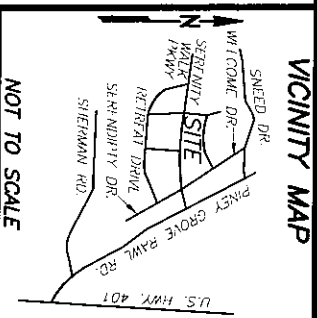


LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 64°35'01" E	50.00'
L2	S 53°41'53" W	2.04'
L3	S 64°35'01" W	48.00'
L4	N 78°13'59" W	167.12'
L5	S 07°34'09" W	66.92'

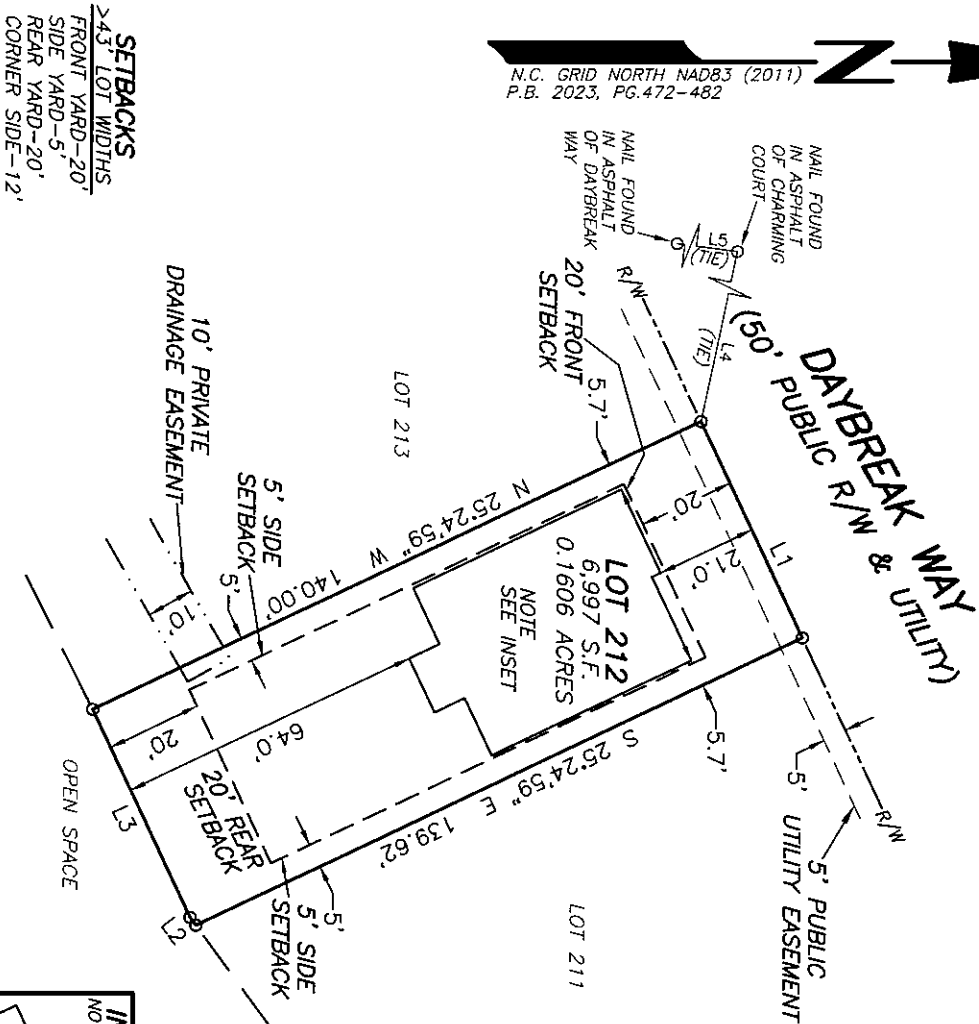


NOT TO SCALE

REFERENCES:
1. D.B. 4229 PG. 1542
PIN: 0645-93-3120.000
PID: 08065502 0032 52

NOTICE OF
DEVELOPMENT GUIDELINES:
2. D.B. 4149, PG. 210
RESTRICTIVE COVENANTS:
3. D.B. 4109, PG. 612

N.C. GRID NORTH NAD83 (2011)
P.B. 2023, PG. 472-482



SETBACKS
>43' LOT WIDTHS
FRONT YARD-20'
SIDE YARD-5'
REAR YARD-20'
CORNER SIDE-12'

NOTES:

1. ALL EASEMENTS, RIGHTS OF WAY AND BOUNDARY INFORMATION TAKEN FROM P.B. 2023, PG. 472-482 UNLESS OTHERWISE NOTED.
2. PROPERTY IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD. NO TITLE EXAMINATION HAS BEEN DONE BY ROBINSON & PLANTE, P.C.

NOTE:
RATIO OF PRECISION IS 1:10,000+, MISCLOSURE WAS DISTRIBUTED BY THE COMPASS METHOD. THE DISTANCES ON THIS MAP ARE ADJUSTED HORIZONTAL GROUND UNLESS NOTED OTHERWISE. ALL AREAS ARE CALCULATED BY COORDINATE COMPUTATION.

LOT 212 SERENITY SUBDIVISION
PHASE 2E
33 DAYBREAK WAY
HARNETT COUNTY
FUQUAY-VARINA, N.C. 27526

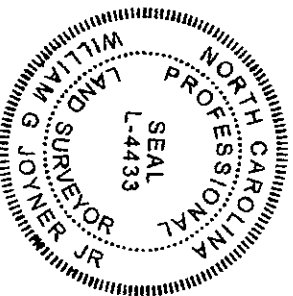
REFERENCE: PLAT BOOK 2023 PAGE 472-482.



GRAPHIC SCALE

FILE: S7YLO21212D

I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION DESCRIPTION RECORDED IN REFERENCES AS SHOWN; THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM INFORMATION IN THAT THE RATIO OF PRECISION IS 1:10,000+ AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.16000).
THIS 19th DAY OF MAY 2025.
William G. Joyner Jr.
PROFESSIONAL LAND SURVEYOR L-4433



ROBINSON & PLANTE PC
LAND SURVEYING
C-2687
970 TRINITY ROAD
RALEIGH, N.C. 27607
PHONE (919) 859-6030
FAX (919) 859-6032

DATE: 5-15-25

SCALE: 1"=40'