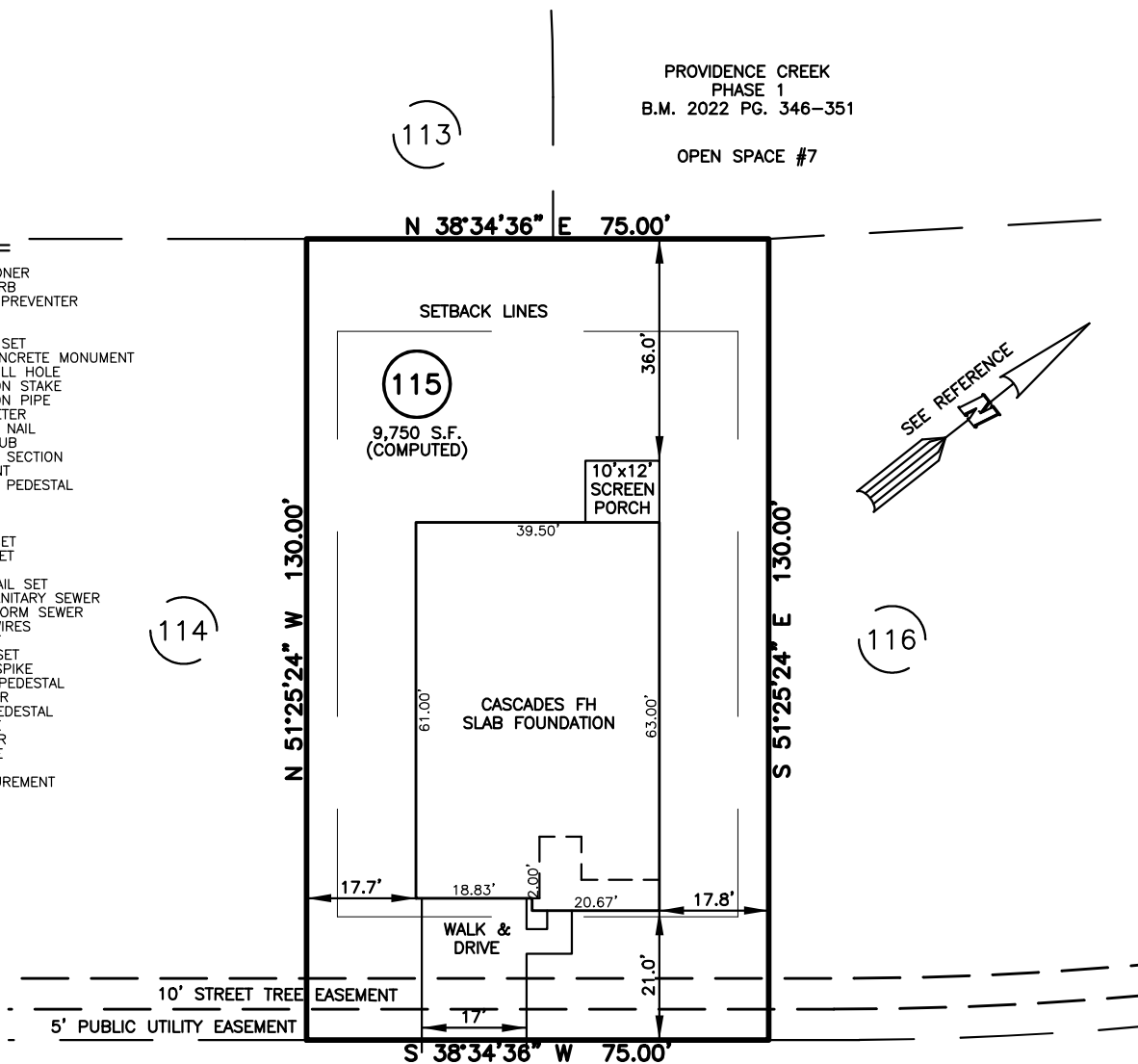


PROVIDENCE CREEK
PHASE 1
B.M. 2022 PG. 346-351

OPEN SPACE #7

A/C	AIR CONDITIONER
BC	BACK OF CURB
BFP	BACK FLOW PREVENTER
☐	CLEANOUT
☐	CURB INLET
DHS	DRILL HOLE SET
ECM	EXISTING CONCRETE MONUMENT
EDH	EXISTING DRILL HOLE
EIS	EXISTING IRON STAKE
EIP	EXISTING IRON PIPE
EM	ELECTRIC METER
EPK	EXISTING PK NAIL
ES	ELECTRIC STUB
↗	FLARED END SECTION
☉	FIRE HYDRANT
☉	FIBER OPTIC PEDESTAL
GM	GAS METER
→	GUY
INV.	INVERT
IPS	IRON PIPE SET
IRS	IRON ROD SET
Q	LIGHT POLE
MNS	MAGNETIC NAIL SET
☐	MANHOLE SANITARY SEWER
☐	MANHOLE STORM SEWER
OHW	OVERHEAD WIRES
PK	PK NAIL SET
PNS	POINT NOT SET
RRS	RAIL ROAD SPIKE
T	TELEPHONE PEDESTAL
☐	TRANSFORMER
☐	CABLE TV PEDESTAL
☉	UTILITY POLE
☉	WATER METER
☉	WATER VALVE
☐	YARD INLET
☐	FIELD MEASUREMENT



PROVIDENCE CREEK DRIVE
50' PUBLIC R/W

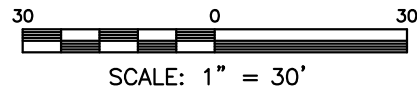
IMPERVIOUS SURFACES	S.F.
HOUSE	2,450
WALK & DRIVE	430
SCREEN PORCH	120
TOTAL	3,000

SETBACK INFO

FRONT: _____ 20'
REAR: _____ 15'
SIDES: _____ 5'
CORNER SIDE: _____ 15'

REFERENCES:

NOT RECORDED (SEE NOTE 1)



NOTES

1. PROPERTY LINES, BEARING & DISTANCES, EASEMENTS,
LOT AREA DRAWN PER MICKIMMIN CREED CAD FILE
ENTITLED 2024.07.17.PC PHASE 3. DWG.

THIS IS A SITE PLAN AS DEFINED BY G.S. 160D-102 AND
IS NOT INTENDED TO BE ATTACHED TO ANY INSTRUMENT
RECORDED IN THE REGISTER OF DEEDS OFFICE

SITE PLAN
NOT FOR RECORDATION,
CONVEYANCE OR SALES

REV CODE: 1.FLIP, 2.PLAN, 3.ROTATE, 4.MOVE, 5.SS
6.SEVERAL OF ABOVE, 7.LAND FEATURE, 8. OTHER

DATE: FEB. 03, 2025

F.B.

RWK, PA
ENGINEERING ~ SURVEYING
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