

VICINITY MAP (N/S)

STANDARD LEGEND table with symbols for water valve, fire hydrant, cable pedestal, etc.

SURVEY NOTATION table with abbreviations like CP, EPK, EIP, etc.

APPROVAL OF THIS PLAT/PLAN DOES NOT GUARANTEE WATER CAPACITY OR WASTEWATER CAPACITY...

SIDEWALKS AND STREET TREES ARE TO BE MAINTAINED BY THE HOME OWNERS ASSOCIATION ("HOA")...

DEVELOPER INFORMATION: RP WELLONS LAND & DEVELOPMENT, LLC

ZONED: RA-30 MIN. LOT SIZE: 25,000 SF LAND USE: AGRICULTURAL

SETBACKS: FRONT - 35' SIDE - 10' REAR - 25' CORNER - 20'

FLOOD INFORMATION - ZONE X FIRM PANEL#371096800J, DATED 10/03/2006

STREET DATA: STREET A - 308 LF STREET B - 2143 LF STREET C - 448 LF

PUBLIC WATER IS AVAILABLE LOTS TO BE SERVED BY INDIVIDUAL SEPTIC SYSTEMS

PROPERTY IS NOT LOCATED IN WS-IV WATERSHED DISTRICT

STREETSCAPE BUFFERS AND DRAINAGE EASEMENTS ARE TO BE MAINTAINED BY HOA

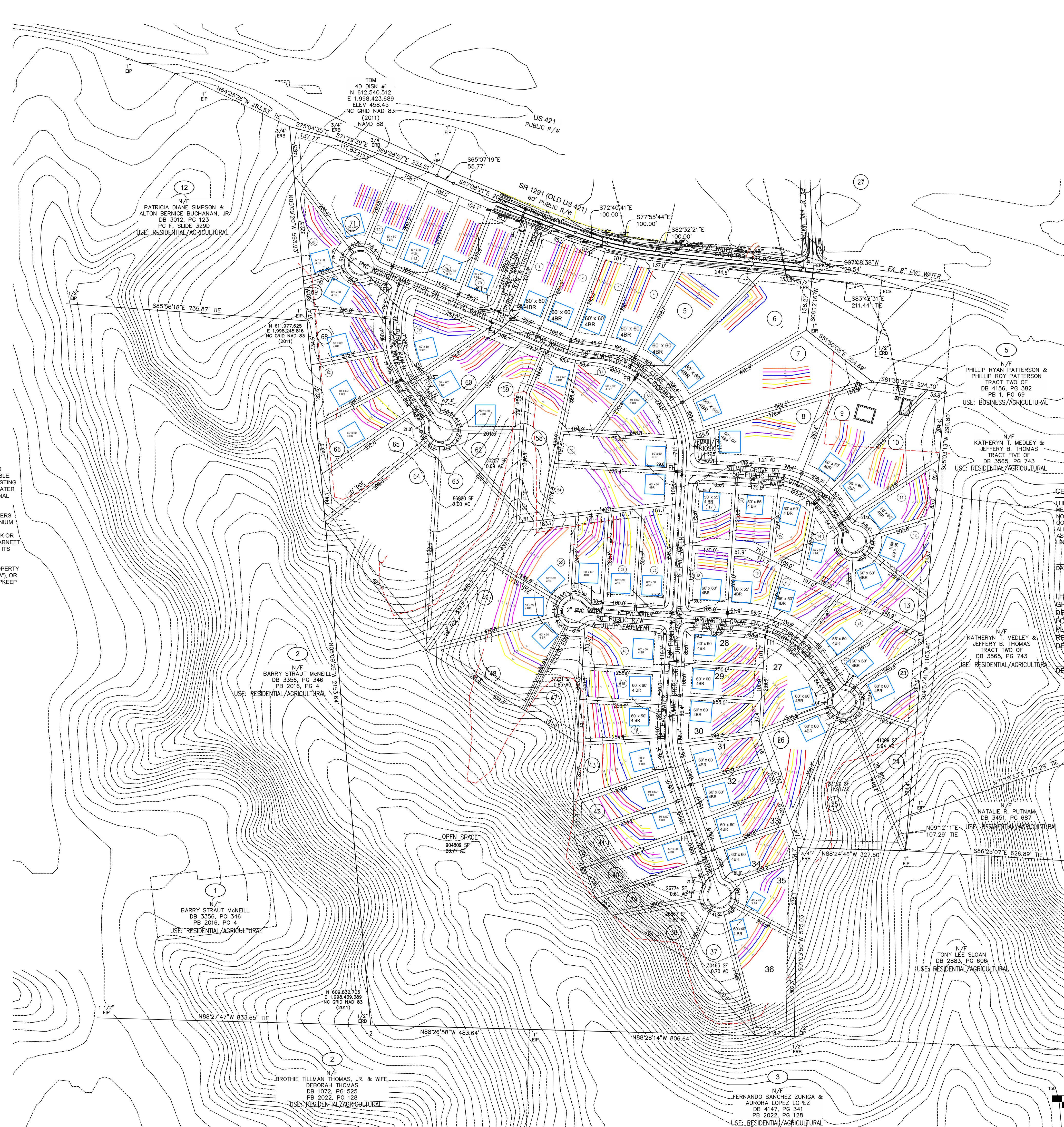
MAIL KIOSK TO BE MAINTAINED BY HOA

ALL INSTALLED LANDSCAPING SHALL NOT BE REMOVED SIGN MUST BE PLACED AT LEAST 20' FROM ANY INTERSECTION R/W

IMPERVIOUS AREA CALCULATIONS: TRACT AREA: 4,100,801 SF IMPERVIOUS AREA ALLOWED: 24% MAX (LOW DENSITY)

IMPERVIOUS AREA BY DESIGN: 120,174 SF ASPHALT 825,000 SF (11,000 SF/LOT MAX IMPERVIOUS X 75 LOTS)

NOTE: NO WETLANDS EXIST ON SITE PER WETLAND SOLUTIONS, LLC



- NCDDOT NOTES: 1. ALL INTERNAL INTERSECTIONS REQUIRE A MINIMUM RADIUS OF 25'. 2. A MINIMUM CENTERLINE RADIUS OF 310' IS REQUIRED.

- NOTE: 1. HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR MAINTENANCE OF OPEN SPACE. 2. 20' PAVEMENT IS THE MINIMUM LANE WIDTH NOT INCLUDING CURBING.

CERTIFICATION OF OWNERSHIP AND DEDICATION I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON...

DATE OWNER

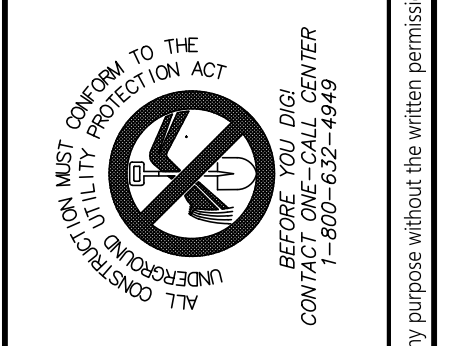
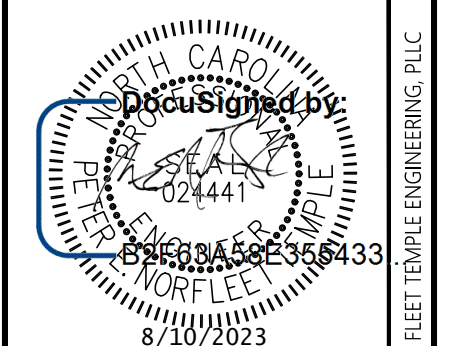
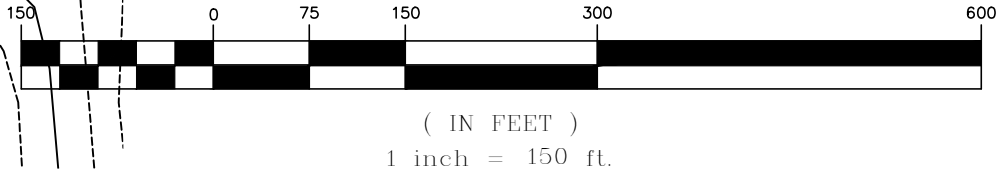
I HEREBY CERTIFY THAT THE DEVELOPMENT HEREON HAS BEEN GRANTED PRELIMINARY APPROVAL BY THE HARNETT COUNTY DEVELOPMENT REVIEW BOARD...

DEVELOPMENT REVIEW BOARD CHAIRMAN DATE



SUB2303-0008

GRAPHIC SCALE



LOCATION: SR 1291 - OLD US 421 UPPER LITTLE RIVER TOWNSHIP HARNETT COUNTY

REVISIONS table with columns for date, description, and author.

FLEET TEMPLE ENGINEERING PLLC logo and address: 5245 Red Hill Church Road • Coats, NC 27521

PRELIMINARY SITE PLAN FOR FOX FIELD FARMS DATE: 03.08.2023 HORIZONTAL SCALE: 1" = 150' VERTICAL SCALE: N/A C1.0

NOTE: This document is physical or electronic form, discloses subject matter considered confidential to FLEET TEMPLE ENGINEERING, PLLC and on which FLEET TEMPLE ENGINEERING, PLLC has exclusive property rights.