



FRONT ELEVATION I
SCALE: 1/8" = 1'-0"



REAR ELEVATION I
SCALE: 1/8" = 1'-0"

FILE: Lot_00,0004 amendment.dwg DATE: 1/22/2025 11:29 AM

MASTER PLAN INFORMATION	
REVISION	DATE
2-RALE	11-10-2023
UPDATED DATE	09-13-2024

DRAWN BY: ITS
DATE: 01/22/2025
PLAN NO. 3656



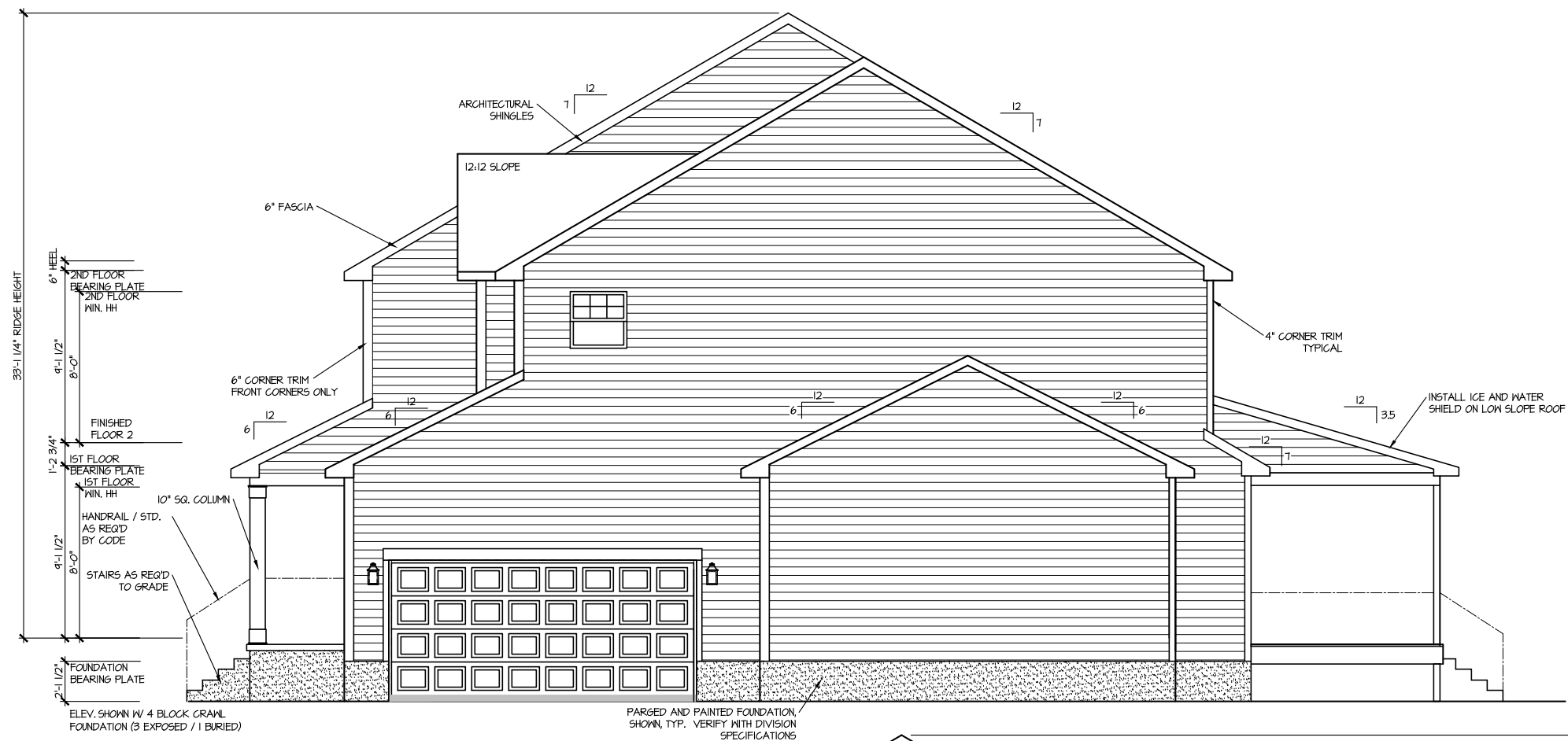
HOUSE NAME: STONEHAVEN
DRAWING TITLE: FRONT & REAR ELEVATIONS

SHEET No. A.1

FILE: Lot_00,0004_amendment.dwg DATE: 1/22/2025 11:29 AM

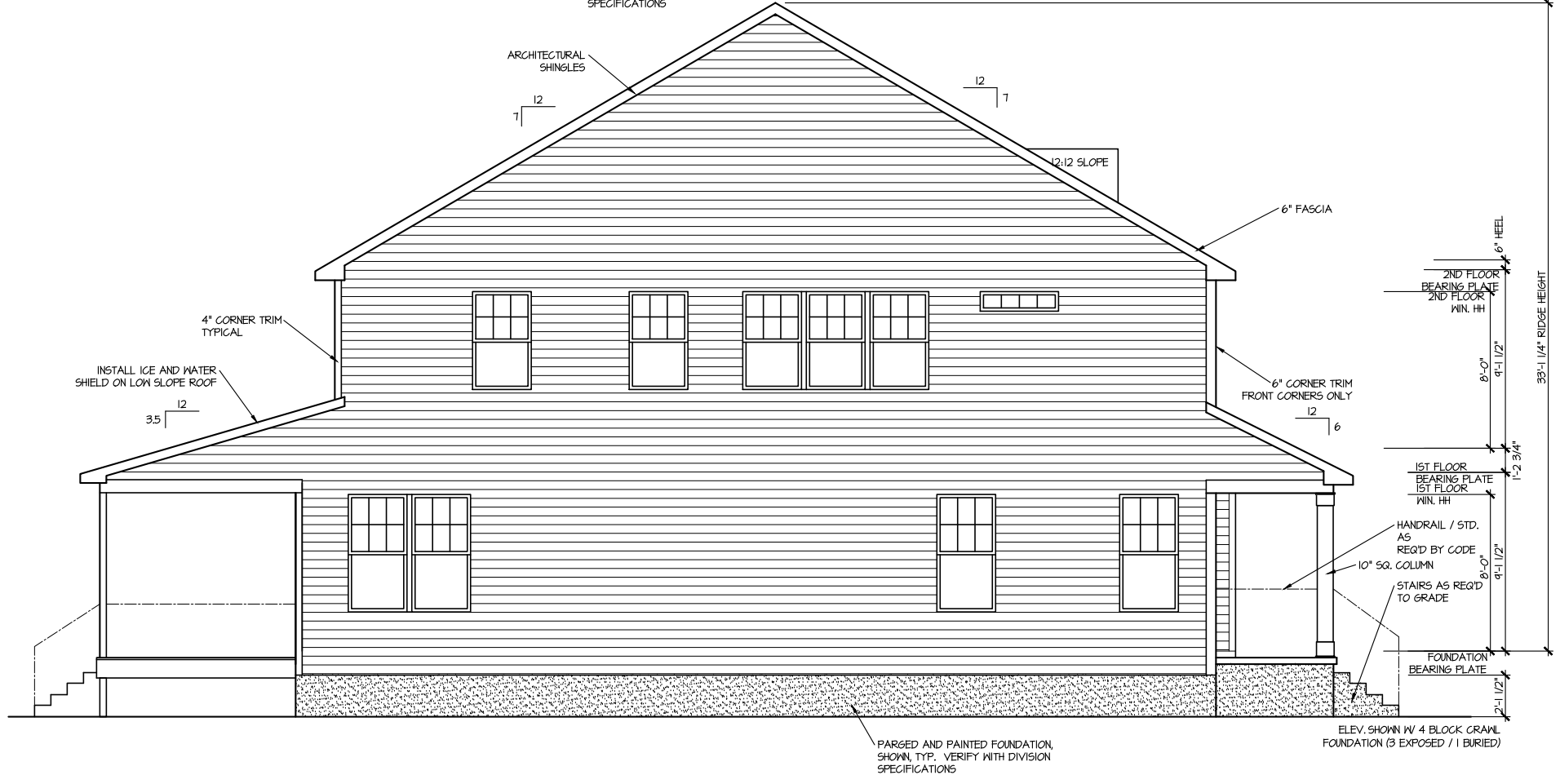
RIGHT ELEVATION I

SCALE: 1/8" = 1'-0"



LEFT ELEVATION I

SCALE: 1/8" = 1'-0"



MASTER PLAN INFORMATION
REVISION DATE 11-10-2023
2-RALE

UPDATED DATE 09-13-2024

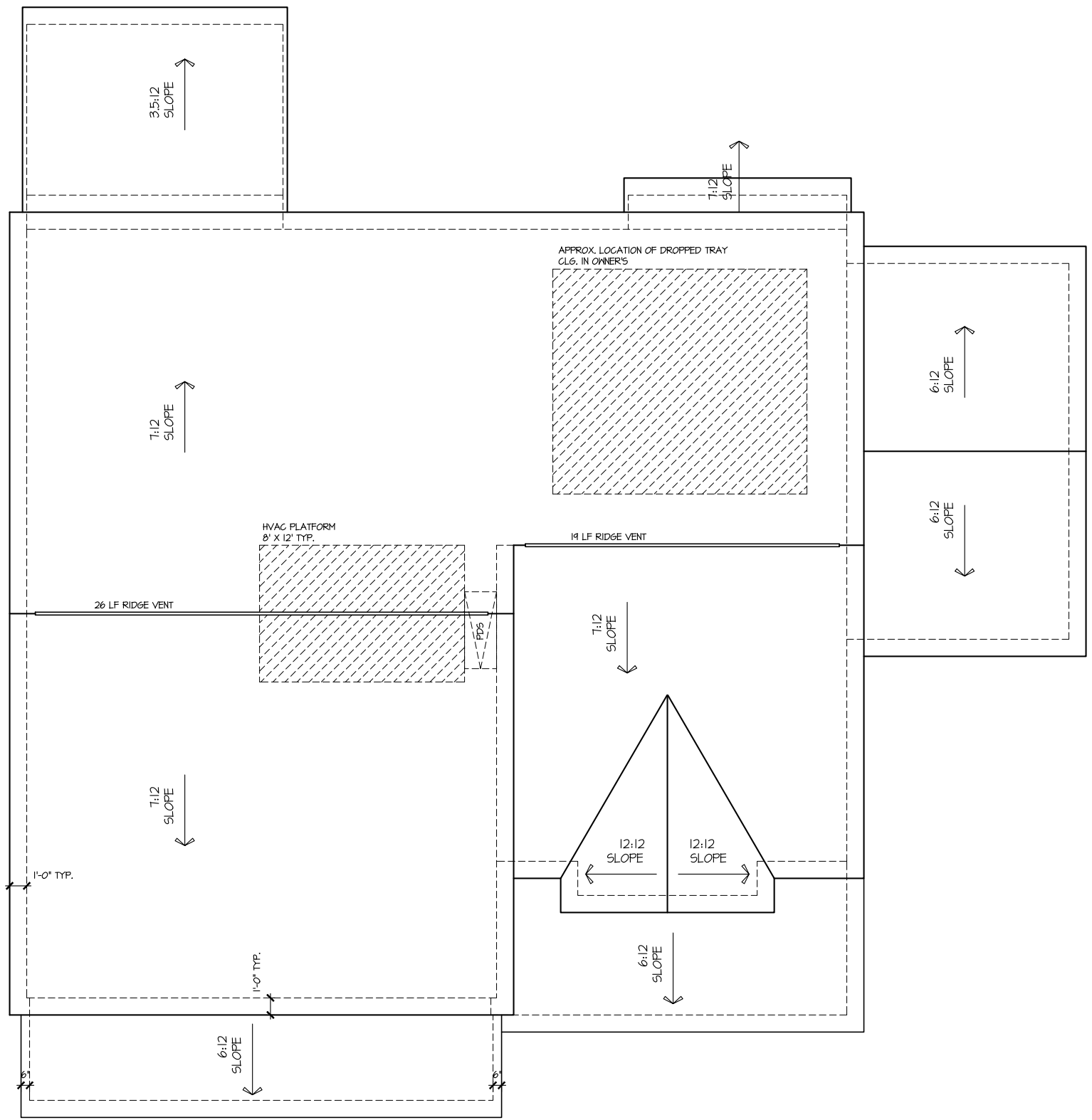
DRAWN BY: ITS
DATE: 01/22/2025
PLAN NO. 3656



HOUSE NAME: STONEHAVEN
DRAWING TITLE: RIGHT & LEFT ELEVATIONS

SHEET No. A1.2

ROOF VENTILATION CALCULATIONS:
 ROOF AREA = 241 SQ. FT.
 OVERALL REQUIRED VENTILATION:
 1 TO 150 = 14.21 SQ. FT.
 1 TO 300 = 1.14 SQ. FT.
 50-80% IN TOP THIRD = 3.51 - 5.11 SQ. FT. (1 TO 300)
 NET FREE AREA OF VENTED SOFFIT = 5.1 SQ. IN. / LINEAR FT.
 NET FREE AREA OF RIDGE VENT = 19 SQ. IN. LINEAR FT.
 LOWER VENTING (BOTTOM 2/3 RDS):
 26 LINEAR FEET OF SOFFIT X 5.1 SQ. IN. = 340 SQ. FT.
 UPPER VENTING (TOP 1/3 RDS):
 45 LINEAR FEET OF RIDGE X 19 SQ. IN. = 563 SQ. FT.
 563 SQ. FT. BETWEEN 50% - 80%
 (1 TO 300 ALLOWED)
 TOTAL ROOF VENTILATION: 4.09 SQ. FT. > 1.14 SQ. FT. (REQ'D)



ROOF PLAN ELEV. 1
 SCALE: 1/8" = 1'-0"

FILE: Lot_00,0004_amendment.dwg DATE: 1/22/2025 11:29 AM

MASTER PLAN INFORMATION	
REVISION	DATE
2-RALE	11-10-2023
UPDATED DATE	09-13-2024

DRAWN BY: ITS
 DATE: 01/22/2025
 PLAN NO. 3656

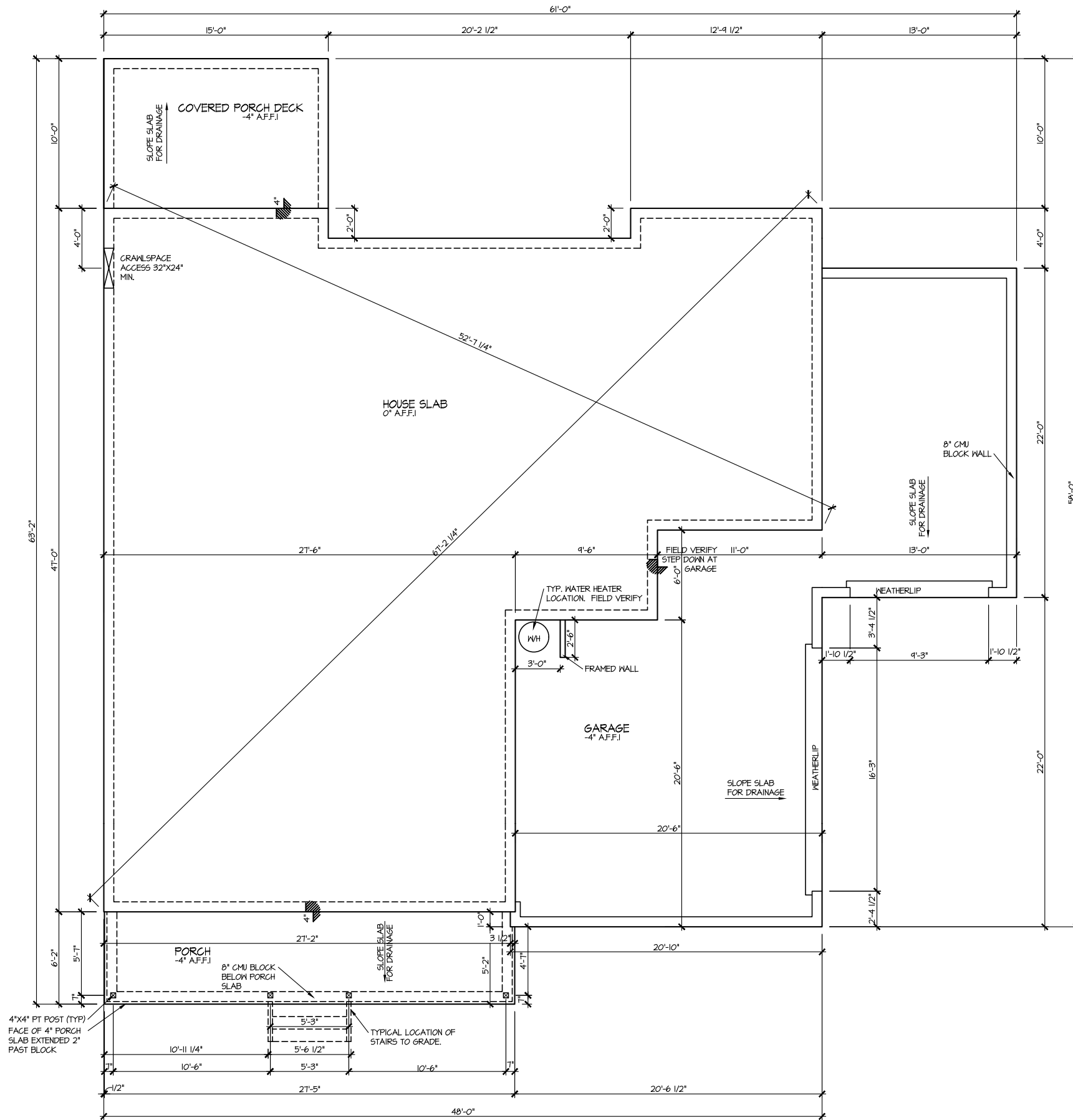


HOUSE NAME: STONEHAVEN
 DRAWING TITLE: ROOF PLAN

SHEET No. A.3

FILE: Lot_00.0004_amendment.dwg DATE: 1/22/2025 11:29 AM

CRAWLSPACE VENT CALCULATIONS:
 CRAWL AREA = 1124 SQ. FT.
 OVERALL REQUIRED VENTILATION
 1 TO 150 = 11.84 SQ. FT.
 NET FREE AREA OF VENT = 62 SQ. IN PER VENT
 WITH AN AUTOMATIC VENT B-EELACK (MB) OR EQUAL
 VENTING REQUIREMENT:
 4.97 SQ. FT / 62 SQ. IN = 215 VENTS = 28 VENTS



**ELEVATION 1
 CRAWL SPACE PLAN**
 SCALE: 1/8" = 1'-0"

MASTER PLAN INFORMATION	
REVISION	DATE
2-RALE	11-10-2023
	UPDATED DATE
	09-13-2024

DRAWN BY: ITS
 DATE: 01/22/2025
 PLAN NO. 3656

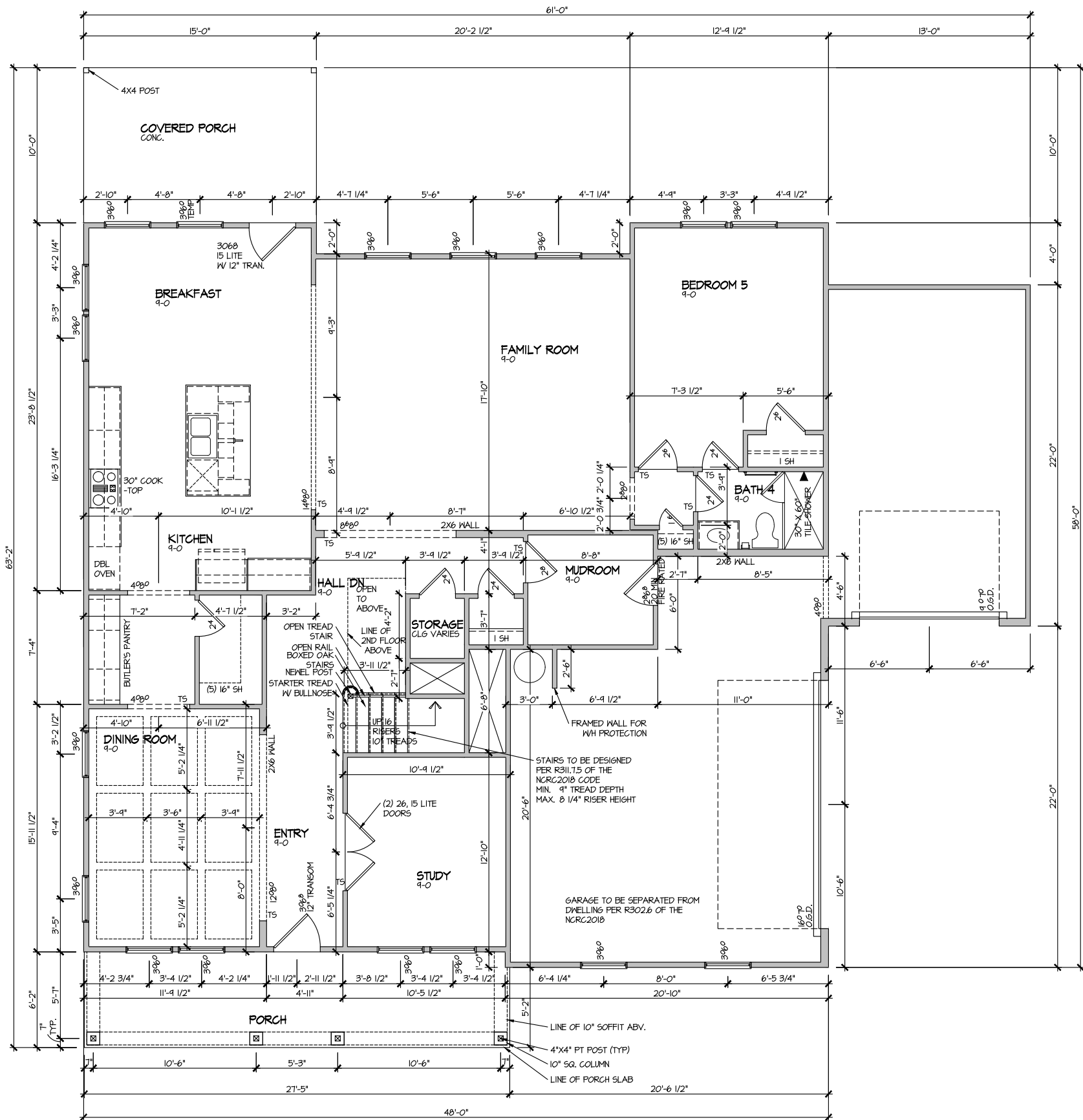


HOUSE NAME: **STONEHAVEN**
 DRAWING TITLE: **CRAWL SPACE PLAN**

SHEET No. **A2.1**

ELEVATION I FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



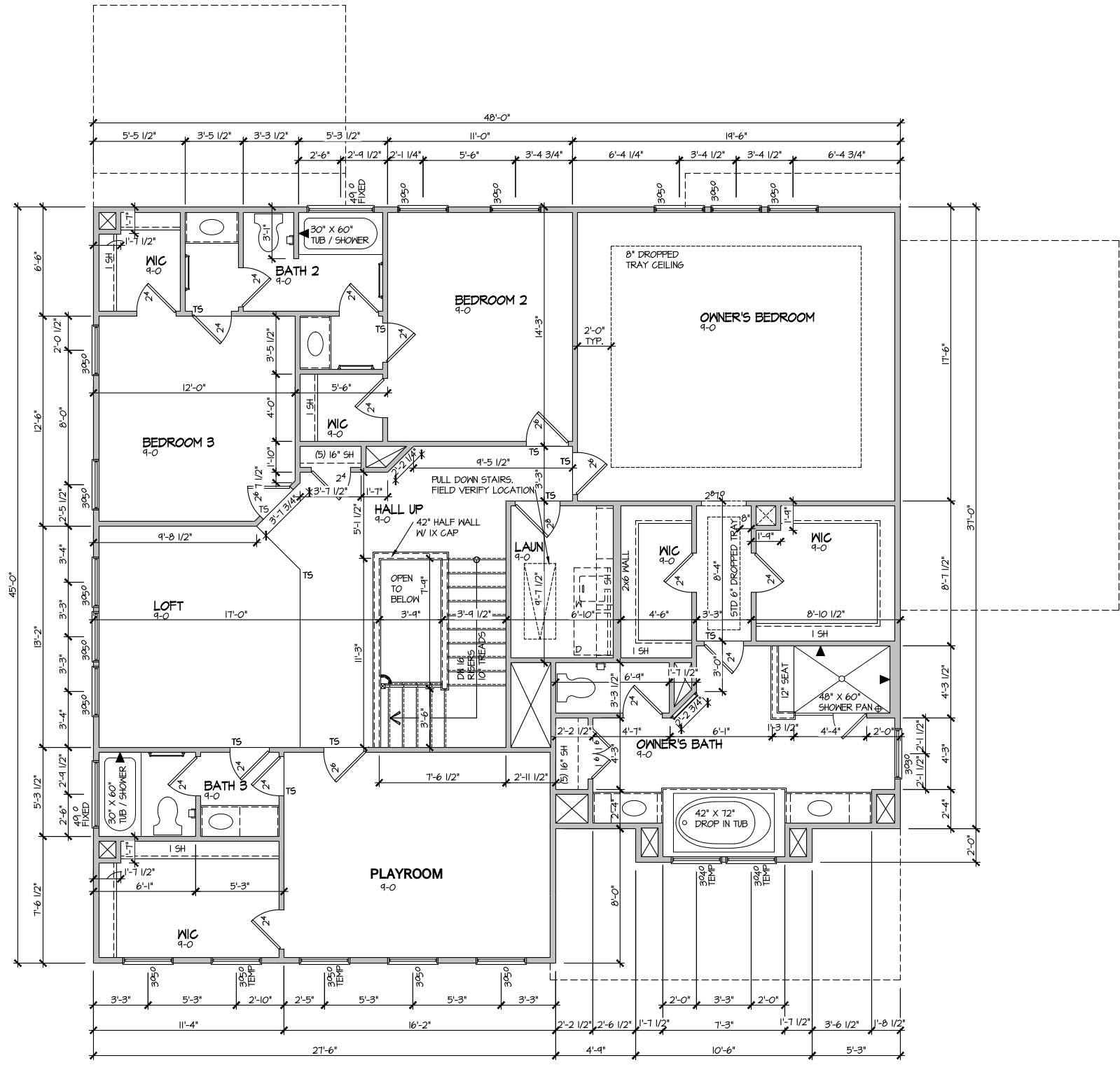
MASTER PLAN INFORMATION
DATE: 11-10-2023
REVISION: 2-RALE
UPDATED DATE: 09-13-2024

DRAWN BY: ITS
DATE: 01/22/2025
PLAN NO.: 3656



HOUSE NAME: STONEHAVEN
DRAWING TITLE: FIRST FLOOR PLAN

SHEET No. A3.1



ELEVATION I
 SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"

FILE: Lot_00.0004_amendment.dwg DATE: 1/22/2025 11:29 AM

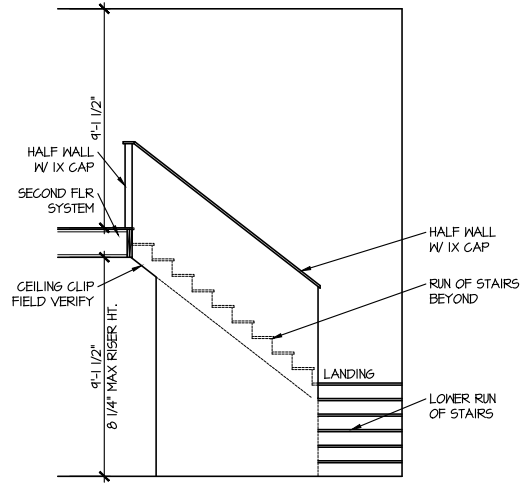
MASTER PLAN INFORMATION	
REVISION	DATE
2-RALE	11-10-2023
	UPDATED DATE
	09-13-2024

DRAWN BY:	ITS
DATE:	01/22/2025
PLAN NO.	3656



HOUSE NAME:	STONEHAVEN
DRAWING TITLE	SECOND FLOOR PLAN

SHEET No.	A3.2
-----------	------



STAIR SECTION

SCALE: 1/8" = 1'-0"

MASTER PLAN INFORMATION		
REVISION	DATE	UPDATED DATE
2-RALE	11-10-2023	09-13-2024

DRAWN BY:
ITS

DATE:
01/22/2025

PLAN NO.
3656



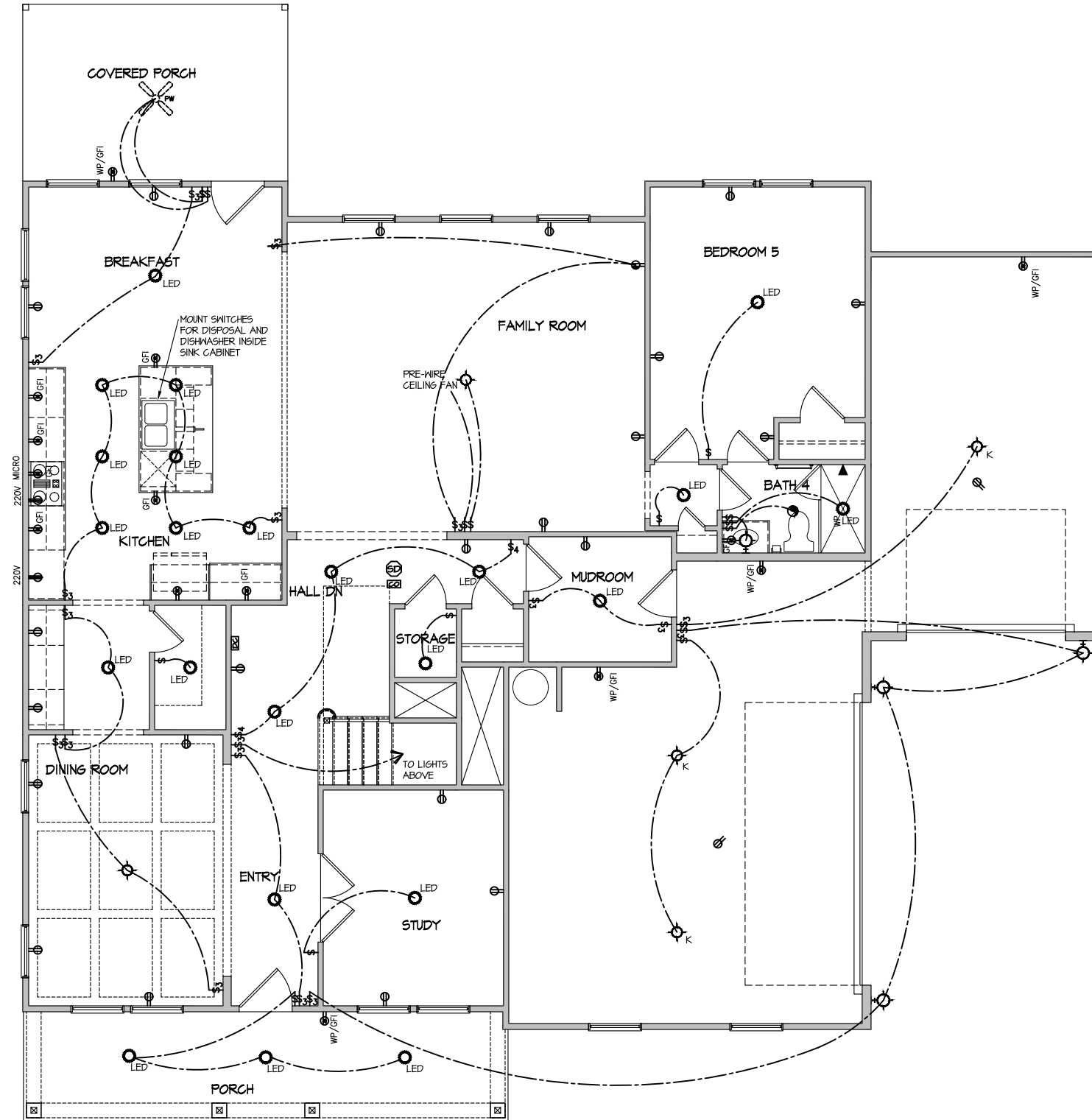
HOUSE NAME:
STONEHAVEN

DRAWING TITLE
BUILDING SECTION

SHEET No.
A4.1

ELECTRICAL LEGEND	
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	DUPLEX AFCI RECEPTACLE
	DUPLEX AFCI RECEPTACLE - BOTTOM HALF SWITCHED
	DUPLEX AFCI RECEPTACLE - FLOOR MOUNTED
	RECEPTACLE - 220V
	DUPLEX AFCI RECEPTACLE - GFI
	DUPLEX AFCI RECEPTACLE - WATERPROOF GFI
	SMOKE DETECTOR - WIRED IN SERIES
	EXHAUST FAN MOTOR
	FAN LIGHT COMBO
	WATER PROOFED
	CO DETECTOR
	DOOR CHIME
	LIGHT FIXTURE - WALL MOUNTED
	LIGHT FIXTURE - CEILING MOUNTED
	LIGHT FIXTURE - CEILING MOUNTED LED
	LIGHT FIXTURE - LED SURFACE MOUNTED
	LIGHT FIXTURE - RECESSED CAN
	PULLCHAIN LAMPHOLDER
	KEYLESS LAMPHOLDER
	2x4' STRIP LIGHT

NOTE: ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE ADOPTED VERSION OF THE NATIONAL ELECTRICAL CODE, THE LOCAL POWER COMPANY AND TO ALL APPLICABLE LOCAL REGULATIONS.



**ELECTRICAL PLAN
FIRST FLOOR - ELEV. 1**

SCALE: 1/8" = 1'-0"

FILE: Lot_00,0004_ amendment.dwg DATE: 1/22/2025 11:29 AM

UPDATED DATE
09-13-2024

MASTER PLAN INFORMATION
REVISION DATE 11-10-2023
2-RALE

DRAWN BY: ITS
DATE: 01/22/2025
PLAN NO. 3656

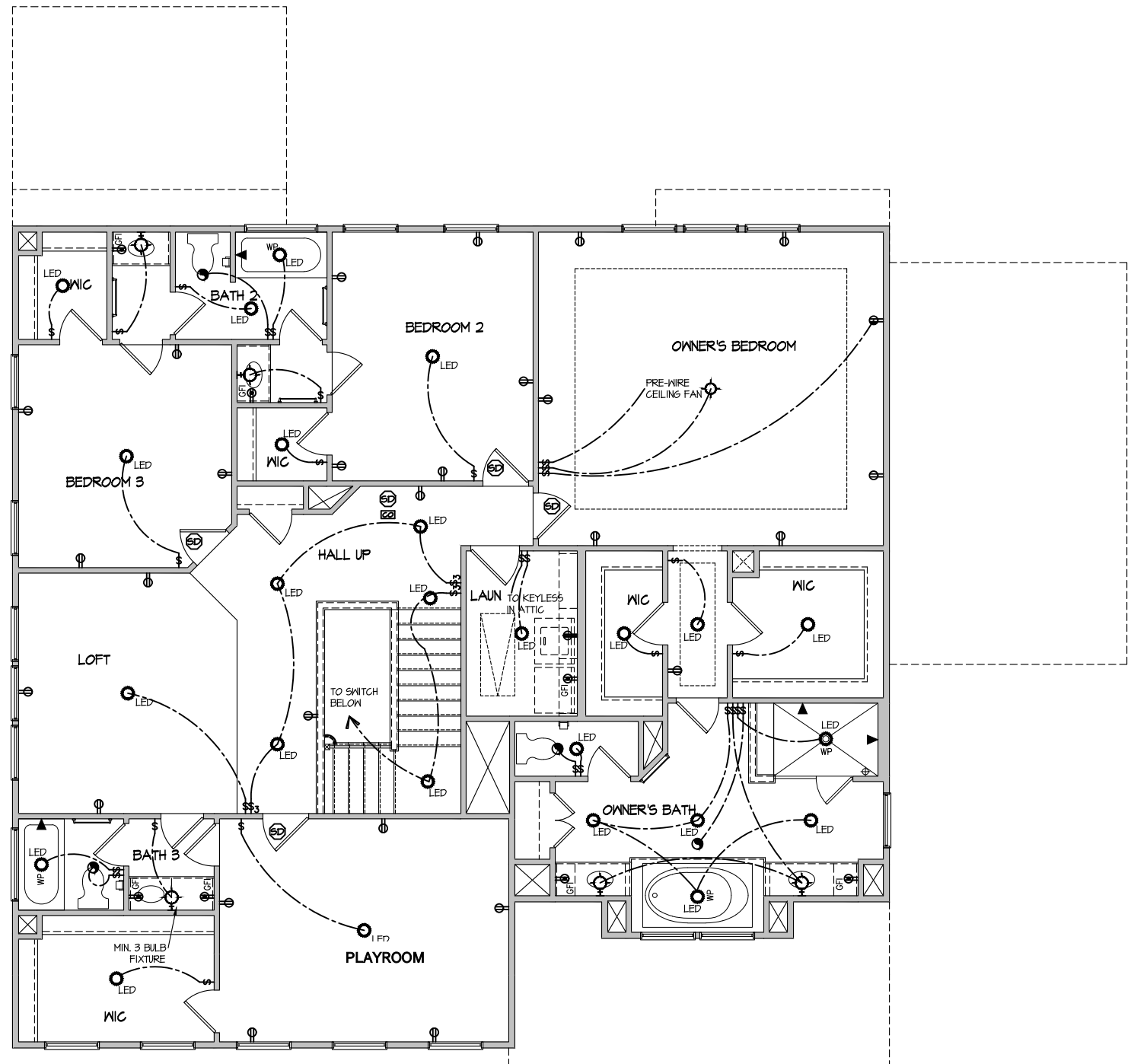


HOUSE NAME: STONEHAVEN
DRAWING TITLE: FIRST FLOOR ELECTRICAL

SHEET No.
1

ELECTRICAL LEGEND	
Ⓢ	SINGLE POLE SWITCH
Ⓢ ₃	THREE WAY SWITCH
Ⓢ ₄	FOUR WAY SWITCH
Ⓢ	DUPLEX AFCI RECEPTACLE
Ⓢ	DUPLEX AFCI RECEPTACLE - BOTTOM HALF SWITCHED
Ⓢ	DUPLEX AFCI RECEPTACLE - FLOOR MOUNTED
220V	RECEPTACLE - 220V
GFI	DUPLEX AFCI RECEPTACLE - GFI
WP/GFI	DUPLEX AFCI RECEPTACLE - WATERPROOF GFI
SD	SMOKE DETECTOR - WIRED IN SERIES
Ⓢ	EXHAUST FAN MOTOR
Ⓢ	FAN LIGHT COMBO
WP	WATER PROOFED
Ⓢ	CO DETECTOR
Ⓢ	DOOR CHIME
Ⓢ	LIGHT FIXTURE - WALL MOUNTED
Ⓢ	LIGHT FIXTURE - CEILING MOUNTED
Ⓢ	LIGHT FIXTURE - CEILING MOUNTED LED
LED	LIGHT FIXTURE - LED SURFACE MOUNTED
LED	LIGHT FIXTURE - RECESSED CAN
Ⓢ	PULLCHAIN LAMPHOLDER
Ⓢ	KEYLESS LAMPHOLDER
I	2'x4' STRIP LIGHT

NOTE: ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE ADOPTED VERSION OF THE NATIONAL ELECTRICAL CODE, THE LOCAL POWER COMPANY AND TO ALL APPLICABLE LOCAL REGULATIONS.



ELECTRICAL PLAN
 SECOND FLOOR - ELEV. 1
 SCALE: 1/8" = 1'-0"

FILE: Lot_00,0004 amendment.dwg DATE: 1/22/2025 11:29 AM

MASTER PLAN INFORMATION	
REVISION	DATE
2-RALE	11-10-2023
UPDATED DATE	09-13-2024

DRAWN BY:	ITS
DATE:	01/22/2025
PLAN NO.	3656



HOUSE NAME:	STONEHAVEN
DRAWING TITLE	SECOND FLOOR ELECTRICAL

SHEET No.	1.2
-----------	-----

CONNECTION SPECIFICATIONS (TYP. U.N.O.)

Table with 3 columns: DESCRIPTION OF BLDG. ELEMENT, 3"x0.131" NAILS, 3"x0.120" NAILS. Rows include JOIST TO SOLE PLATE, SOLE PLATE TO JOIST/BLK'G., STUD TO SOLE PLATE, etc.

MEANS & METHODS NOTES

THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FINISHED AND ALL PLAN, DETAIL, AND NOTE SPECIFICATIONS HAVE BEEN COMPLETED.

STRUCTURAL DESIGN AND SPECIFICATIONS ASSUME THAT ALL SUPPORTING AND NON-SUPPORTING ELEMENTS IN CONTACT WITH FLOOR FRAMING ARE LEVEL, INCLUDING, BUT NOT LIMITED TO; FOUNDATIONS, SLABS ON GRADE, BEAMS, WALLS, AND NON-BEARING ELEMENTS.

ADDITIONAL NOTES FOR TRUSS & I-JOIST MANUFACTURER

ROOF TRUSS, FLOOR TRUSS AND ENGINEERED JOISTS SHALL BE DESIGNED TO MEET THE DIFFERENTIAL DEFLECTION CRITERIA BELOW, UNLESS NOTED OTHERWISE ON PLAN.

TRUSSES/JOISTS SHALL BE DESIGNED SO THAT DIFFERENTIAL DEFLECTION BETWEEN ADJACENT PARALLEL TRUSSES/JOISTS OR GIRDER TRUSSES/FLASH BEAMS DO NOT EXCEED THE FOLLOWING:

GENERAL STRUCTURAL NOTES

- DESIGN IS BASED ON 2018 NORTH CAROLINA STATE BUILDING CODE: RESIDENTIAL CODE.
WOOD FRAME ENGINEERING IS BASED ON NDS, NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION - LATEST EDITION.
DESIGN LOADS: ROOF DEAD = 7 PSF T.C., 10 PSF B.C. LIVE = 16 PSF LOAD DURATION FACTOR = 1.25

GENERAL FRAMING

- ALL TYP. NAIL FASTENER REQUIREMENTS ARE NOTED IN STANDARD CONNECTIONS TABLE OR ON PLANS. ALL NAILS SPECIFIED ARE MIN DIAMETER AND LENGTH REQUIRED FOR CONNECTION.
REFER TO FASTENING SCHEDULE TABLE R602.3(1) FOR ALL CONNECTIONS, TYP. U.N.O.

FLOOR FRAMING

- I-JOISTS/TRUSSES SHALL BE DESIGNED BY MANUF. TO MEET OR EXCEED L/480 LIVE LOAD DEFLECTION CRITERIA.
AT I-JOIST FLOORS, PROVIDE 1 1/8" MIN. OSB RIM BOARD.
METAL HANGERS SHALL BE SPECIFIED BY MANUFACTURER, U.N.O.

ROOF FRAMING

- BAY WINDOWS & SHED ROOFS (UP TO 6' SPAN) CAN BE 2x4 OR 2x6 RAFTERS & CEILING JOISTS @ 16/24" O.C.
FASTEN EACH ROOF TRUSS TO TOP PLATE W/ SIMPSON H25T CLIP (OR APPROVED EQUAL) @ ALL BEARING POINTS.
ERECT AND INSTALL ROOF TRUSSES PER WTCA & TPI'S BC51 I-08 "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING & BRACING OF METAL PLATE CONNECTED WOOD TRUSSES."

VENEER LINTEL SCHEDULE

Table with 3 columns: SPAN (MAX), HEIGHT OF VENEER ABOVE LINTEL, STEEL ANGLE SIZE. Rows include 3'-0", 6'-0", 8'-0", 9'-6", 10'-0".

ALL LINTELS SHALL SUPPORT 2 1/2" - 3 1/2" VENEER w/ 40 psf MAXIMUM HEIGHT.
< W/ SHALL HAVE 4" MIN. BEARING
< W/ SHALL NOT BE FASTENED BACK TO HEADER

SD2.1 REFERS TO SD2.1A FOR LVL/PSL/LSL BEAMS OR SD2.1B FOR FLITCH BEAMS OR SD2.1C FOR STEEL BEAMS

LATERAL BRACING & SHEAR WALL SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM: 120 MPH WIND IN 2018 NC5BC:RC (120 MPH WIND SPEED IN ASCE 7-10 WIND MAP, PER IRC R301.2.1.1) EXP. B, RISK CAT. 2 & SEISMIC CAT. A/B.

THE DESIGN WAS COMPLETED PER 2015 IBC (SECTION 1604) & ASCE 7-10, AS PERMITTED BY R301.1.3 OF THE 2018 NC5BC:RC, OR THE SIMPLIFIED PRESCRIPTIVE PROCEDURE IN ACCORDANCE WITH THE 2015 IRC IF THE PARAMETERS OF SECTION R602.12 COMPLY.

DESIGN WIND UPLIFT LOADS HAVE BEEN CALCULATED UTILIZING ASCE 7-10 (ACCEPTED ENGINEERING PRACTICE) AS ALLOWED PER 2018 NC5BC:RC SECTION R802.11.1.1. THIS MODEL HAS BEEN DETAILED WHERE REQUIRED & ENGINEERED TO RESIST THE WIND UPLIFT LOAD PATH PER SECTIONS R602.3.5 & R802.11.

EXT. WALL SHEATHING SPECIFICATION

- 7/16" OSB OR 15/32" PLYWOOD: FASTEN SHEATHING w/ 2 3/8"x0.113" NAILS @ 6" O.C. AT EDGES @ 12" O.C. IN THE PANEL FIELD.
HORIZONTAL BLOCKING OF EXT. WALL/SHEAR WALL PANEL EDGES IS NOT REQUIRED BY THIS DESIGN EXCEPT FOR THOSE AREAS SPECIFICALLY NOTED.

BLOCKED PANEL EDGES

- AT DESIGNATED AREAS - FASTEN SHEATHING w/ 2 3/8" x 0.113" NAILS @ 6" O.C. AT ALL PANEL EDGES AND 12" O.C. IN THE PANEL FIELD OR 1 3/4" 16 GA STAPLES (1/2" CROWN) @ 3" O.C. AT EDGES @ 6" O.C.

3" O.C. EDGE NAILING

- AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING w/ 8d NAILS @ 3" O.C. NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC.

NOTES

- SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING. IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN, IT WILL BE SPECIFICALLY NOTED ON PLAN.
DESIGN ASSUMES 16" O.C. MAX. STUD SPACING, U.N.O.
ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.

INDICATES EXTENT OF INT. OSB SHEARWALL OR 3" O.C. OSB SHEARWALL.
INDICATES HOLD-DOWN BELOW

GENERAL STRUCTURAL NOTES

FOUNDATION

- DESIGN IS BASED ON 2018 NORTH CAROLINA STATE BUILDING CODE: RESIDENTIAL CODE.
FOOTING DESIGN - 2,000 PSF ALLOWABLE SOIL BEARING PRESSURE IS ASSUMED.
FASTEN 2x4/6 SILL PLATES TO FND WITH A MINIMUM OF 2 ANCHORS PER PLATE, 12" MAX. FROM PLATE ENDS - UTILIZING:
1/2" DIA. ANCHOR BOLTS @ 6'-0" O.C., 7" MIN. EMBEDMENT (CONC), 15" MIN. EMBEDMENT (CMU)

- ALL CONCRETE EXPOSED TO THE WEATHER SHALL NOT HAVE LESS THAN 5% OR MORE THAN 1% AIR ENTRAINMENT.
ALL FOOTINGS SHALL BEAR AT LEAST 12" BELOW FINISH GRADE.

- PROVIDE CONTROL JOINTS AT ALL INSIDE CORNERS OF SLAB EDGES, AND OTHER LOCATIONS WHERE SLAB CRACKS ARE LIKELY TO DEVELOP.
JOINTS SHALL BE LOCATED @ 10'-0" O.C. (RECOMMENDED) OR 15'-0" O.C. (MAXIMUM)

- CONCRETE MASONRY UNITS (CMU) SHALL BE ASTM C90 WITH A MIN. COMPRESSIVE STRENGTH OF 1400 psi (Fm=1500 psi). MORTAR SHALL BE ASTM C270, TYPE S. CMU DESIGN PER ACI 530 & 530.1.

- CMU FOUNDATION WALLS SHALL HAVE "DUR-O-WALL" HORIZONTAL JOINT REINFORCEMENT (OR EQUAL) - 9 GA. MINIMUM @ 16" O.C.

- PROVIDE 2x6 P.T. PLATE ON TOP OF ALL CRANWL SPACE PIERS. ALL PIERS SHALL BE GROUTED SOLID.

- PROVIDE 2x6 P.T. PLATE ON INTERIOR CRANWL SPACE WALLS, FASTENED PER ANCHORAGE SPECIFICATION NOTED ABOVE.

HOLD-DOWN SCHEDULE

Table with 2 columns: SYMBOL, SPECIFICATION. Rows include HD-1 SIMPSON HTT4 HOLD-DOWN, HD-2 SIMPSON MSTC66 STRAP TIE, HD-3 SIMPSON STDH14/14RJ HOLD-DOWN

ALTERNATIVE TO S6TB24 ANCHOR BOLT SPECIFICATION: UTILIZE SIMPSON "SET" EPOXY SYSTEM TO FASTEN 3/8" DIA. THREADED ROD INTO CONCRETE FOUNDATION.



MULHERN+KULP RESIDENTIAL STRUCTURAL ENGINEERING
350 Danville Ave., Building 4 - Anahim, PA 15022
P 717-948-8001 - m.mulhern@mulhernkulp.com
NC LICENSE #C-3825

Project number: 126-24045
Project mgr: JTR
Drawn by: JAD
Issue date: 01-28-25

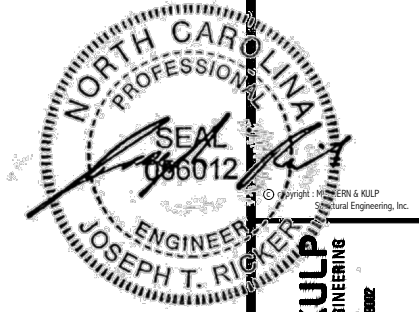
REVISIONS:



STRUCTURAL NOTES
CAMPBELL RIDGE
LOT 4 - STONEHAVEN I
RALEIGH, NC

sheet:





MULHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERING
300 Dunsmuir Ave, Building 4 - Asheville, PA 18022
P 215-948-8001 - mulhern+kulp.com
NC LICENSE #C-3825



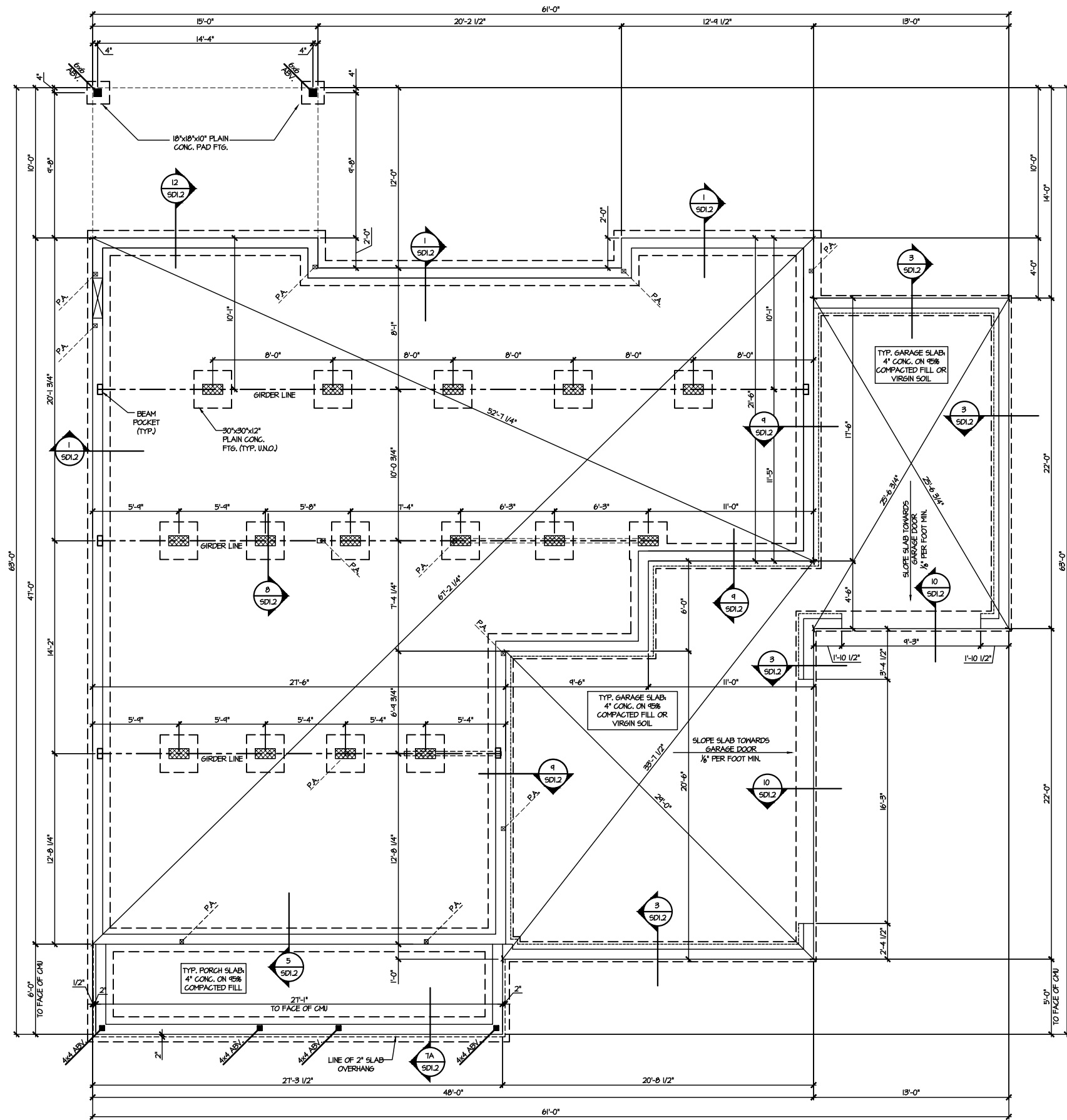
M&K project number:
126-24045
project mgr: JTR
drawn by: JAD
issue date: 01-28-25

REVISIONS:

DRB
HOMES

FOUNDATION PLANS
CAMPBELL RIDGE
LOT 4 - STONEHAVEN I
RALEIGH, NC

Sheet:
S1.0

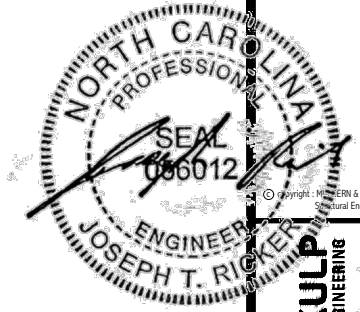


1 CRAWL SPACE FOUNDATION PLAN
SCALE: 1/8"=1'-0"

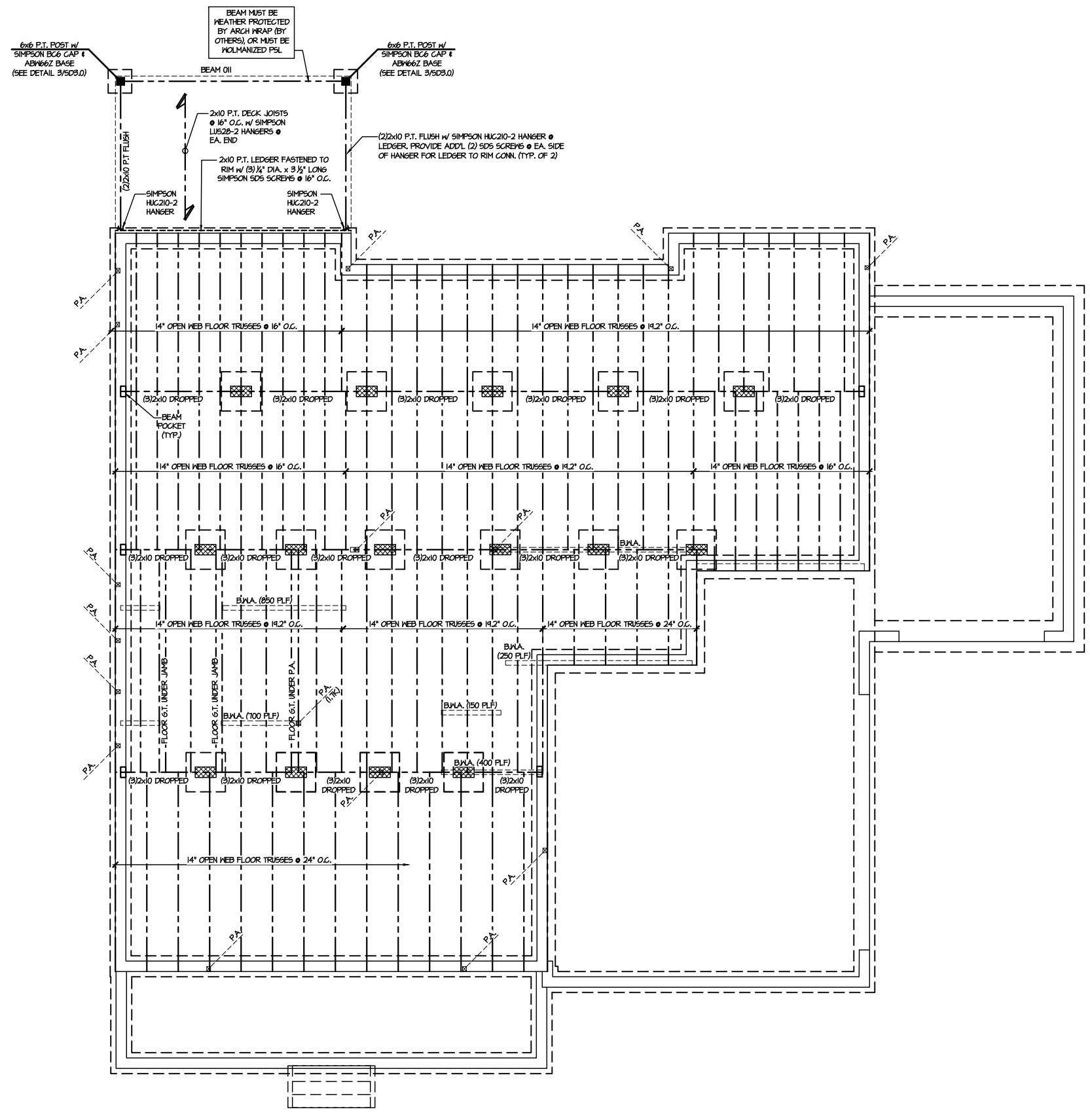
LEGEND

- Interior bearing wall
- Bearing wall above
- Beam / header
- Indicates shear wall & extent
- Extent of overframing
- JL METAL HANGER
- * INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

REFER TO 50.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES



MULHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERING
303 Bannockburn Ave, Building 4 - Aankler, PA 15822
P: 715-948-8001 - mulhern+kulp.com
NC LICENSE #C-3825



ENGINEERED BEAM MATERIAL SCHEDULE

BEAM NUMBER	LVL OPTION	PSL OPTION	LSL OPTION	FLITCH OPTION	STEEL OPTION
001	(2) 3/4"x1 1/4" - F	3/2"x1 1/4" - F	N/A	(2) 2x10 + (1) 1/2"x4" STEEL FLITCH PLATES - F	M2x10 - F
002	(2) 3/4"x10" - FB	3/2"x10" - FB	N/A	(2) 2x12 + (1) 1"x1/4" STEEL FLITCH PLATES - F	M12x14 - F
002A	(3) 3/4"x16" - FB	5/4"x16" - FB	N/A	(3) 2x12 + (2) 1/2"x1/4" STEEL FLITCH PLATES - F	M12x14 - F
003	(2) 3/4"x14" - F	3/2"x14" - F	(3) 3/4"x14" - F	(2) 2x12 + (1) 1/2"x1/4" STEEL FLITCH PLATES - F	M12x14 - F
004	(2) 3/4"x14" - F	3/2"x14" - F	(3) 3/4"x14" - F	(2) 2x12 + (1) 3/8"x1/4" STEEL FLITCH PLATES - F	M12x14 - F
005	(4) 3/4"x10" - D	7"x10" - D	N/A	(4) 2x12 + (3) 3/8"x1/4" STEEL FLITCH PLATES - D	M12x30 - D
006	(2) 3/4"x11 1/8" - H	3/2"x11 1/8" - H	(3) 3/4"x11 1/8" - H	N/A	N/A
007	(2) 3/4"x14" - H	3/2"x14" - H	(3) 3/4"x14" - H	(2) 2x12 + (1) 3/8"x1/4" STEEL FLITCH PLATES - H	N/A
008	(3) 3/4"x14" - F	5/4"x14" - F	N/A	(3) 2x10 + (2) 1/2"x1/4" STEEL FLITCH PLATES - F	M12x14 - F
009	(3) 3/4"x10" - H	5/4"x10" - H	N/A	(3) 2x12 + (2) 1/2"x1/4" STEEL FLITCH PLATES - H	N/A
010	(2) 3/4"x14" - H	3/2"x14" - H	(2) 3/4"x14" - H	(2) 2x10 + (1) 1/2"x1/4" STEEL FLITCH PLATES - H	M2x10 - H
011	(3) 3/4"x14" - F	5/4"x14" - F	(3) 3/4"x14" - F	(3) 2x10 + (2) 1/2"x1/4" STEEL FLITCH PLATES - F	M2x10 - F
012	(4) 3/4"x11 1/8" - D	7"x11 1/8" - D	N/A	(4) 2x12 + (3) 1/2"x1/4" STEEL FLITCH PLATES - D	M12x14 - D
013	(3) 3/4"x16" - FT	5/4"x16" - FT	N/A	(3) 2x12 + (2) 1/2"x1/4" STEEL FLITCH PLATES - F	M12x14 - F
014	(2) 3/4"x14" - F	3/2"x14" - F	(3) 3/4"x14" - F	(2) 2x12 + (1) 3/8"x1/4" STEEL FLITCH PLATES - F	M12x14 - F

- BEAM NOTATION:
 - "F" INDICATES FLUSH BEAM
 - "FT" INDICATES FLUSH TOP BEAM
 - "FB" INDICATES FLUSH BOTTOM BEAM
 - "D" INDICATES DROPPED BEAM
 - "H" INDICATES DROPPED OPENING HEADER
- REFER TO DETAIL D/SD2.0 FOR TYPICAL FLITCH BEAM CONNECTIONS
- REFER TO DETAIL E/SD2.0 FOR TYPICAL STEEL BEAM CONNECTIONS
- FOR FLUSH TOP BEAMS PROVIDE 2X STACKED PLATES BENEATH BEAM AS REQ'D. FASTEN PLATES IN SUCCESSION W/ (2) 3"x0.120" NAILS @ 8" O.C.
- FOR FLUSH BOTTOM BEAMS PROVIDE 2X STACKED PLATES ATOP BEAM AS REQ'D. FASTEN PLATES IN SUCCESSION W/ (2) 3"x0.120" NAILS @ 8" O.C.

SD2.1 REFERS TO SD2.1A FOR LVL/PSL/LSL BEAMS OR SD2.1B FOR FLITCH BEAMS OR SD2.1C FOR STEEL BEAMS

LEGEND

- INTERIOR BEARING WALL
- BEARING WALL ABOVE
- BEAM / HEADER
- INDICATES SHEAR WALL & EXTENT
- EXTENT OF OVERFRAMING
- METAL HANGER
- INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

REFER TO 50.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

1ST FLOOR FRAMING PLAN
SCALE: 1/8"=1'-0"

M&K project number:
126-24045

project mgr: JTR
drawn by: JAD
issue date: 01-28-25

REVISIONS:



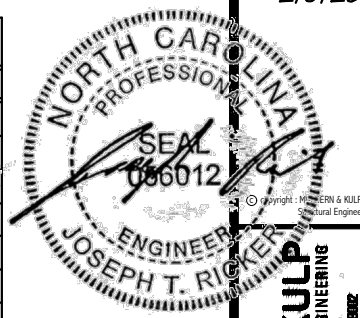
FLOOR FRAMING PLANS
CAMPBELL RIDGE
LOT 4 - STONEHAVEN I
RALEIGH, NC

sheet: **S2.0**

ENGINEERED BEAM MATERIAL SCHEDULE

BEAM NUMBER	LVL OPTION	PSL OPTION	LSL OPTION	FLITCH OPTION	STEEL OPTION
001	(2)3/4"x1 1/4" - F	3/2"x1 1/4" - F	N/A	(2)2x10 + (1)1/2"x4" STEEL FLITCH PLATES - F	M6x10 - F
002	(2)3/4"x10" - FB	3/2"x10" - FB	N/A	(2)2x12 + (1)1"x11/2" STEEL FLITCH PLATES - F	M12x14 - F
002A	(3)3/4"x16" - FB	5/4"x16" - FB	N/A	(3)2x12 + (2)3/4"x11/2" STEEL FLITCH PLATES - F	M12x14 - F
003	(2)3/4"x14" - F	3/2"x14" - F	(2)3/4"x14" - F	(2)2x12 + (1)1/2"x11/2" STEEL FLITCH PLATES - F	M12x14 - F
004	(2)3/4"x14" - F	3/2"x14" - F	(3)3/4"x14" - F	(2)2x12 + (1)3/4"x11/2" STEEL FLITCH PLATES - F	M12x14 - F
005	(4)3/4"x10" - D	7"x10" - D	N/A	(4)2x12 + (3)3/4"x11/2" STEEL FLITCH PLATES - D	M12x30 - D
006	(2)3/4"x11 1/2" - H	3/2"x11 1/2" - H	(3)3/4"x11 1/2" - H	N/A	N/A
007	(2)3/4"x14" - H	3/2"x14" - H	(3)3/4"x14" - H	(2)2x12 + (1)3/4"x11/2" STEEL FLITCH PLATES - H	N/A
008	(3)3/4"x14" - F	5/4"x14" - F	N/A	(3)2x10 + (2)1/2"x11/2" STEEL FLITCH PLATES - F	M12x14 - F
009	(3)3/4"x10" - H	5/4"x10" - H	N/A	(3)2x12 + (2)1/2"x11/2" STEEL FLITCH PLATES - H	N/A
010	(2)3/4"x9 1/4" - H	3/2"x9 1/4" - H	(2)3/4"x9 1/4" - H	(2)2x10 + (1)1/2"x4" STEEL FLITCH PLATES - H	M6x10 - H
011	(3)3/4"x14" - F	5/4"x14" - F	(3)3/4"x14" - F	(3)2x10 + (2)1/2"x11/2" STEEL FLITCH PLATES - F	M6x10 - F
012	(4)3/4"x11 1/2" - D	7"x11 1/2" - D	N/A	(4)2x12 + (3)3/4"x11/2" STEEL FLITCH PLATES - D	M12x14 - D
013	(3)3/4"x16" - FT	5/4"x16" - FT	N/A	(3)2x12 + (2)1/2"x11/2" STEEL FLITCH PLATES - F	M12x14 - F
014	(2)3/4"x14" - F	3/2"x14" - F	(3)3/4"x14" - F	(2)2x12 + (1)3/4"x11/2" STEEL FLITCH PLATES - F	M12x14 - F

- BEAM NOTATION:
 - "F" INDICATES FLUSH BEAM
 - "FT" INDICATES FLUSH TOP BEAM
 - "FB" INDICATES FLUSH BOTTOM BEAM
 - "D" INDICATES DROPPED BEAM
 - "H" INDICATES DROPPED OPENING HEADER
- REFER TO DETAIL D/SD2.0 FOR TYPICAL FLITCH BEAM CONNECTIONS
- REFER TO DETAIL E/SD2.0 FOR TYPICAL STEEL BEAM CONNECTIONS
- FOR FLUSH TOP BEAMS PROVIDE 2X STACKED PLATES BENEATH BEAM AS REQ'D. FASTEN PLATES IN SUCCESSION W/ (2) 3"x0.120" NAILS @ 8" O.C.
- FOR FLUSH BOTTOM BEAMS PROVIDE 2X STACKED PLATES ATOP BEAM AS REQ'D. FASTEN PLATES IN SUCCESSION W/ (2) 3"x0.120" NAILS @ 8" O.C.



MULHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERING
300 Bannockburn Ave., Building 4 - Asheville, PA 18022
P: 717-948-8001 • mulhern+kulp.com
NC LICENSE #C-3825



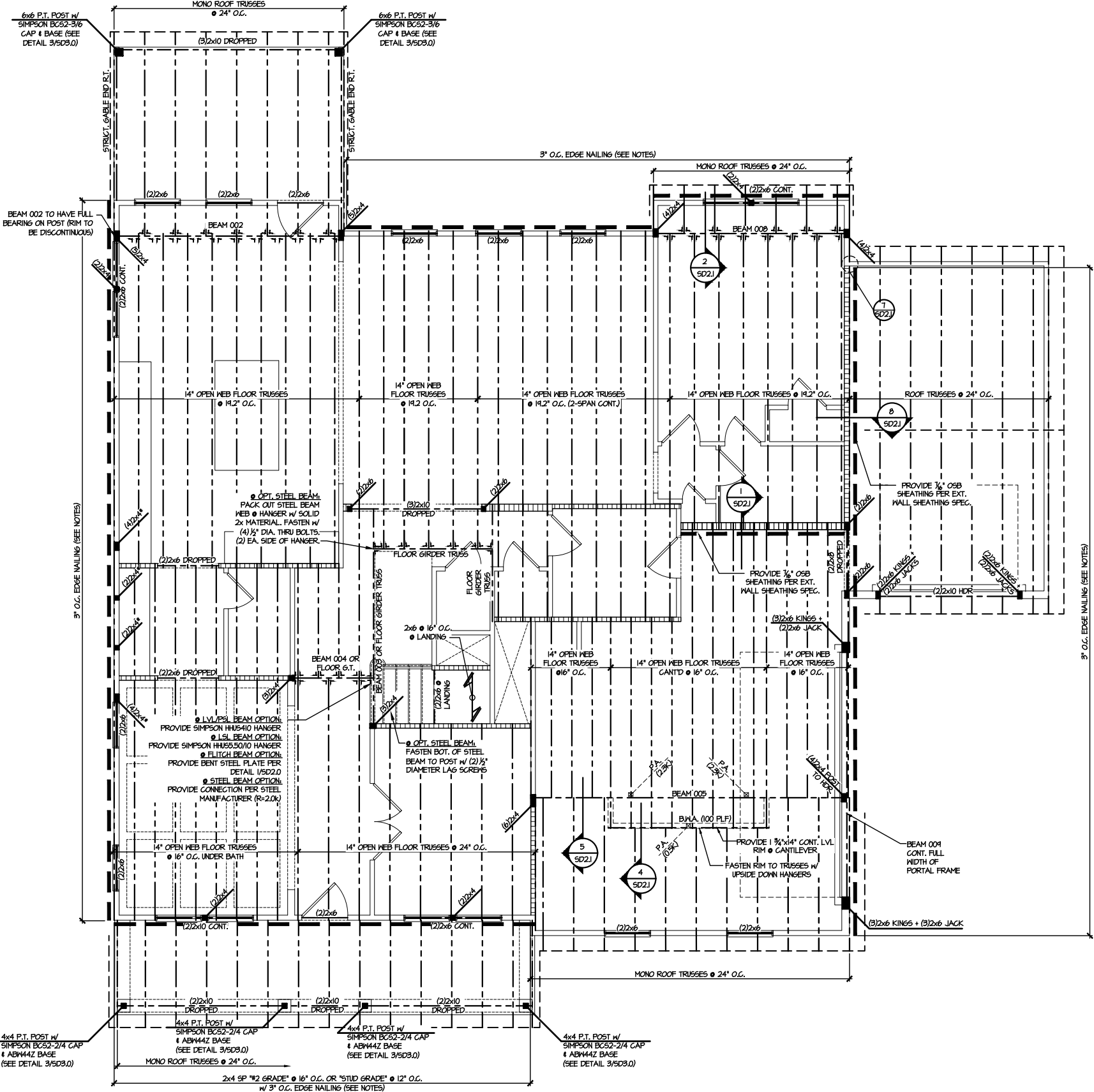
M&K project number:
126-24045
project mgr: JTR
drawn by: JAD
issue date: 01-28-25

REVISIONS:



FLOOR FRAMING PLANS
CAMPBELL RIDGE
LOT 4 - STONEHAVEN I
RALEIGH, NC

sheet:
S3.0



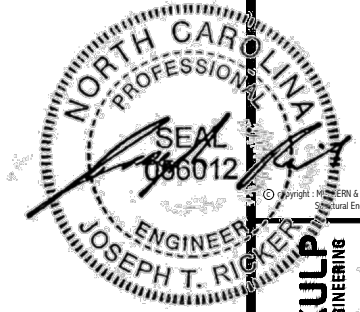
2ND FLOOR FRAMING PLAN
SCALE: 1/8"=1'-0"

SD2.1 REFERS TO SD2.1A FOR LVL/PSL/LSL BEAMS OR SD2.1B FOR FLITCH BEAMS OR SD2.1C FOR STEEL BEAMS

LEGEND

- INTERIOR BEARING WALL
- BEARING WALL ABOVE
- BEAM / HEADER
- INDICATES SHEAR WALL & EXTENT
- EXTENT OF OVERFRAMING
- METAL HANGER
- INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR LAMB ABOVE.
- INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

REFER TO SO.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES



MULHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERING
303 Dunsmuir Ave, Building 4 - Aankler, PA 15022
P 715-948-8001 - mulhern+kulp.com
NC LICENSE #C-3825

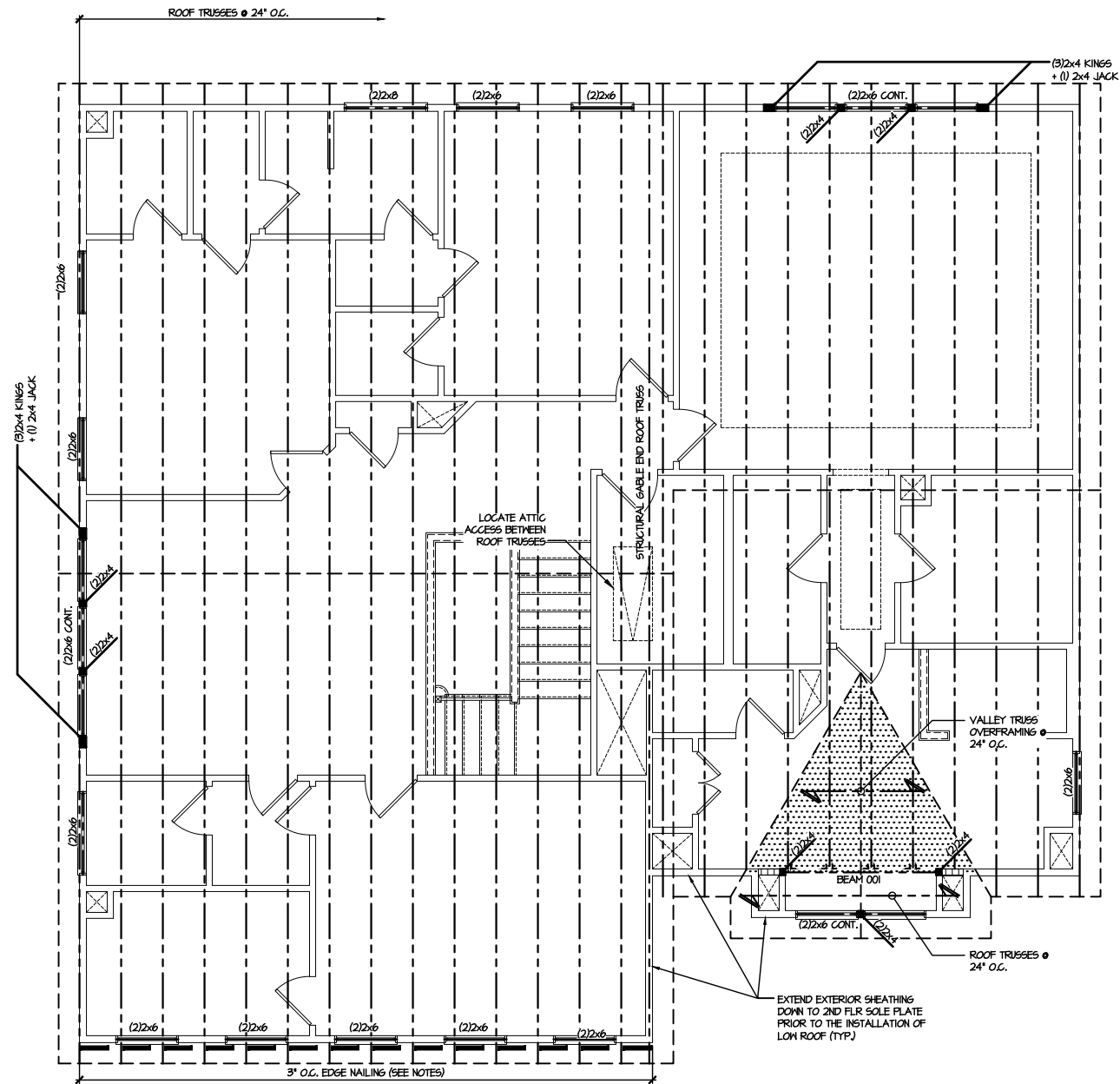
M&K project number:
126-24045
project mgr: JTR
drawn by: JAD
issue date: 01-28-25

REVISIONS:



ROOF FRAMING PLANS
CAMPBELL RIDGE
LOT 4 - STONEHAVEN I
RALEIGH, NC

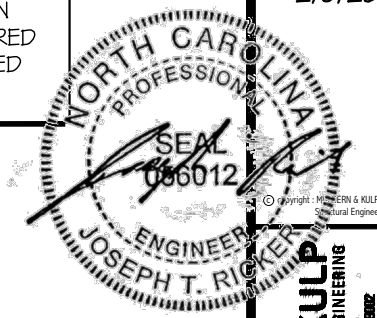
sheet:
S4.0



1 ROOF FRAMING PLAN
SCALE: 1/8"=1'-0"

LEGEND	
	INTERIOR BEARING WALL
	BEARING WALL ABOVE
	BEAM / HEADER
	INDICATES SHEAR WALL & EXTENT
	EXTENT OF OVERFRAMING
	1L METAL HANGER
	* INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
	▶ INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

REFER TO 50.0 FOR
TYPICAL STRUCTURAL NOTES
& SCHEDULES



MULHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERING
300 Bannockburn Ave., Building 4 - Asheville, PA 18002
P: 715-948-8001 - mulhern+kulp.com
NC LICENSE #C-3825

M&K project number:
126-24045
project mgr: JTR
drawn by: JAD
issue date: 01-28-25

REVISIONS:

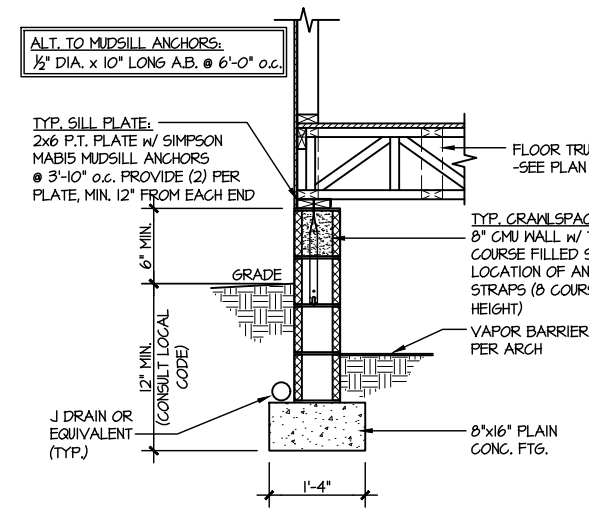
DRB
HOMES

FOUNDATION DETAILS
CAMPBELL RIDGE
LOT 4 - STONEHAVEN I
RALEIGH, NC

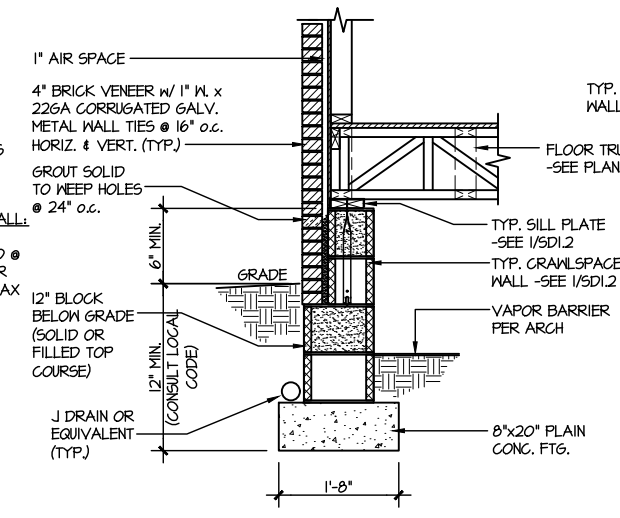
sheet:
SD1.2

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

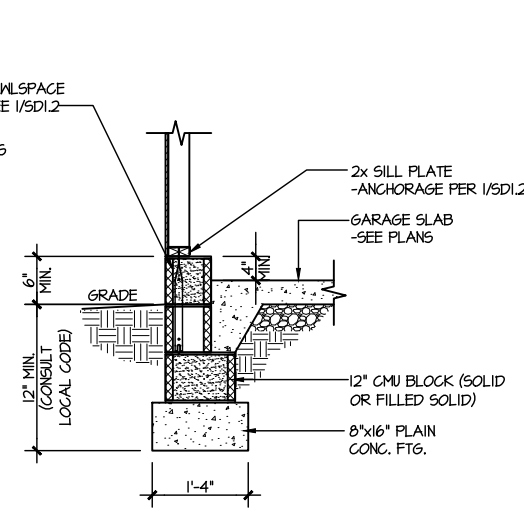
NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.



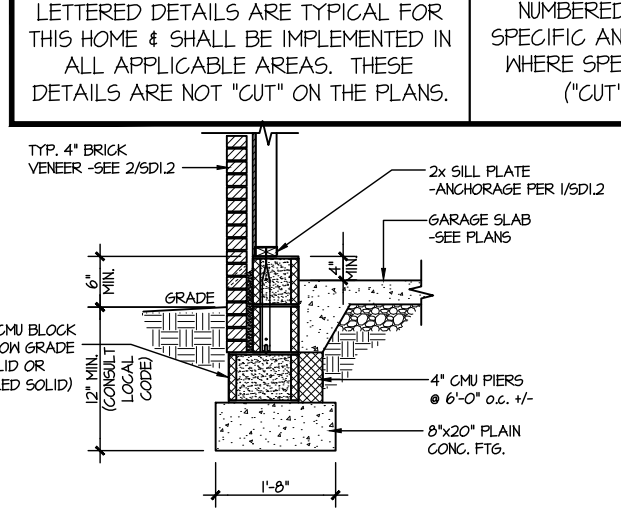
1 TYPICAL CRAWLSPACE FOUNDATION
SCALE: 3/8"=1'-0"



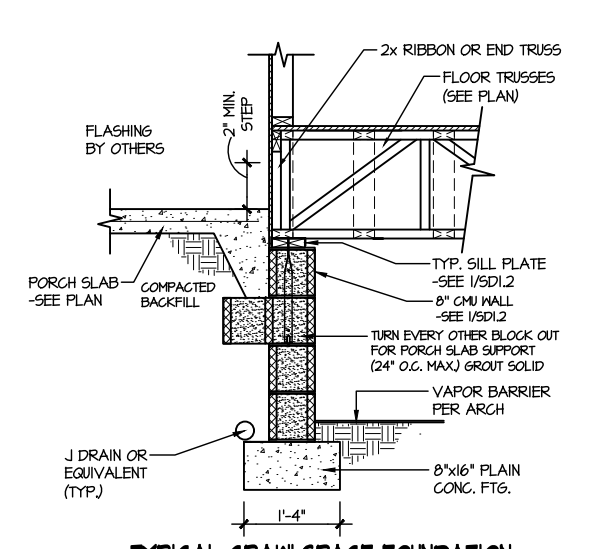
2 TYPICAL CRAWLSPACE FOUNDATION
SCALE: 3/8"=1'-0" W/ BRICK VENEER



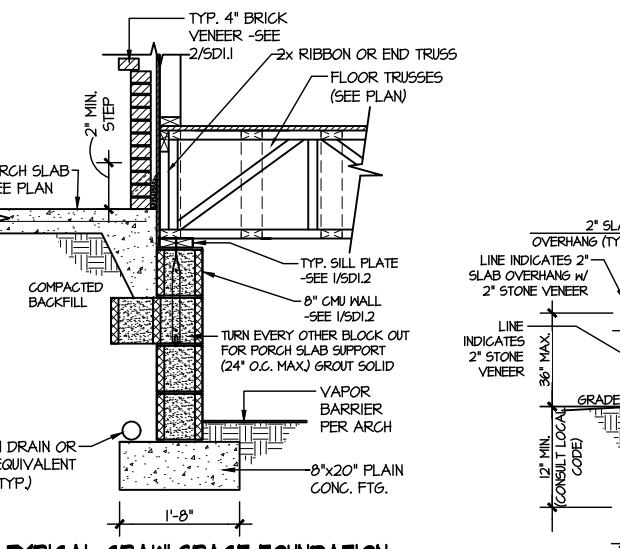
3 TYPICAL GARAGE FOUNDATION
SCALE: 3/8"=1'-0"



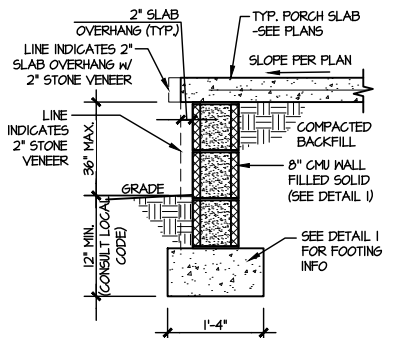
4 TYPICAL GARAGE FOUNDATION
SCALE: 3/8"=1'-0" W/ BRICK VENEER



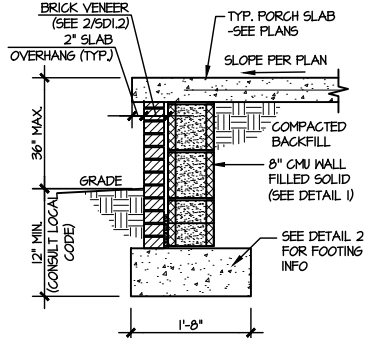
5 TYPICAL CRAWLSPACE FOUNDATION @ PORCH/PATIO SLAB
SCALE: 3/8"=1'-0"
(REFER TO DETAIL 12 FOR WOOD PORCH OPTION)



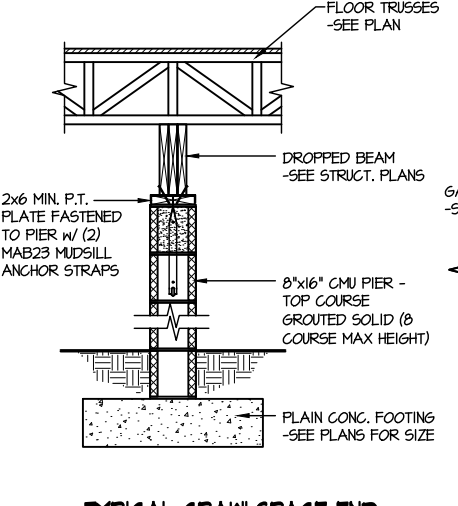
6 TYPICAL CRAWLSPACE FOUNDATION @ PORCH/PATIO SLAB
SCALE: 3/8"=1'-0" W/ BRICK VENEER



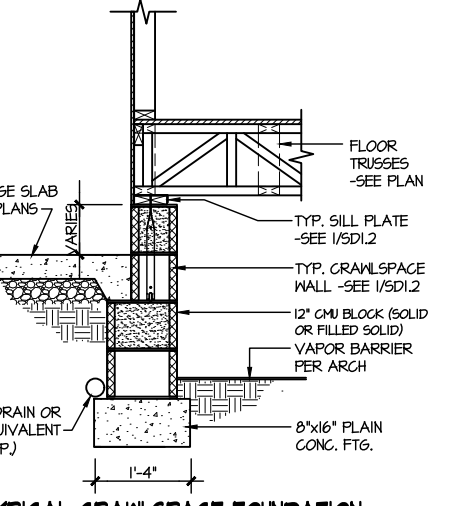
7A TYP. FOOTING @ PORCH SLAB
SCALE: 3/8"=1'-0"



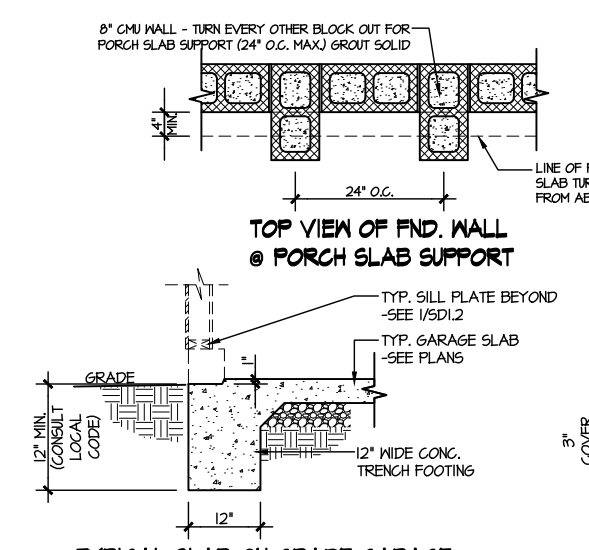
7B TYP. FOOTING @ PORCH SLAB
SCALE: 3/8"=1'-0" W/ BRICK VENEER



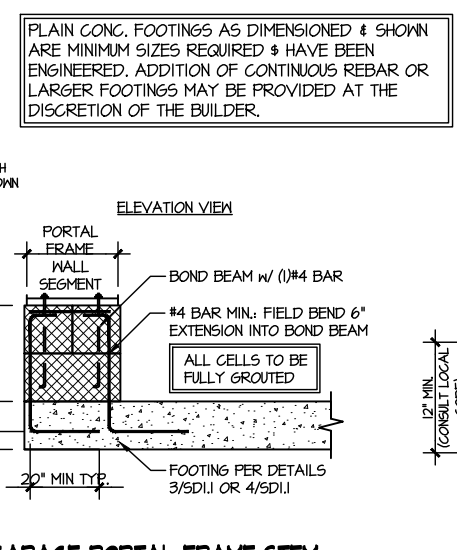
8 TYPICAL CRAWLSPACE FND. @ INTERIOR PIER
SCALE: 3/8"=1'-0"



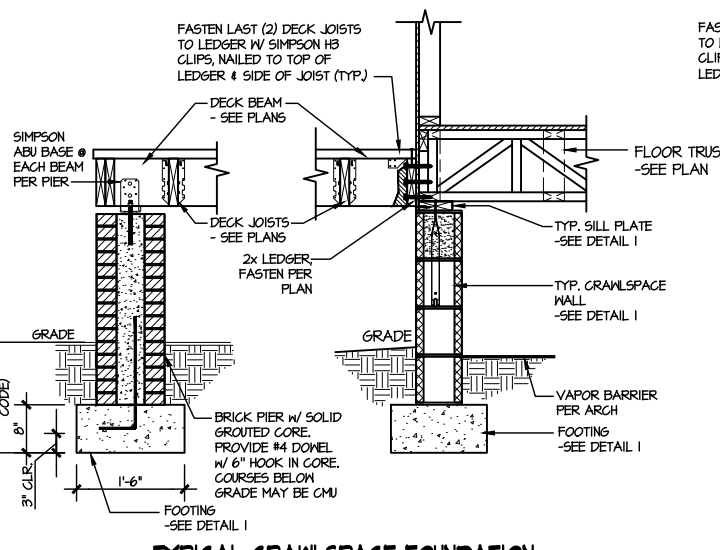
9 TYPICAL CRAWLSPACE FOUNDATION @ GARAGE
SCALE: 3/8"=1'-0"



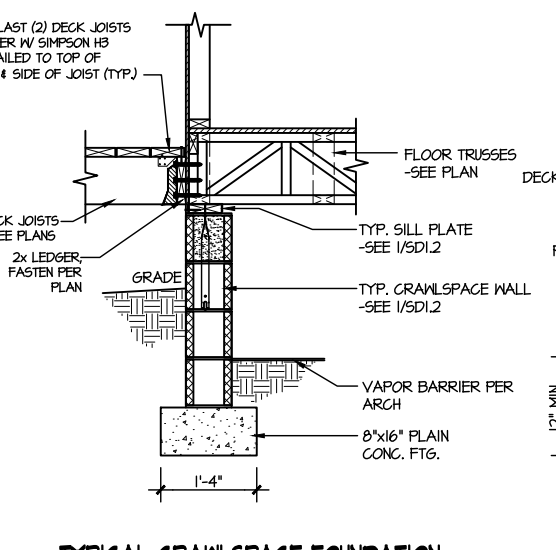
10 TYPICAL SLAB ON GRADE GARAGE ENTRY @ PERIMETER FOOTING
SCALE: 3/8"=1'-0"



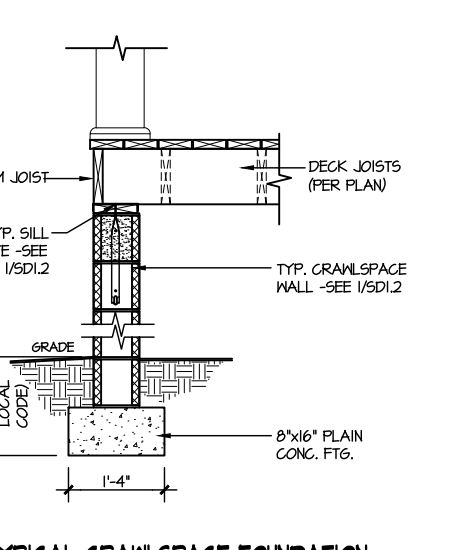
A GARAGE PORTAL FRAME STEM WALL REINFORCEMENT
SCALE: 3/8"=1'-0"



11 TYPICAL CRAWLSPACE FOUNDATION @ WOOD PORCH/DECK W/ PIERS
SCALE: 3/8"=1'-0"



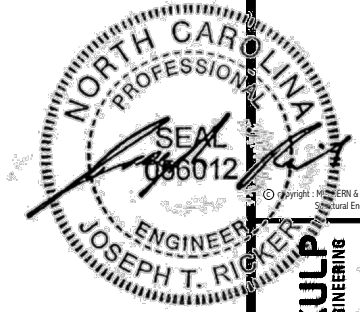
12 TYPICAL CRAWLSPACE FOUNDATION @ WOOD PORCH/DECK
SCALE: 3/8"=1'-0"



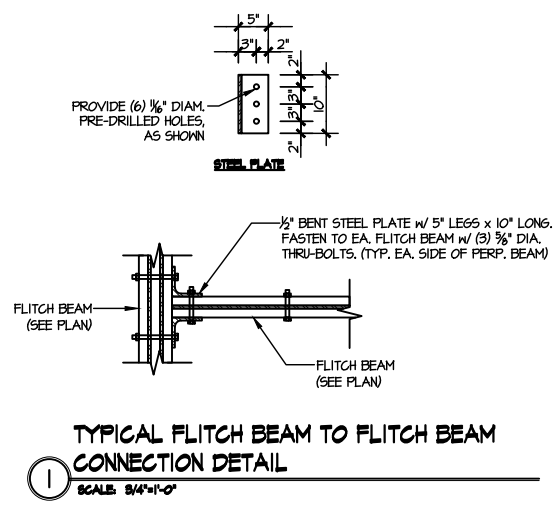
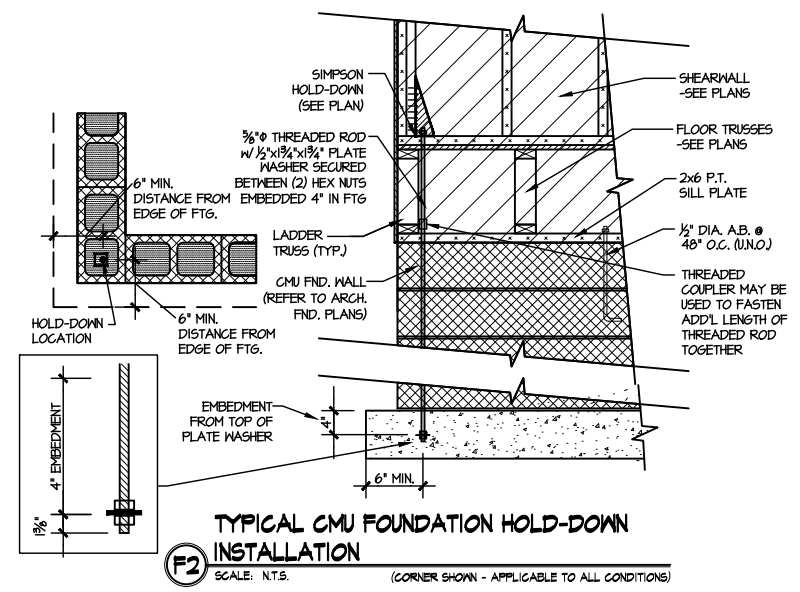
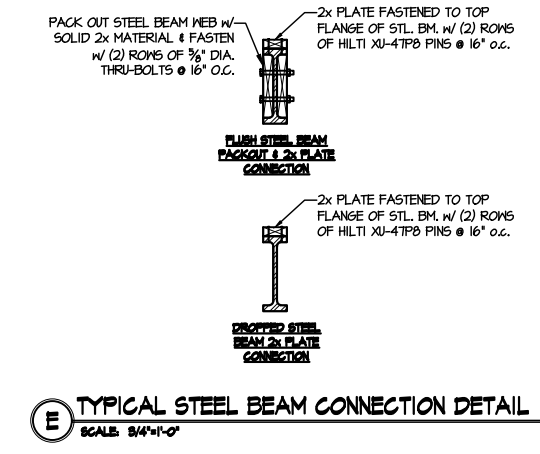
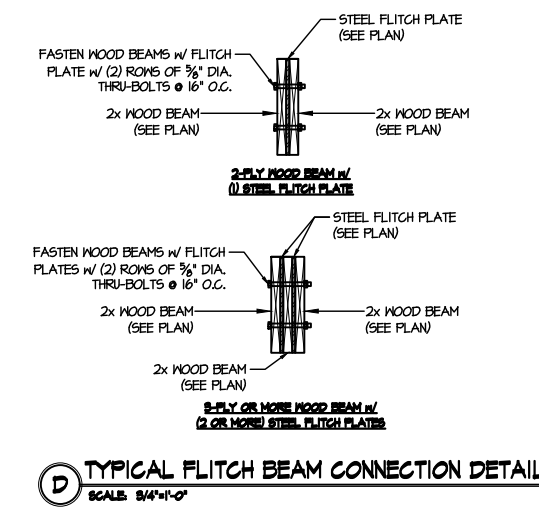
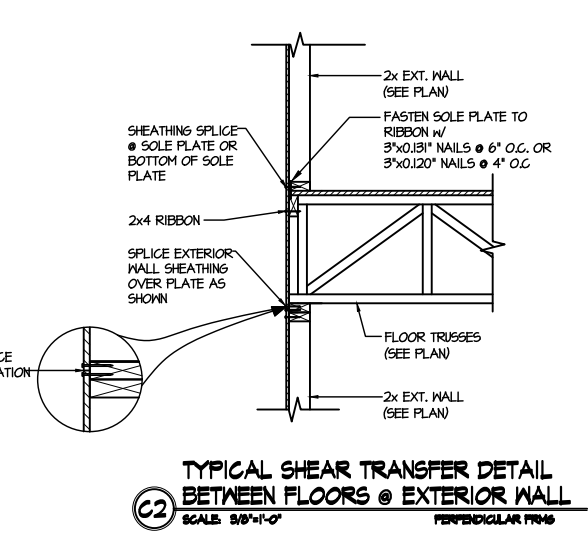
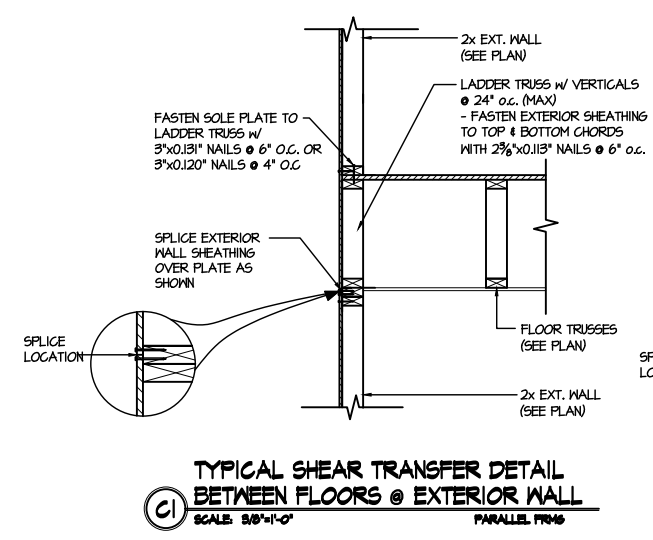
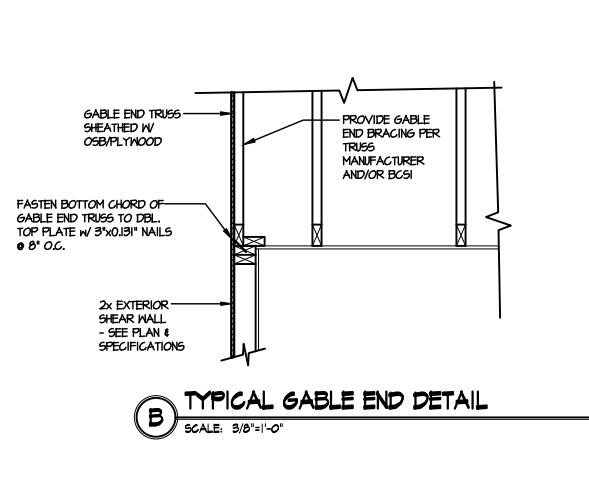
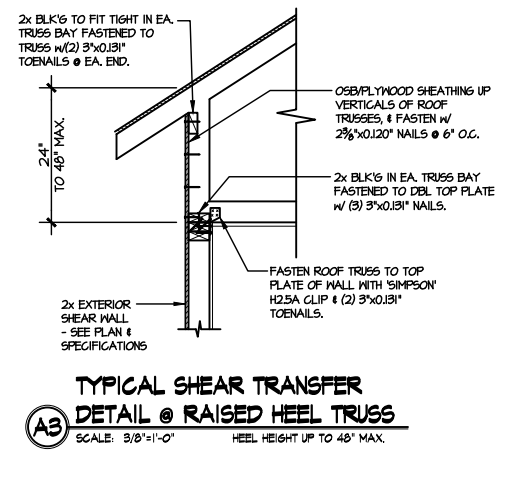
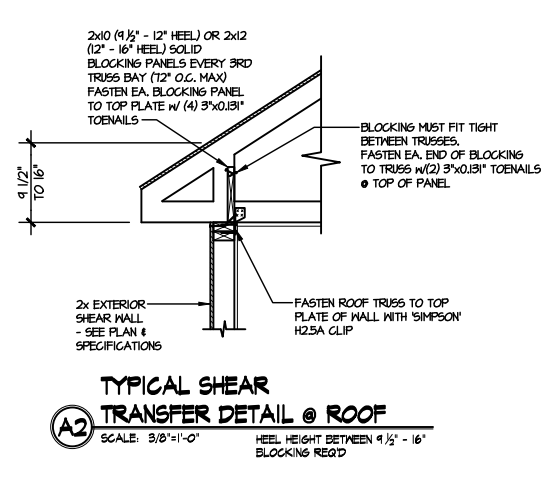
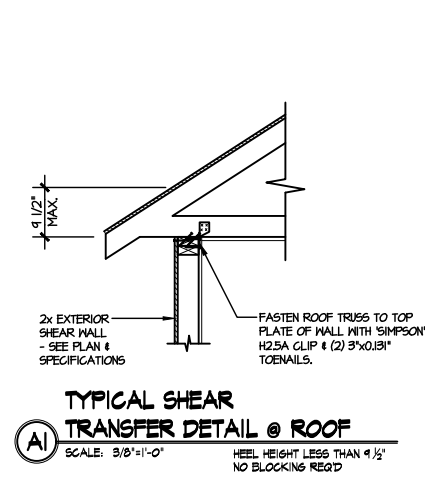
13 TYPICAL CRAWLSPACE FOUNDATION @ WOOD PORCH/DECK PERIMETER
SCALE: 3/8"=1'-0"

PLAIN CONC. FOOTINGS AS DIMENSIONED & SHOWN ARE MINIMUM SIZES REQUIRED & HAVE BEEN ENGINEERED. ADDITION OF CONTINUOUS REBAR OR LARGER FOOTINGS MAY BE PROVIDED AT THE DISCRETION OF THE BUILDER.

FILE: RLH - Campbell Ridge - Lot 4 - Structural DATE: 2/3/2025 8:30 AM



MULHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERING
303 Dunsmuir Ave., Building 4 - Ashebor, PA 15822
P 715-948-8001 • mulhern+kulp.com
NC LICENSE #C-3825



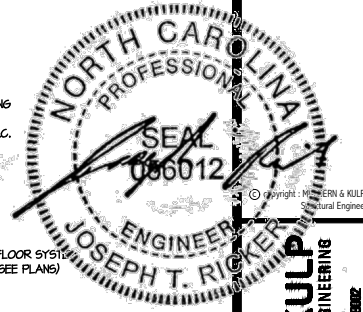
LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.

DRB HOMES

FRAMING DETAILS
CAMPBELL RIDGE
LOT 4 - STONEHAVEN I
RALEIGH, NC

sheet: **SD2.0**



MULHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERING
300 Bantock Ave., Building 4 - Aankler, PA 15822
P: 715-948-8001 • m.kulper@mulhernkulp.com
NC LICENSE #C-3825



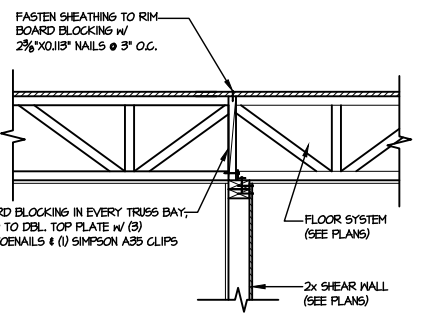
M&K project number:
126-24045
project mgr: JTR
drawn by: JAD
issue date: 01-28-25

REVISIONS:

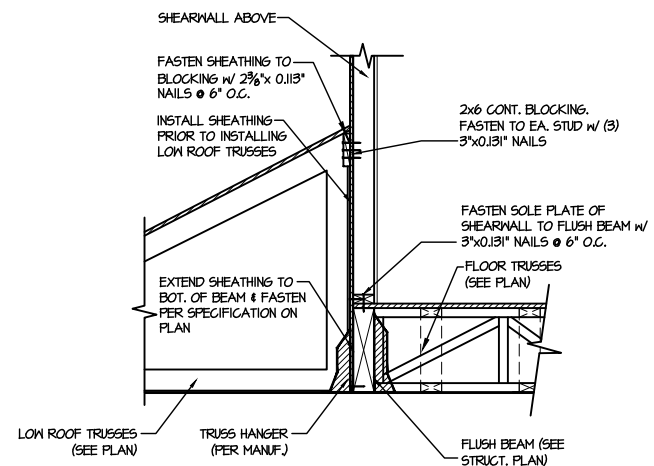
DRB
HOMES

FRAMING DETAILS
CAMPBELL RIDGE
LOT 4 - STONEHAVEN I
RALEIGH, NC

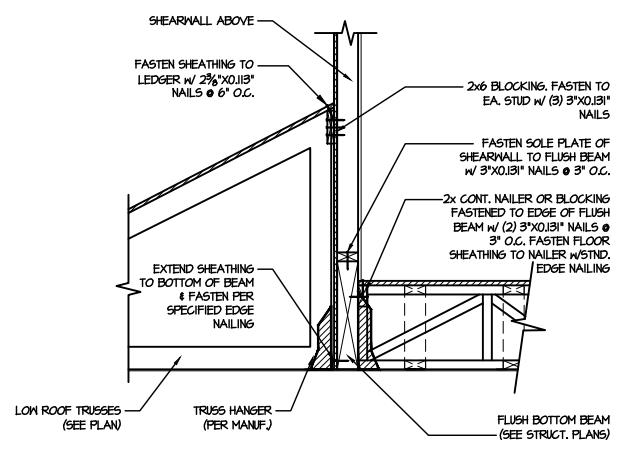
sheet:
SD2.1A



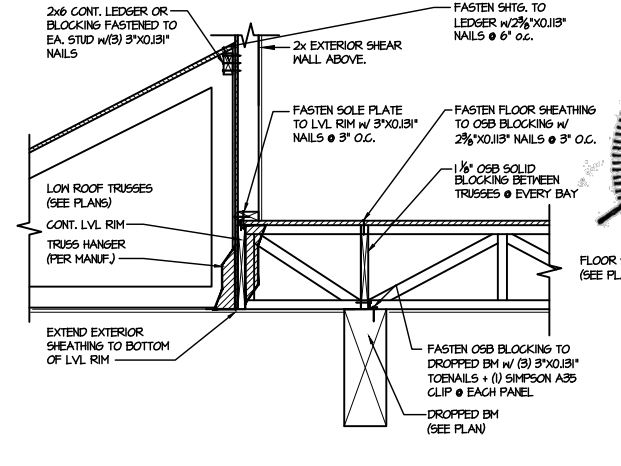
1 SHEAR TRANSFER DETAIL @ INTERIOR SHEAR WALL
SCALE: N.T.S. PERPENDICULAR TO FRAMING



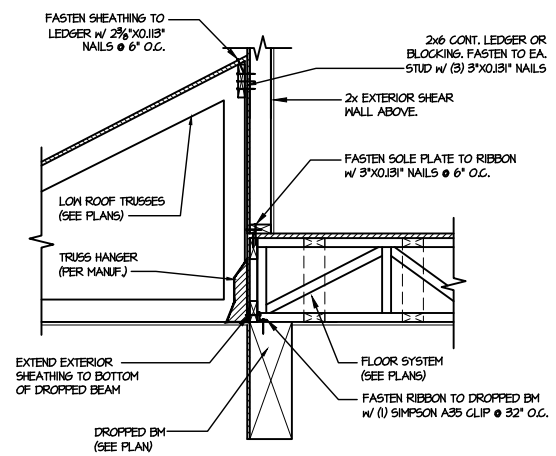
2 SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



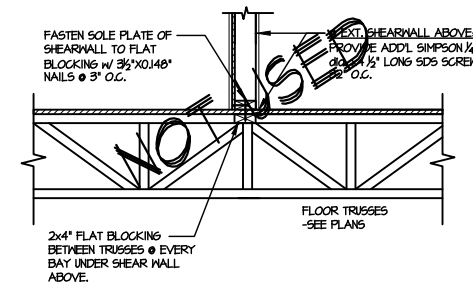
3 SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



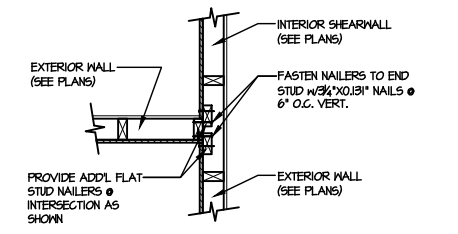
4 TYPICAL SHEAR TRANSFER DETAIL @ EXTERIOR WALL ABOVE GARAGE
SCALE: 3/4"=1'-0"



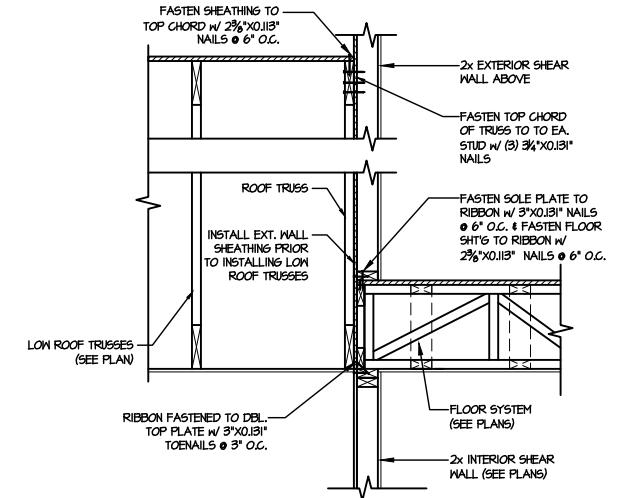
5 TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL
SCALE: 3/4"=1'-0"



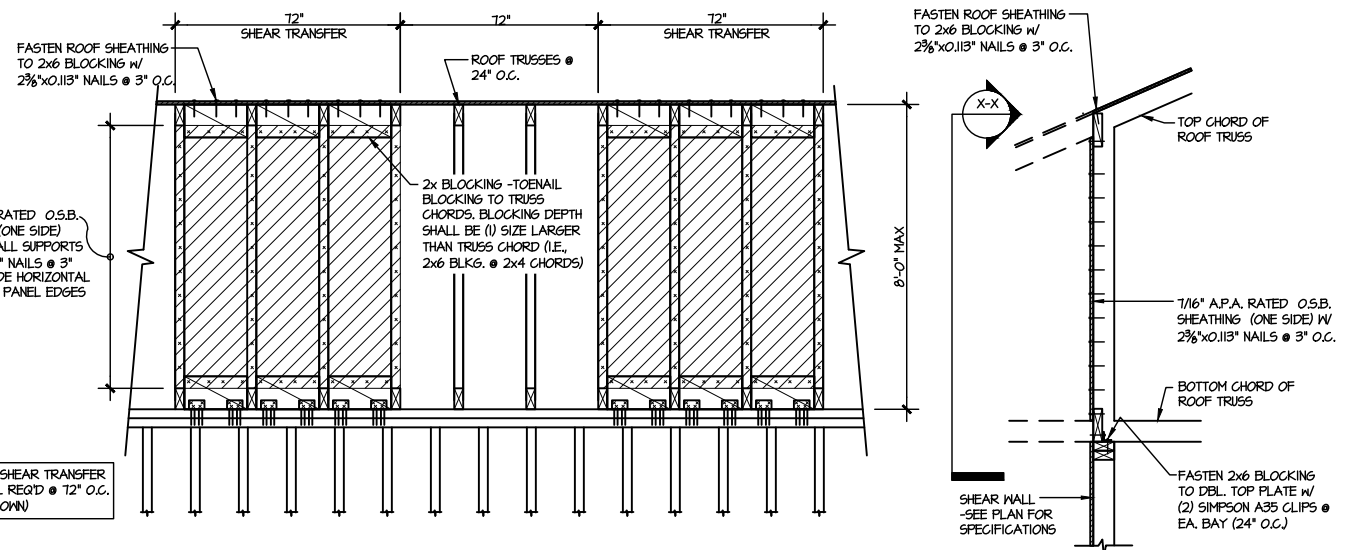
6 SHEAR TRANSFER DETAIL @ INTERIOR SHEARWALL ABOVE
SCALE: N.T.S. PERPENDICULAR FRAMING



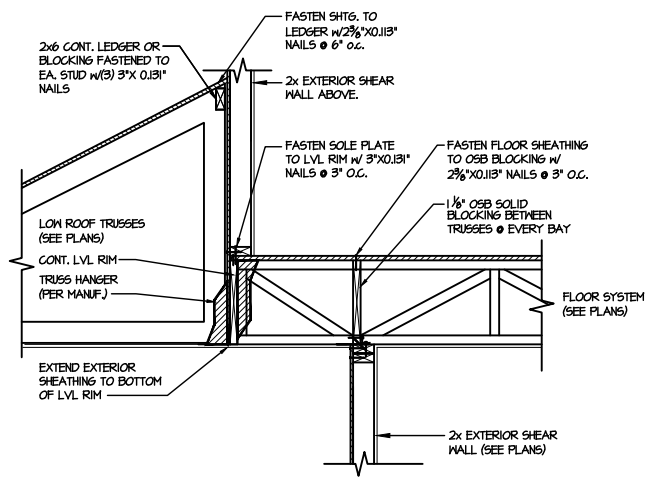
7 SHEAR TRANSFER DETAIL @ INTERSECTING INT. SHEARWALL
SCALE: 3/4"=1'-0" SHTG. ON SAME FACE



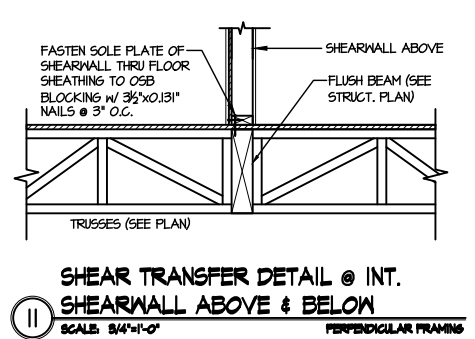
8 TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL
SCALE: 3/4"=1'-0"



9 TYPICAL SHEAR TRANSFER DETAIL @ INTERIOR SHEARWALL
SCALE: 3/4"=1'-0"

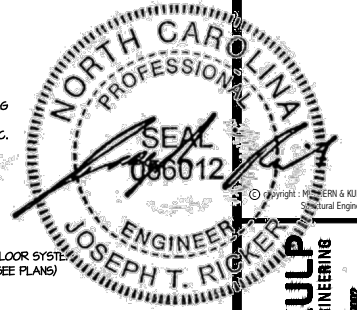


10 TYPICAL SHEAR TRANSFER DETAIL @ EXTERIOR WALL CANT'D ABOVE
SCALE: 3/4"=1'-0"



11 SHEAR TRANSFER DETAIL @ INT. SHEARWALL ABOVE & BELOW
SCALE: 3/4"=1'-0" PERPENDICULAR FRAMING

FILE: RLH - Campbell Ridge - Lot 4 - Structural DATE: 2/3/2025 8:31 AM



MULHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERING
300 Bantle Ave. Building 4 - Asheville, PA 18022
P: 215-948-8001 - mulhern+kulp.com
NC LICENSE #C-3825



M&K project number:
126-24045
project mgr: JTR
drawn by: JAD
issue date: 01-28-25

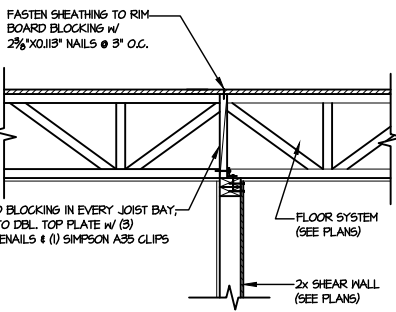
REVISIONS:

DRB
HOMES

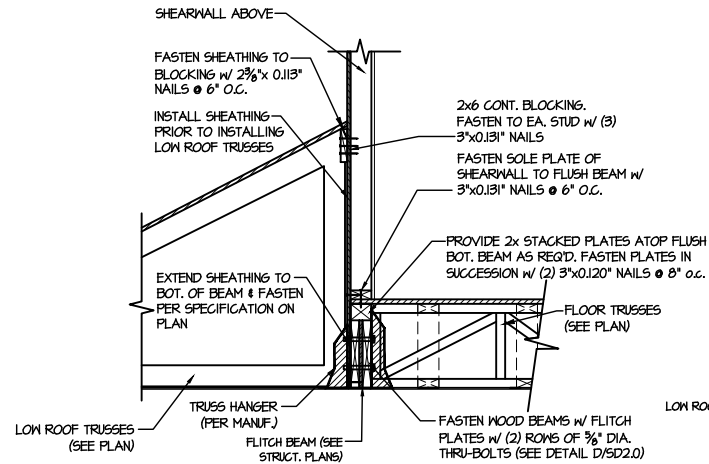
FRAMING DETAILS
CAMPBELL RIDGE
LOT 4 - STONEHAVEN I
RALEIGH, NC

sheet:

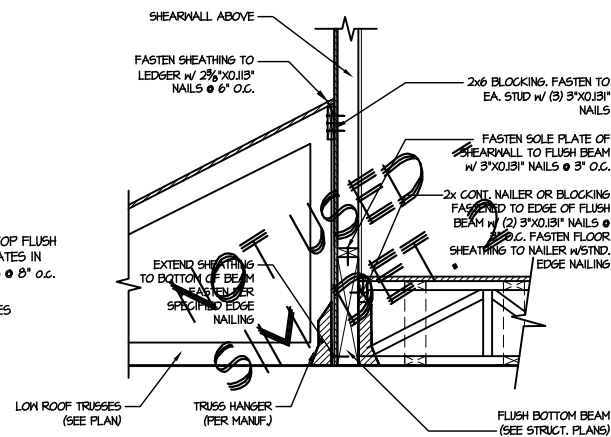
SD2.1B



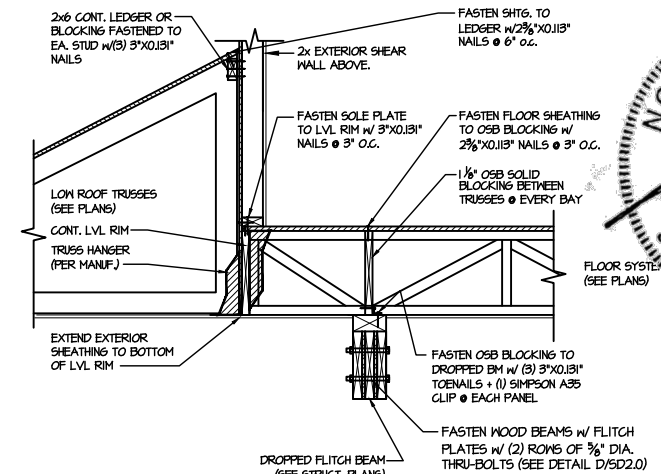
1 SHEAR TRANSFER DETAIL @ INTERIOR SHEAR WALL
SCALE: N.T.S. PERPENDICULAR TO FRAMING



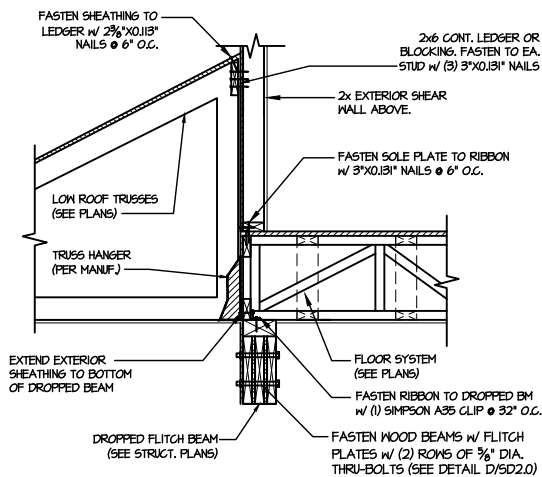
2 SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



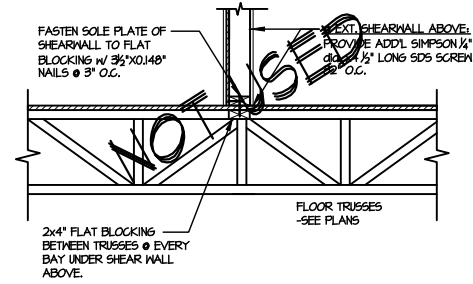
3 SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



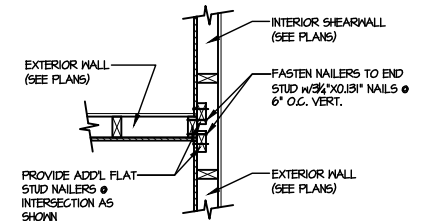
4 TYPICAL SHEAR TRANSFER DETAIL @ EXTERIOR WALL ABOVE GARAGE
SCALE: 3/4"=1'-0"



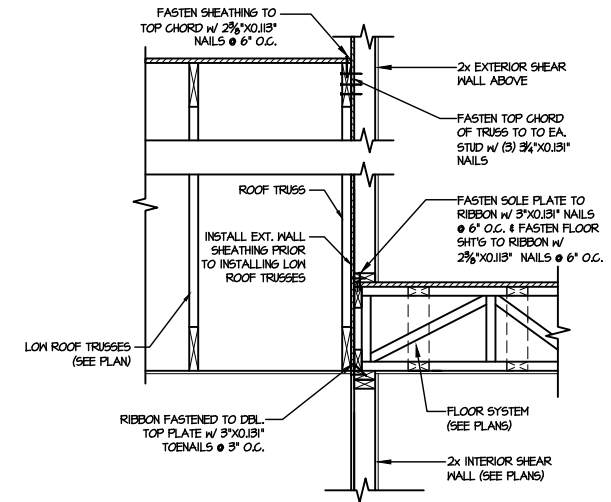
5 TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL
SCALE: 3/4"=1'-0"



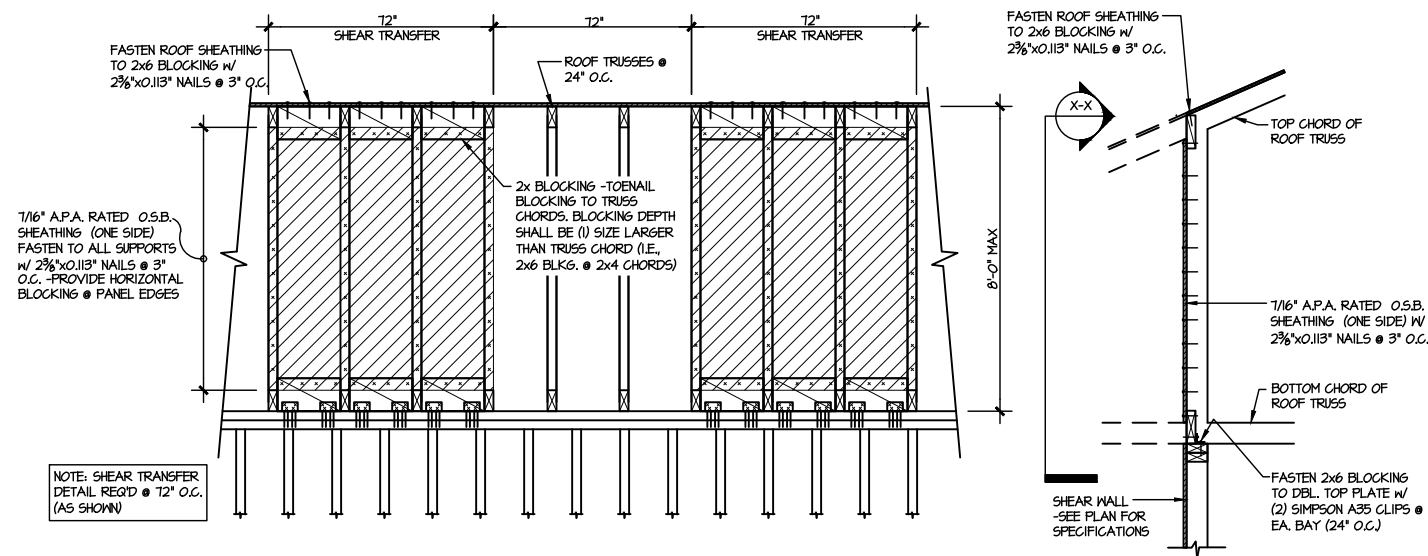
6 SHEAR TRANSFER DETAIL @ INTERIOR SHEARWALL ABOVE
SCALE: N.T.S. PERPENDICULAR FRAMING



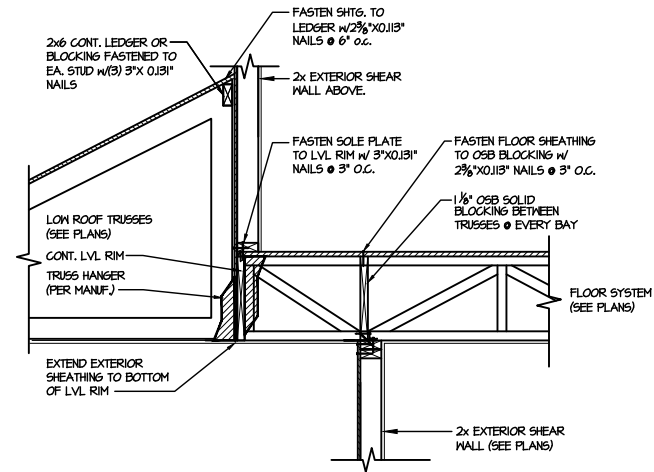
7 SHEAR TRANSFER DETAIL @ INTERSECTING INT. SHEARWALL
SCALE: 3/4"=1'-0" SHTS. ON SAME PAGE



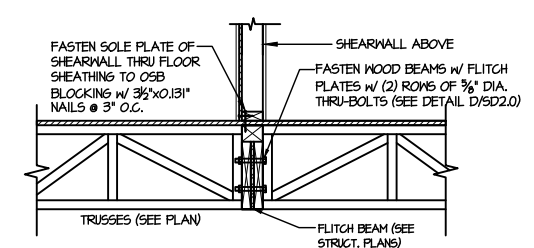
8 TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL
SCALE: 3/4"=1'-0"



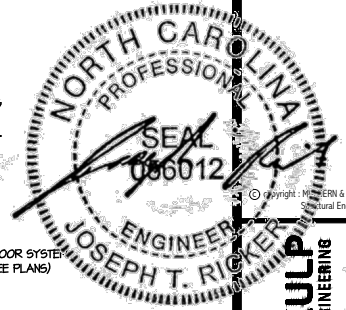
9 TYPICAL SHEAR TRANSFER DETAIL @ INTERIOR SHEARWALL
SCALE: 3/4"=1'-0"



10 TYPICAL SHEAR TRANSFER DETAIL @ EXTERIOR WALL CANT'D ABOVE
SCALE: 3/4"=1'-0"



11 SHEAR TRANSFER DETAIL @ INT. SHEARWALL ABOVE & BELOW
SCALE: 3/4"=1'-0" PERPENDICULAR FRAMING



MULHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERING
300 Bantle Ave. Building 4 - Asheville, PA 18002
P 215-948-0001 - mulhern+kulp.com
NC LICENSE #C-3825



M&K project number:
126-24045
project mgr: JTR
drawn by: JAD
issue date: 01-28-25

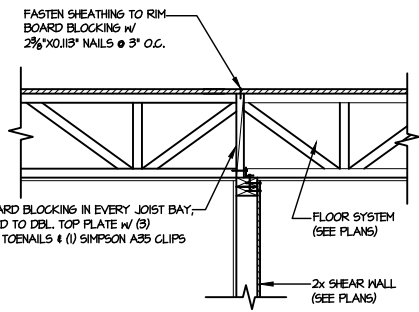
REVISIONS:

DRB
HOMES

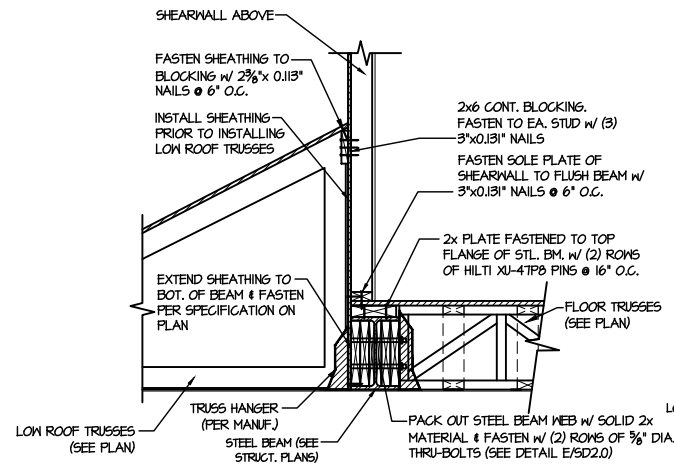
FRAMING DETAILS
CAMPBELL RIDGE
LOT 4 - STONEHAVEN I
RALEIGH, NC

sheet:

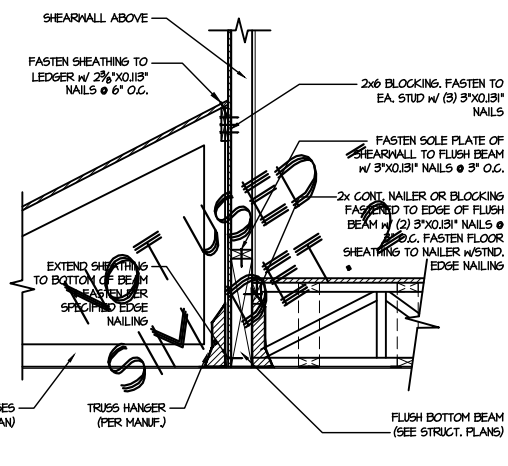
SD2.1C



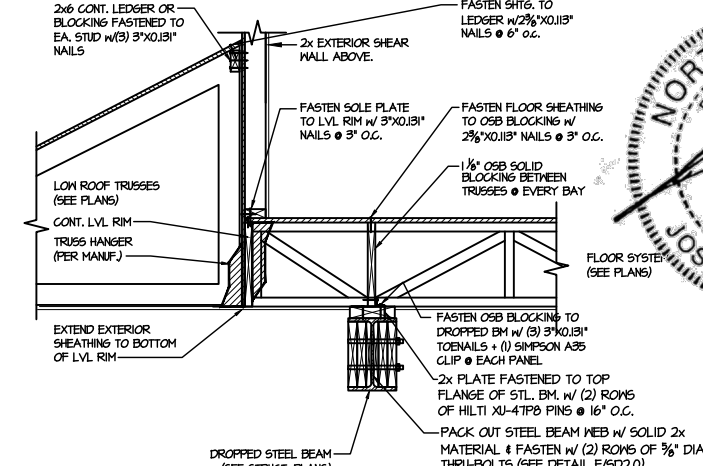
1 SHEAR TRANSFER DETAIL @ INTERIOR SHEAR WALL
SCALE: N.T.S. PERPENDICULAR TO FRAMING



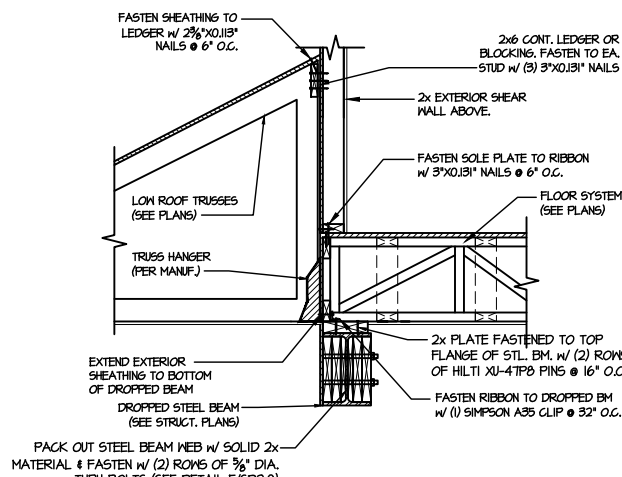
2 SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



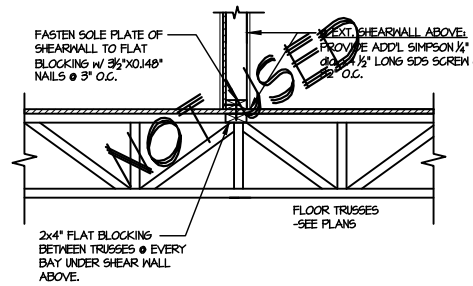
3 SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



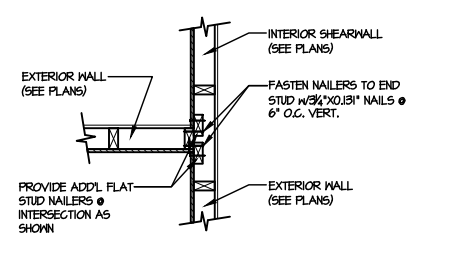
4 TYPICAL SHEAR TRANSFER DETAIL @ EXTERIOR WALL ABOVE GARAGE
SCALE: 3/4"=1'-0"



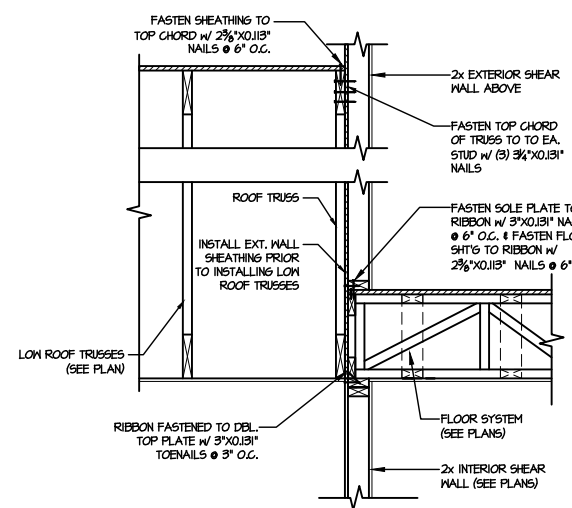
5 TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL
SCALE: 3/4"=1'-0"



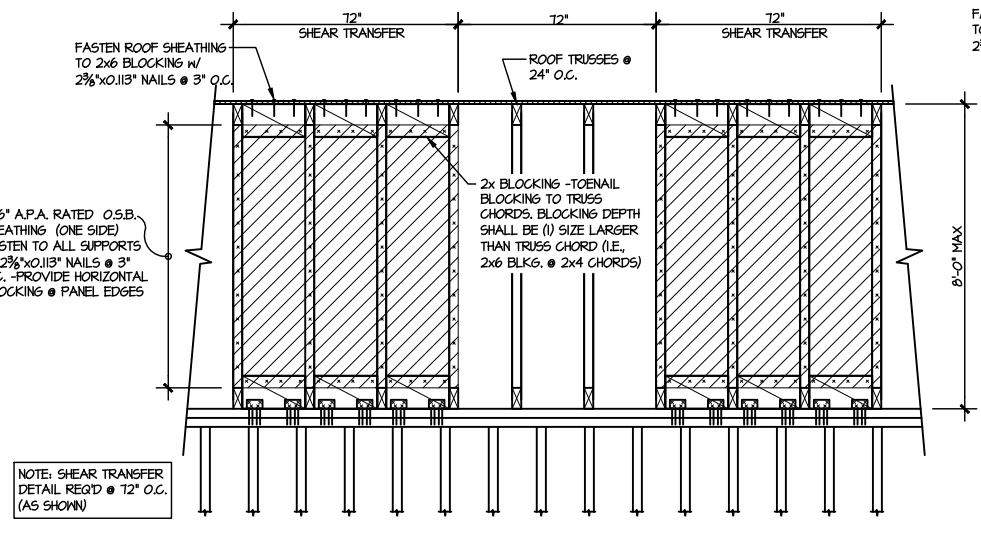
6 SHEAR TRANSFER DETAIL @ INTERIOR SHEARWALL ABOVE
SCALE: N.T.S. PERPENDICULAR FRAMING



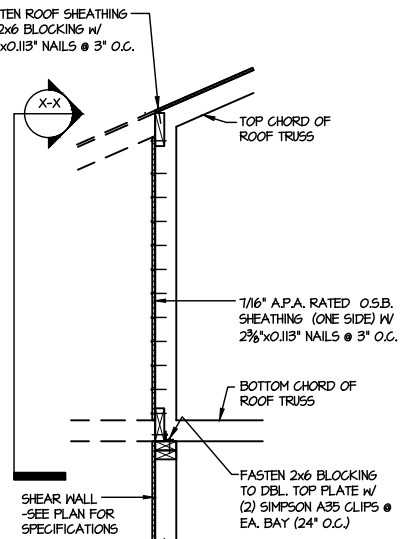
7 SHEAR TRANSFER DETAIL @ INTERSECTING INT. SHEARWALL
SCALE: 3/4"=1'-0" SITE, ON SAME FACE



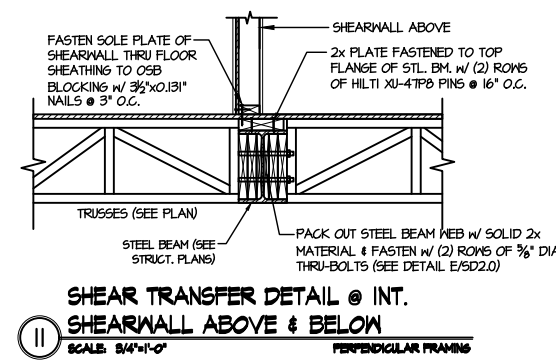
8 TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL
SCALE: 3/4"=1'-0"



9 TYPICAL SHEAR TRANSFER DETAIL @ INTERIOR SHEARWALL
SCALE: 3/4"=1'-0"

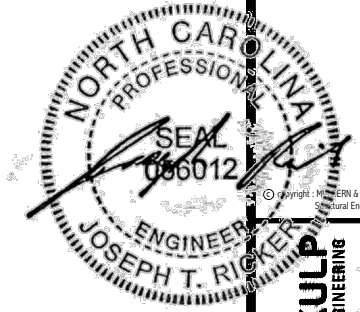


10 TYPICAL SHEAR TRANSFER DETAIL @ EXTERIOR WALL CANT'D ABOVE
SCALE: 3/4"=1'-0"



11 SHEAR TRANSFER DETAIL @ INT. SHEARWALL ABOVE & BELOW
SCALE: 3/4"=1'-0" PERPENDICULAR FRAMING

FILE: RLH - Campbell Ridge - Lot 4 - Structurals DATE: 2/3/2025 8:31 AM



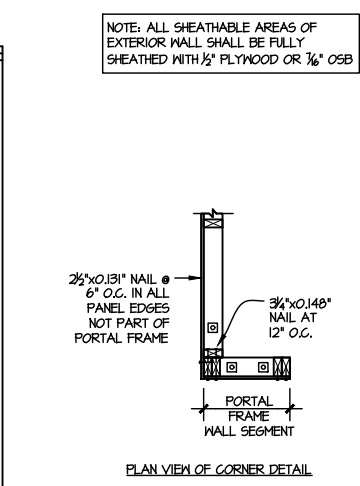
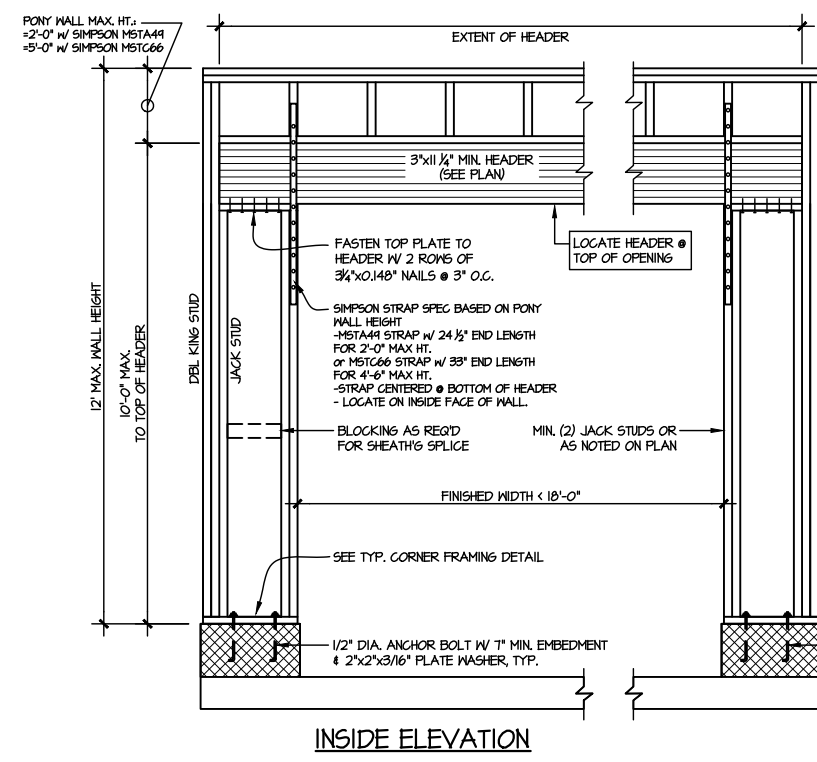
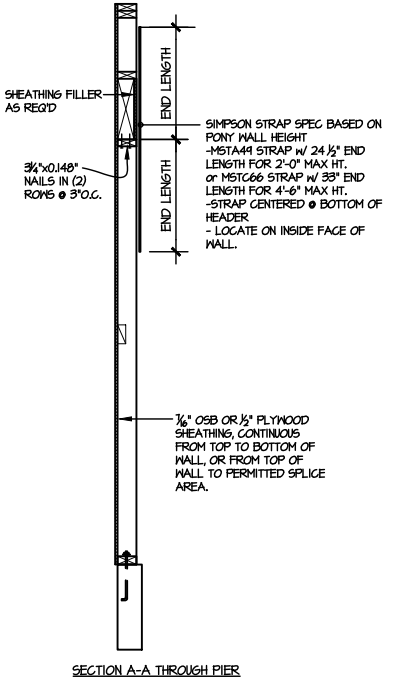
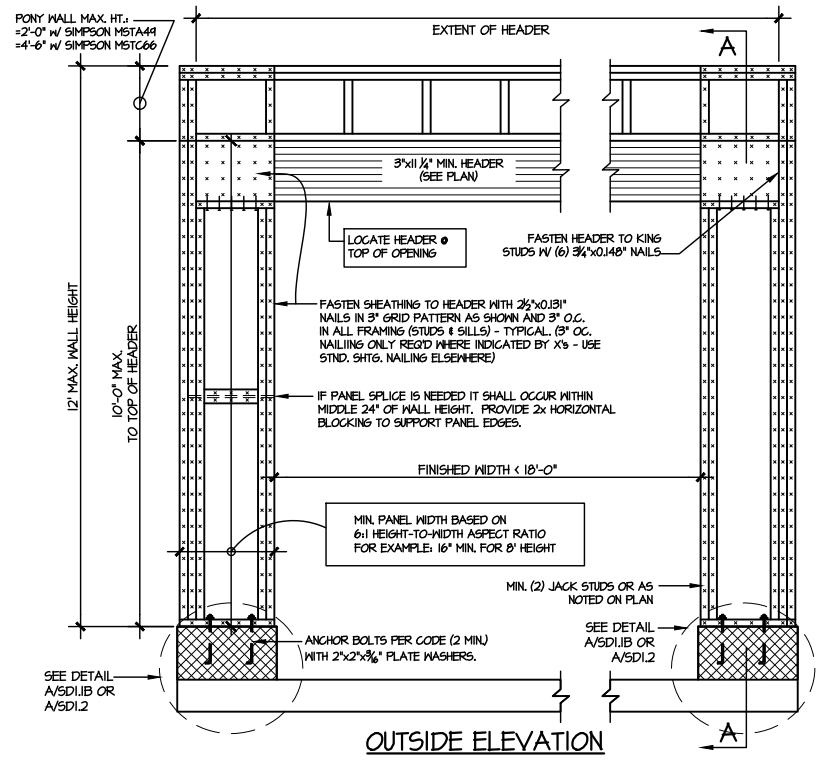
MULHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERING
303 Bantle Ave., Building 4 - Auckler, PA 15022
P 715-948-8001 - mulhern+kulp.com
NC LICENSE #C-3825

M&K project number:
126-24045
project mgr: JTR
drawn by: JAD
issue date: 01-28-25

REVISIONS:



FRAMING DETAILS
CAMPBELL RIDGE
LOT 4 - STONEHAVEN I
RALEIGH, NC



ALTERNATIVE TO 1/2" DIA. ANCHOR BOLT:
1) 1/2" DIA. THREADED ROD EPOXY SET
W/4 1/2" EMBED. (MIN) UTILIZING HILTI HY200
EPOXY ANCHORING SYSTEM (OR EQUAL)

**TWO SIDED GARAGE PORTAL FRAME BRACING
ELEVATION ON CMU STEM**
SCALE: N.T.S.



MULHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERING
303 Bannockburn Ave, Building 4 - Ancker, PA 15022
P 215-948-5001 - mulhern+kulp.com
NC LICENSE #C-3825



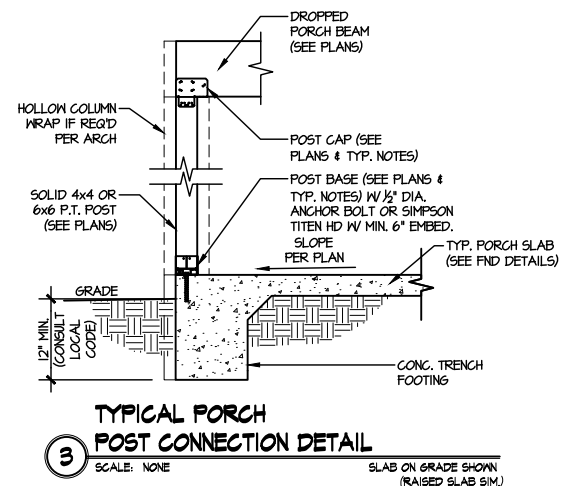
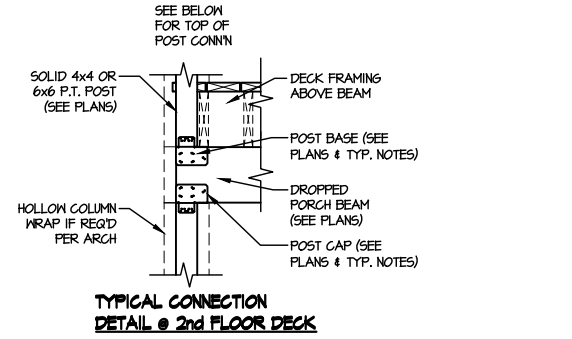
M&K project number:
126-24045
project mgr: JTR
drawn by: JAD
issue date: 01-28-25

REVISIONS:

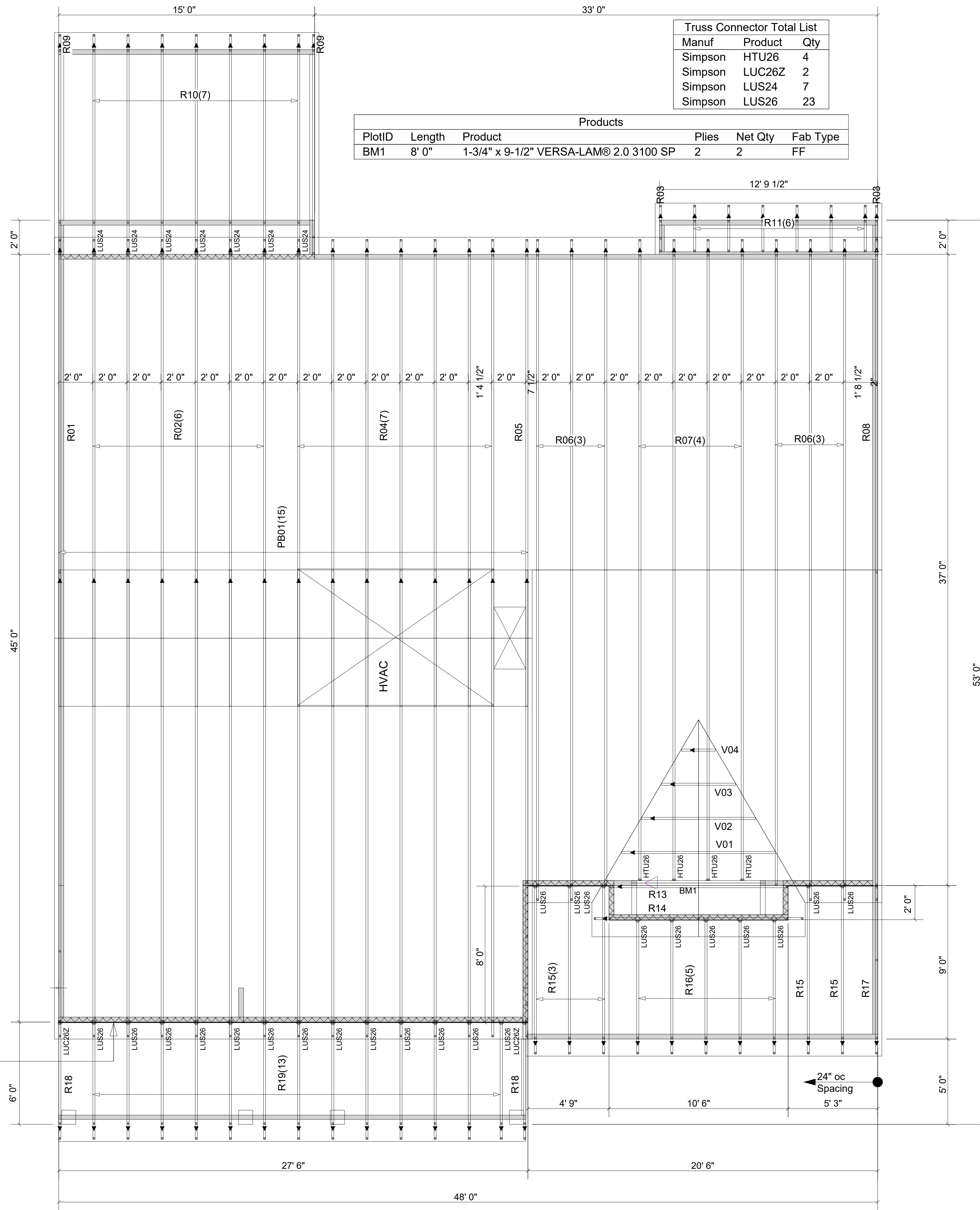


FRAMING DETAILS
CAMPBELL RIDGE
LOT 4 - STONEHAVEN I
RALEIGH, NC

sheet:
SD3.0



See sheathing details on sheet SD2.1 (typical for all first-story mono trusses).



Products					
PlotID	Length	Product	Plies	Net Qty	Fab Type
BM1	8' 0"	1-3/4" x 9-1/2" VERSA-LAM® 2.0 3100 SP	2	2	FF

Truss Connector Total List		
Manuf	Product	Qty
Simpson	HTU26	4
Simpson	LUC26Z	2
Simpson	LUS24	7
Simpson	LUS26	23

WARNING! Long span trusses, 60' or greater in length, require extreme care and experience for proper and safe handling and installation. For general handling and installation guidance, see the "Guide to Good Practice for Handling, Installing, Restraining & Bracing of Metal Plate Connected Wood Trusses ("BCSI"), JOINTLY PRODUCED BY SBCA and TPI. For project specific guidance, consult with a registered design professional. ATLANTIC assumes no responsibility for the handling, installation or bracing of trusses.

▲ = LEFT END OF TRUSS

REVISIONS:



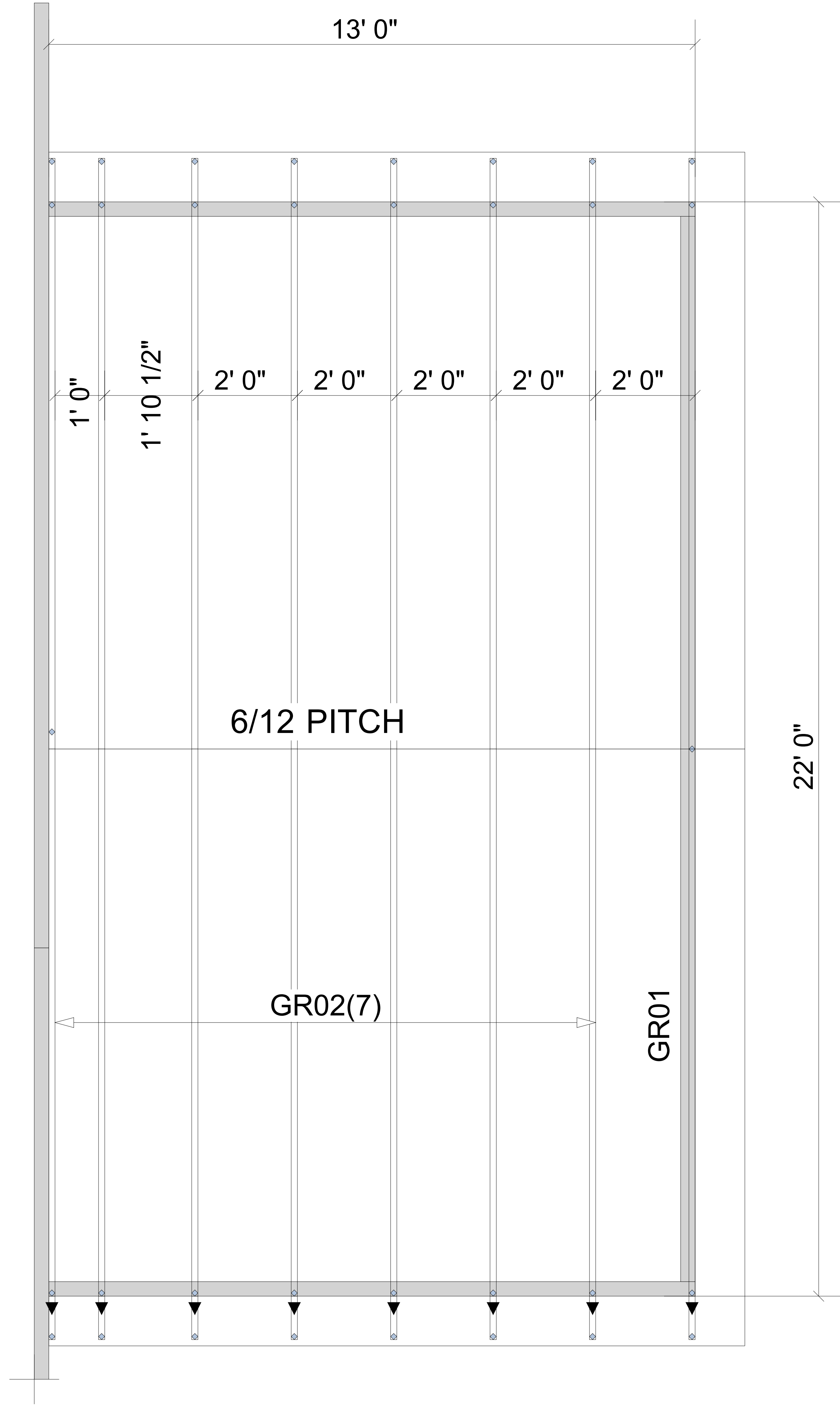
Moncks Corner/Easley, SC (800) 475-3999
Sparta, NC (336) 372-2226

FOR PERMIT

Client: DRB GROUP-RALEIGH
 Job: LOT 0.0004 CAMPBELL RIDGE
 Plan Information: STONEHAVEN-1

NOT TO SCALE
 Drawn By: CGT
 Date: 01/23/25
 Job #: 25-0890-R01
 Sales Rep: KYLE GIBSON
 Phone: 864-304-3282

ROOF



Moncks Corner/Easley, SC (800) 475-3999
 Sparta, NC (336) 372-2226

FOR PERMIT

Client: DRB GROUP-RALEIGH

Job: LOT 0.0004 CAMPBELL RIDGE

Plan Information:

STONEHAVEN-1

LEVEL

NOT TO SCALE

Date: DATE

Drawn By: CGT

Job #: 25-0890-R01

Sales Rep: KYLE GIBSON
 Phone: 843-729-3249



▲ = LEFT END OF TRUSS

FOR PERMIT

REVISIONS:



Moncks Corner/Easley, SC (800) 475-3999
Sparta, NC (336) 372-2226

Client: DRB GROUP-RALEIGH

Job: LOT 0.0004 CAMPBELL RIDGE

Plan Information:

NOT TO SCALE

Drawn By: CGT

Date: 01/23/25

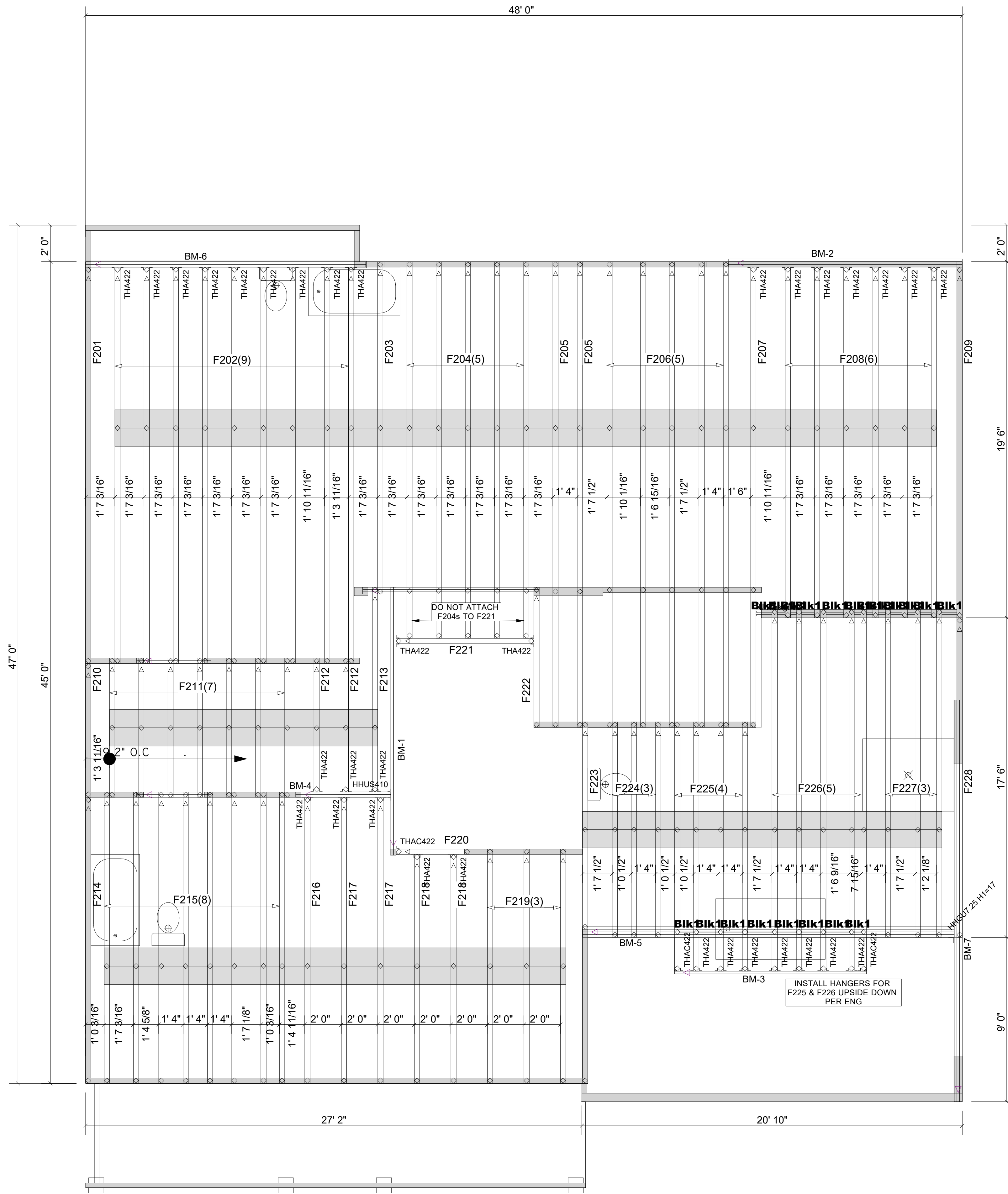
Job #: 25-0890-F01

Sales Rep: KYLE GIBSON

Phone: 864-304-3282

FLOOR

WARNING! Long span trusses, 60' or greater in length, require extreme care and experience for proper and safe handling and installation. For general handling and installation guidance, see the "Guide to Good Practice for Handling, Installing, Restraining & Bracing of Metal Plate Connected Wood Trusses ("BCSI"), JOINTLY PRODUCED BY SBCA and TPI. For project specific guidance, consult with a registered design professional. ATLANTIC assumes no responsibility for the handling, installation or bracing of trusses.



Products				
PlotID	Length	Product	Plies	Net Qty
BM-1	16' 0"	1-3/4" x 14" VERSA-LAM® 2.0 3100 SP	2	2
BM-2	14' 0"	1-3/4" x 14" VERSA-LAM® 2.0 3100 SP	3	3
BM-3	12' 0"	1-3/4" x 14" VERSA-LAM® 2.0 3100 SP	1	1
BM-4	6' 0"	1-3/4" x 14" VERSA-LAM® 2.0 3100 SP	2	2
BM-5	22' 0"	1-3/4" x 18" VERSA-LAM® 2.0 3100 SP	4	4
BM-6	16' 0"	1-3/4" x 18" VERSA-LAM® 2.0 3100 SP	2	2
BM-7	22' 0"	1-3/4" x 18" VERSA-LAM® LVL 2.1E 3100 SP	3	3
Blk1	12' 0"	1-1/8" x 14" BC RIM BOARD OSB	1	2

Truss Connector Total List		
Manuf	Product	Qty
	THA422	33
Simpson	THAC422	3

Connector Summary			
Qty	Manuf	Product	Flange
1	Simpson	HHGU.75 H1=17	None
1	Simpson	HHUS410	None

▲ = LEFT END OF TRUSS

FOR PERMIT

Client: DRB GROUP-RALEIGH
 Job: LOT 0.0004 CAMPBELL RIDGE
 Plan Information: STONEHAVEN-1

NOT TO SCALE
 Drawn By: CGT

Date: 01/23/25
 Job #: 25-0890-F02
 Sales Rep: KYLE GIBSON
 Phone: 864-304-3282

REVISIONS:



Moncks Corner/Easley, SC (800) 475-3999
 Sparta, NC (336) 372-2226

WARNING! Long span trusses, 60' or greater in length, require extreme care and experience for proper and safe handling and installation. For general handling and installation guidance, see the "Guide to Good Practice for Handling, Installing, Restraining & Bracing of Metal Plate Connected Wood Trusses ("BCSI"), JOINTLY PRODUCED BY SBCA and TPI. For project specific guidance, consult with a registered design professional. ATLANTIC assumes no responsibility for the handling, installation or bracing of trusses.