

SURVEY FOR

MUNGO HOMES

LOT 21, LANGDON PRESERVE SUBDIVISION
315 ALICE TRACE ROAD
PIN# 1602-44-1351

REF:D.B. 4267, PAGE 216

REF:P.B. 2024, PAGE 588

GROVE TOWNSHIP

HARNETT COUNTY, NORTH CAROLINA

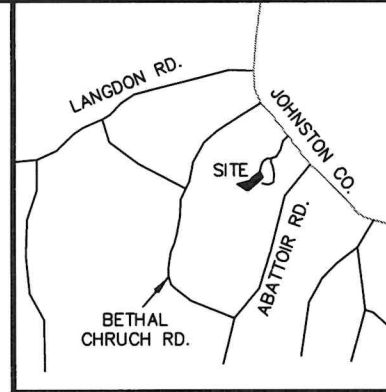
MAY 5, 2025

REVISED MAY 23, 2025

REVISED JUNE 3, 2025



SCALE 1"=100'



VICINITY MAP

LEGEND:

- EIP - EXISTING IRON PIPE
- EIB - EXISTING IRON BAR
- BEIP - BENT IRON PIPE
- BEIB - BENT IRON BAR
- CM - CONCRETE MONUMENT
- EPK - EXISTING PK NAIL
- SPK - SET PK NAIL
- NIP - NEW IRON PIPE SET
- R/W - RIGHT OF WAY
- CATV - CABLE TV BOX
- EB - ELECTRIC BOX
- TEL - TELEPHONE PEDESTAL
- PP - POWER POLE
- OHL - OVERHEAD LINE
- LP - LIGHT POLE
- WM - WATER METER
- WV - WATER VALVE
- CO - SEWER CLEAN-OUT
- CC - CONCRETE
- CB - CATCH BASIN
- MH - MANHOLE
- FH - FIRE HYDRANT

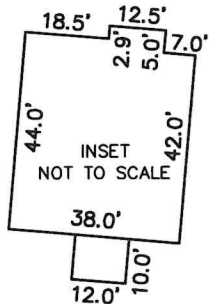
CURVE TABLE				
CURVE	ARC LENGTH	RADIUS	CHORD LENGTH	CHORD BEARING
C-1	100.46'	50.00'	84.39'	N 81°37'04" E
C-2	52.36'	50.00'	50.00'	S 10°49'29" E

LINE TABLE		
LINE	BEARING	DISTANCE
L-1	S 65°56'23" E	148.66'
L-2	N 79°23'28" W	165.83'
L-3	N 79°34'02" W	136.97'
L-4	N 08°24'02" E	57.14'
L-5	N 65°56'23" W	50.00'
L-6	S 48°24'13" E	72.13'

NOTE:

REVISION DATE OF MAY 23, 2025
WAS TO ADD AN ADDITION
BUILDING OFFSET.
REVISION DATE OF JUNE 3, 2025
WAS TO ADD AN ADDITION
BUILDING OFFSET.

ALICE TRACE PLACE
50' PUBLIC R/W



20' ACCESS & DRAINAGE EASEMENT

FOUNDATION SEE INSET

10' UTILITY EASEMENT

N/F
ROY LANE GREGORY & WIFE,
TERESA WEBB GREGORY
TRACT 5 OF
DB 3066, PG 779

21
126,703 S.F.
2.909 AC.

20' DRAINAGE EASEMENT

TIE TO THE
EPK IN
CUL-DE-SAC

GROVE CHURCH
TOWNSHIP WAY
50' PUBLIC R/W

14
LANGDON PRESERVE
B.M. 2024, PG. 588

N/F
ROY LANE GREGORY & WIFE,
TERESA WEBB GREGORY
TRACT 3 OF
DB 3066, PG 779



CMP

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C-1525

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(LANGPRE21.DWG - KK)

I DECLARE THAT THIS SURVEY COMPLIES WITH THE NORTH CAROLINA STANDARDS OF PRACTICE FOR SURVEYING, (SECTION 1600) FOR CLASS A SURVEYS AND THAT THE CALCULATED RATIO OF PRECISION BEFORE ADJUSTMENTS IS 1:10,000+. FURTHERMORE, PROPERTY CORNERS SHOWN ARE PRIMARY CONTROL MONUMENTATION FOR THE RE-ESTABLISHMENT OF PROPERTY CORNERS IN THE ABSENCE OF GRID MONUMENTS AND OTHER SUBDIVISION PROPERTY CORNERS. THIS SURVEY IS NOT TO BE RECORDED WITHOUT THE WRITTEN AUTHORIZATION OF THE SURVEYOR.

PROFESSIONAL LAND SURVEYOR L-3835

