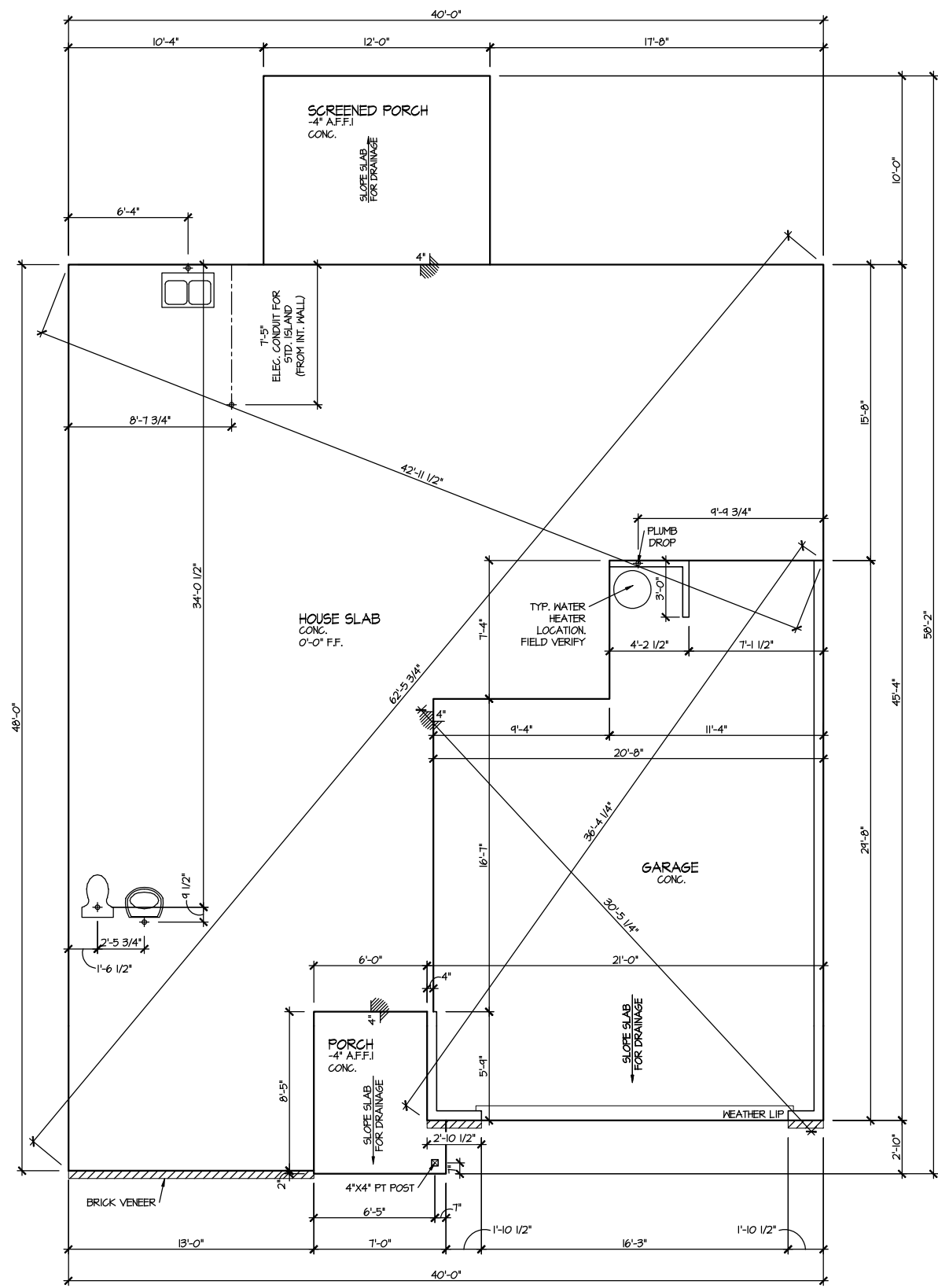
| MASTER PLAN INFORMATION | |
|-------------------------|--------------|
| REVISION | DATE |
| 2-RALE | 03-06-2019 |
| | UPDATED DATE |
| | 04-26-2024 |

| | |
|-----------|------------|
| DRAWN BY: | ITS |
| DATE: | 02/20/2025 |
| PLAN NO. | 2695 |



HOUSE NAME:
DRAYTON
 DRAWING TITLE
ROOF PLAN

SHEET No.
A.3



**ELEVATION 2
SLAB PLAN**
SCALE: 1/8" = 1'-0"

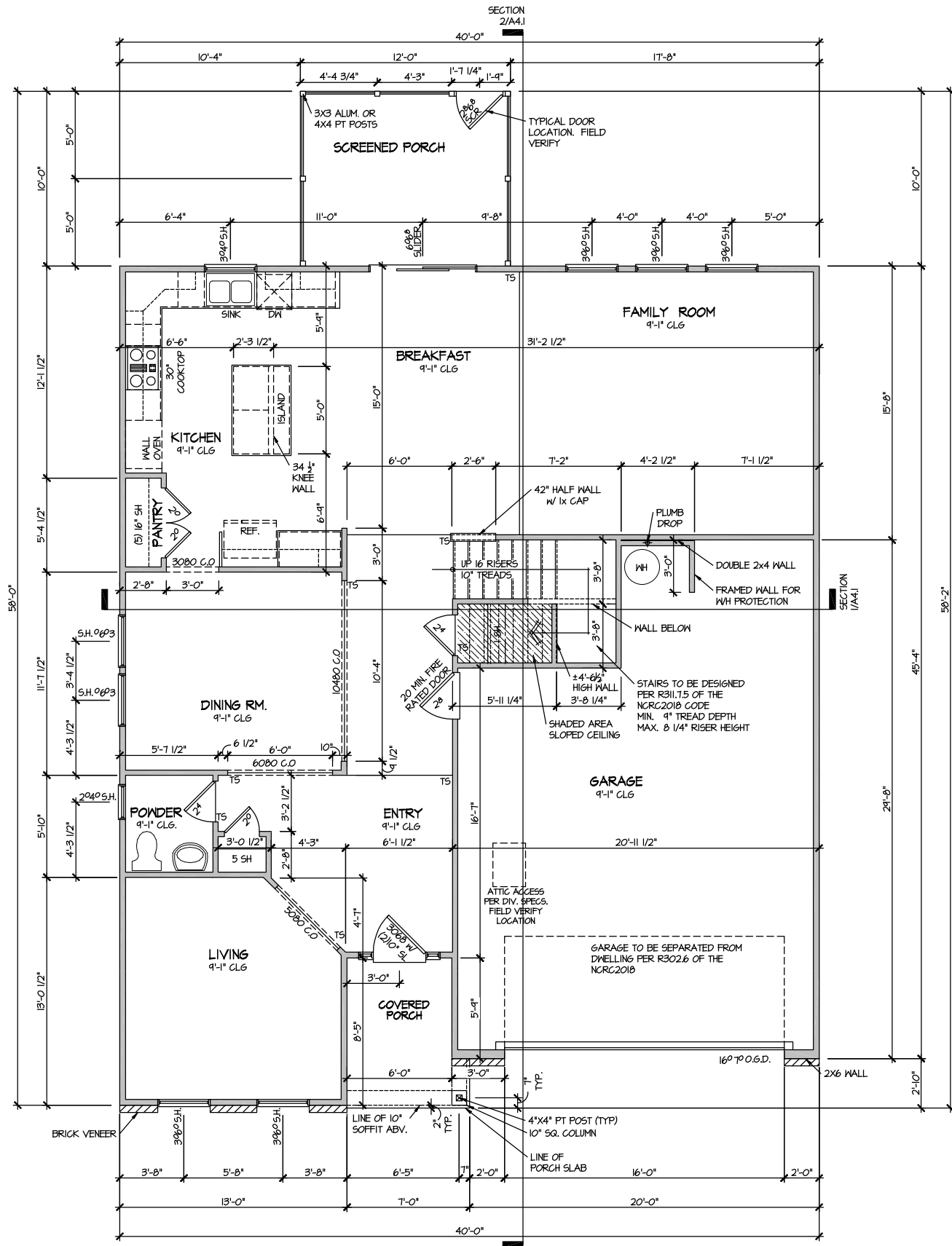
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|-------------------------|--------------|
| REVISION | DATE |
| 2-RALE | 03-06-2019 |
| | UPDATED DATE |
| | 04-26-2024 |

| | |
|-----------|------------|
| DRAWN BY: | ITS |
| DATE: | 02/20/2025 |
| PLAN NO. | 2695 |



HOUSE NAME:
DRAYTON
DRAWING TITLE
SLAB PLAN

SHEET No.
A2.1



ELEVATION 2
FIRST FLOOR PLAN

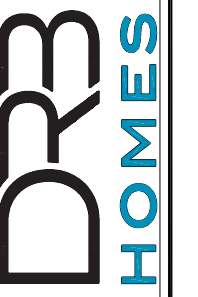
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FILE: Lot_00.0034.dwg DATE: 2/20/2025 1:30 PM

MASTER PLAN INFORMATION
DATE: 03-06-2019
REVISION: 2-RALE

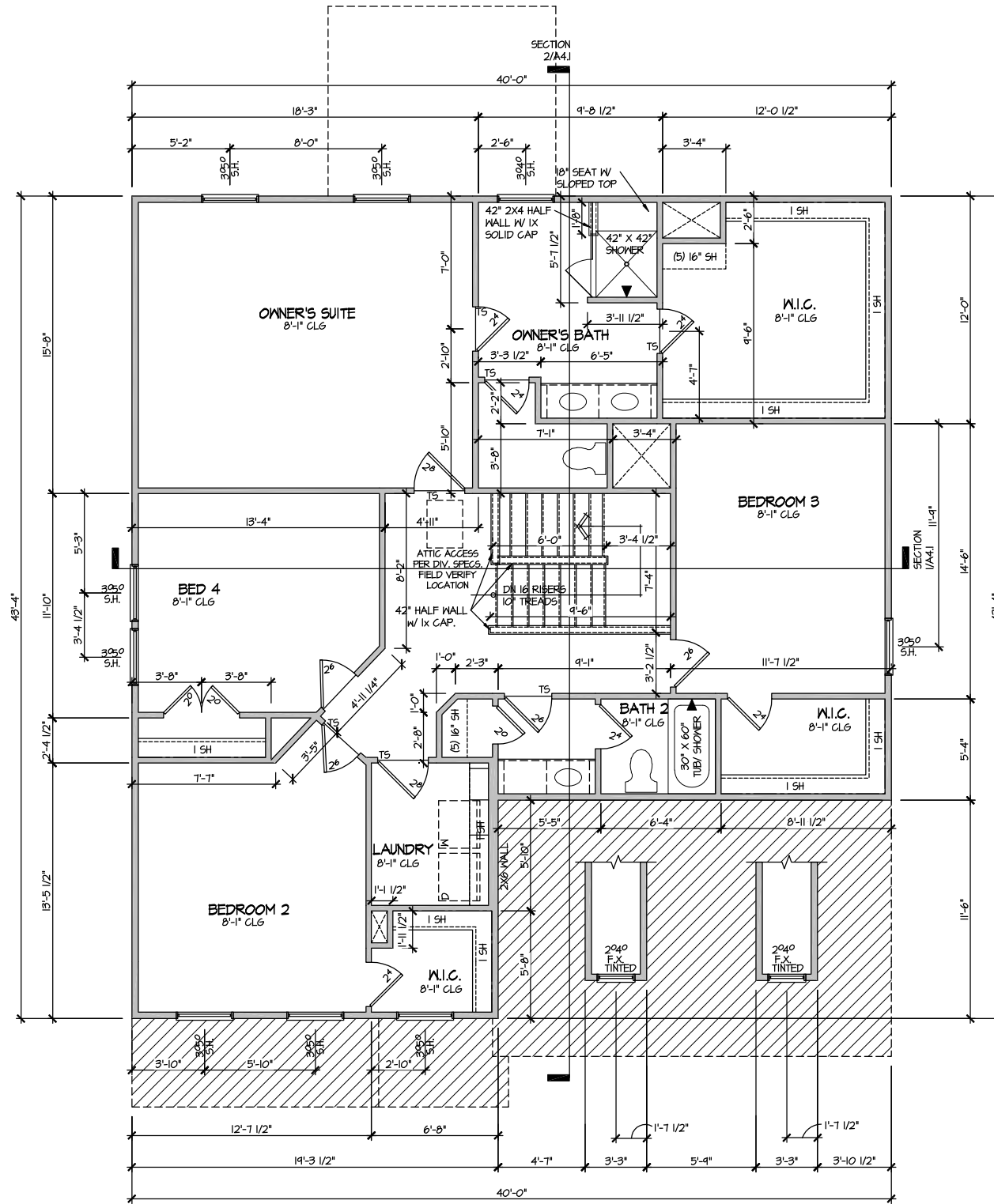
UPDATED DATE: 04-26-2024

DRAWN BY: ITS
DATE: 02/20/2025
PLAN NO.: 2695



HOUSE NAME: DRAYTON
DRAWING TITLE: FIRST FLOOR PLAN

SHEET No. A3.1



ELEVATION 2
SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

FILE: Lot_00.0034.dwg DATE: 2/20/2025 1:30 PM

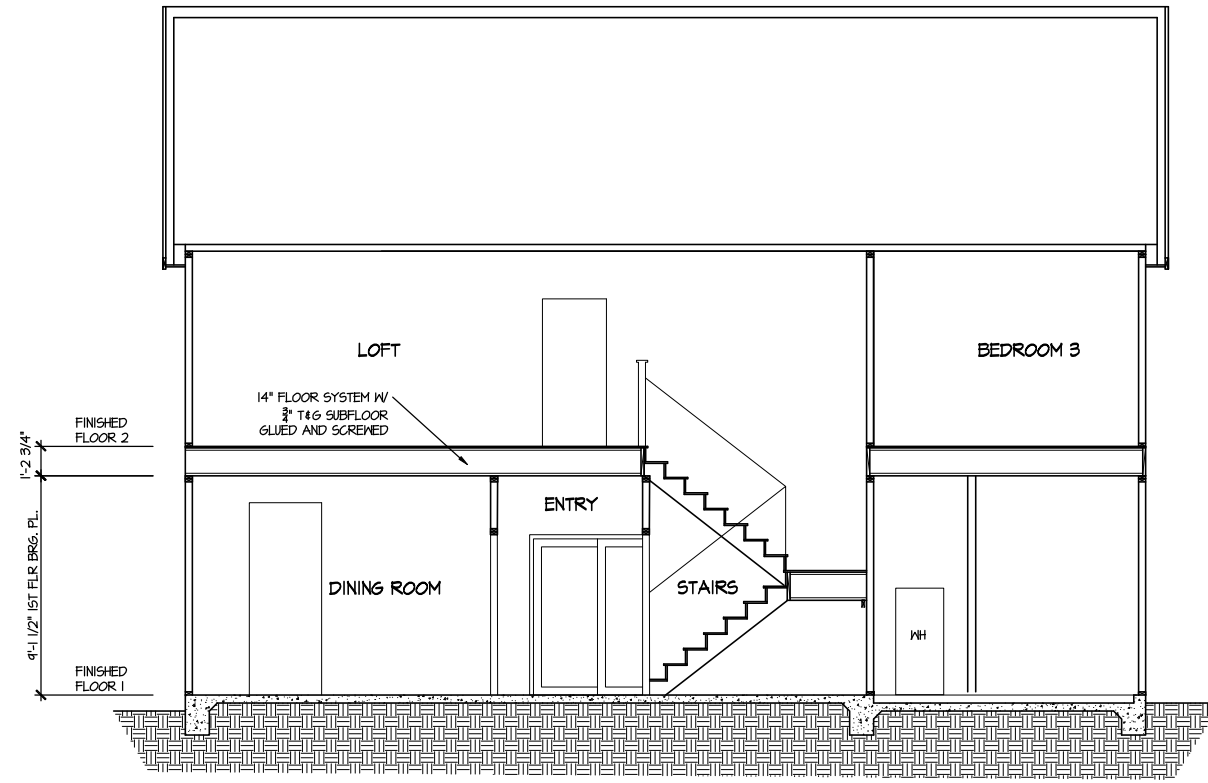
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|-------------------------|------------|
| REVISION | DATE |
| 2-RALE | 03-06-2019 |
| UPDATED DATE | 04-26-2024 |

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| DRAWN BY: | ITS |
| DATE: | 02/20/2025 |
| PLAN NO. | 2695 |

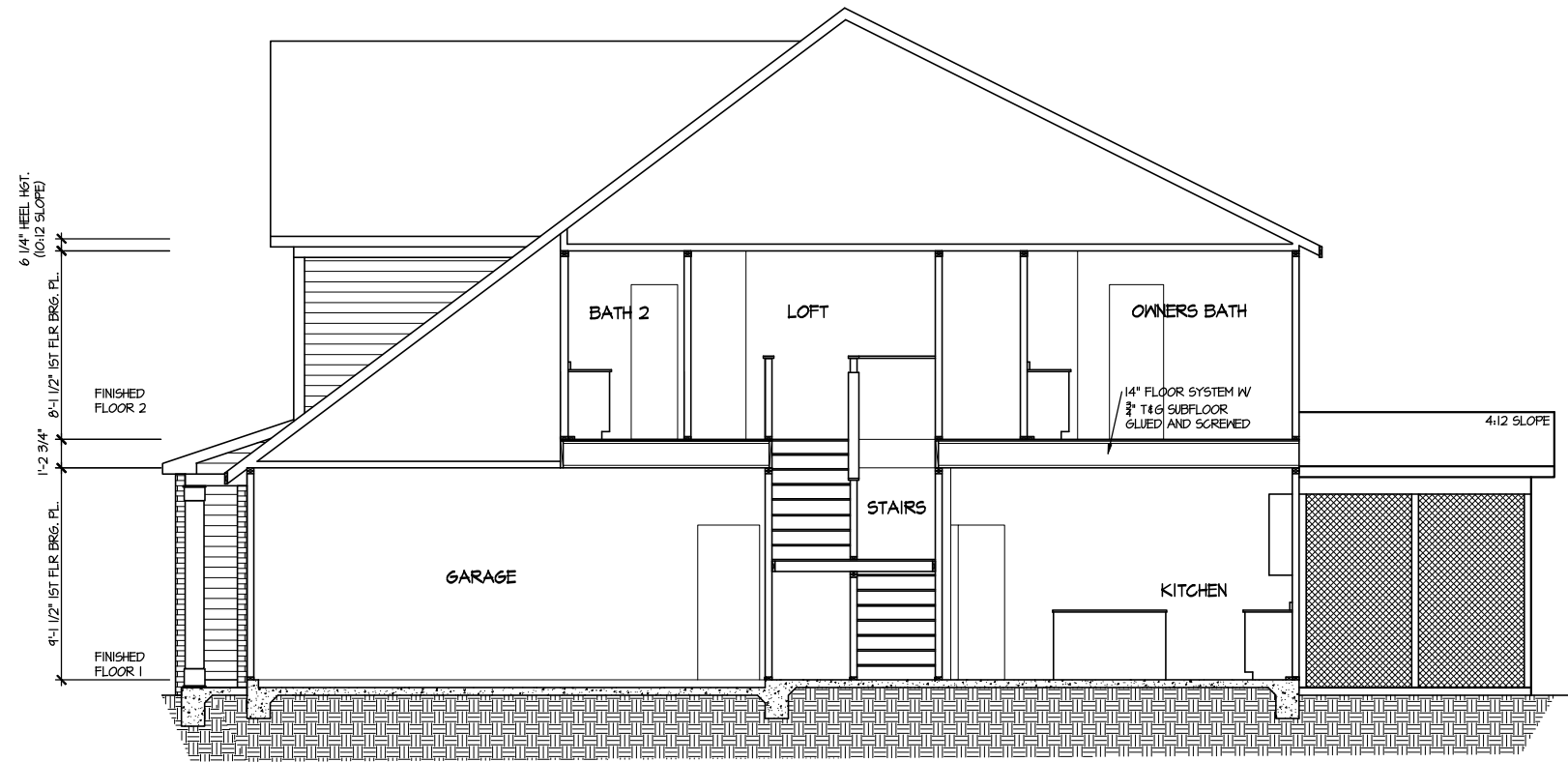


| | |
|---------------|-------------------|
| HOUSE NAME: | DRAYTON |
| DRAWING TITLE | SECOND FLOOR PLAN |

| | |
|-----------|------|
| SHEET No. | A3.2 |
|-----------|------|



SECTION 1
SCALE: 1/8" = 1'-0"



SECTION 2
SCALE: 1/8" = 1'-0"

FILE: Lot_00.0034.dwg DATE: 2/20/2025 1:30 PM

| MASTER PLAN INFORMATION | |
|-------------------------|--------------|
| REVISION | DATE |
| 2-RALE | 03-06-2019 |
| | UPDATED DATE |
| | 04-26-2024 |

| | |
|-----------|------------|
| DRAWN BY: | ITS |
| DATE: | 02/20/2025 |
| PLAN NO. | 2695 |



HOUSE NAME:
DRAYTON

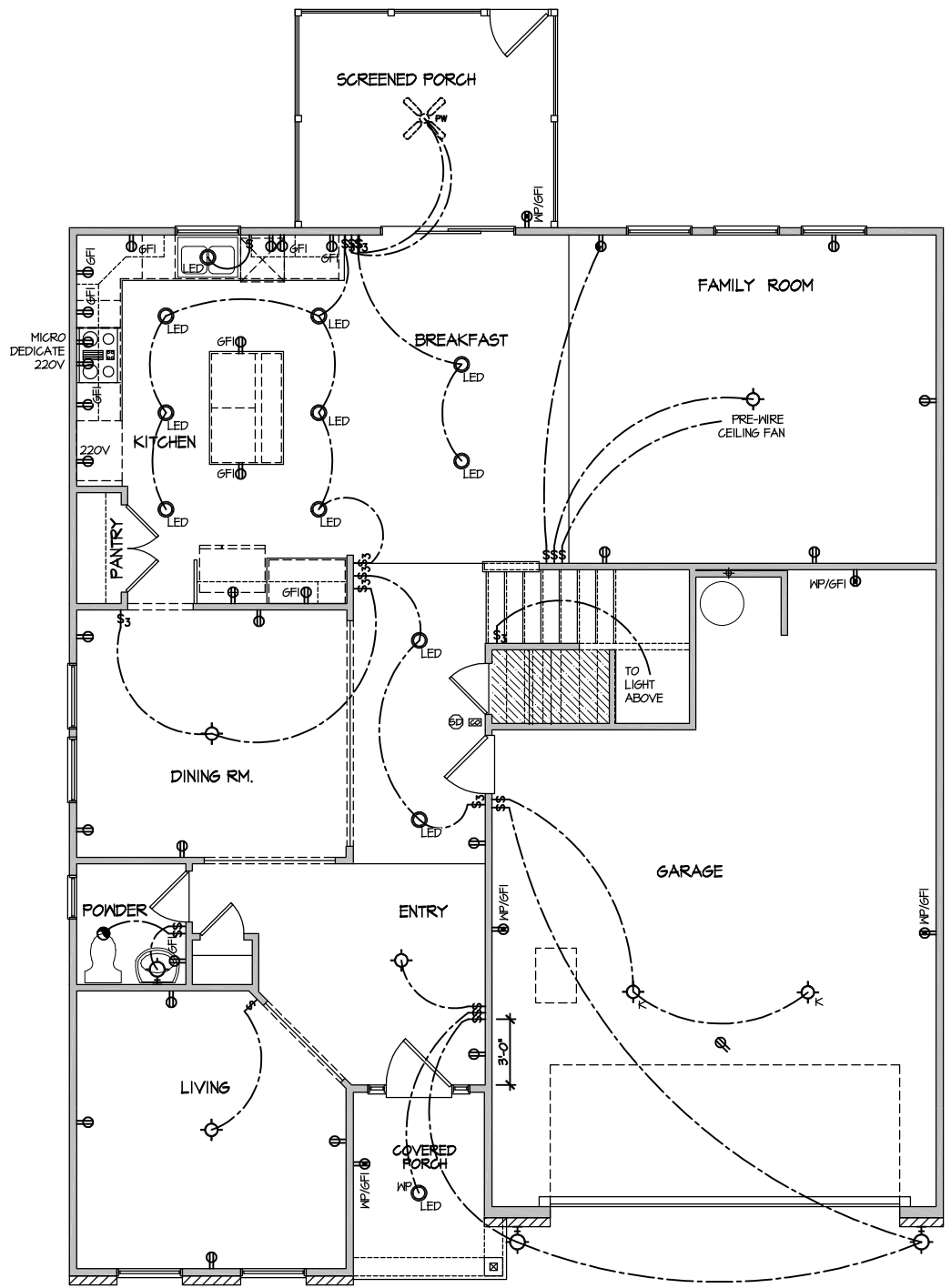
DRAWING TITLE
BUILDING SECTION

SHEET No.
A4.1

ELECTRICAL LEGEND

- Ⓢ SINGLE POLE SWITCH
- Ⓢ₃ THREE WAY SWITCH
- Ⓢ₄ FOUR WAY SWITCH
- ⓈⓈ DUPLEX AFCI RECEPTACLE
- ⓈⓈ DUPLEX AFCI RECEPTACLE - BOTTOM HALF SWITCHED
- ⓈⓈ DUPLEX AFCI RECEPTACLE - FLOOR MOUNTED
- 220V Ⓢ RECEPTACLE - 220V
- GFI Ⓢ DUPLEX AFCI RECEPTACLE - GFI
- WP/GFI Ⓢ DUPLEX AFCI RECEPTACLE - WATERPROOF GFI
- ⓈⓈ SMOKE DETECTOR - WIRED IN SERIES
- Ⓢ EXHAUST FAN MOTOR
- Ⓢ CO DETECTOR
- Ⓢ DOOR CHIME
- Ⓢ LIGHT FIXTURE - WALL MOUNTED
- Ⓢ LIGHT FIXTURE - CEILING MOUNTED
- LED LIGHT FIXTURE - LED SURFACE MOUNTED
- Ⓢ_P FULLCHAIN LAMPHOLDER
- Ⓢ_K KEYLESS LAMPHOLDER

NOTE: ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE ADOPTED VERSION OF THE NATIONAL ELECTRICAL CODE, THE LOCAL POWER COMPANY AND TO ALL APPLICABLE LOCAL REGULATIONS.



ELECTRICAL PLAN
FIRST FLOOR - ELEV. 2
 SCALE: 1/8" = 1'-0"

FILE: Lot_00.0034.dwg DATE: 2/20/2025 1:30 PM

| MASTER PLAN INFORMATION | |
|-------------------------|------------|
| REVISION | DATE |
| 2-RALE | 03-06-2019 |
| UPDATED DATE | 04-26-2024 |

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|-----------|------------|
| DRAWN BY: | ITS |
| DATE: | 02/20/2025 |
| PLAN NO. | 2695 |

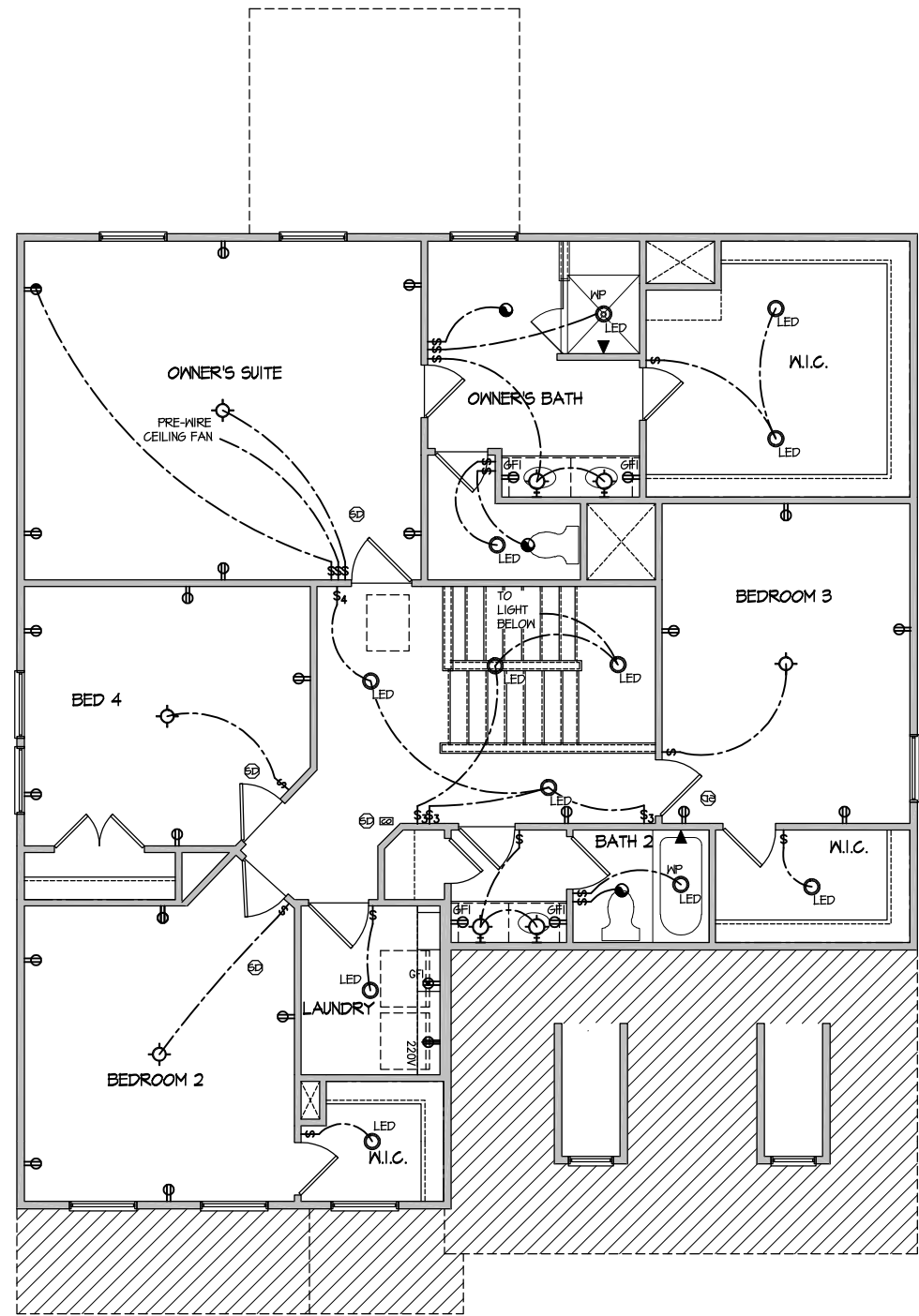


| | |
|---------------|------------------------|
| HOUSE NAME: | DRAYTON |
| DRAWING TITLE | FIRST FLOOR ELECTRICAL |

| | |
|-----------|---|
| SHEET No. | 1 |
|-----------|---|

| ELECTRICAL LEGEND | |
|-------------------|---|
| Ⓢ | SINGLE POLE SWITCH |
| Ⓢ ₃ | THREE WAY SWITCH |
| Ⓢ ₄ | FOUR WAY SWITCH |
| Ⓢ | DUPLEX AFCI RECEPTACLE |
| Ⓢ | DUPLEX AFCI RECEPTACLE - BOTTOM HALF SWITCHED |
| Ⓢ | DUPLEX AFCI RECEPTACLE - FLOOR MOUNTED |
| 220V | RECEPTACLE - 220V |
| GFI | DUPLEX AFCI RECEPTACLE - GFI |
| WP/GFI | DUPLEX AFCI RECEPTACLE - WATERPROOF GFI |
| SD | SMOKE DETECTOR - WIRED IN SERIES |
| Ⓢ | EXHAUST FAN MOTOR |
| Ⓢ | CO DETECTOR |
| Ⓢ | DOOR CHIME |
| Ⓢ | LIGHT FIXTURE - WALL MOUNTED |
| Ⓢ | LIGHT FIXTURE - CEILING MOUNTED |
| LED | LIGHT FIXTURE - LED SURFACE MOUNTED |
| Ⓢ _P | FULLCHAIN LAMPHOLDER |
| Ⓢ _K | KEYLESS LAMPHOLDER |

NOTE: ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE ADOPTED VERSION OF THE NATIONAL ELECTRICAL CODE, THE LOCAL POWER COMPANY AND TO ALL APPLICABLE LOCAL REGULATIONS.



ELECTRICAL PLAN
SECOND FLOOR - ELEV. 2
SCALE: 1/8" = 1'-0"

FILE: Lot_00.0034.dwg DATE: 2/20/2025 1:30 PM

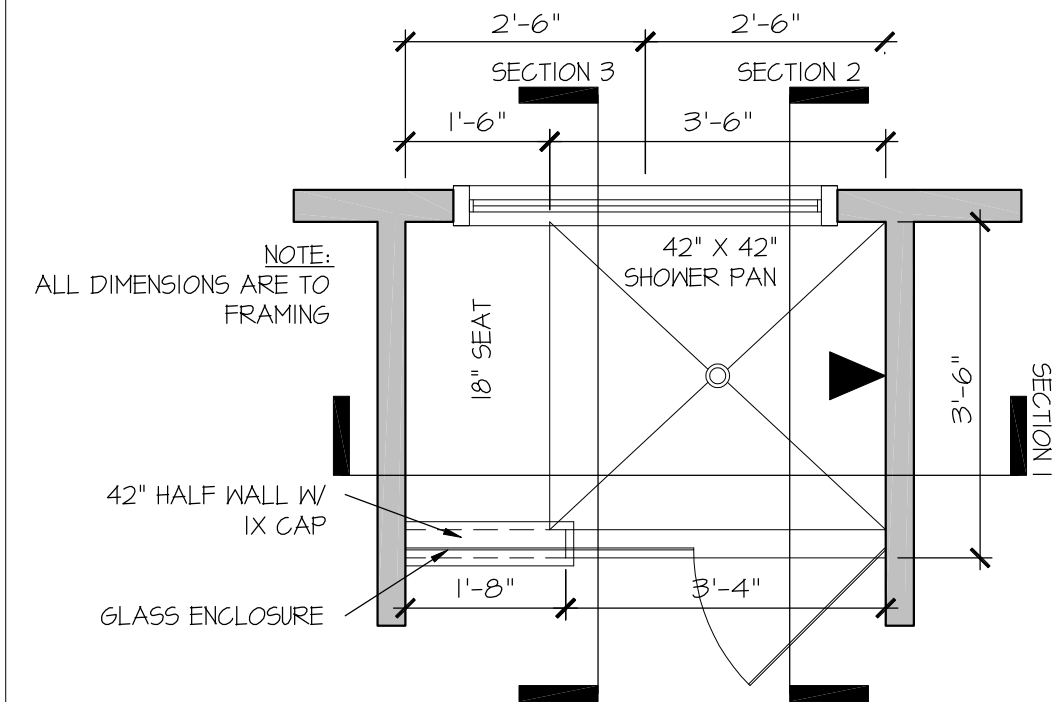
| MASTER PLAN INFORMATION | |
|-------------------------|------------|
| REVISION | DATE |
| 2-RALE | 03-06-2019 |
| UPDATED DATE | 04-26-2024 |

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|-----------|------------|
| DRAWN BY: | ITS |
| DATE: | 02/20/2025 |
| PLAN NO. | 2695 |

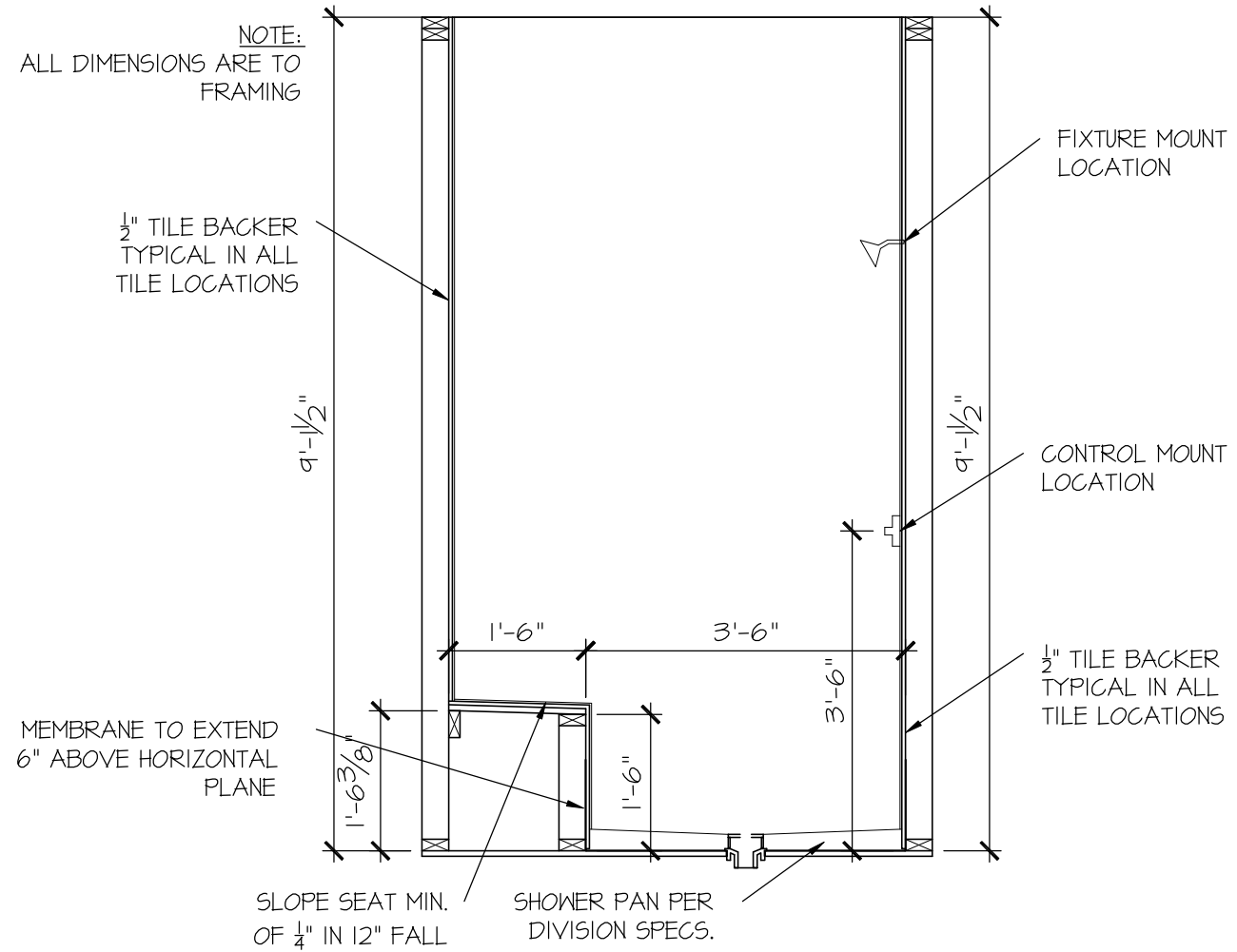


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|---------------|-------------------------|
| HOUSE NAME: | DRAYTON |
| DRAWING TITLE | SECOND FLOOR ELECTRICAL |

| | |
|-----------|-----|
| SHEET No. | 1.2 |
|-----------|-----|



RALE TILE SHOWER
42" X 42" W 18" SEAT
SCALE: 1/2" = 1'-0"



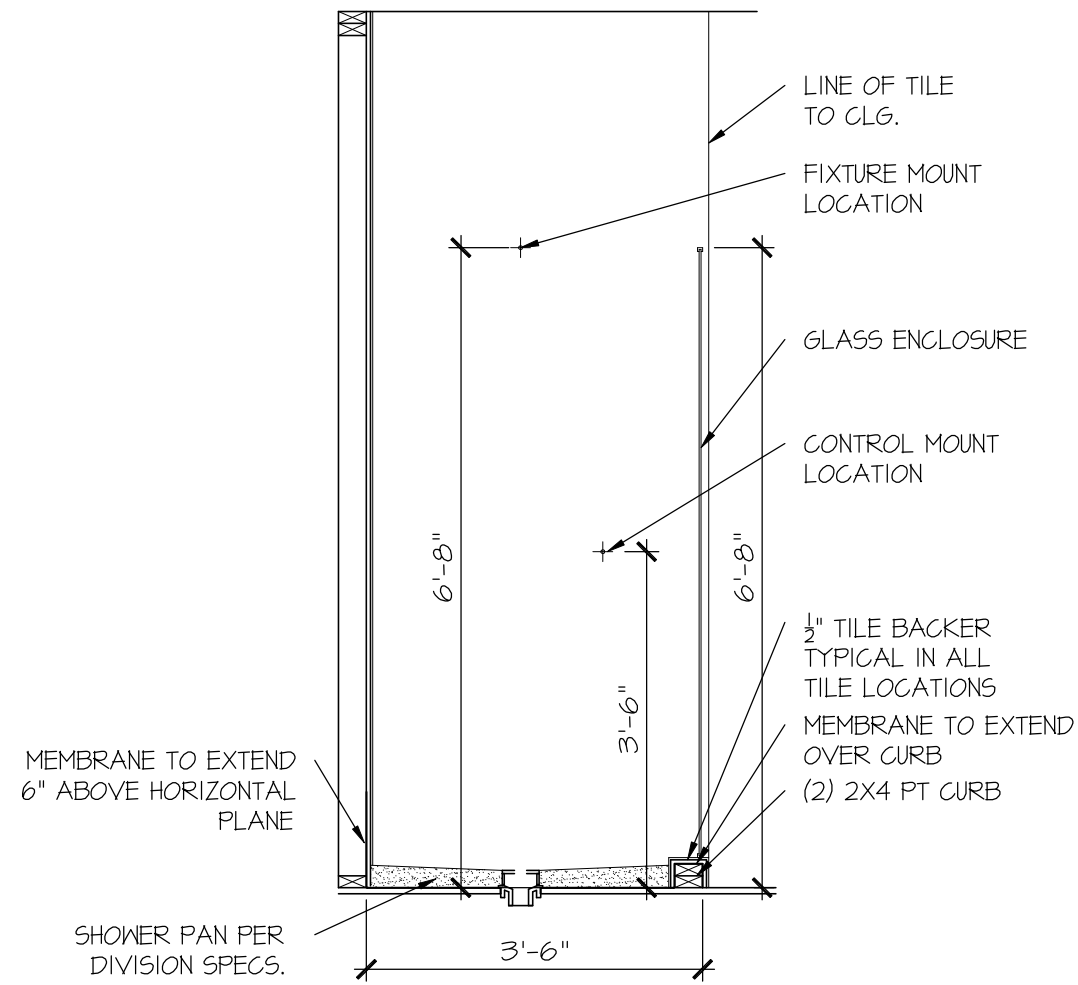
RALE TILE SHOWER
SECTION A
SCALE: 1/2" = 1'-0"

DRAWN BY:
L. BEAVERS
DATE: 9/1/22
PLAN NO.
11 X 17 SCALE
24 X 36 SCALE



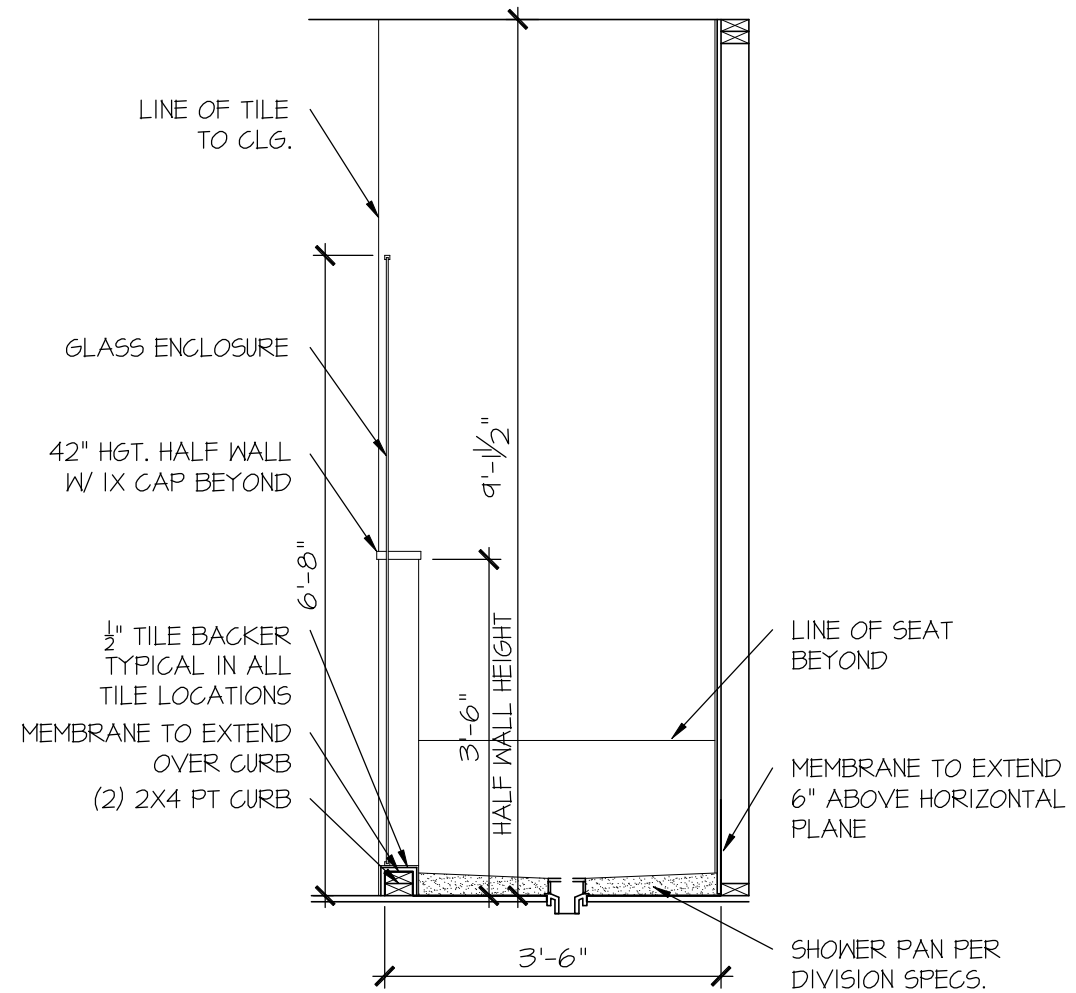
HOUSE NAME:
DRAWING TITLE
RALE TILE SHOWER DETAIL

SHEET No.
01.12



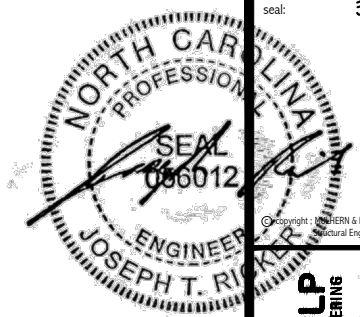
RALE TILE SHOWER SECTION B

SCALE: 1/2" = 1'-0"



RALE TILE SHOWER SECTION C

SCALE: 1/2" = 1'-0"



MULHERN+KULP RESIDENTIAL STRUCTURAL ENGINEERING 300 Beaverton Ave. Building 4 - Asheville, NC 28802



M&K project number: 126-22076

project mgr: JTR drawn by: JAD issue date: 02-26-25

REVISIONS: date: initial:



STRUCTURAL NOTES FARM AT NEIL'S CREEK LOT 34 - DRAYTON 2 RALEIGH, NC

sheet: SO.0

AREAS THAT MAY BE WITHIN CONTRACTUAL, INDUSTRY, OR WARRANTY TOLERANCES.

ADDITIONAL NOTES FOR TRUSS & I-JOIST MANUFACTURER

ROOF TRUSS, FLOOR TRUSS AND ENGINEERED JOISTS SHALL BE DESIGNED TO RESIST THE DIFFERENTIAL DEFLECTION CRITERIA BELOW, UNLESS NOTED OTHERWISE ON PLAN.

SD2.I REFERS TO SD2.IA FOR LVL/PSL/LSL BEAMS OR SD2.IB FOR FLITCH BEAMS OR SD2.IC FOR STEEL BEAMS

MEANS & METHODS NOTES

THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FINISHED AND ALL PLAN, DETAIL, AND NOTE SPECIFICATIONS HAVE BEEN COMPLETED.

STRUCTURAL DESIGN AND SPECIFICATIONS ASSUME THAT ALL SUPPORTING AND NON-SUPPORTING ELEMENTS IN CONTACT WITH FLOOR FRAMING ARE LEVEL.

VENEER LINTEL SCHEDULE

Table with 3 columns: SPAN (MAX), HEIGHT OF VENEER ABOVE LINTEL, STEEL ANGLE SIZE. Rows include 3'-0", 6'-0", 8'-0", 9'-6", and 16'-0" spans.

ALL LINTELS: < 16" SHALL HAVE 2 3/8" - 3 1/2" VENEER W/ 40 PSF MAXIMUM HEIGHT. < 16" SHALL HAVE 8" MIN. BEARING.

LATERAL BRACING & SHEAR WALL SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM: 120 MPH WIND IN 2018 NCSEB:RC

THE DESIGN WAS COMPLETED PER 2015 IBC (SECTION 1609) & ASCE 7-10, AS PERMITTED BY R3011.3 OF THE 2018 NCSEB:RC.

DESIGN WIND UPLIFT LOADS HAVE BEEN CALCULATED UTILIZING ASCE 7-10 (ACCEPTED ENGINEERING PRACTICE) AS ALLOWED PER 2018 NCSEB:RC SECTION R802.11.1.1.

EXT. WALL SHEATHING SPECIFICATION

7/16" OSB OR 15/32" PLYWOOD: FASTEN SHEATHING W/ 2 3/8"x0.131" NAILS @ 6" O.C. AT EDGES @ 12" O.C. IN THE PANEL FIELD.

BLOCKED PANEL EDGES

AT DESIGNATED AREAS - FASTEN SHEATHING W/ 2 3/8" x 0.131" NAILS @ 6" O.C. AT ALL PANEL EDGES AND 12" O.C. IN THE PANEL FIELD.

3" O.C. EDGE NAILING

AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING W/ 8d NAILS @ 3" O.C.

NOTES

SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING. IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN, IT WILL BE SPECIFICALLY NOTED ON PLAN.

FLOOR FRAMING

I-JOISTS/TRUSSES SHALL BE DESIGNED BY MANUF. TO MEET OR EXCEED L/480 LIVE LOAD DEFLECTION CRITERIA.

FLOOR SHEATHING SHALL BE 23/32" A.P.A. RATED 'STURD-I-FLOOR' 24" O.C. EXPOSURE 1 (OR APPROVED EQUAL) WITH TONGUE AND GROOVE EDGES.

ROOF FRAMING

BAY WINDOWS & SHED ROOFS (UP TO 6' SPAN) CAN BE 2x4 OR 2x6 RAFTERS & CEILING JOISTS @ 16/24" O.C.

FASTEN EACH ROOF TRUSS TO TOP PLATE W/ SIMPSON H2.5T CLIP (OR APPROVED EQUAL) @ ALL BEARING POINTS.

ERECT AND INSTALL ROOF TRUSSES PER MTC & TPI'S BC51 1-08 GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING & BRACING OF METAL PLATE CONNECTED WOOD TRUSSES.

ROOF SHEATHING SHALL BE 7/16" A.P.A. RATED SHEATHING 24/16 EXPOSURE 1 (OR APPROVED EQUAL). FASTEN TO FRAMING MEMBERS

ROOF SHEATHING SHALL BE 7/16" A.P.A. RATED SHEATHING 24/16 EXPOSURE 1 (OR APPROVED EQUAL). FASTEN TO FRAMING MEMBERS

HOLD-DOWN SCHEDULE

Table with 2 columns: SYMBOL, SPECIFICATION. Rows include HD-1 (SIMPSON HT14 HOLD-DOWN), HD-2 (SIMPSON MSTC66 STRAP TIE), and HD-3 (SIMPSON 5THD14/5THD14RJ).

UTILIZE THE 56T124 ANCHOR BOLT @ ALL MONOSLAB & INTERIOR RAISED SLAB (I.E. THICKENED SLABS, FOOTINGS) CONDITIONS.

LEGEND

- Interior bearing wall (dashed line), Bearing wall above (dotted line), Beam / Header (solid line), Indicates shear wall & extent (thick solid line), Extent of overframing (stippled area), Metal hanger (line with 'JL' label), Indicates post above, provide solid blocking under post or jamb above (line with square), Indicates hold-down or strap, refer to schedule (arrow symbol).

NON-BEARING HEADER SCHEDULE

Table with 3 columns: SPAN, 2x4 NON-BEARING PARTITION WALL, 2x6 NON-BEARING PARTITION WALL. Rows include spans from 3'-0" to 12'-0".

NOTES: ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 2x 'STUD' GRADE MEMBERS SPACED @ 24" O.C. (MAX).

GENERAL STRUCTURAL NOTES

DESIGN IS BASED ON 2018 NORTH CAROLINA STATE BUILDING CODE, RESIDENTIAL CODE.

DESIGN LOADS: ROOF DEAD = 7 PSF T.C., 10 PSF B.C. LIVE = 16 PSF LOAD DURATION FACTOR = 1.25

FLOOR LIVE = 40 PSF (30 PSF @ SLEEPING AREAS) DEAD = 10 PSF (I-JOISTS & SOLID SAWN) 10 PSF T.C., 5 PSF B.C. (TRUSSES) (ADDL. 10 PSF @ TILE)

LATERAL 120 MPH, EXPOSURE B. SEISMIC A/B. SOIL 2,000 PSF ASSUMED ALLOWABLE BEARING PRESSURE (TO BE VERIFIED BY BUILDER)

GENERAL FRAMING

ALL TYP. NAIL FASTENER REQUIREMENTS ARE NOTED IN STANDARD CONNECTIONS TABLE OR ON PLANS. ALL NAILS SPECIFIED ARE MIN DIAMETER AND LENGTH REQUIRED FOR CONNECTION.

REFER TO FASTENING SCHEDULE TABLE R602.3(1) FOR ALL CONNECTIONS, TYP. UNO.

EXT. & INT. BRG WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) @ 16" O.C. SFF OR SYP 'STUD' GRADE LUMBER, OR BETTER, UNO.

ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 2x 'STUD' GRADE MEMBERS SPACED @ 16" O.C. (MAX, UNO.)

ENGINEERED LUMBER BEAMS TO MEET OR EXCEED THE FOLLOWING: * LSL - Fb=2325 psi; Fv=310 psi; E=1.55x10^6 psi

M&K SHALL BE FULLY INDEMNIFIED FOR ANY AND ALL ISSUES RESULTING FROM OR RELATED TO ANY BUILDING COMPONENT IF THE OWNER DOES NOT SUBMIT THE COMPONENT SHOP DRAWINGS TO M&K FOR STRUCTURAL REVIEW PRIOR TO FABRICATION, DELIVERY, OR INSTALLATION.

FOR 2 & 3 PLY BEAMS OF EQUAL WIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF 3"x0.120" NAILS @ 8" O/C OR 2 ROWS 1/2"x3/8" SIMPSON SDS SCREWS (OR 3/8" TRUSSLOK SCREWS) @ 16" O/C.

FOR 4 PLY BEAMS OF EQUAL WIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF 1/2"x6" SIMPSON SDS SCREWS (OR 6 3/4" TRUSSLOK SCREWS) @ 16" O/C.

ALL HEADERS SHALL BE SUPPORTED BY (1)2x JACK STUD & (1)2x KING STUD, MINIMUM. - THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK STUDS REQUIRED, UNO.

ALL MULTI-PLY STUDS TO BE FASTENED TOGETHER W/ 3"x0.131" NAILS @ 24" O.C. (MIN), EACH PLY.

PROVIDE SOLID BLOCKING IN FLOOR SYSTEM UNDER ALL POSTS CONTINUOUS TO FND/BEARING. BLOCKING TO MATCH POST ABOVE.

FASTEN 2x WOOD PLATES TO TOP FLANGE OF STEEL BEAMS WITH P.A.F.'s (HILTI' X-CF PINS OR EQUAL) @ 16" O.C. STAGGERED, OR 1/2" DIA. BOLTS @ 48" O.C. STAGGERED.

ALL EXTERIOR 4x4 WOOD POSTS SHALL HAVE SIMPSON BC52-2/4 CAP & ABW44Z BASE, UNO.

GENERAL STRUCTURAL NOTES

FOUNDATION

DESIGN IS BASED ON 2018 NORTH CAROLINA STATE BUILDING CODE, RESIDENTIAL CODE.

FASTEN 2x4/6 SILL PLATES TO FND WITH A MINIMUM OF 2 ANCHORS PER PLATE, 12" MAX. FROM PLATE ENDS - UTILIZING: * 1/2" DIA. ANCHOR BOLTS @ 6'-0" O.C., 1" MIN. EMBEDMENT (CONC), 15" MIN. EMBEDMENT (CMU)

ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT W/ CONCRETE OR CMU SHALL BE PRESERVATIVE TREATED SOUTHERN PINE #2.

CONCRETE DESIGN BASED ON ACI 318. CONCRETE SHALL ATTAIN THE FOLLOWING MIN. COMPRESSIVE STRENGTHS IN 28 DAYS, UNO: Fc = 4,000 psi: FOUNDATION WALLS

BASEMENT FOUNDATION WALL DESIGN BASED ON: * 4' OR 10' HEIGHT (AS NOTED ON PLANS) - TALLER WALLS MUST BE ENGINEERED.

BASEMENT WALL DESIGN IS BASED ON 60 PCF BACKFILL SOIL TYPE CLASSIFICATIONS (SC, ML-CL, OR CL).

PROVIDE (2) #5 BARS AROUND ALL SIDES OF OPENINGS IN CONCRETE BSMT. FND. WALL WITH 2" CLEAR. REINFORCEMENT SHALL EXTEND 12" PAST CORNER OF OPENING IN ALL DIRECTIONS.

ALL CONCRETE EXPOSED TO THE WEATHER SHALL NOT HAVE LESS THAN 5% OR MORE THAN 7% AIR ENTRAINMENT.

FOOTINGS AND SLABS ON GRADE SHALL BEAR ON VIRGIN SOIL OR 95% COMPACTED FILL.

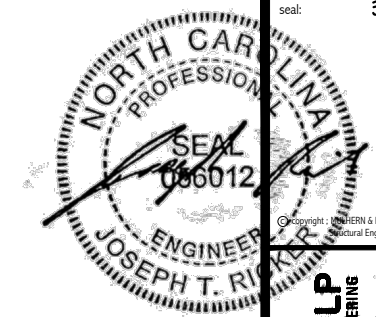
PROVIDE CONTROL JOINTS AT ALL INSIDE CORNERS OF SLAB EDGES, AND OTHER LOCATIONS WHERE SLAB CRACKS ARE LIKELY TO DEVELOP.

CONCRETE MASONRY UNITS (CMU) SHALL BE ASTM C90 WITH A MIN. COMPRESSIVE STRENGTH OF 1900 psi (Fm=1500 psi). MORTAR SHALL BE ASTM C270, TYPE S. CMU DESIGN PER ACI 530 & 530.1.

PROVIDE 2x8 x 16" LONG P.T. PLATE ON TOP OF ALL CRAWL SPACE PIERS. ALL PIERS SHALL BE GROUTED SOLID.

PROVIDE 2x6 P.T. PLATE ON INTERIOR CRAWL SPACE WALLS, FASTENED PER ANCHORAGE SPECIFICATION NOTED ABOVE.

BUILDER TO VERIFY THAT MODEL HAS BEEN ADEQUATELY TREATED BY A LICENSED AND BONDED PEST CONTROL COMPANY FOR SUBTERRANEAN TERMITES. METHOD AND TYPE OF TREATMENT TO BE DETERMINED BY PEST CONTROL COMPANY.



MULHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERING
300 Bannockburn Ave, Building 4 - Ardur, PA 15002
P 717-946-8001 - mulhern+kulp.com
NC LIC. #C-3825

M&K project number:
126-22076
project mgr: JTR
drawn by: JAD
issue date: 02-26-25

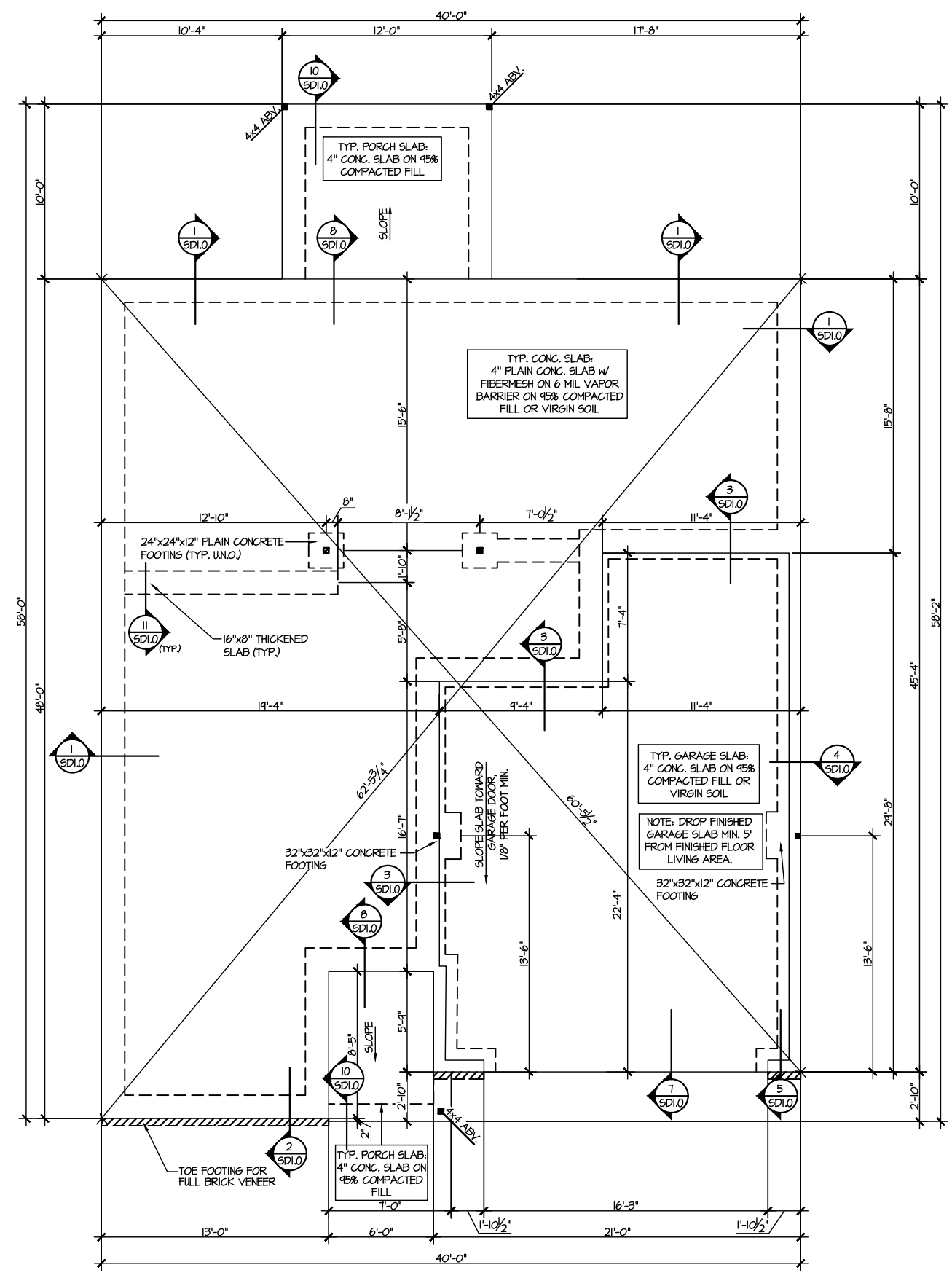
REVISIONS:

| date: | initial: |
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FOUNDATION PLANS
FARM AT NEILS CREEK
LOT 34 - DRAYTON 2
RALEIGH, NC

sheet:
S1.0

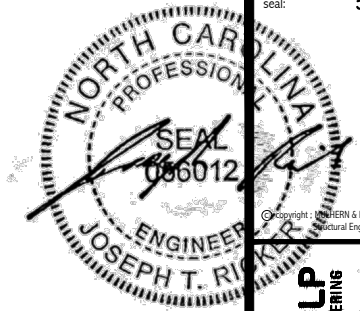


1 MONO SLAB FOUNDATION PLAN
SCALE: 1/8"=1'-0"

LEGEND

- [Symbol] INTERIOR BEARING WALL
- [Symbol] BEARING WALL ABOVE
- [Symbol] BEAM / HEADER
- [Symbol] INDICATES SHEAR WALL & EXTENT
- [Symbol] EXTENT OF OVERFRAMING
- [Symbol] METAL HANGER
- [Symbol] INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- [Symbol] INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES & SCHEDULES



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M&K project number:
126-22076

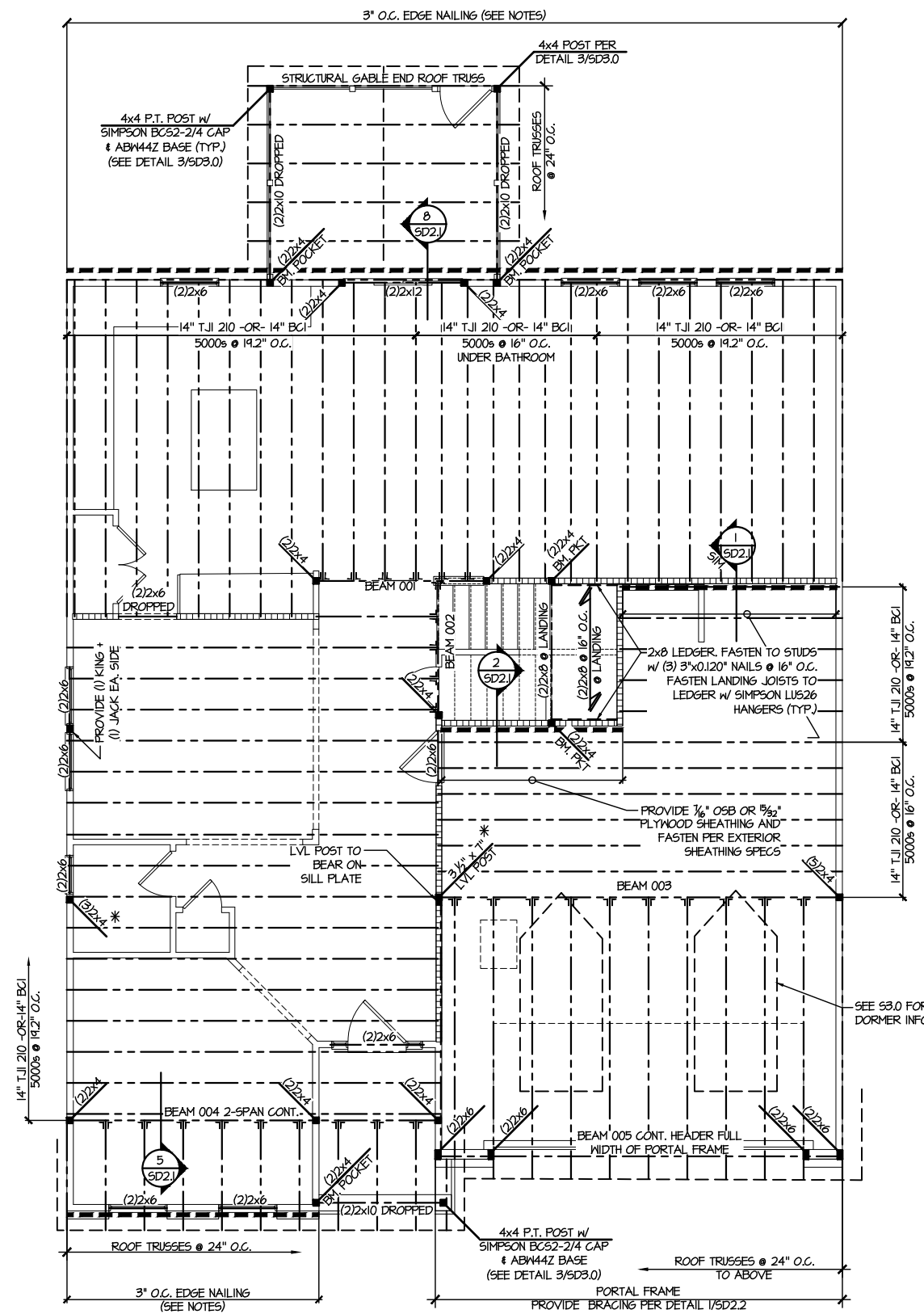
project mgr: JTR
drawn by: JAD
issue date: 02-26-25

REVISIONS:
date: initial:

DRB HOMES

FLOOR FRAMING PLANS
FARM AT NEIL'S CREEK
LOT 34 - DRAYTON 2
RALEIGH, NC

sheet:
S2.0



| ENGINEERED BEAM MATERIAL SCHEDULE | | | | | |
|-----------------------------------|--|------------------------|----------------------------|---|--------------|
| BEAM NUMBER | LVL OPTION | PSL OPTION | LSL OPTION | FLITCH OPTION | STEEL OPTION |
| 001 | (2) 3/4"x14" - F | 3/4"x14" - F | (2) 3/4"x14" - F | (2) 2x12 + (1) 1/2"x11/8" STEEL FLITCH PLATES - FB | W12x14 - F |
| 002 | (2) 3/4"x14" - F | 3/4"x14" - F | (2) 3/4"x14" - F | (2) 2x12 + (1) 1/2"x11/8" STEEL FLITCH PLATES - FB | W12x14 - F |
| 003 | (3) 3/4"x10" - FB or (2) 3/4"x20" - FB | 5/4"x10" - FB | N/A | (3) 2x12 + (2) 3/4"x11/8" STEEL FLITCH PLATES - FB | W12x26 - F |
| 004 | (2) 3/4"x14" - F | 3/4"x14" - F | (2) 3/4"x14" - F | (2) 2x12 + (1) 1/2"x11/8" STEEL FLITCH PLATES - FB | W12x14 - F |
| 005 | (2) 3/4"x11 1/2" - H cont. | 3/4"x11 1/2" - H cont. | (2) 3/4"x11 1/2" - H cont. | (2) 2x12 + (2) 1/2"x11 1/8" STEEL FLITCH PLATES - H cont. | N/A |
| 005A | (3) 3/4"x14" - H cont. | 5/4"x14" - H cont. | N/A | (3) 2x12 + (2) 1/2"x11 1/8" STEEL FLITCH PLATES - H cont. | N/A |
| 006 | (1) 3/4"x14" - F | 3/4"x14" - F | (2) 3/4"x14" - F | (2) 2x12 + (1) 1/2"x11/8" STEEL FLITCH PLATES - FB | W12x14 - F |
| 007 | (2) 3/4"x11 1/2" - D | 3/4"x11 1/2" - D | (2) 3/4"x11 1/2" - D | (2) 2x12 + (1) 1/2"x11/8" STEEL FLITCH PLATES - D | W10x12 - D |
| 008 | (2) 3/4"x16" - H cont. | 3/4"x16" - H cont. | (3) 3/4"x16" - H cont. | (2) 2x12 + (2) 1/2"x11 1/8" STEEL FLITCH PLATES - H cont. | N/A |
| 009 | (2) 3/4"x14" - F | 3/4"x14" - F | (2) 3/4"x14" - F | (2) 2x12 + (1) 1/2"x11/8" STEEL FLITCH PLATES - FB | W10x10 - F |
| 010 | (2) 3/4"x14" - F | 3/4"x14" - F | (2) 3/4"x14" - F | (2) 2x12 + (1) 1/2"x11/8" STEEL FLITCH PLATES - FB | W12x14 - F |
| 011 | (2) 3/4"x14" - F | 3/4"x14" - F | (2) 3/4"x14" - F | (2) 2x12 + (1) 1/2"x11/8" STEEL FLITCH PLATES - FB | W12x14 - F |
| 012 | (2) 3/4"x11 1/2" - D | 3/4"x11 1/2" - D | (2) 3/4"x11 1/2" - D | (2) 2x12 + (1) 1/2"x11/8" STEEL FLITCH PLATES - D | W10x12 - D |

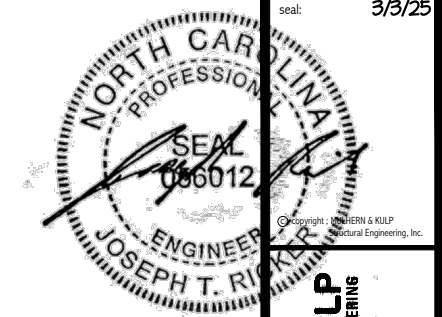
BEAM NOTATION:
 - "F" INDICATES FLUSH BEAM
 - "FT" INDICATES FLUSH TOP BEAM
 - "FB" INDICATES FLUSH BOTTOM BEAM
 - "D" INDICATES DROPPED BEAM
 - "H" INDICATES DROPPED OPENING HEADER
 - REFER TO DETAIL D/SD2.0 FOR TYPICAL FLITCH BEAM CONNECTIONS
 - REFER TO DETAIL E/SD2.0 FOR TYPICAL STEEL BEAM CONNECTIONS
 - FOR FLUSH TOP BEAMS PROVIDE 2X STACKED PLATES BENEATH BEAM AS REQ'D. FASTEN PLATES IN SUCCESSION W/ (2) 3"x0.120" NAILS @ 8" O.C.
 - FOR FLUSH BOTTOM BEAMS PROVIDE 2X STACKED PLATES ATOP BEAM AS REQ'D. FASTEN PLATES IN SUCCESSION W/ (2) 3"x0.120" NAILS @ 8" O.C.

SD2.1 REFERS TO SD2.1A FOR LVL/PSL/LSL BEAMS OR SD2.1B FOR FLITCH BEAMS OR SD2.1C FOR STEEL BEAMS

| LEGEND | |
|--------|--|
| | INTERIOR BEARING WALL |
| | BEARING WALL ABOVE |
| | BEAM / HEADER |
| | INDICATES SHEAR WALL & EXTENT |
| | EXTENT OF OVERFRAMING |
| | M METAL HANGER |
| | * INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE. |
| | ▶ INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE. |

REFER TO S.O. FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

2ND FLOOR FRAMING PLAN
SCALE: 1/8"=1'-0"



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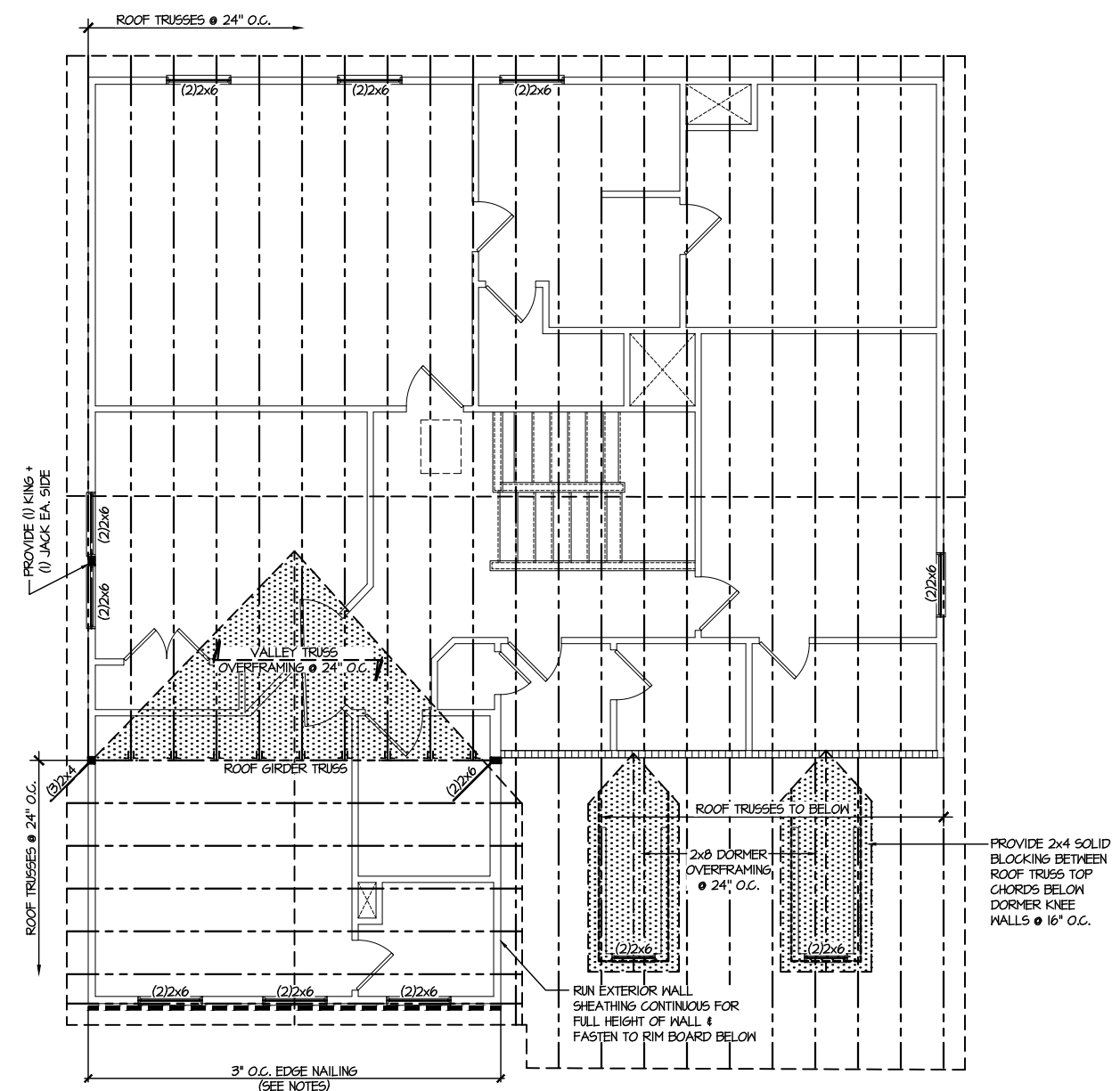
M&K project number:
126-22076
project mgr: JTR
drawn by: JAD
issue date: 02-26-25

REVISIONS:
date: initial:



ROOF FRAMING PLANS
FARM AT NEILS CREEK
LOT 34 - DRAYTON 2
RALEIGH, NC

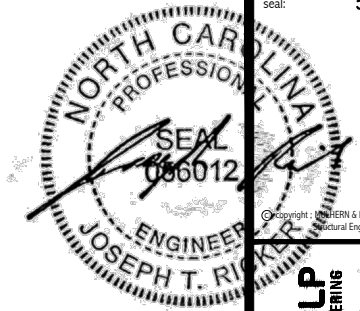
sheet:
S3.0



| LEGEND | |
|--------|--|
| | INTERIOR BEARING WALL |
| | BEARING WALL ABOVE |
| | BEAM / HEADER |
| | INDICATES SHEAR WALL & EXTENT |
| | EXTENT OF OVERFRAMING |
| | M METAL HANGER |
| | * INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE. |
| | ▷ INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE. |

REFER TO S.O. FOR
TYPICAL STRUCTURAL NOTES
& SCHEDULES

1 ROOF FRAMING PLAN
SCALE: 1/8"=1'-0"



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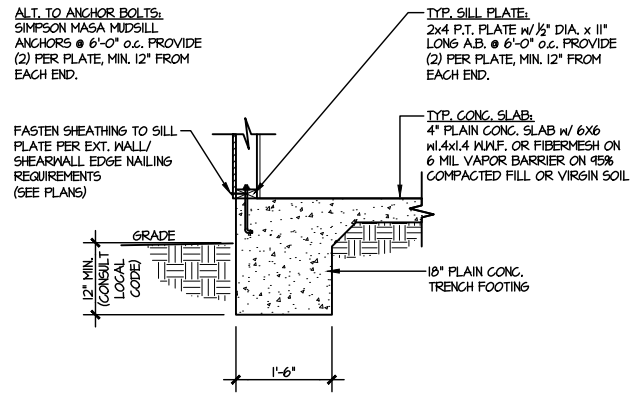
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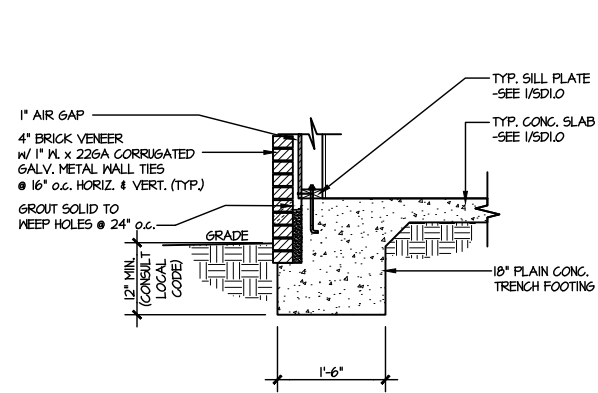
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FARM AT NEIL'S CREEK
LOT 34 - DRAYTON 2
RALEIGH, NC

sheet:

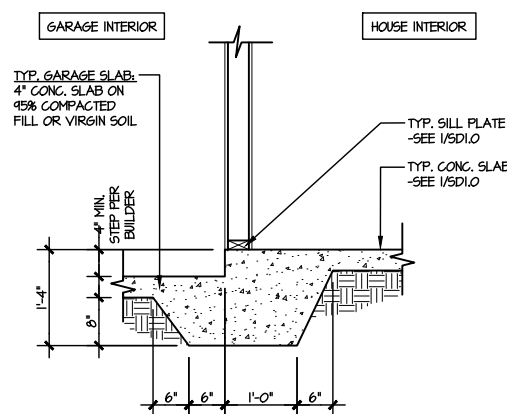
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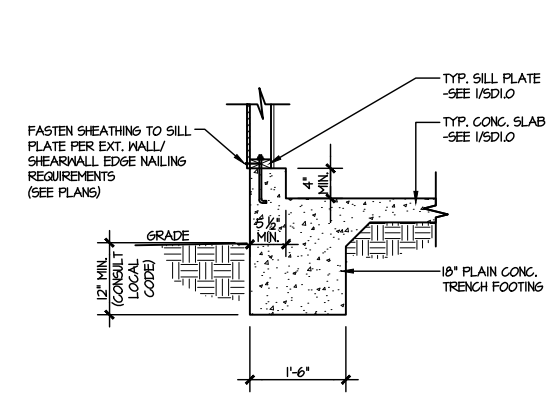
1 TYPICAL SLAB ON GRADE PERIMETER FOOTING
SCALE: 3/8"=1'-0"



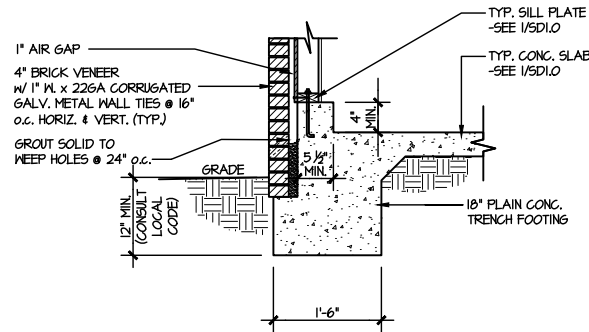
2 TYPICAL SLAB ON GRADE PERIMETER FOOTING
SCALE: 3/8"=1'-0" w/ BRICK VENEER



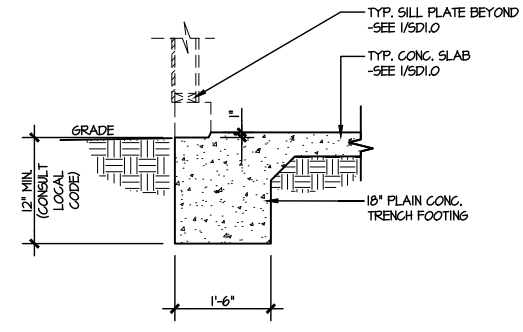
3 TYPICAL MONOLITHIC INTERIOR GARAGE FOOTING
SCALE: 3/8"=1'-0"



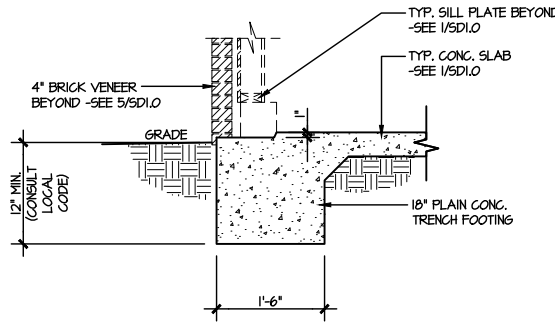
4 TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING
SCALE: 3/8"=1'-0"



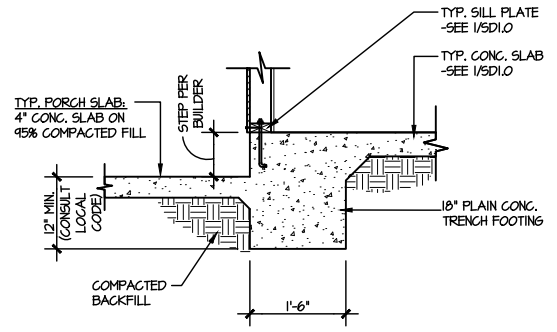
5 TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING
SCALE: 3/8"=1'-0" w/ BRICK VENEER



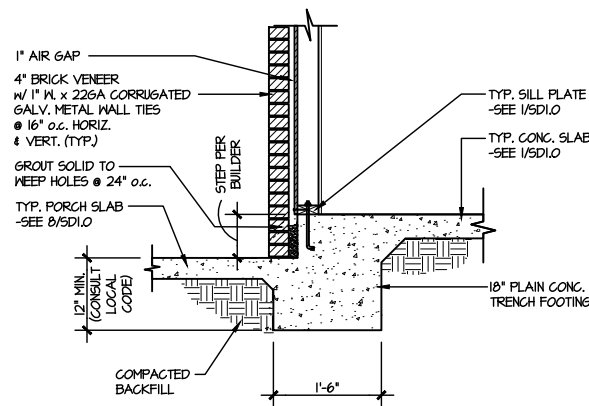
6 TYPICAL SLAB ON GRADE GARAGE ENTRY @ PERIMETER FOOTING
SCALE: 3/8"=1'-0"



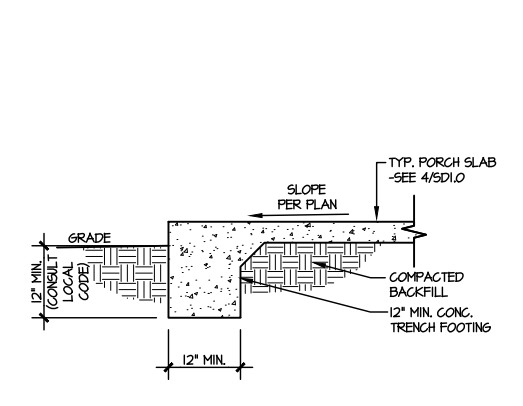
7 TYPICAL SLAB ON GRADE GARAGE ENTRY @ PERIMETER FOOTING
SCALE: 3/8"=1'-0" w/ BRICK VENEER



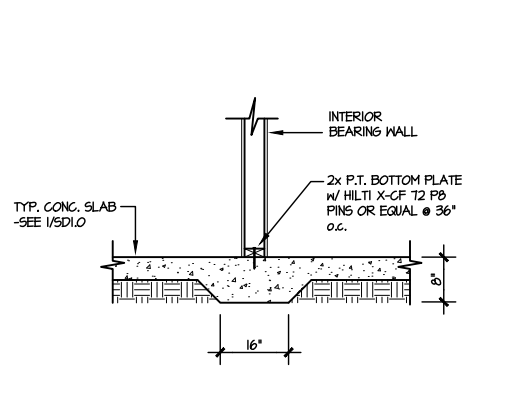
8 TYPICAL SLAB ON GRADE PERIMETER FOOTING @ PORCH/PATIO
SCALE: 3/8"=1'-0"



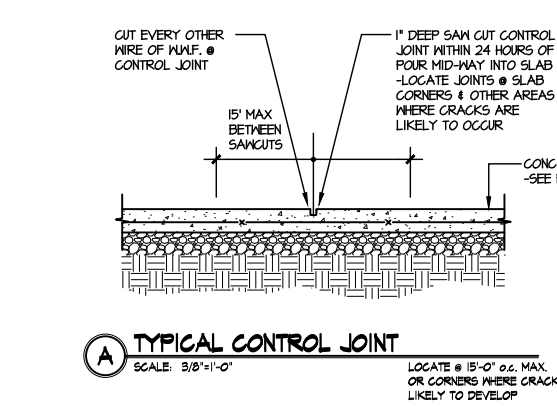
9 TYPICAL SLAB ON GRADE PERIMETER FOOTING @ PORCH/PATIO
SCALE: 3/8"=1'-0" w/ BRICK VENEER



10 TYPICAL FOOTING @ PORCH SLAB
SCALE: 3/8"=1'-0"



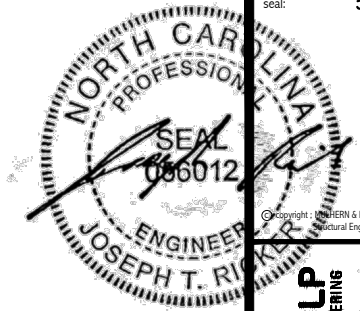
11 TYPICAL THICKENED SLAB @ INTERIOR BEARING WALL
SCALE: 3/8"=1'-0"



A TYPICAL CONTROL JOINT
SCALE: 3/8"=1'-0"

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

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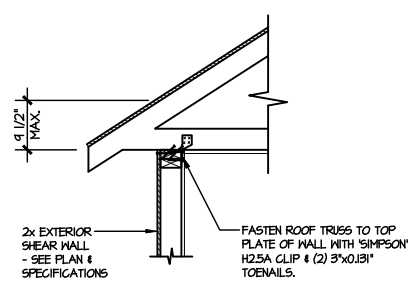
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issue date: 02-26-25

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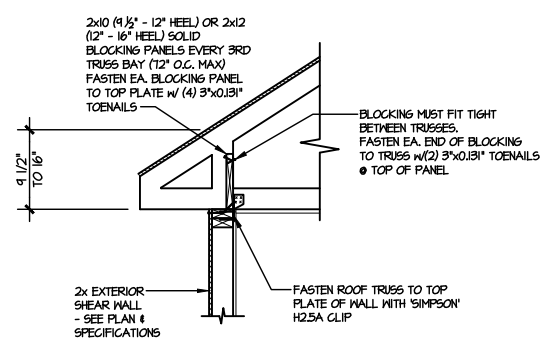


FRAMING DETAILS
FARM AT NEIL'S CREEK
LOT 34 - DRAYTON 2
RALEIGH, NC

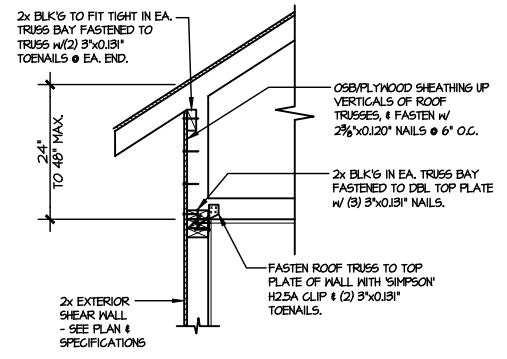
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SD2.0



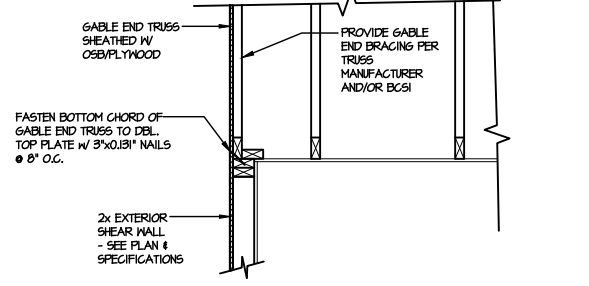
A1 TYPICAL SHEAR TRANSFER DETAIL @ ROOF
SCALE: 3/8"=1'-0"
HEEL HEIGHT LESS THAN 9 1/2"
NO BLOCKING REQ'D



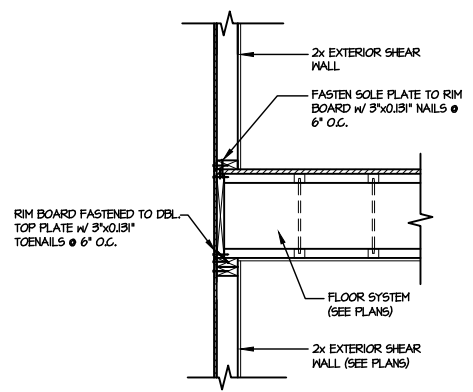
A2 TYPICAL SHEAR TRANSFER DETAIL @ ROOF
SCALE: 3/8"=1'-0"
HEEL HEIGHT BETWEEN 9 1/2" - 16"
BLOCKING REQ'D



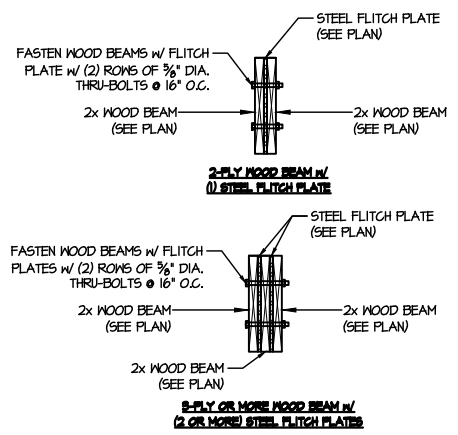
A3 TYPICAL SHEAR TRANSFER DETAIL @ RAISED HEEL TRUSS
SCALE: 3/8"=1'-0"
HEEL HEIGHT UP TO 48" MAX.



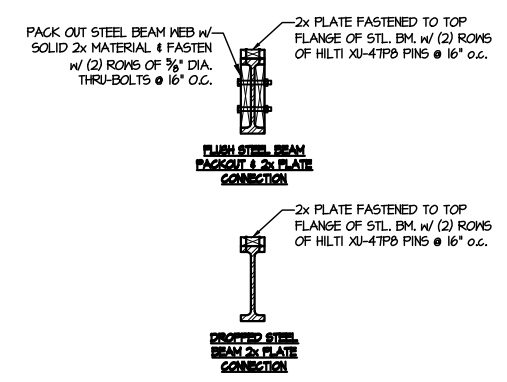
B TYPICAL GABLE END DETAIL
SCALE: 3/8"=1'-0"



C TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ EXTERIOR WALL
SCALE: 3/8"=1'-0"



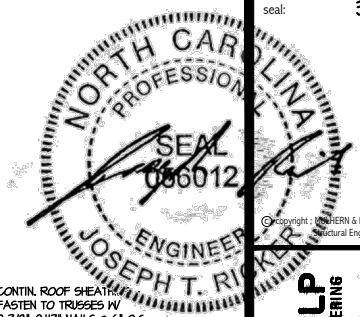
D TYPICAL FLITCH BEAM CONNECTION DETAIL
SCALE: 3/4"=1'-0"



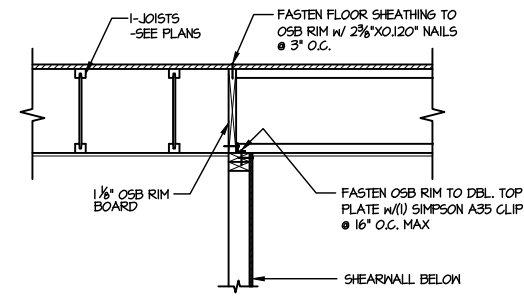
E TYPICAL STEEL BEAM CONNECTION DETAIL
SCALE: 3/4"=1'-0"

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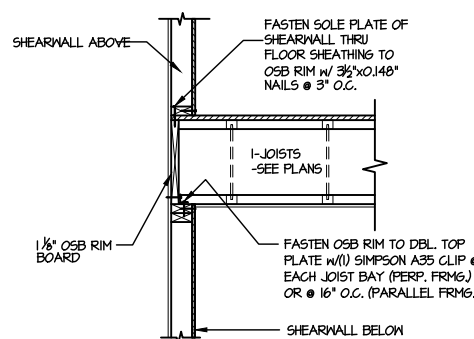
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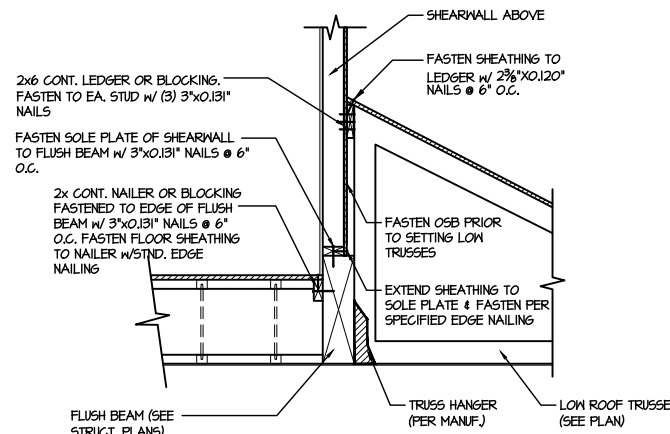
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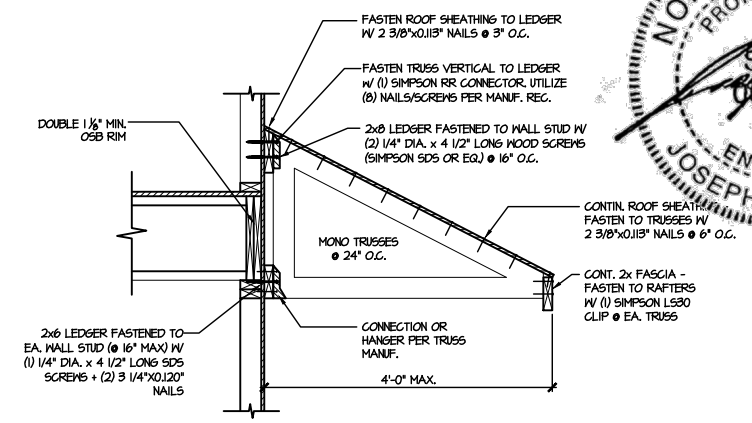
1 SHEAR TRANSFER DETAIL @ INTERIOR SHEARWALL BELOW
SCALE: 3/4"=1'-0" PARALLEL FRAMING



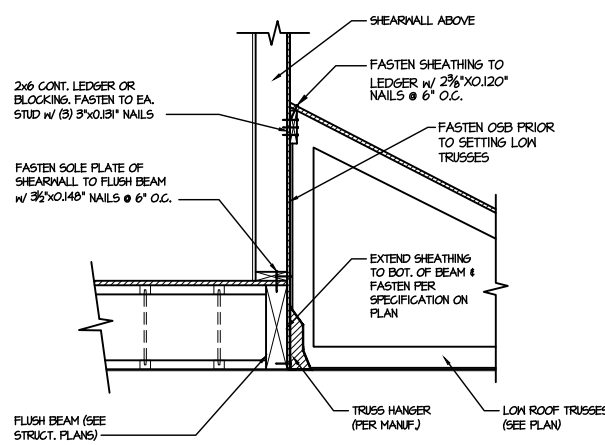
2 SHEAR TRANSFER DETAIL @ INT. SHEARWALL ABOVE & BELOW
SCALE: 3/4"=1'-0" EDGE OF FRAMING



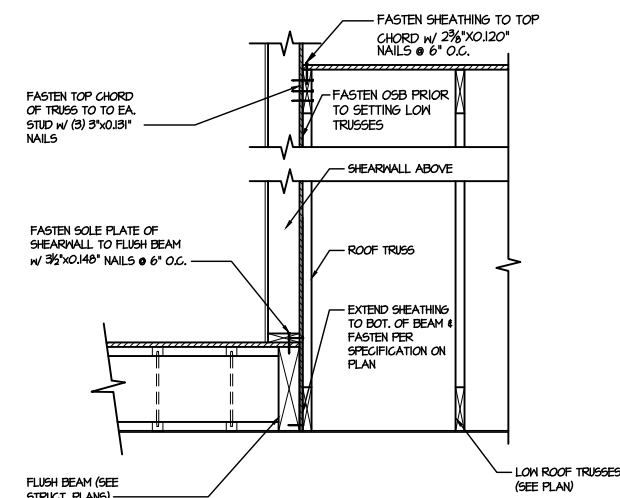
3 SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



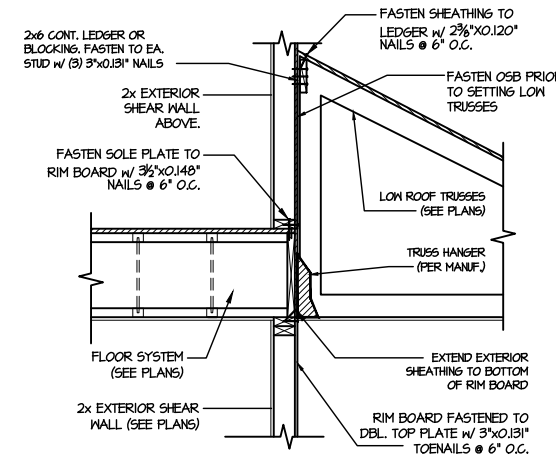
4 DETAIL @ SHED ROOF
SCALE: 3/8"=1'-0"



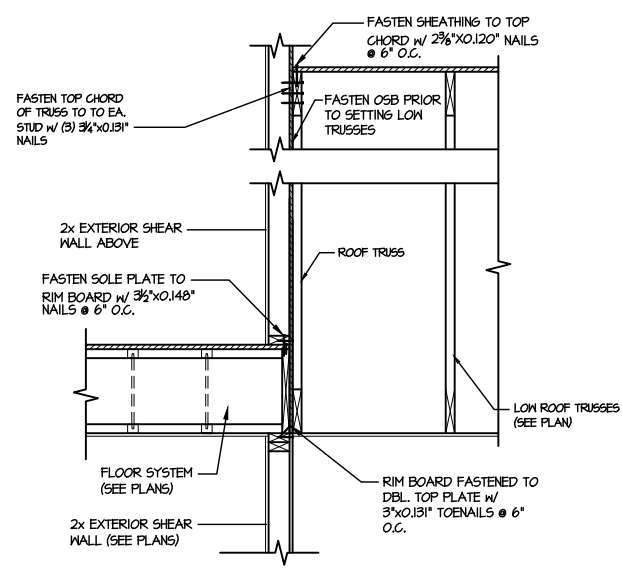
5 SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



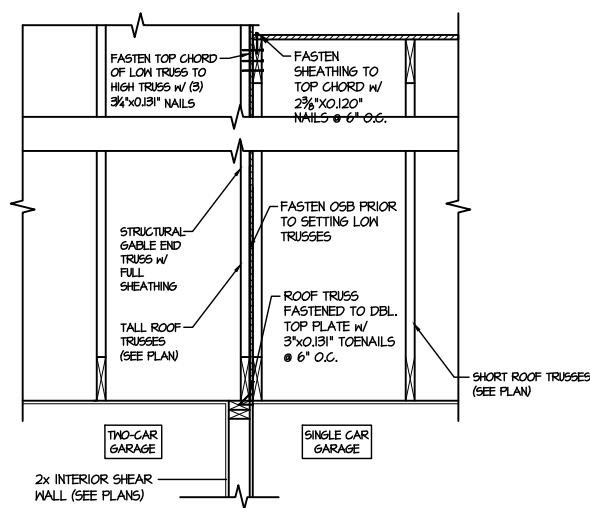
6 SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



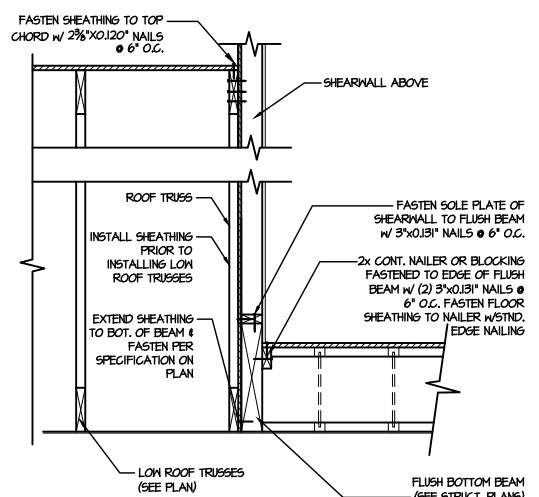
7 TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL
SCALE: 3/4"=1'-0"



8 TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL
SCALE: 3/4"=1'-0"



9 TYPICAL SHEAR TRANSFER DETAIL BETWEEN GARAGE BAYS
SCALE: 3/4"=1'-0"



13 SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"

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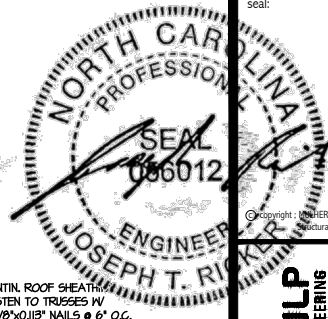
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M&K project number: 126-22076
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FRAMING DETAILS
FARM AT NEIL'S CREEK
LOT 34 - DRAYTON 2
RALEIGH, NC



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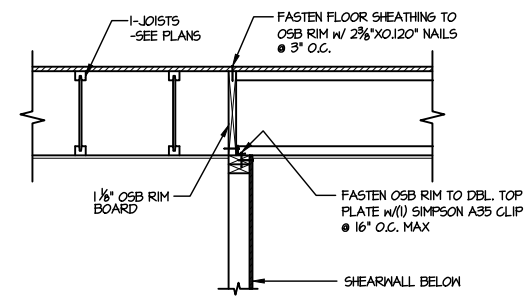
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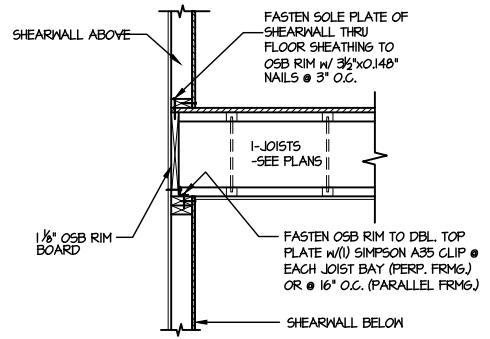
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FRAMING DETAILS
FARM AT NEIL'S CREEK
LOT 34 - DRAYTON 2
RALEIGH, NC

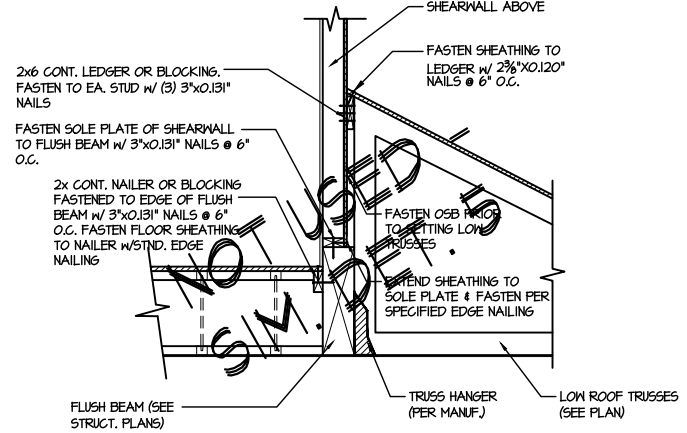
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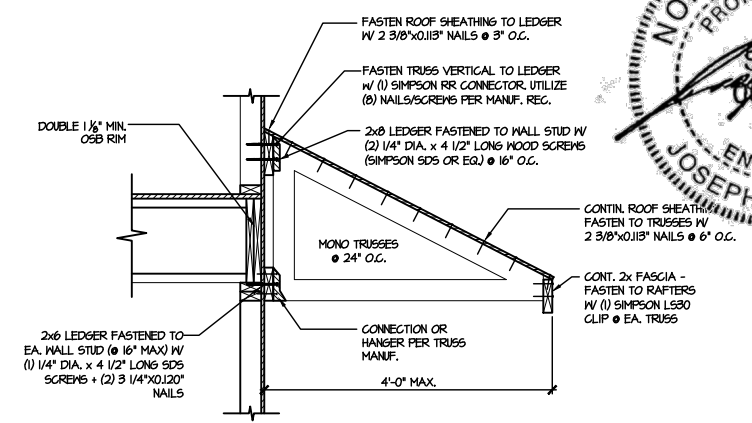
1 SHEAR TRANSFER DETAIL @ INTERIOR SHEARWALL BELOW
SCALE: 3/4"=1'-0" PARALLEL FRAMING



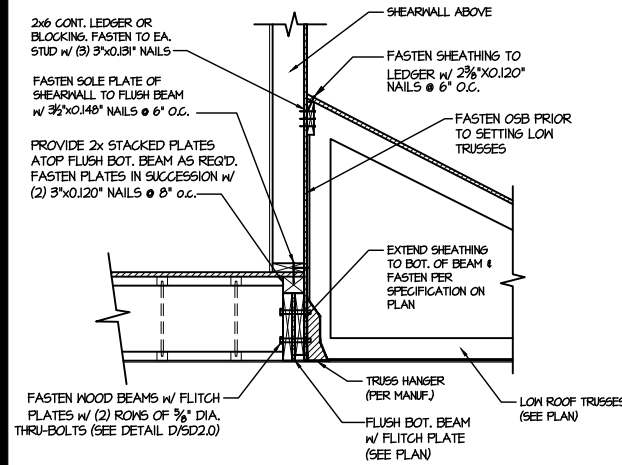
2 SHEAR TRANSFER DETAIL @ INT. SHEARWALL ABOVE & BELOW
SCALE: 3/4"=1'-0" EDGE OF FRAMING



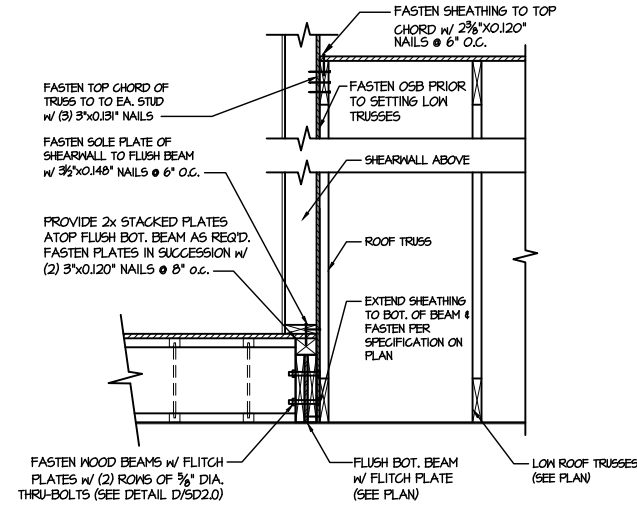
3 SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



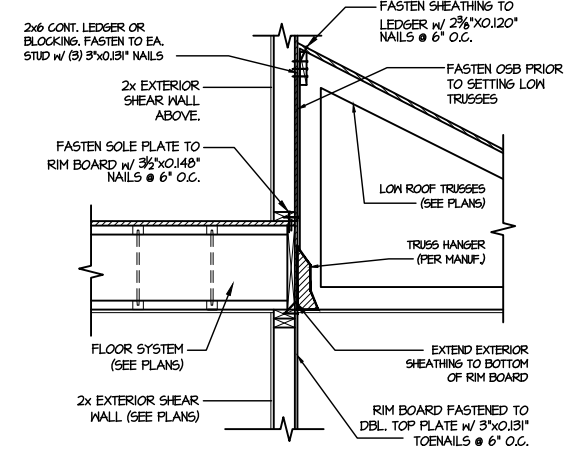
4 DETAIL @ SHED ROOF
SCALE: 3/8"=1'-0"



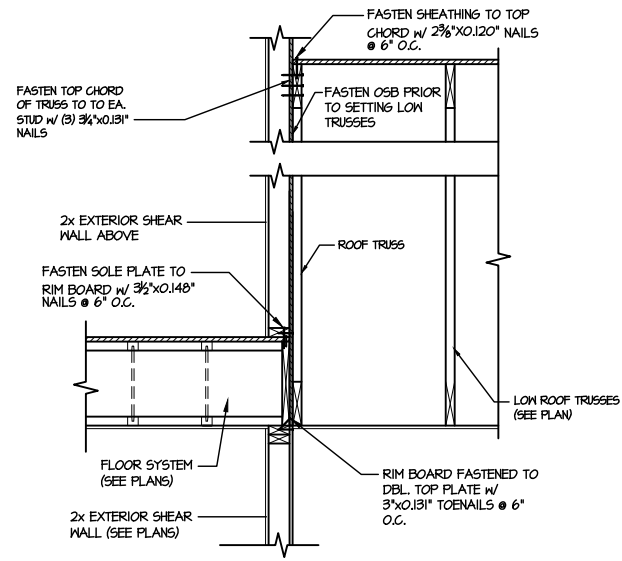
5 SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



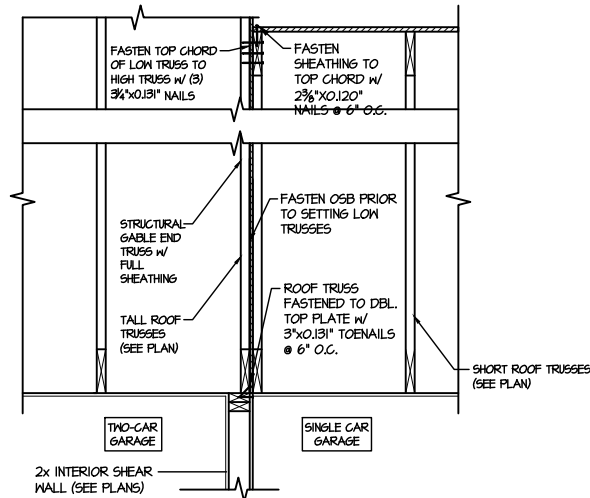
6 SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



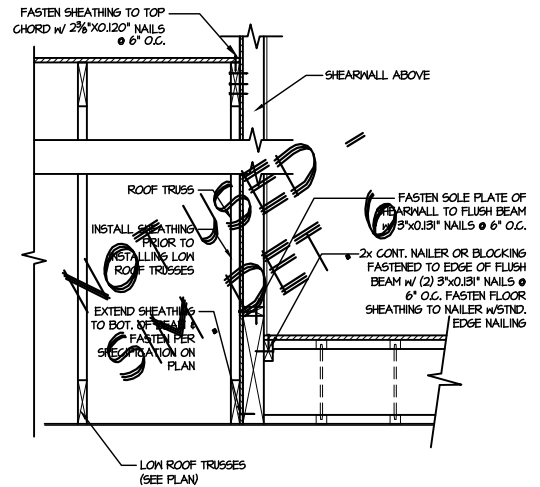
7 TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL
SCALE: 3/4"=1'-0"



8 TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL
SCALE: 3/4"=1'-0"

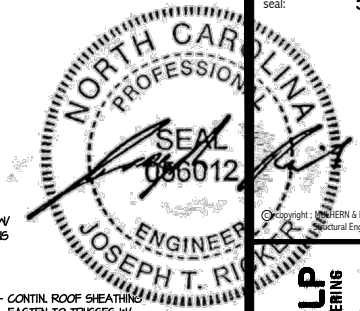


9 TYPICAL SHEAR TRANSFER DETAIL BETWEEN GARAGE BAYS
SCALE: 3/4"=1'-0"

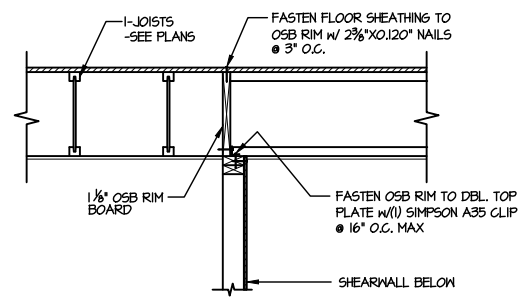


13 SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"

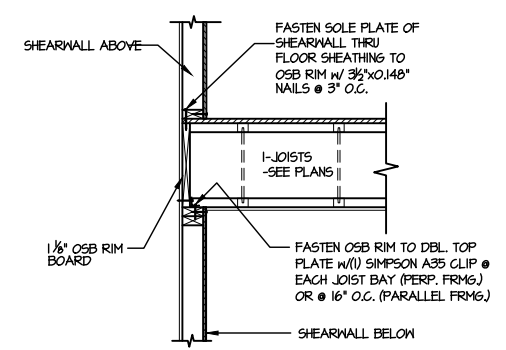
LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.
NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.



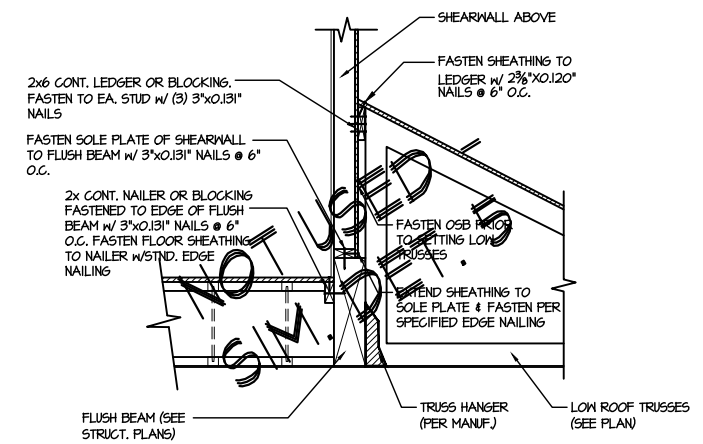
MULHERN+KULP
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380 Beaufort Ave, Building 4 - Asheville, PA 18002
P 715-948-8881 - mulhern@mkulpe.com
NC LIC. #C-3825



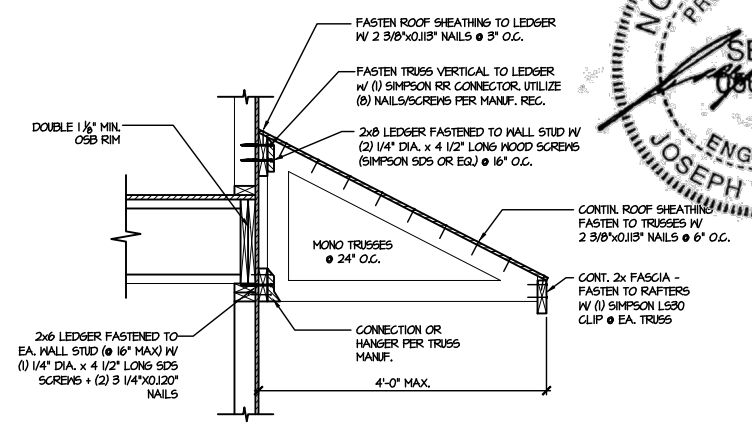
1 SHEAR TRANSFER DETAIL @ INTERIOR SHEARWALL BELOW
SCALE: 3/4"=1'-0" PARALLEL FRAMING



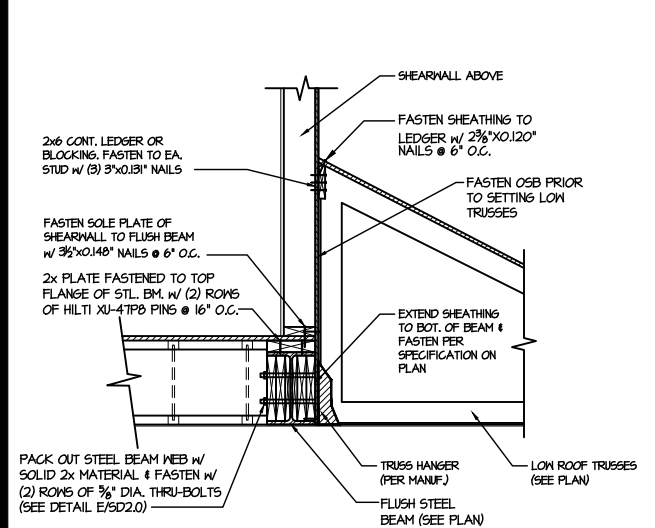
2 SHEAR TRANSFER DETAIL @ INT. SHEARWALL ABOVE & BELOW
SCALE: 3/4"=1'-0" EDGE OF FRAMING



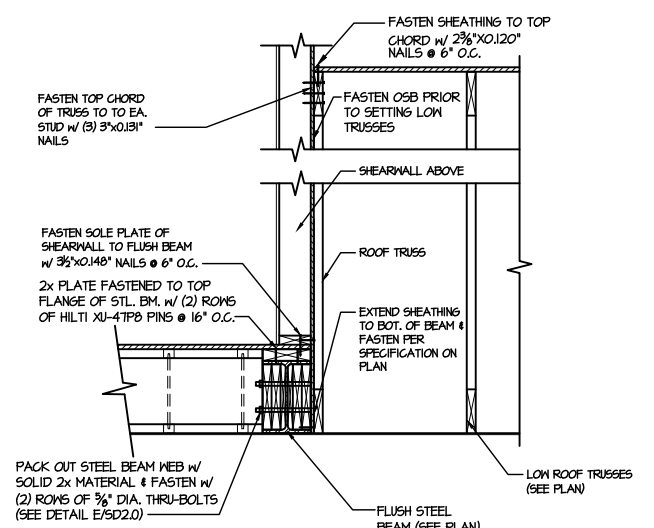
3 SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



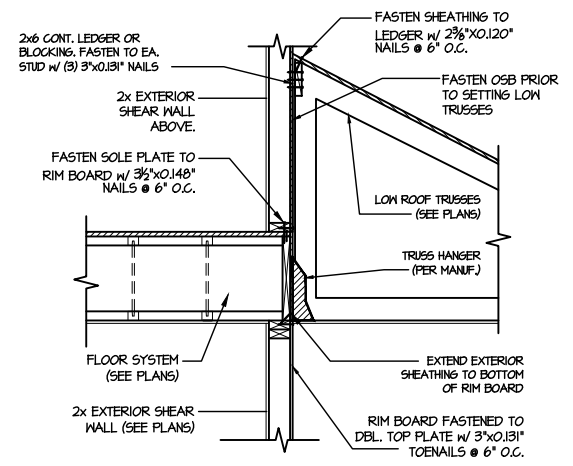
4 DETAIL @ SHED ROOF
SCALE: 3/8"=1'-0"



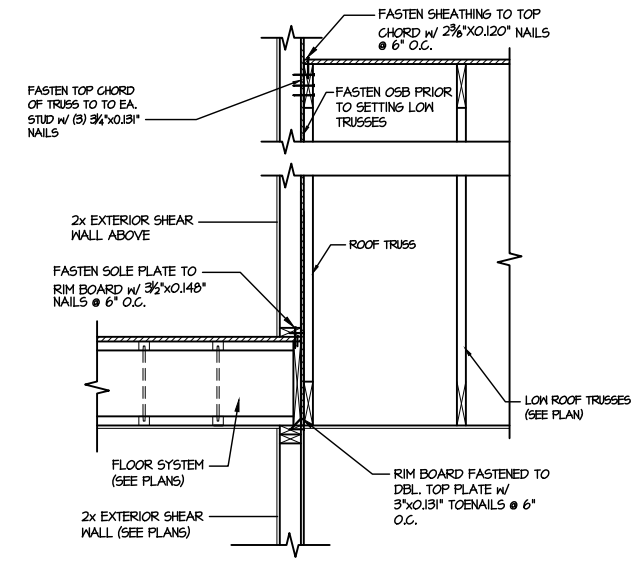
5 SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



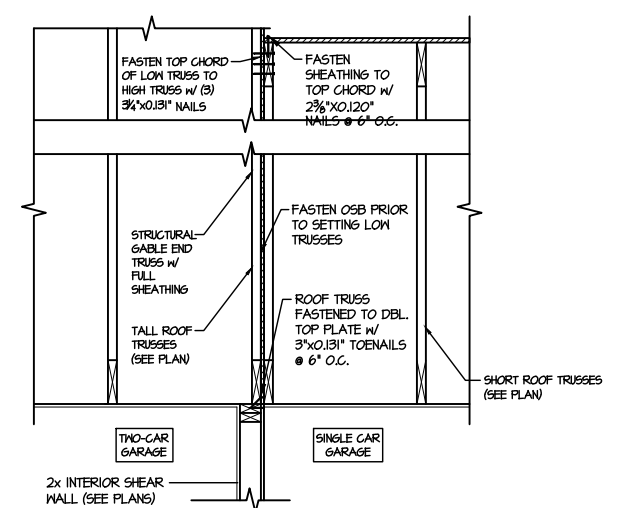
6 SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



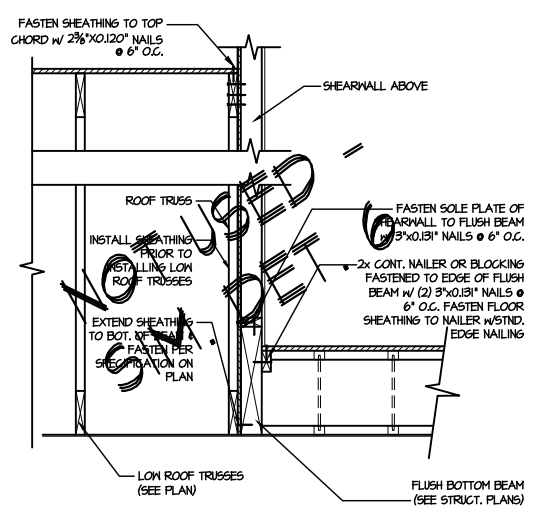
7 TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL
SCALE: 3/4"=1'-0"



8 TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL
SCALE: 3/4"=1'-0"



9 TYPICAL SHEAR TRANSFER DETAIL BETWEEN GARAGE BAYS
SCALE: 3/4"=1'-0"



13 SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

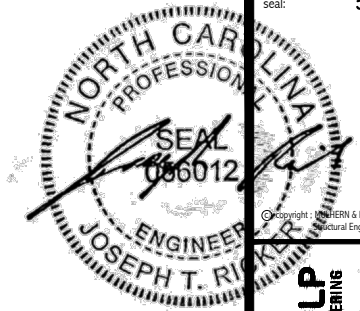
NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.

M&K project number: 126-22076
project mgr: JTR
drawn by: JAD
issue date: 02-26-25

REVISIONS:
date: initial:



FRAMING DETAILS
FARM AT NEIL'S CREEK
LOT 34 - DRAYTON 2
RALEIGH, NC



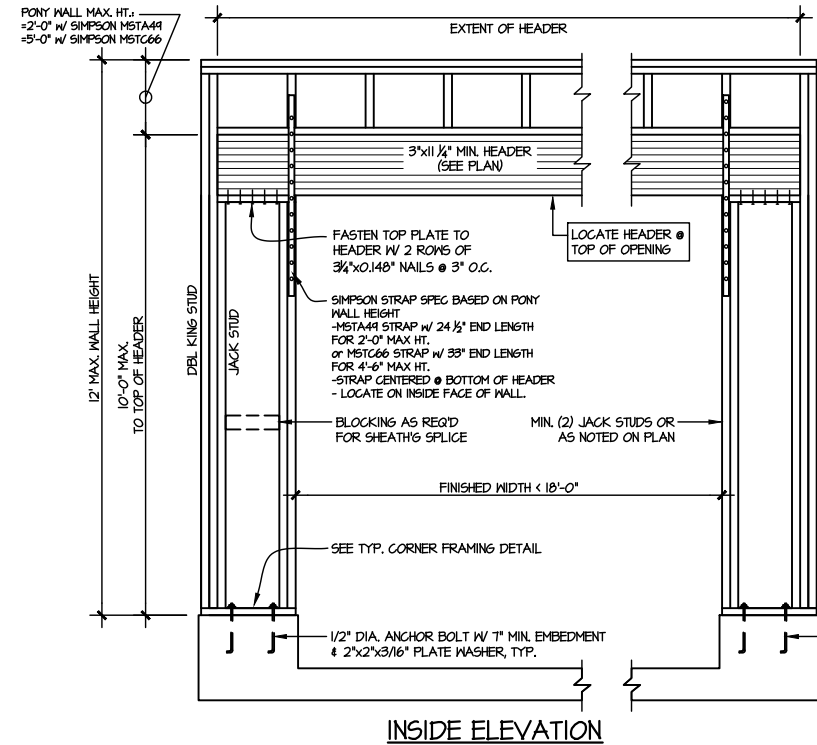
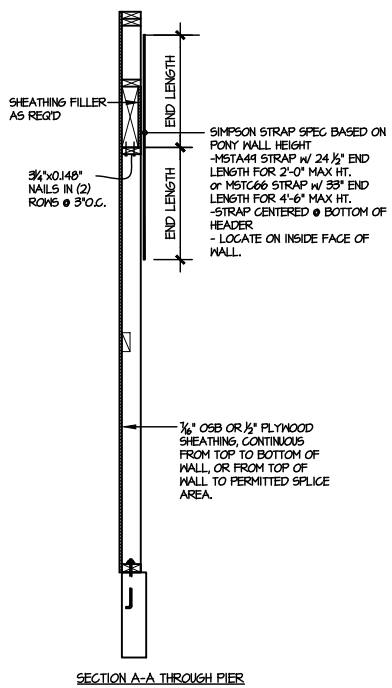
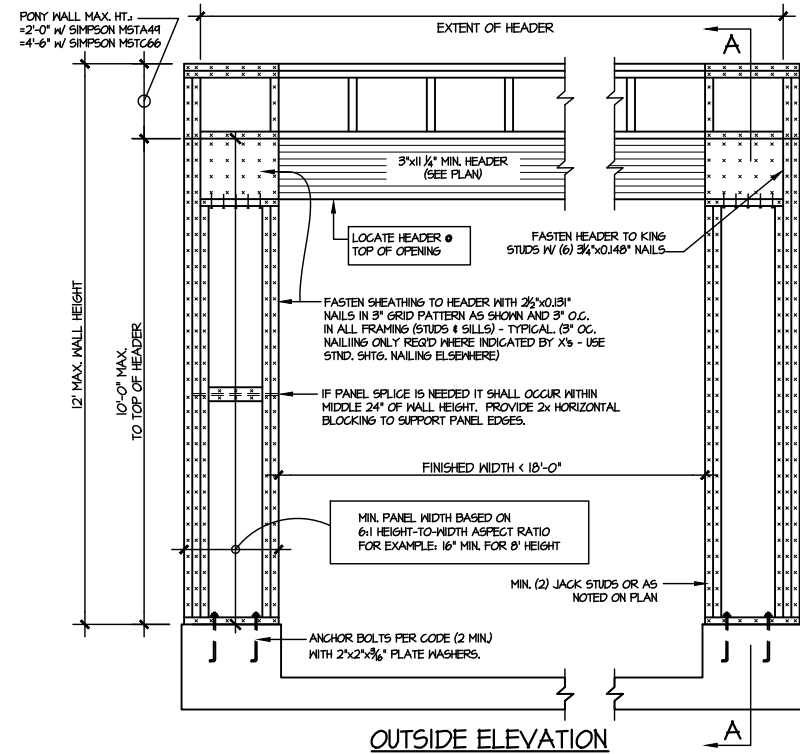
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RESIDENTIAL STRUCTURAL ENGINEERING
380 Remondino Ave, Building 4 - Asheville, PA 18007
P 717-948-0001 - mulhern+kulp.com
NC LIC. #C-3825

MAX project number:
126-22076
project mgr: JTR
drawn by: JAD
issue date: 02-26-25
REVISIONS:
date: initial:

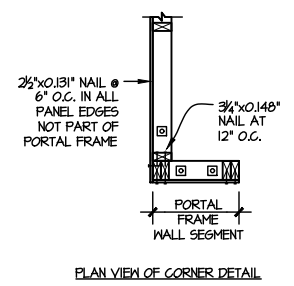


FRAMING DETAILS
FARM AT NEIL'S CREEK
LOT 34 - DRAYTON 2
RALEIGH, NC

sheet:
SD2.2

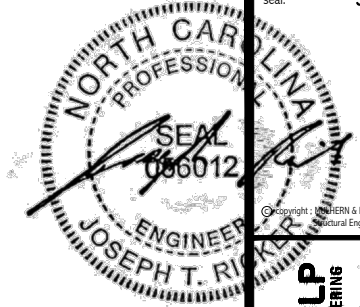


NOTE: ALL SHEATHABLE AREAS OF EXTERIOR WALL SHALL BE FULLY SHEATHED WITH 1/2" PLYWOOD OR 1/4" OSB



ALTERNATIVES TO 1/2" DIA. ANCHOR BOLT:
1) 1/2" DIA. x 6" LONG SIMPSON TITEN HD
2) 1/2" DIA. THREADED ROD EPOXY SET w/ 1/4 1/2" EMBED. (MIN) UTILIZING HILTI HY200 EPOXY ANCHORING SYSTEM (OR EQUAL)

TWO SIDED GARAGE PORTAL FRAME BRACING
ELEVATION ON CONCRETE STEM
SCALE: N.T.S.



MULHERN+KULP
 RESIDENTIAL STRUCTURAL ENGINEERING
 300 Bismarck Ave, Building 4 - Asheville, PA 18002
 P 215-946-8001 • mulhern+kulp.com
 NC LIC. #C-3825

M&K project number:
 126-22076
 project mgr: JTR
 drawn by: JAD
 issue date: 02-26-25

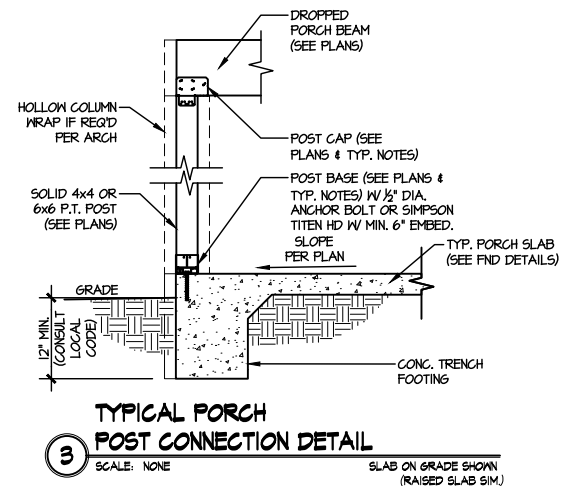
REVISIONS:

| date: | initial: |
|-------|----------|
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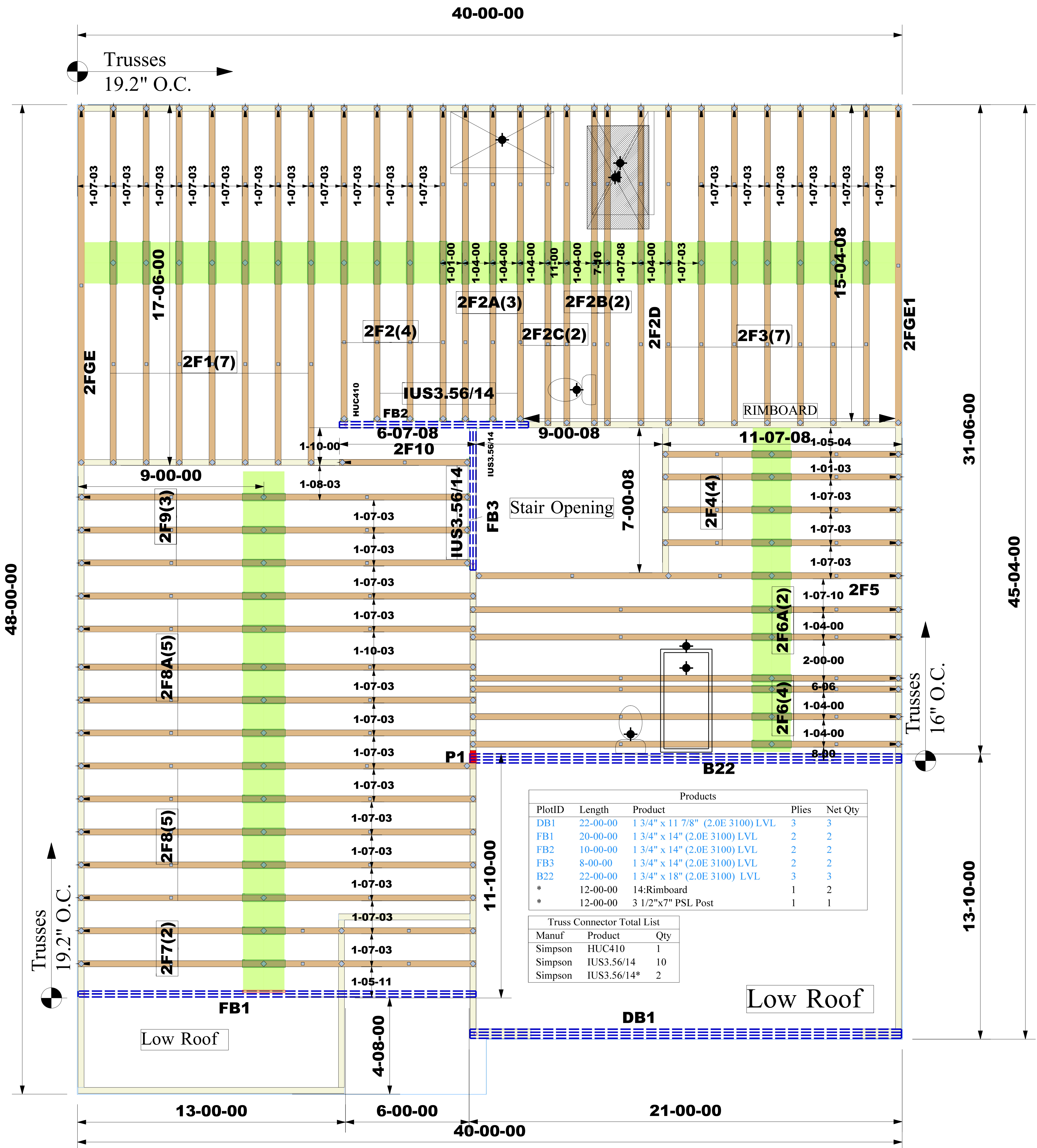


FRAMING DETAILS
 FARM AT NEIL'S CREEK
 LOT 34 - DRAYTON 2
 RALEIGH, NC

sheet:
SD3.0



FLOOR TRUSS LAYOUT
SCALE: NTS



| PlotID | Length | Product | Plies | Net Qty |
|--------|----------|----------------------------------|-------|---------|
| DB1 | 22-00-00 | 1 3/4" x 11 7/8" (2.0E 3100) LVL | 3 | 3 |
| FB1 | 20-00-00 | 1 3/4" x 14" (2.0E 3100) LVL | 2 | 2 |
| FB2 | 10-00-00 | 1 3/4" x 14" (2.0E 3100) LVL | 2 | 2 |
| FB3 | 8-00-00 | 1 3/4" x 14" (2.0E 3100) LVL | 2 | 2 |
| B22 | 22-00-00 | 1 3/4" x 18" (2.0E 3100) LVL | 3 | 3 |
| * | 12-00-00 | 14:Rimboard | 1 | 2 |
| * | 12-00-00 | 3 1/2"x7" PSL Post | 1 | 1 |



| Truss Connector Total List | | |
|----------------------------|-------------|-----|
| Manuf | Product | Qty |
| Simpson | HUC410 | 1 |
| Simpson | IUS3.56/14 | 10 |
| Simpson | IUS3.56/14* | 2 |

* 1/2" of out side sheathing of wall

2nd FLOOR FRAMING

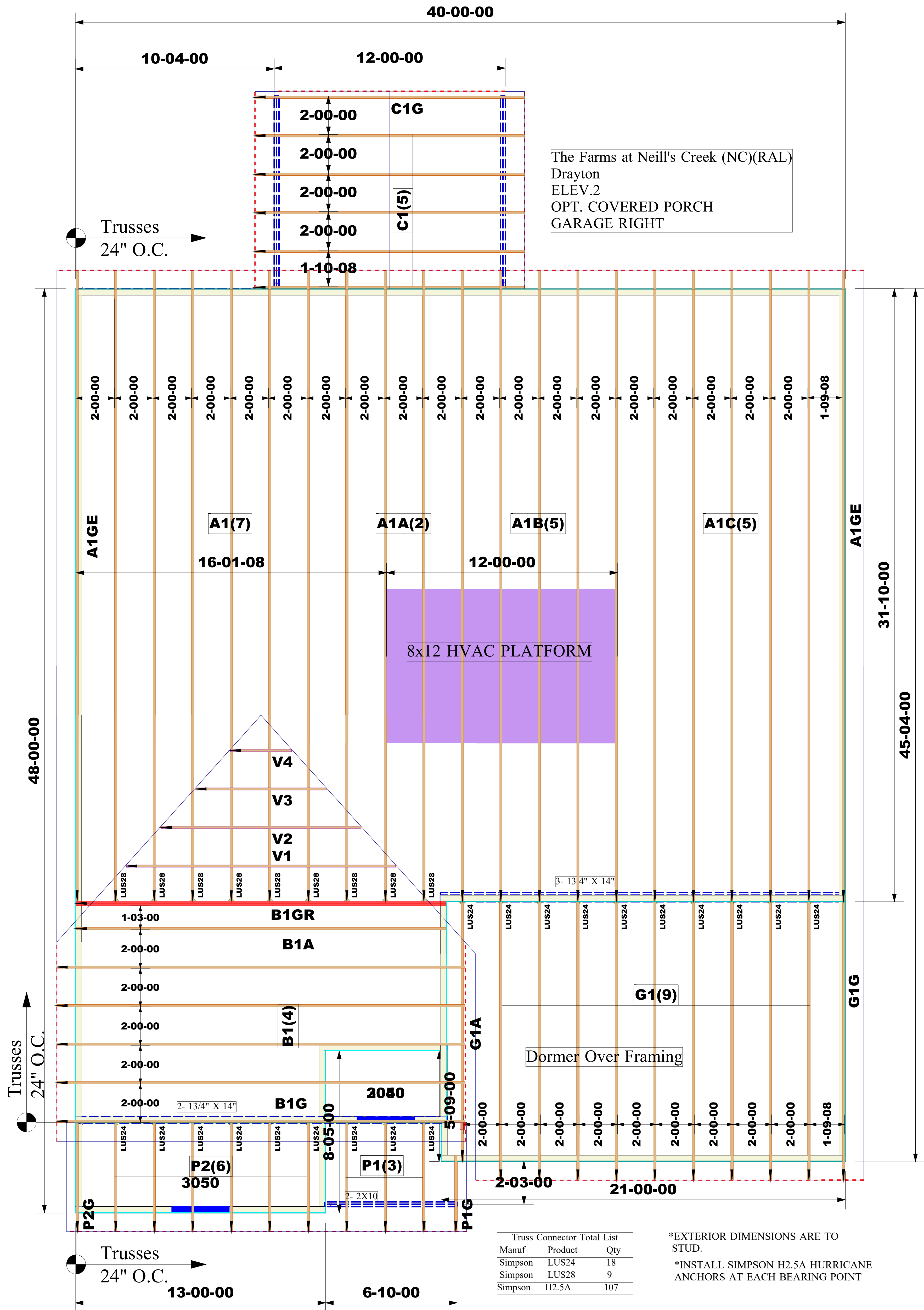
The Farm at Neill's Creek (NC)(RAL) Lot 00.0034 Phase
Model-2695-1-Drayton
Garage Right side

ELEV.2



| | | | | |
|---|--|---|--|---|
| <p>Job #: 2502-2399</p> <p>Designer: Sayan Roy</p> <p>Sales Rep: Robbie Zarobinski</p> | <p>WARNING: CONVENTIONAL FRAMING, ERECTION AND/OR PERMANENT BRACING IS NOT THE RESPONSIBILITY OF THE TRUSS DESIGNER, PLATE MANUFACTURER, OR THE TRUSS MANUFACTURER. PERSONS ERECTING TRUSSES ARE CAUTIONED TO SEEK PROFESSIONAL ADVICE REGARDING THE ERECTION BRACING WHICH IS ALWAYS REQUIRED TO PREVENT TOPPLING AND DOMING DURING ERECTION, AND PERMANENT BRACING WHICH MAY BE REQUIRED IN SPECIFIC APPLICATIONS. SEE "BRACING WOOD TRUSSES COMMENTARY AND RECOMMENDATIONS" (BCSI 1) FOR FURTHER INFORMATION. TRUSSES SHALL BE INSTALLED IN A STRAIGHT AND PLUMB POSITION WHERE NO SHEATHING IS APPLIED DIRECTLY TO TOP AND/OR BOTTOM CHORDS, THEY SHALL BE BRACED AS SPECIFIED ON THE ENGINEERED DESIGN. TRUSSES SHALL BE HANDLED WITH REASONABLE CARE DURING ERECTION TO PREVENT DAMAGE OR PERSONAL INJURY.</p> | <p>NOTE: IT IS THE RESPONSIBILITY OF THE BUILDING DESIGNER OR ARCHITECT TO PROVIDE AN APPROPRIATE CONNECTION FOR TRUSSES TO SUPPORTING STRUCTURE PER REACTIONS SHOWN ON TRUSS ENGINEERING. SPECIAL CONSIDERATIONS FOR MECHANICAL EQUIPMENT AND/OR PLUMBING (AND THEIR CONNECTIONS) IN TRUSS SPACE MUST BE DIAGRAMMED BY BUILDER ON APPROVED TRUSS LAYOUT PRIOR TO FABRICATION. THIS COMPANY IS A TRUSS MANUFACTURER WHOSE RESPONSIBILITIES ARE LIMITED TO THOSE DESCRIBED IN WTCA 1-1995 "DESIGN RESPONSIBILITIES". ACCORDINGLY, IT DISCLAIMS ANY RESPONSIBILITIES AND/OR LIABILITY FOR THE CONSTRUCTION DESIGN, DRAWINGS, DOCUMENTS INCLUDING THE INSTALLATION, AND BRACING OF TRUSSES MANUFACTURED BY THIS COMPANY.</p> | <p>Customer: DRB Raleigh</p> <p>Job Name: The Farm at Neill's Creek</p> <p>Lot #: Lot 00.0034</p> <p>Model Name: Drayton</p> |  <p>Third-Party Quality Assurance Licensee TPI Plant W974</p> <p>Structural, LLC 201 Poplar Avenue Thurmont, MD 21788 Phone: 301-271-7591</p>  |
|---|--|---|--|---|

ROOF TRUSS LAYOUT

SCALE: NTS



ROOF FRAMING PLAN

| | | | | | |
|--|---|---|--|---|---|
| Job #: 2502-2400 | WARNING: CONVENTIONAL FRAMING, ERECTION AND/OR PERMANENT BRACING IS NOT THE RESPONSIBILITY OF THE TRUSS DESIGNER, PLATE MANUFACTURER, OR THE TRUSS MANUFACTURER. PERSONS ERECTING TRUSSES ARE CAUTIONED TO SEEK PROFESSIONAL ADVICE REGARDING THE ERECTION BRACING WHICH IS ALWAYS REQUIRED TO PREVENT TIPPING AND DOMING DURING ERECTION, AND PERMANENT BRACING WHICH MAY BE REQUIRED IN SPECIFIC APPLICATIONS. SEE "BRACING WOOD TRUSSES COMMENTARY AND RECOMMENDATIONS" (BCSI 1) FOR FURTHER INFORMATION. TRUSSES SHALL BE INSTALLED IN A STRAIGHT AND PLUMB POSITION WHERE NO SHEATHING IS APPLIED DIRECTLY TO TOP AND/OR BOTTOM CHORDS, THEY SHALL BE BRACED AS SPECIFIED ON THE ENGINEERED DESIGN. TRUSSES SHALL BE HANDLED WITH REASONABLE CARE DURING ERECTION TO PREVENT DAMAGE OR PERSONAL INJURY. | NOTE: IT IS THE RESPONSIBILITY OF THE BUILDING DESIGNER OR ARCHITECT TO PROVIDE AN APPROPRIATE CONNECTION FOR TRUSSES TO SUPPORTING STRUCTURE PER REACTIONS SHOWN ON TRUSS ENGINEERING. SPECIAL CONSIDERATIONS FOR MECHANICAL EQUIPMENT AND/OR PLUMBING (AND THEIR CONNECTIONS) IN TRUSS SPACE MUST BE DIAGRAMMED BY BUILDER ON APPROVED TRUSS LAYOUT PRIOR TO FABRICATION. THIS COMPANY IS A TRUSS MANUFACTURER WHOSE RESPONSIBILITIES ARE LIMITED TO THOSE DESCRIBED IN WTCA 1-1995 "DESIGN RESPONSIBILITIES". ACCORDINGLY, IT DISCLAIMS ANY RESPONSIBILITIES AND/OR LIABILITY FOR THE CONSTRUCTION DESIGN, DRAWINGS, DOCUMENTS INCLUDING THE INSTALLATION, AND BRACING OF TRUSSES MANUFACTURED BY THIS COMPANY. | Customer: DRB Raleigh Job Name: The Farm at Neill's Creek Lot 00.0034 Roof Lot #: Lot 00.0034 Model Name: Drayton |  Third-Party Quality Assurance Licensee TPI Plant W974 Structural, LLC 201 Poplar Avenue Thurmont, MD 21788 Phone: 301-271-7591 |  |
| Designer: Sai Kris Sales Rep: Robbie Zarobinski | | | | | |