

THIS COPYRIGHTED DESIGN IS THE SOLE PROPERTY OF DRB DESIGN AND MAY NOT BE USED OR REPRODUCED WITHOUT A WRITTEN CONSENT OF DRB DESIGN

HNL-000-060

THE HAVILLAND

PROJECT# DRB2301-0091_C
DATE 01/19/2024
DRAWN/DESIGNED BY NW
CHECKED BY DRB
SCALE 1/4" = 1'-0"

WEBSITE www.drhomemedesign.com

PROJECT NAME THE HAVILLAND

DRB DESIGN
drbdesign@drbhomemedesign.com 919.631.5979
250 Shipwash Dr Suite 105 Garner, NC 27529

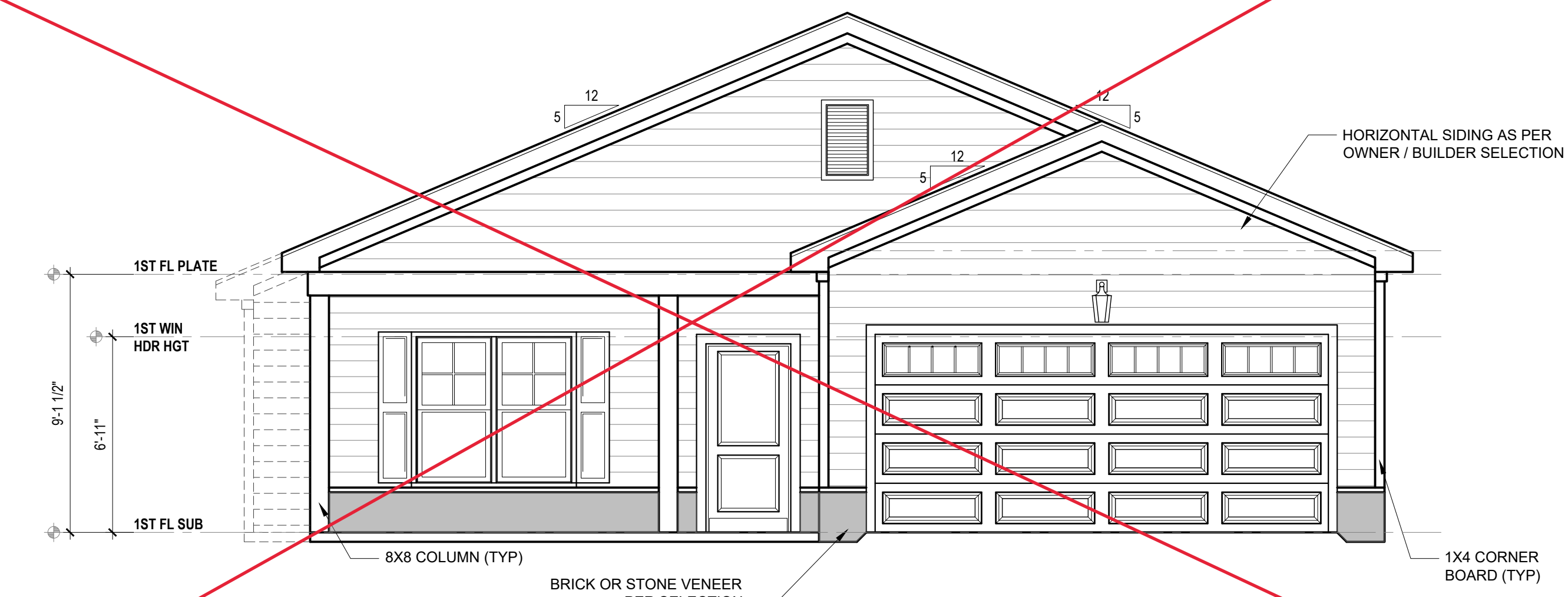
CLIENT NAME
A&G Residential
916 Arsenal Ave. Suite B.
Fayetteville, NC 28305
jenn@agresidentialinc.com
(910) 237-7944

SHEET NAME
ELEVATIONS
SHEET #

2x4 WALLS; 2X4 GARAGE WALLS & 2X6 PLUMBING WALLS AS NEEDED. 8' CEILINGS

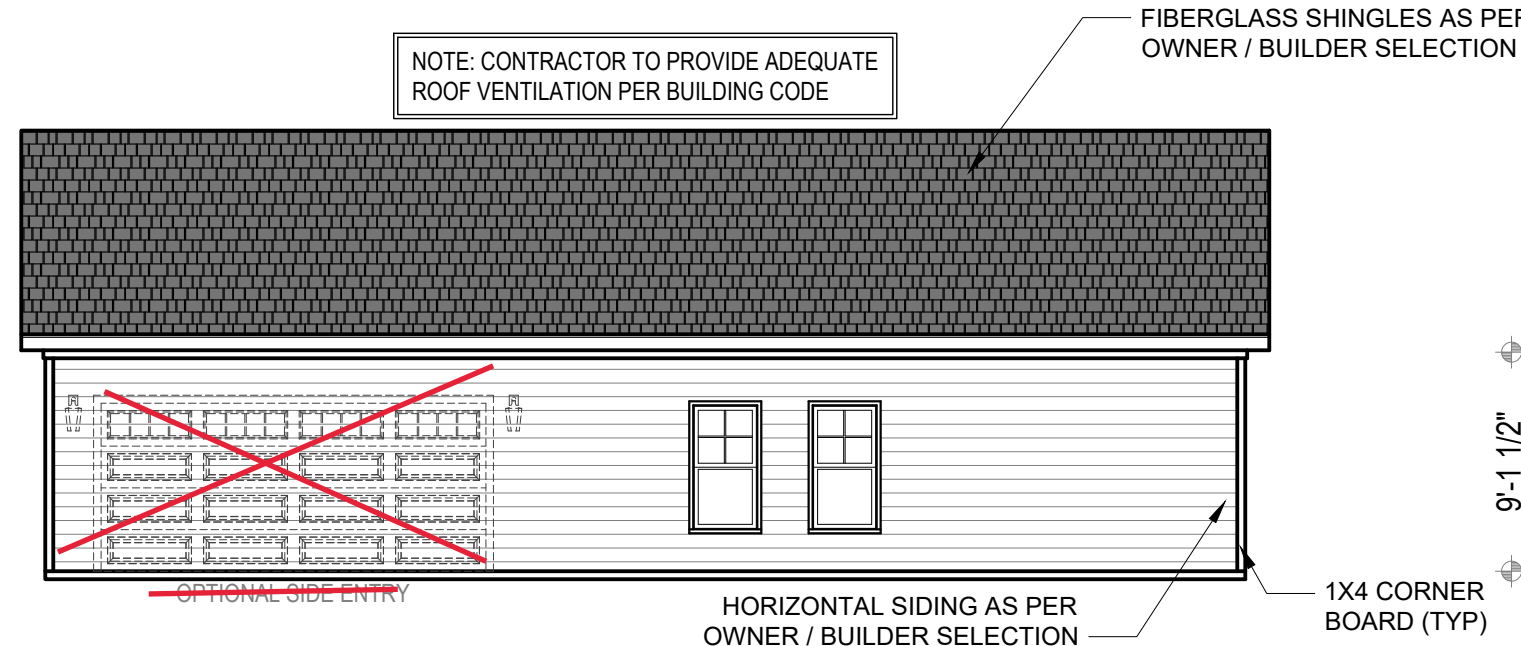


FRONT ELEVATION A
1/4" = 1'-0"



FRONT ELEVATION A W/ OPTIONAL VENEER
1/4" = 1'-0"

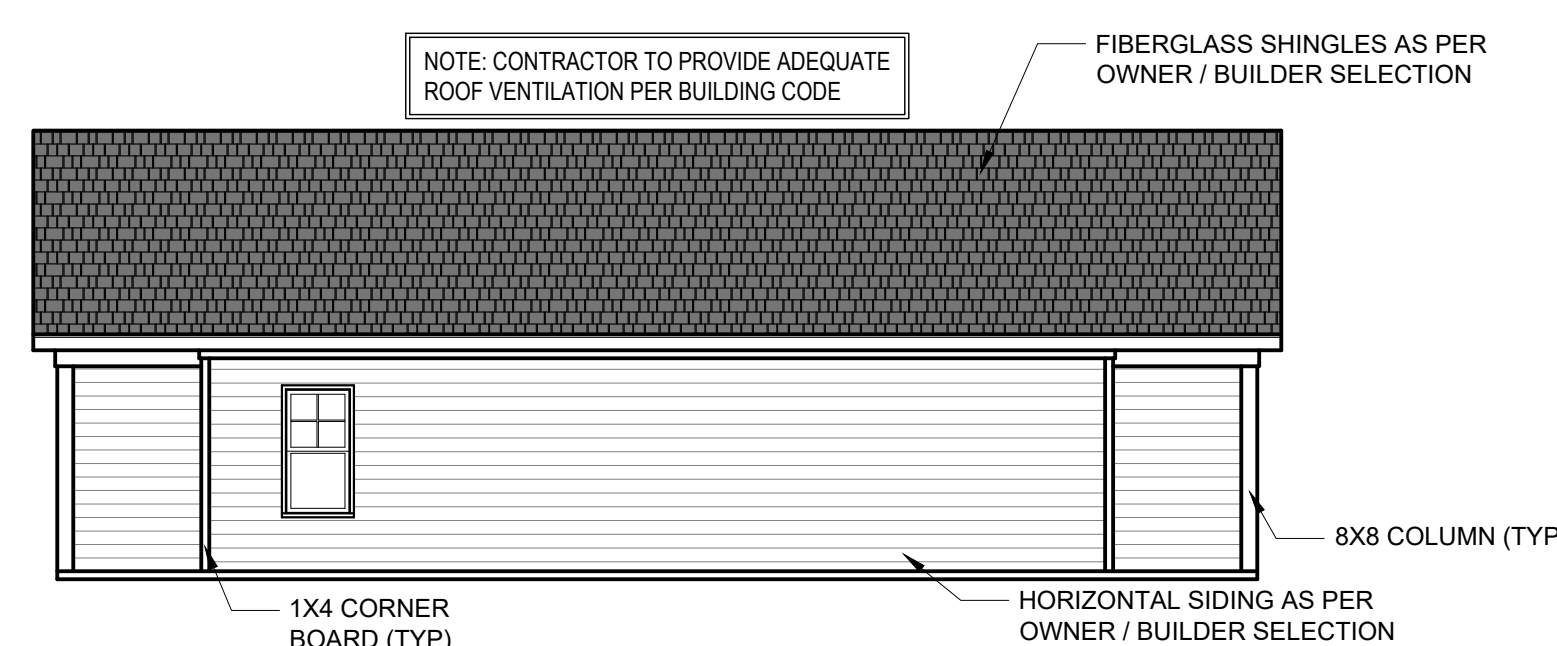
1. DRB DESIGN assumes no liability for any home constructed from this plan.
2. All construction shall conform to the latest requirements of "North Carolina State 2018 residential building code", in addition to all local codes and regulations.
3. Should these plans require structural calculations for permitting the contractor shall be required to obtain the services of a structural engineer after notifying DRB DESIGN that such services are required.
4. Release of these plans requires further cooperation among the owner, his/her contractor, and DRB DESIGN.
5. Design and construction are complex and, although the designer performed his services with due care and diligence, perfection is not a guarantee.
6. Communication is imperfect and every contingency cannot be anticipated.
7. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to DRB DESIGN. Failure to notify the DRB DESIGN compounds misunderstandings and increases construction costs.
8. A failure to cooperate by a simple notice to DRB DESIGN shall relieve the designer from any and all responsibilities for all consequences.
9. Changes made to these plans without the consent of the designer are unauthorized and shall relieve DRB DESIGN of responsibility for any and all consequences arising out of such changes.
10. Written dimensions on these plans always have precedence over scaled dimensions.
11. It is the contractor's responsibility to verify and be responsible for all dimensions and square footage prior to construction, as well as conditions on the job site. DRB DESIGN is not responsible for dimension and square footage errors once construction has begun.
12. DRB DESIGN must be notified of any variations from the dimensions and conditions shown on these drawings.



RIGHT ELEVATION A
1/8" = 1'-0"

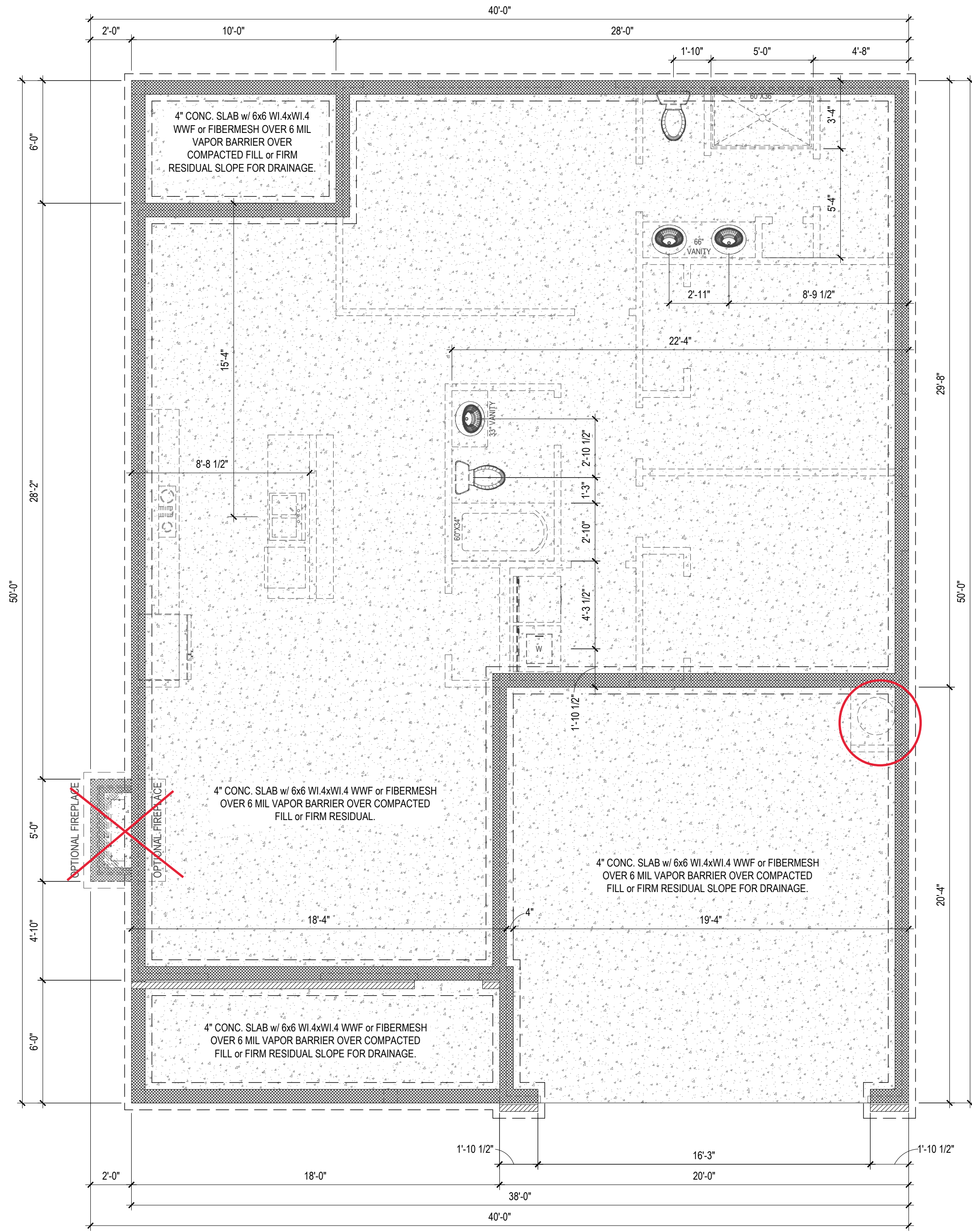


REAR ELEVATION A
1/8" = 1'-0"



LEFT ELEVATION A
1/8" = 1'-0"

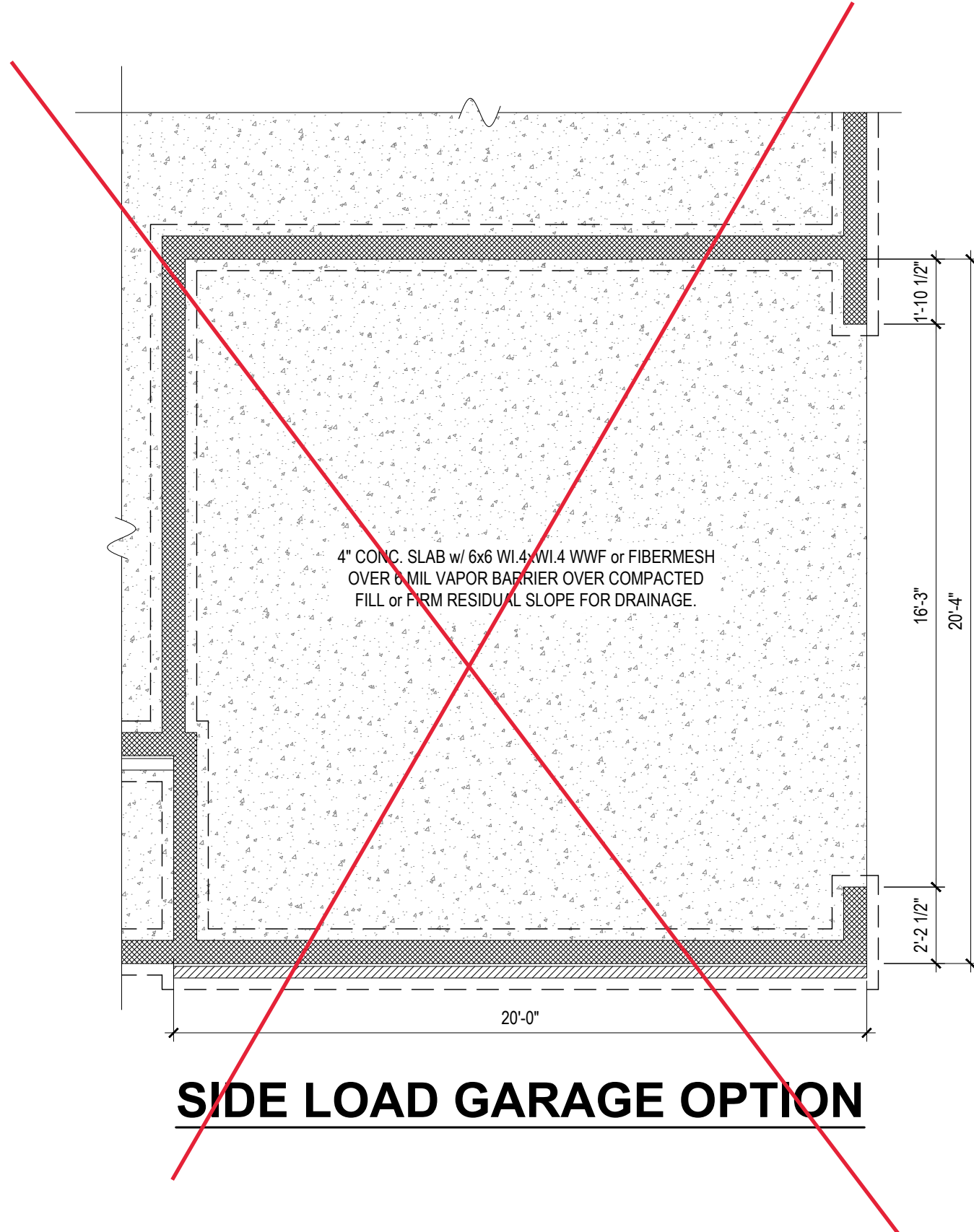
PLUMBING PAGE ONLY; NOT FOR FOUNDATION



NOTE: SEE STRUCTURAL PLANS FOR ENGINEERING INFORMATION

FOUNDATION PLAN
1/4" = 1'-0" STEM WALL

2x4 WALLS; 2X4 GARAGE WALLS & 2X6 PLUMBING WALLS AS NEEDED. 8' CEILINGS



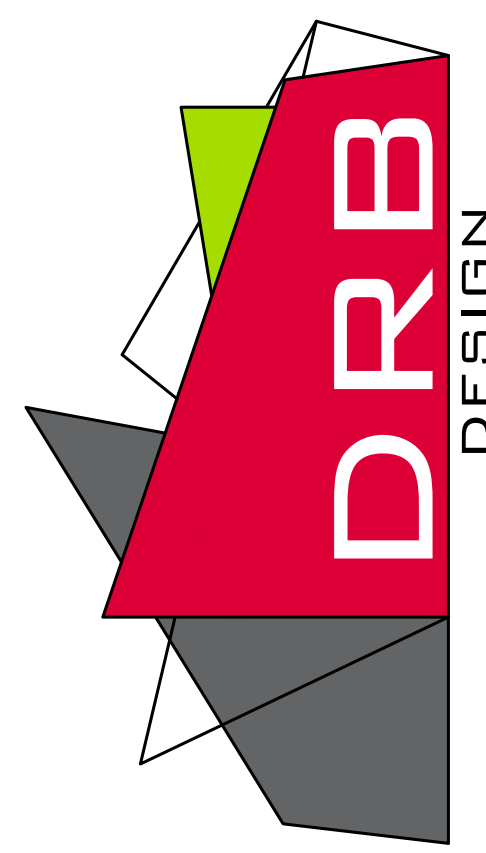
SIDE LOAD GARAGE OPTION

1. DRB DESIGN assumes no liability for any home constructed from this plan.
2. All construction shall conform to the latest requirements of "North Carolina State 2018 residential building code", in addition to all local codes and regulations.
3. Should these plans require structural calculations for permitting the contractor shall be required to obtain the services of a structural engineer after notifying DRB DESIGN that such services are required.
4. Release of these plans requires further cooperation among the owner, his/her contractor, and DRB DESIGN. Design and construction are complex and, although the designer performed his services with due care and diligence, perfection is not a guarantee.
5. Communication is imperfect and every contingency cannot be anticipated.
6. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to DRB DESIGN. Failure to notify the DRB DESIGN compounds misunderstandings and increases construction costs.
7. A failure to cooperate by a simple notice to DRB DESIGN shall relieve the designer from any and all responsibilities for all consequences.
8. Changes made to these plans without the consent of the designer are unauthorized and shall relieve DRB DESIGN of responsibility for any and all consequences arising out of such changes.
9. Written dimensions on these plans always have precedence over scaled dimensions.
10. It is the contractor's responsibility to verify and be responsible for all dimensions and square footage prior to construction, as well as conditions on the job site. DRB DESIGN is not responsible for dimension and square footage errors once construction has begun.
11. DRB DESIGN must be notified of any variations from the dimensions and conditions shown on these drawings.

PROJECT# DRB2301-0091_C
DATE 01/19/2024
DRAWN/DESIGNED BY NW
CHECKED BY DRB
SCALE 1/4" = 1'-0"

WEBSITE www.drbbhomedesign.com

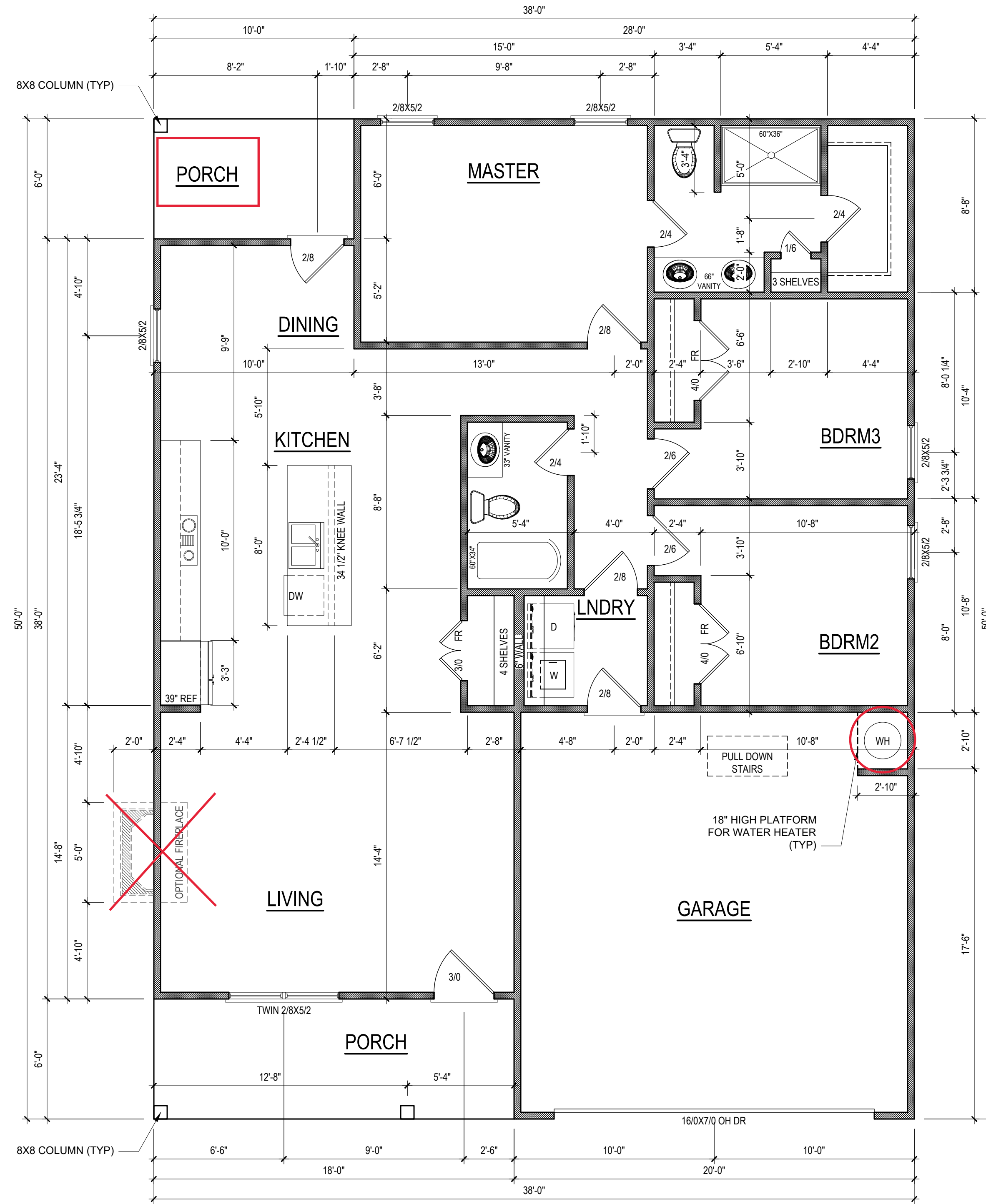
PROJECT NAME THE HAVILLAND



drbdesign@drbbhomedesign.com 919.631.5979
250 Shipwash Dr Suite 105 Garner, NC 27529

CLIENT NAME A&G Residential
916 Arsenal Ave. Suite B.
Fayetteville, NC 28305
jenn@agresidentialinc.com (910) 237-7944

SHEET NAME FOUNDATION



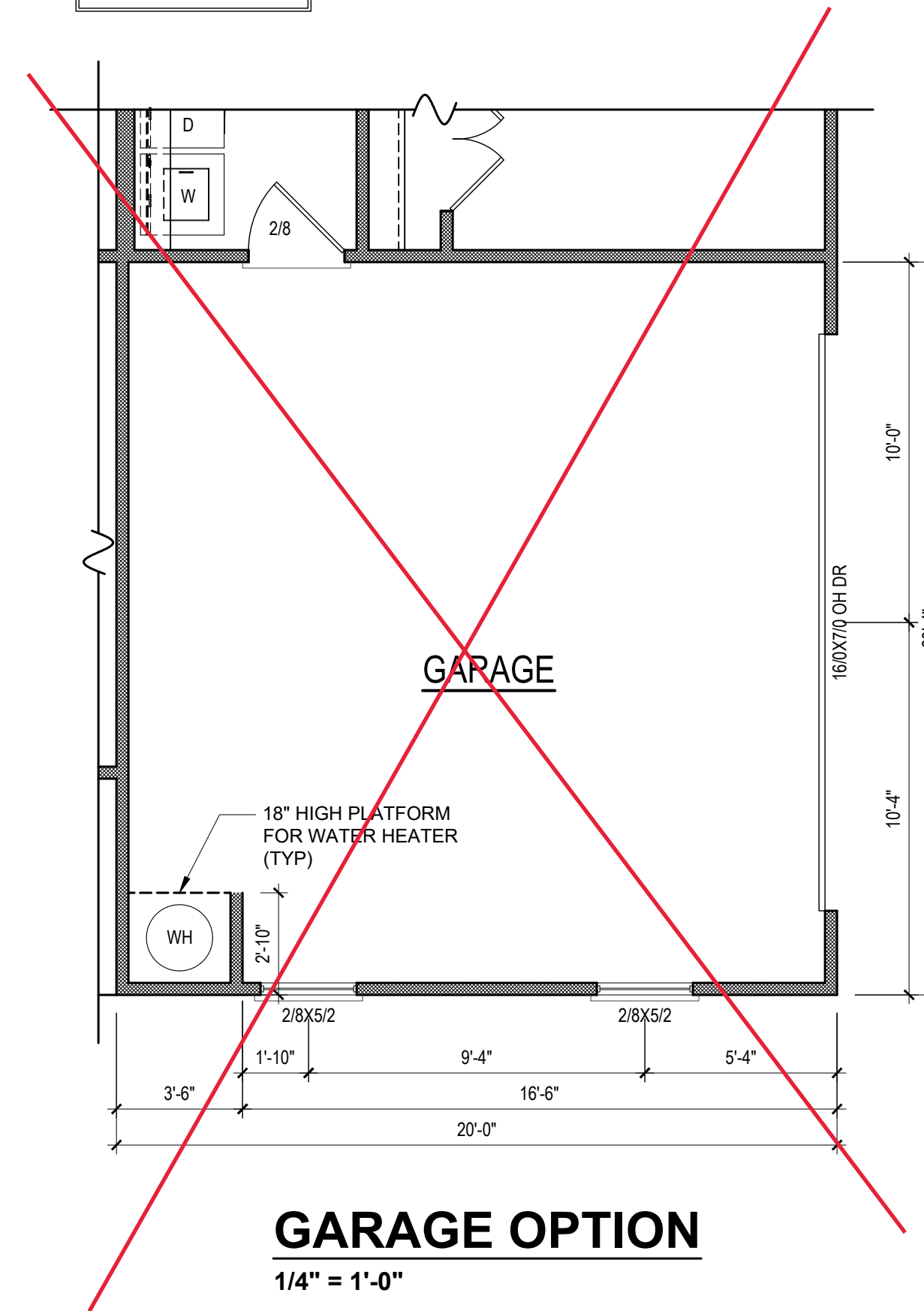
FIRST FLOOR PLAN
1/4" = 1'-0" CEILING HGT. = 9'-0"

NOTE: VERIFY WINDOW SILL HEIGHT CLEARANCE ABOVE TUBS AND COUNTERTOPS TO ALLOW FOR TRIM AND/OR BACKSPLASH

2x4 WALLS; 2X4 GARAGE WALLS & 2X6 PLUMBING WALLS AS NEEDED. 8' CEILINGS

HEATED SQUARE FOOTAGE	
First Floor	1330
TOTAL HEATED	1330
UNHTD SQUARE FOOTAGE	
Garage	402
Front Porch	108
Rear Porch	60
TOTAL UNHEATED	570
TOTAL SQ FT	1900

- NOTE: SEE ELEVATIONS FOR WINDOW HDR HGTS
- NOTE: ALL EXTERIOR WALLS ARE NOMINAL 4" UNO
- NOTE: ALL DIMENSIONS ARE FRAME TO FRAME
- NOTE: ALL DOORS ARE 6'-8" TALL UNO
- NOTE: ALL INTERIOR WALLS ARE NOMINAL 4" UNO



GARAGE OPTION
1/4" = 1'-0"

1. DRB DESIGN assumes no liability for any home constructed from this plan.
2. All construction shall conform to the latest requirements of "North Carolina State 2018 residential building code", in addition to all local codes and regulations.
3. Should these plans require structural calculations for permitting the contractor shall be required to obtain the services of a structural engineer after notifying DRB DESIGN that such services are required.
4. Release of these plans requires further cooperation among the owner, his/her contractor, and DRB DESIGN. Design and construction are complex and, although the designer performed his services with due care and diligence, perfection is not a guarantee.
5. Communication is imperfect and every contingency cannot be anticipated.
6. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to DRB DESIGN. Failure to notify the DRB DESIGN compounds misunderstandings and increases construction costs.
7. A failure to cooperate by a simple notice to DRB DESIGN shall relieve the designer from any and all responsibilities for all consequences.
8. Changes made to these plans without the consent of the designer are unauthorized and shall relieve DRB DESIGN of responsibility for any and all consequences arising out of such changes.
9. Written dimensions on these plans always have precedence over scaled dimensions.
10. It is the contractor's responsibility to verify and be responsible for all dimensions and square footage prior to construction, as well as conditions on the job site. DRB DESIGN is not responsible for dimension and square footage errors once construction has begun.
11. DRB DESIGN must be notified of any variations from the dimensions and conditions shown on these drawings.

PROJECT#
DRB2301-0091_C
DATE
01/19/2024
DRAWN/DESIGNED BY
NW
CHECKED BY
DRB
SCALE
1/4" = 1'-0"

WEBSITE
www.
drbhomedesign
.com

PROJECT NAME
THE HAVILLAND

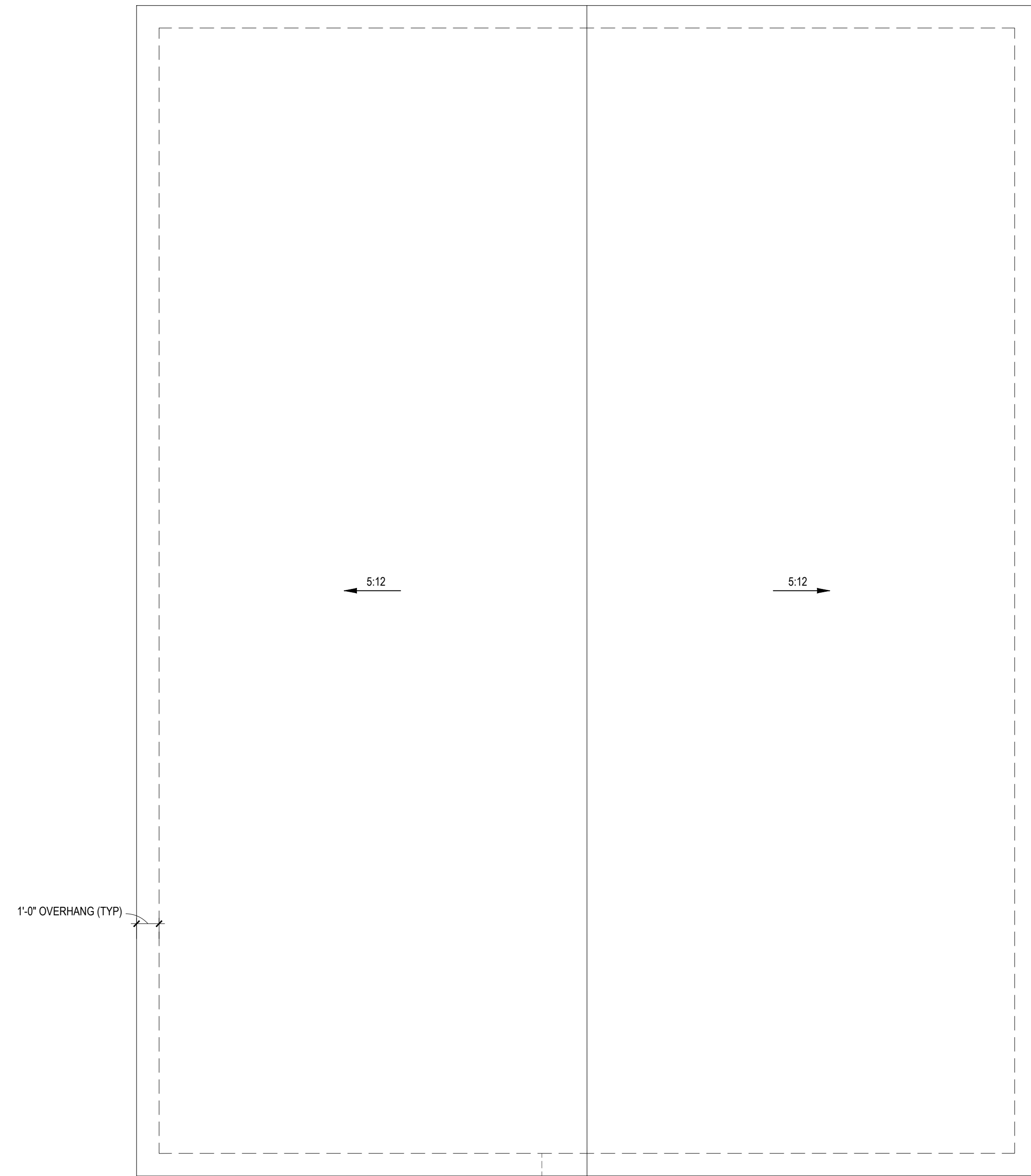
DESIGN
DRB
drbdesign@drbhomedesign.com 919.631.5979
250 Shipwash Dr Suite 105 Garner, NC 27529

CUSTOMER NAME
A&G Residential
916 Arsenal Ave. Suite B.
Fayetteville, NC 28305
jenn@agresidentialinc.com
(910) 237-7944

SHEET NAME
1ST_FLOOR

THIS COPYRIGHTED DESIGN IS THE SOLE PROPERTY OF DRB DESIGN AND MAY NOT BE USED OR REPRODUCED WITHOUT A WRITTEN CONSENT OF DRB DESIGN

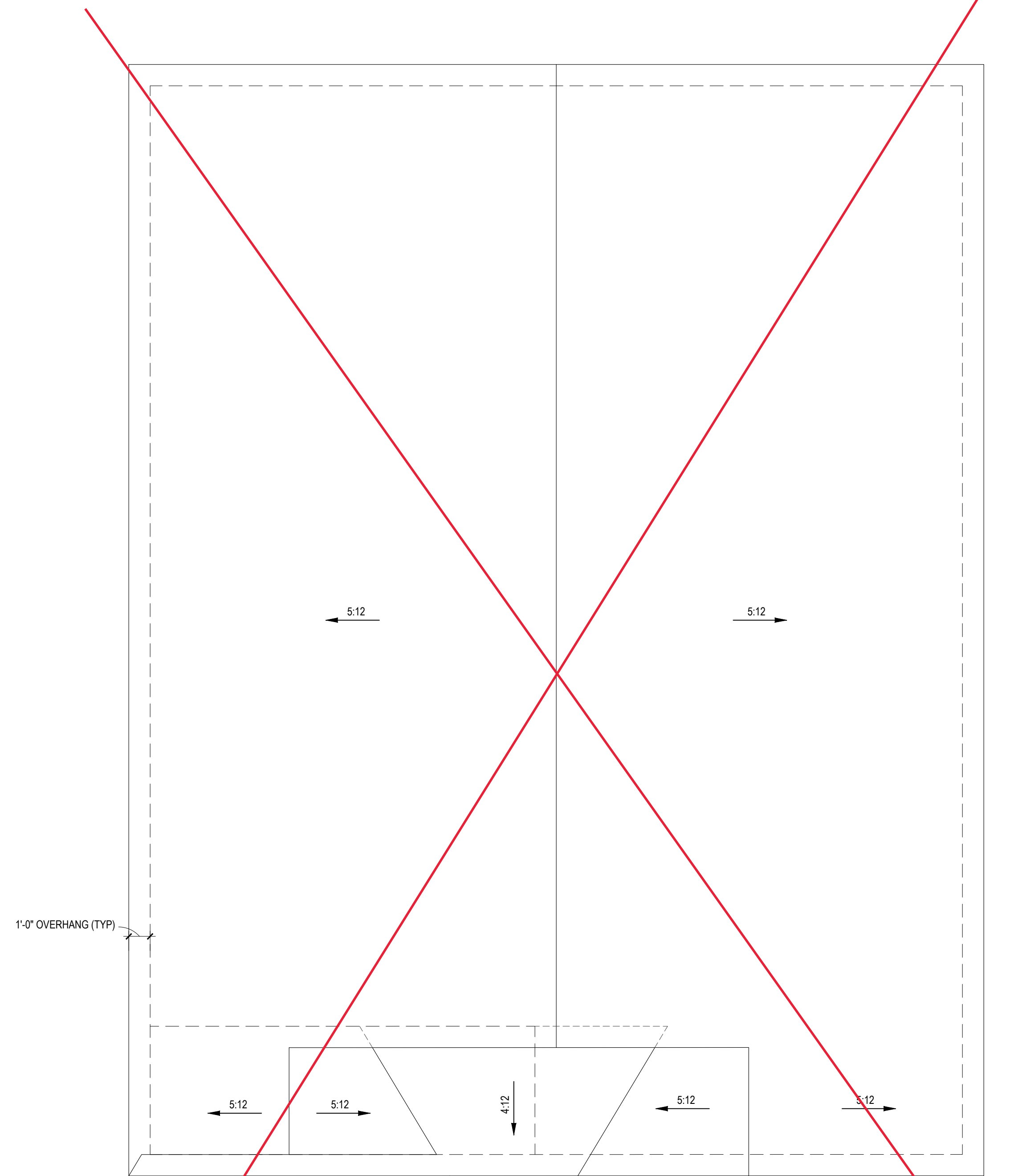
2x4 WALLS; 2X4 GARAGE WALLS & 2X6 PLUMBING WALLS AS NEEDED. 8' CEILINGS



NOTE: SEE STRUCTURAL PLANS FOR ATTIC VENTILATION CALCULATIONS

NOTE: ANY ROOF PITCH 4:12 OR LESS SHALL BE PROPERLY WATERPROOFED PER BLDG. CODE

ROOF PLAN - ELEVS A,B
1/4" = 1'-0"

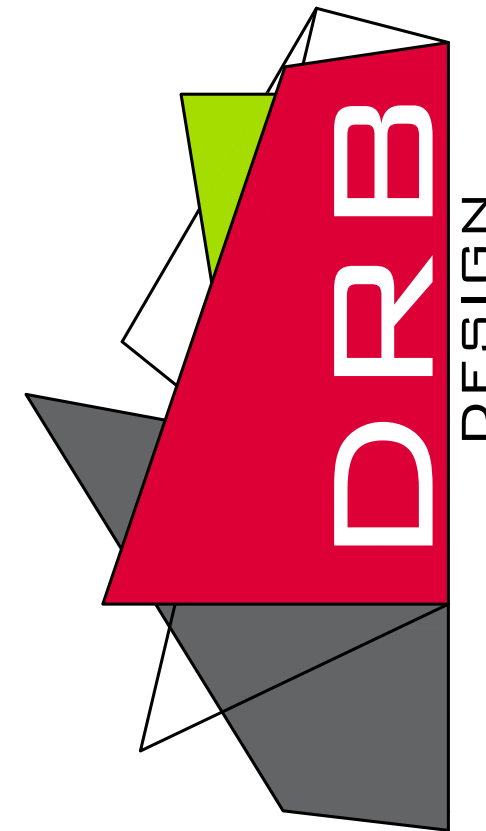


NOTE: SEE STRUCTURAL PLANS FOR ATTIC VENTILATION CALCULATIONS

NOTE: ANY ROOF PITCH 4:12 OR LESS SHALL BE PROPERLY WATERPROOFED PER BLDG. CODE

ROOF PLAN - ELEVS C,D
1/4" = 1'-0"

1. DRB DESIGN assumes no liability for any home constructed from this plan.
2. All construction shall conform to the latest requirements of "North Carolina State 2018 residential building code", in addition to all local codes and regulations.
3. Should these plans require structural calculations for permitting the contractor shall be required to obtain the services of a structural engineer after notifying DRB DESIGN that such services are required.
4. Release of these plans requires further cooperation among the owner, his/her contractor, and DRB DESIGN.
5. Design and construction are complex and, although the designer performed his services with due care and diligence, perfection is not a guarantee.
6. Communication is imperfect and every contingency cannot be anticipated.
7. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to DRB DESIGN. Failure to notify the DRB DESIGN compounds misunderstandings and increases construction costs.
8. A failure to cooperate by a simple notice to DRB DESIGN shall relieve the designer from any and all responsibilities for all consequences.
9. Changes made to these plans without the consent of the designer are unauthorized and shall relieve DRB DESIGN of responsibility for any and all consequences arising out of such changes.
10. Written dimensions on these plans always have precedence over scaled dimensions.
11. It is the contractors responsibility to verify and be responsible for all dimensions and square footage prior to construction, as well as conditions on the job site. DRB DESIGN is not responsible for dimension and square footage errors once construction has begun.
12. DRB DESIGN must be notified of any variations from the dimensions and conditions shown on these drawings.



drbdesign@drbhomedesign.com 919.631.5979
250 Shipwash Dr Suite 105 Garner, NC 27529

PROJECT#
DRB2301-0091_C
DATE
01/19/2024
DRAWN/DESIGNED BY
NW
CHECKED BY
DRB
SCALE
1/4" = 1'-0"

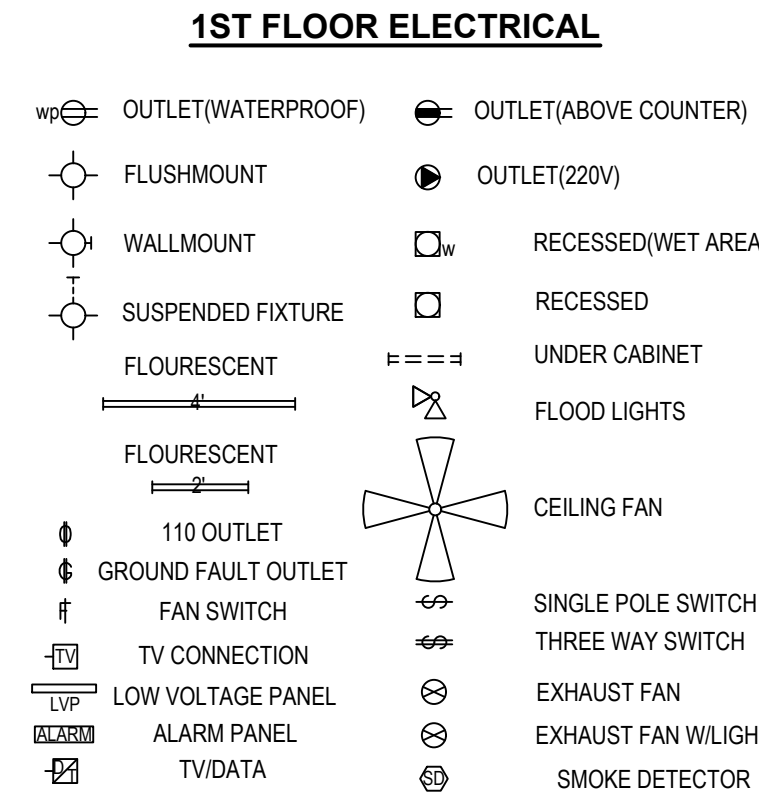
WEBSITE
www.
drbhomedesign
.com

PROJECT NAME
THE
HAVILLAND

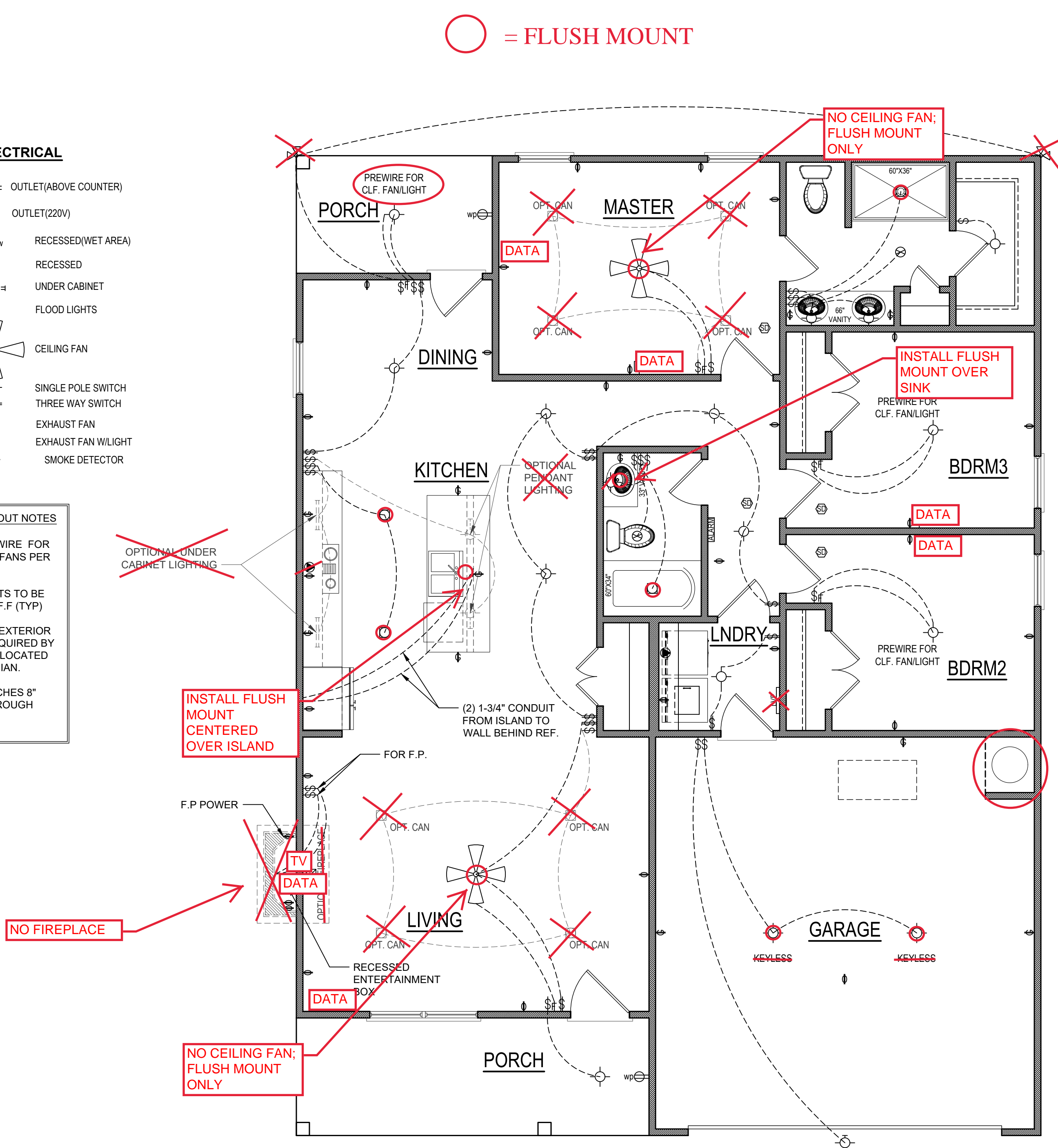
CLIENT NAME
A&G Residential
916 Arsenal Ave. Suite B.
Fayetteville, NC 28305
jenn@agresidentialinc.com
(910) 237-7944

SHEET NAME
ROOF

SHEET #
9
of 10

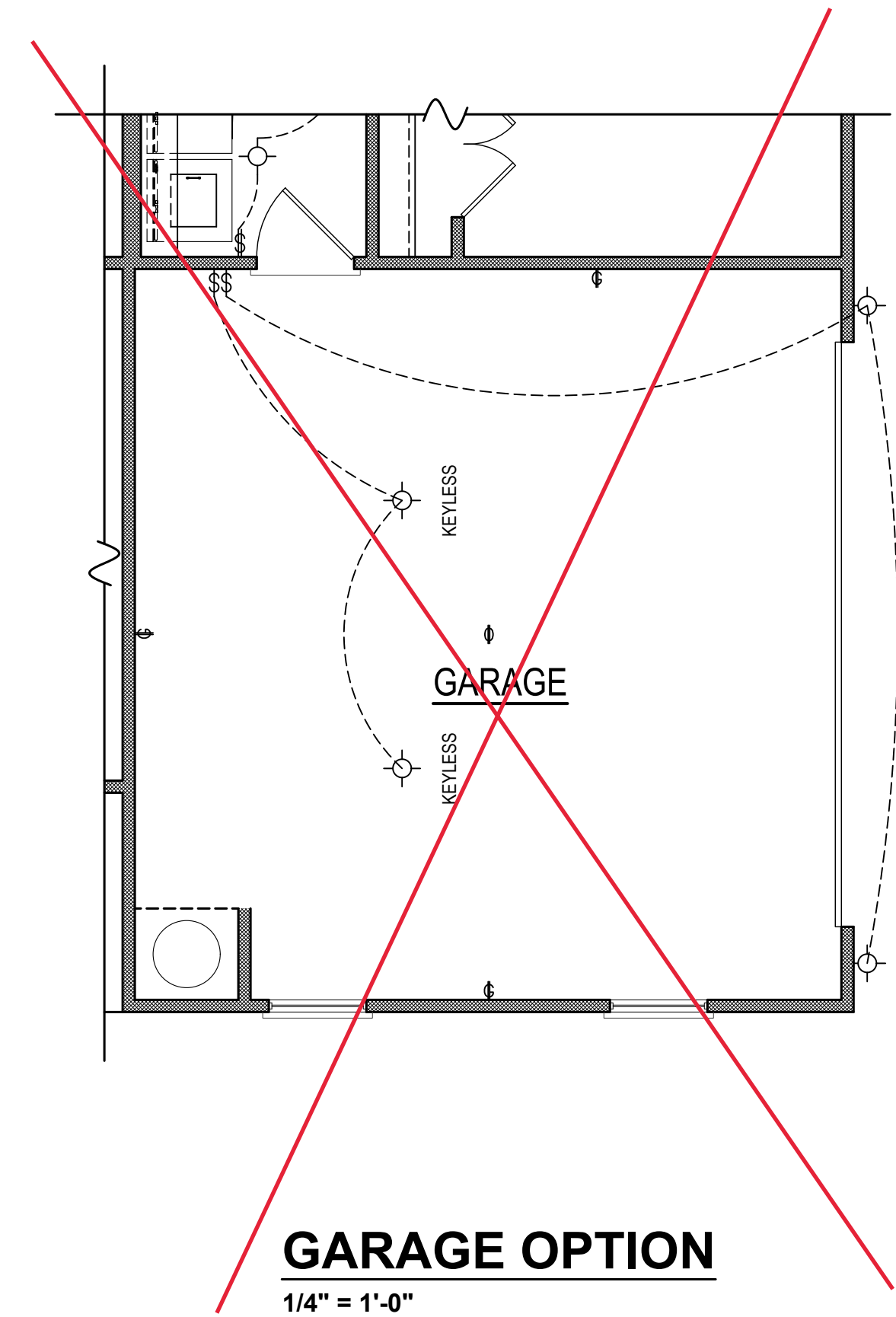


- ELECTRICAL LAYOUT NOTES**
1. BLOCK AND WIRE FOR ALL CEILING FANS PER PLAN.
 2. VANITY LIGHTS TO BE SET @ 90° A.F.F (TYP)
 3. ADDITIONAL EXTERIOR OUTLETS REQUIRED BY CODE TO BE LOCATED BY ELECTRICIAN.
 4. PLACE SWITCHES 8" (MIN) FROM ROUGH OPENINGS.



FIRST FLOOR PLAN
1/4" = 1'-0" CEILING HGT. = 9'-0"

2x4 WALLS; 2X4 GARAGE WALLS & 2X6 PLUMBING WALLS AS NEEDED. 8' CEILINGS



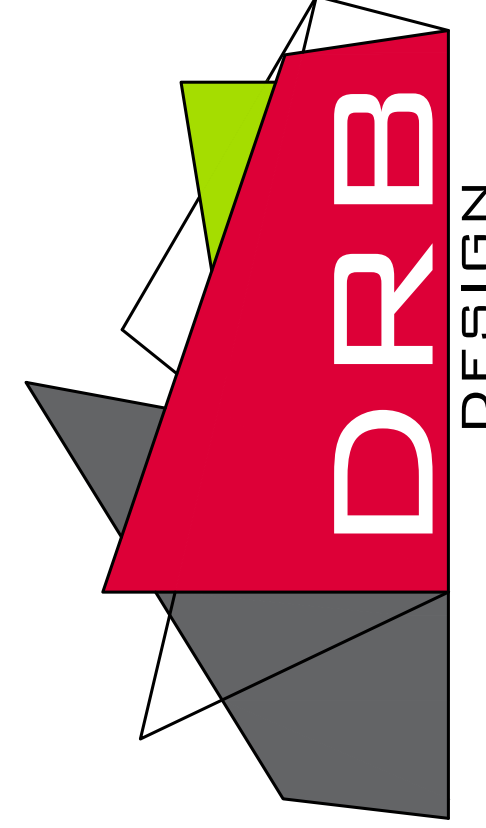
1. DRB DESIGN assumes no liability for any home constructed from this plan.
2. All construction shall conform to the latest requirements of "North Carolina State 2018 residential building code", in addition to all local codes and regulations.
3. Should these plans require structural calculations for permitting the contractor shall be required to obtain the services of a structural engineer after notifying DRB DESIGN that such services are required.
4. Release of these plans requires further cooperation among the owner, his/her contractor, and DRB DESIGN.
5. Design and construction are complex and, although the designer performed his services with due care and diligence, perfection is not a guarantee.
6. Communication is imperfect and every contingency cannot be anticipated.
7. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to DRB DESIGN. Failure to notify the DRB DESIGN compounds misunderstandings and increases construction costs.
8. A failure to cooperate by a simple notice to DRB DESIGN shall relieve the designer from any and all responsibilities for all consequences.
9. Changes made to these plans without the consent of the designer are unauthorized and shall relieve DRB DESIGN of responsibility for any and all consequences arising out of such changes.
10. Written dimensions on these plans always have precedence over scaled dimensions.
11. It is the contractor's responsibility to verify and be responsible for all dimensions and square footage prior to construction, as well as conditions on the job site. DRB DESIGN is not responsible for dimension and square footage errors once construction has begun.
12. DRB DESIGN must be notified of any variations from the dimensions and conditions shown on these drawings.

PROJECT #
DRB2301-0091_C
DATE
01/19/2024
DRAWN/DESIGNED BY
NW
CHECKED BY
DRB
SCALE
1/4" = 1'-0"

WWW:
www.drhomemedesign.com

SHEET NAME
THE HAVILLAND

PROJECT NAME
drbdesign@drhomemedesign.com 919.631.5979
250 Shipwash Dr Suite 105 Garner, NC 27529



CLIENT NAME
A&G Residential
916 Arsenal Ave. Suite B.
Fayetteville, NC 28305
jenn@agresidentialinc.com
(910) 237-7944

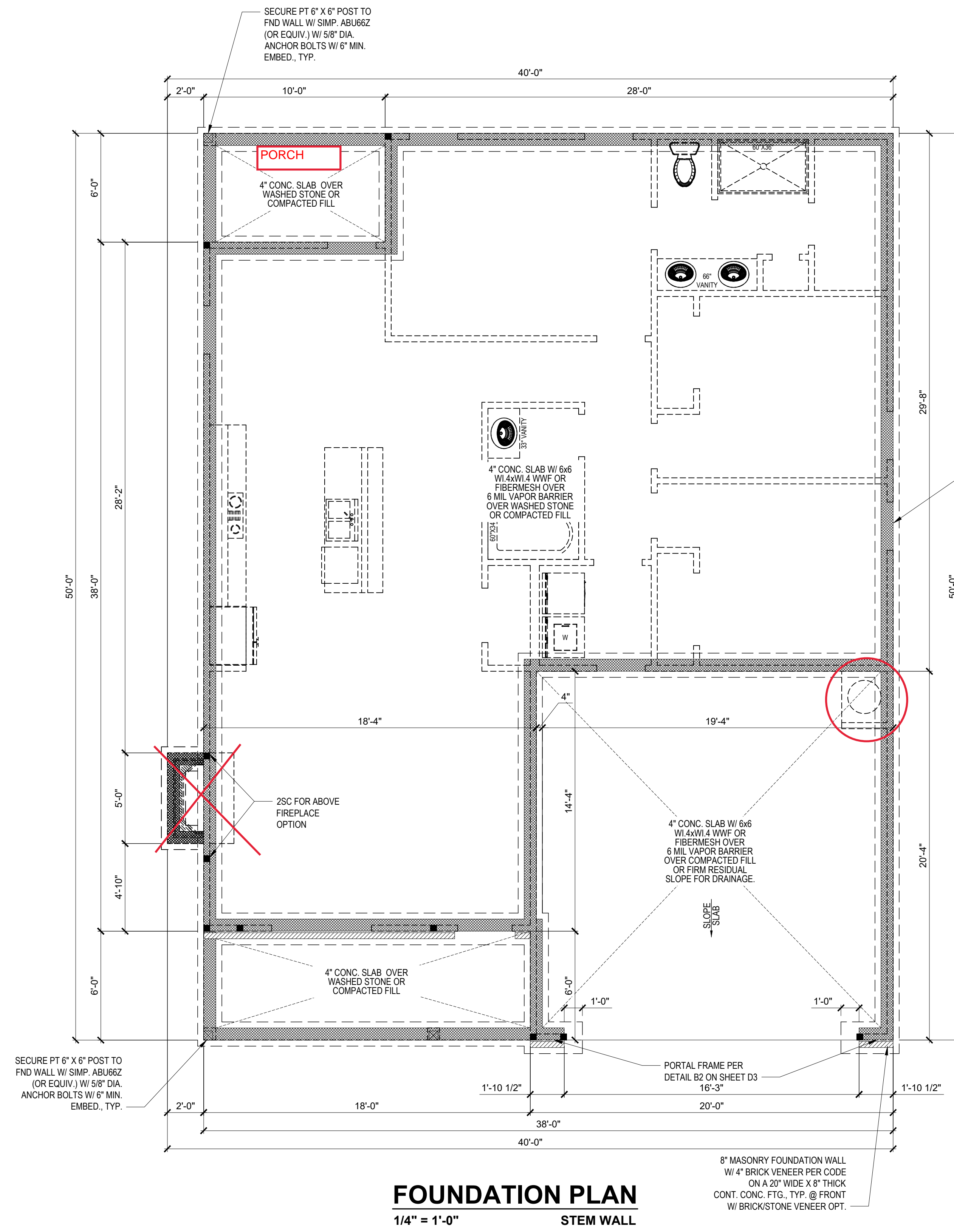
SHEET NAME
ELECTRICAL

DESIGN LOADS

	LIVE LOAD (PSF)	DEAD LOAD (PSF)	DEFLECTION	
			LL	TL
FLOOR (primary)	40	10	L/360	L/240
FLOOR (secondary)	40	10	L/360	L/240
ATTIC (w/ storage)	20	10	L/240	L/180
ATTIC (no access)	10	5	L/240	L/180
EXTERNAL BALCONY	40	10	L/360	L/240
ROOF	20	10	L/240	L/180
ROOF TRUSS	20	20	L/240	L/180
WIND LOAD	BASED ON 120 MPH (EXPOSURE B)			
SEISMIC	BASED ON SEISMIC ZONES A, B & C			

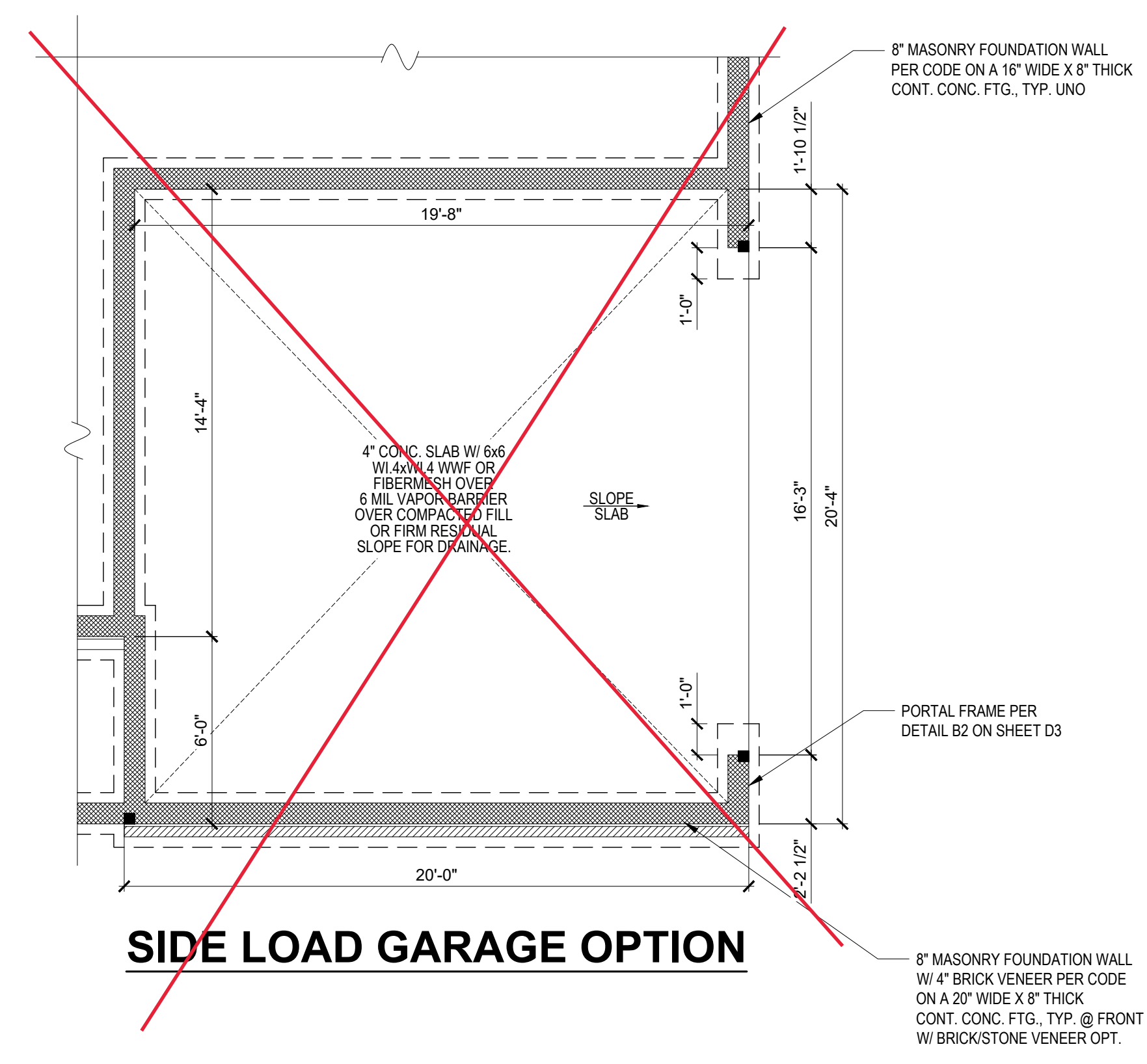
STRUCTURAL NOTES:

- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF "NORTH CAROLINA STATE 2018 RESIDENTIAL BUILDING CODE", IN ADDITION TO ALL LOCAL CODES AND REGULATIONS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND SQUARE FOOTAGE PRIOR TO CONSTRUCTION. TYNDALL ENGINEERING & DESIGN, PA IS NOT RESPONSIBLE FOR DIMENSIONS AND SQUARE FOOTAGE ERRORS ONCE CONSTRUCTION BEGINS.
- ALL LUMBER SHALL BE SYP #2 (UNO)
 - ALL LVL LUMBER TO BE 1.75" WIDE (ACTUAL) EACH SINGLE MEMBER AND F_b = 2600 PSI, E = 1.9M PSI (OR GREATER) (I.E. I-LEVEL MICROLAM)
 - ALL LSL LUMBER IS TO BE 1.55E (F_b = 2325 PSI) (OR GREATER)
 - ALL PSL LUMBER IS TO BE 1.8E (F_b = 2,400 PSI) (OR GREATER)
- ALL LOAD BEARING EXTERIOR WINDOW HEADERS ARE TO BE (2) 2x10 w/ (1) 2x4 JACK STUD (U.N.O.) AND KING STUDS PER TABLE R602.7.5, AND TOGETHER w/ (2) 10d NAILS @ 8" O.C., PROVIDED THAT THE TOP OF THE WINDOW HEIGHT IS 6'-8", MINIMUM BOTTOM OF THE WINDOW HEIGHT IS 1'-6". OTHERWISE REFER TO TABLES R602.7(1) AND R602.7(2).
- ALL INTERIOR LOAD BEARING HEADERS TO BE (2) 2x10 (U.N.O.) REFER TO TABLES R602.7(1) AND R602.7(2) FOR JACK STUD REQUIREMENTS FOR HEADER SPANS FOR INTERIOR AND EXTERIOR LOAD CONDITIONS (UNO)
- REFER TO 2018 NC BUILDING CODE SECTION R602 FOR CONSTRUCTION OF ALL WALLS OVER 10'-0" IN HEIGHT.
- ALL STRUCTURAL STEEL SHALL BE ASTM A992 GRADE 50
 - F_y = 50 KSI MIN. (UNO)
- ALL EXTERIOR LUMBER TO BE #2 SYP PT
- ALL CONCRETE, f_c = 3000 PSI MIN.
- PRESUMPTIVE BEARING CAPACITY = 2000 PSF
- 1/2"Ø ANCHOR BOLTS SPACED AT MAXIMUM OF 6'-0" O.C. AND NOT MORE THAN 12" FROM THE CORNER. THERE SHALL BE A MINIMUM OF (2) BOLTS PER PLATE SECTION. ANCHOR BOLTS SHALL BE SPACED AT 3'-0" O.C. FOR BASEMENTS. ANCHOR BOLT SHALL EXTEND 7" INTO CONCRETE OR MASONRY.
- PSL COLUMNS DESIGNED WITH MAX. HEIGHT OF 9'-0" (UNO)
- PROVIDE A MINIMUM OF 500# UPLIFT & LATERAL CONNECTION AT TOP AND BOTTOM OF PORCH COLUMNS. (U.N.O.)
- PROVIDE CONTINUOUS SHEATHING PER SECTION 602.10.3 OF THE 2018 NCR.
 - MAXIMUM MASONRY PIER HEIGHT SHALL NOT EXCEED FOUR TIMES ITS LEAST HORIZONTAL DIMENSION
- UPLIFT LOADS GREATER THAN 500# SHALL BE CONTINUOUSLY ANCHORED TO THE FOUNDATION.
- METAL HANGERS SHALL BE SIMPSON OR APPROVED EQUAL.

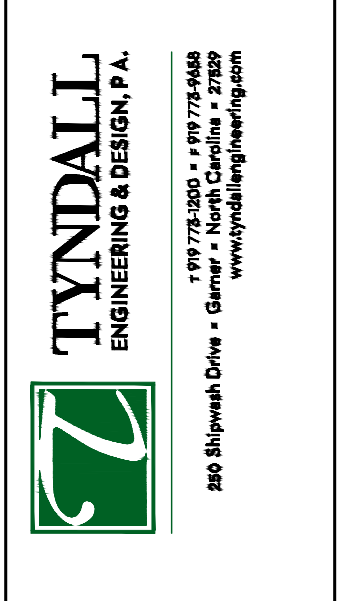
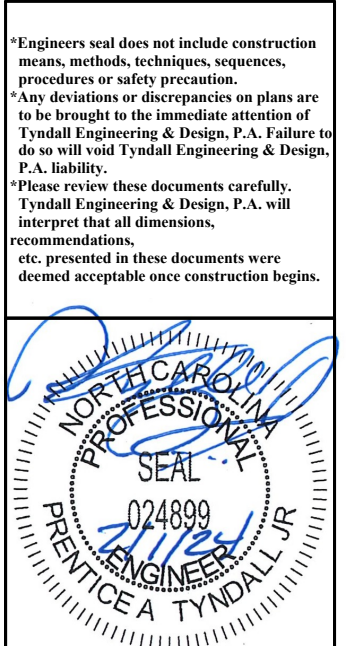


FOUNDATION PLAN
1/4" = 1'-0"
STEM WALL

2X4 WALLS; 2X4 GARAGE WALLS & 2X6 PLUMBING WALLS AS NEEDED. 8' CEILINGS



SIDE LOAD GARAGE OPTION



TYNDALL
ENGINEERING & DESIGN, P.A.
180 Blinnwood Drive • Garner, NC 27529
www.tyndallengineering.com

A&G RESIDENTIAL
916 ARSENAL AVE., SUITE B.
FAYETTEVILLE, NC 28305

THE HAVILLAND

FOUNDATION PLAN
STEM WALL

Project #:	DRB2301-0091_C
Date:	02/01/2024
Engineered By:	JA
DWG. Checked By:	PAT
Scale:	SEE PLAN

REVISIONS		
No.	Date	Remarks

Sheet Number
S1B
1 of 6

FILENAME: Z:\MIDWEST OFFICE\DRB_2023\DRB2301-0091_L.A.G. RESIDENTIAL_HAVILLAND\DWG\FOUNDATION PLAN STEM WALL.DWG DATE: 02/01/2024 11:18 PM

DESIGN LOADS

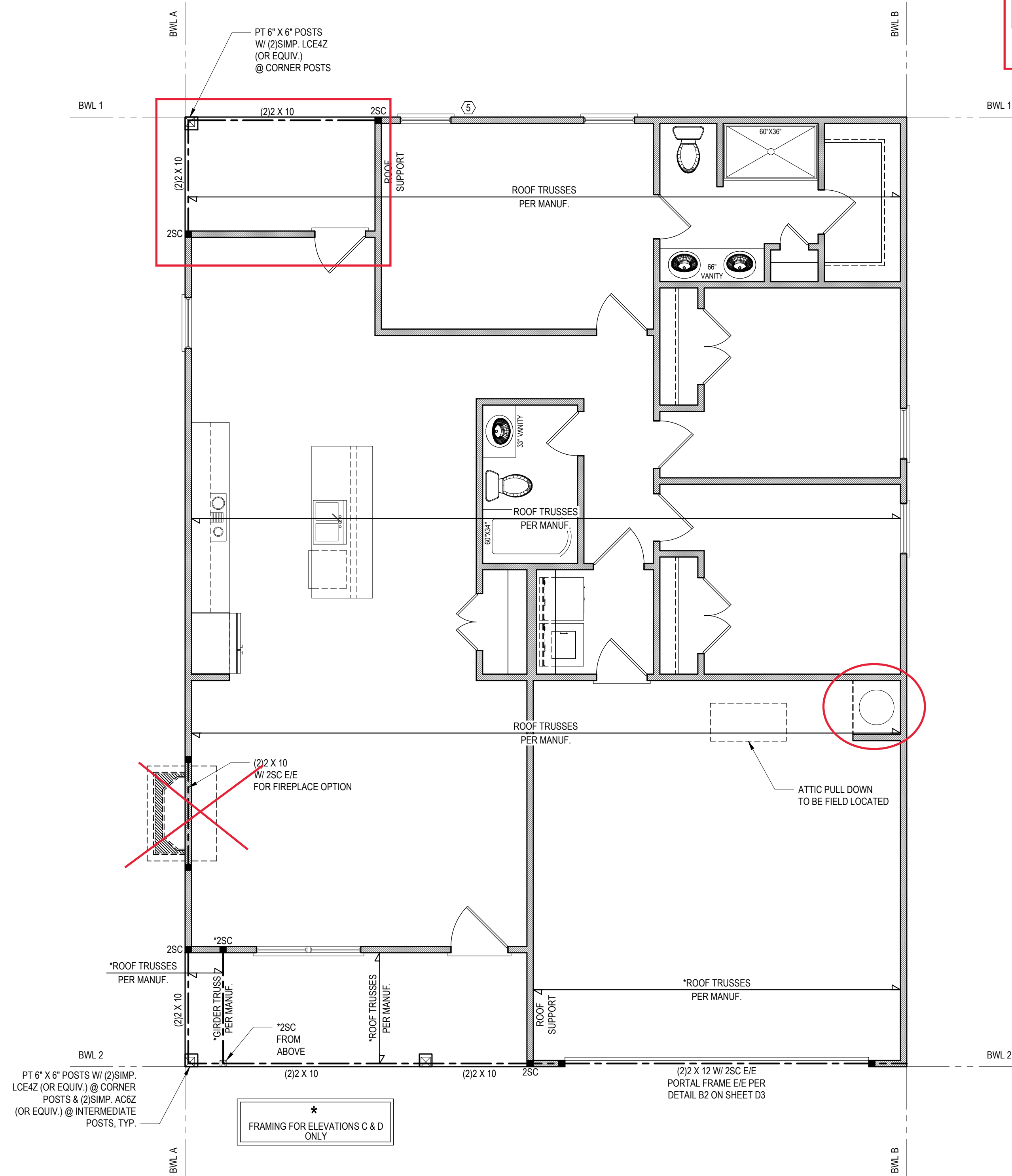
	LIVE LOAD (PSF)	DEAD LOAD (PSF)	DEFLECTION	
			LL	TL
FLOOR (primary)	40	10	L/360	L/240
FLOOR (secondary)	40	10	L/360	L/240
ATTIC (w/ storage)	20	10	L/240	L/180
ATTIC (no access)	10	5	L/240	L/180
EXTERNAL BALCONY	40	10	L/360	L/240
ROOF	20	10	L/240	L/180
ROOF TRUSS	20	20	L/240	L/180
WIND LOAD	BASED ON 120 MPH (EXPOSURE B)			
SEISMIC	BASED ON SEISMIC ZONES A, B & C			

STRUCTURAL NOTES:

- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF "NORTH CAROLINA STATE 2018 RESIDENTIAL BUILDING CODE", IN ADDITION TO ALL LOCAL CODES AND REGULATIONS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND SQUARE FOOTAGE PRIOR TO CONSTRUCTION. TYNDALL ENGINEERING & DESIGN, PA IS NOT RESPONSIBLE FOR DIMENSIONS AND SQUARE FOOTAGE ERRORS ONCE CONSTRUCTION BEGINS.
- ALL LUMBER SHALL BE SYP #2 (UNO)
 - ALL LVL LUMBER TO BE 1.75" WIDE (ACTUAL) EACH SINGLE MEMBER AND Fb = 2600 PSI, E = 1.9M PSI (OR GREATER) (I.E. I-LEVEL MICROLAM)
 - ALL LSL LUMBER IS TO BE 1.55E (Fb = 2325 PSI) (OR GREATER)
 - ALL PSL LUMBER IS TO BE 1.8E (Fb = 2,400 PSI) (OR GREATER)
- ALL LOAD BEARING EXTERIOR WINDOW HEADERS ARE TO BE (2) 2x10 w/ (1) 2x4 JACK STUD (U.N.O.) AND KING STUDS PER TABLE R602.7.5, AND TOGETHER w/ (2) 10d NAILS @ 8" O.C., PROVIDED THAT THE TOP OF THE WINDOW HEIGHT IS 6'-8", MINIMUM BOTTOM OF THE WINDOW HEIGHT IS 1'-6". OTHERWISE REFER TO TABLES R602.7(1) AND R602.7(2).
- ALL INTERIOR LOAD BEARING HEADERS TO BE (2) 2x10 (U.N.O.) REFER TO TABLES R602.7(1) AND R602.7(2) FOR JACK STUD REQUIREMENTS FOR HEADER SPANS FOR INTERIOR AND EXTERIOR LOAD CONDITIONS (UNO)
- REFER TO 2018 NC BUILDING CODE SECTION R602 FOR CONSTRUCTION OF ALL WALLS OVER 10'-0" IN HEIGHT.
- ALL STRUCTURAL STEEL SHALL BE ASTM A992 GRADE 50
 - Fy = 50 KSI MIN. (UNO)
- ALL EXTERIOR LUMBER TO BE #2 SYP PT
- ALL CONCRETE, fc = 3000 PSI MIN.
- PRESUMPTIVE BEARING CAPACITY = 2000 PSF
- 1/2"Ø ANCHOR BOLTS SPACED AT MAXIMUM OF 6'-0" O.C. AND NOT MORE THAN 12" FROM THE CORNER. THERE SHALL BE A MINIMUM OF (2) BOLTS PER PLATE SECTION. ANCHOR BOLTS SHALL BE SPACED AT 3'-0" O.C. FOR BASEMENTS. ANCHOR BOLT SHALL EXTEND 7" INTO CONCRETE OR MASONRY
- PSL COLUMNS DESIGNED WITH MAX. HEIGHT OF 9'-0" (UNO)
- PROVIDE A MINIMUM OF 500# UPLIFT & LATERAL CONNECTION AT TOP AND BOTTOM OF PORCH COLUMNS, (U.N.O.)
- PROVIDE CONTINUOUS SHEATHING PER SECTION 602.10.3 OF THE 2018 NCRC.
- MAXIMUM MASONRY PIER HEIGHT SHALL NOT EXCEED FOUR TIMES ITS LEAST HORIZONTAL DIMENSION
- UPLIFT LOADS GREATER THAN 500# SHALL BE CONTINUOUSLY ANCHORED TO THE FOUNDATION.
- METAL HANGERS SHALL BE SIMPSON OR APPROVED EQUAL.

STRUCTURAL SHEATHING NOTES

- DESIGNED FOR SEISMIC ZONE A-C AND WIND SPEEDS OF 120 MPH OR LESS.
- WALLS SHALL BE BRACED IN ACCORDANCE WITH SECTION R602.10 OF THE 2018 NCRC.
- BRACING REQUIREMENTS SHALL BE PER TABLE R602.10.3. REFER TO SECTION R602.10.4 FOR LOAD PATH DETAILS INCLUDING CONNECTIONS & SUPPORT OF BRACED WALL PANELS.
 - REFERENCE FIGURE R602.10.4.3 OF THE 2018 NCRC.
- INTERIOR BRACED WALL PANELS (BWP) INDICATED SHALL BE SHEATHED IN ACCORDANCE WITH THE GB METHOD OR WSP METHOD AS PRESCRIBED IN SECTION R602.10.1 (UNO)
 - 1 1/2" GYPSUM BOARD (GB) MINIMUM LENGTH OF 8'-0" (ISOLATED PANELS) OR 4'-0" (CONTINUOUS SHEATHING), SECURE w/ 5d COOLER NAILS (OR EQUAL PER TABLE R702.3.5) SPACED @ 7" O.C. AT PANEL EDGES, INCLUDING TOP AND BOTTOM PLATES & 7" O.C. AT INTERMEDIATE SUPPORTS
 - 3/8" WOOD STRUCTURAL PANEL (WSP) SECURE w/ 6d COMMON NAILS SPACED AT 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS
- EXTERIOR BRACED WALL PANELS (BWP) SHALL BE CONSTRUCTED IN ACCORDANCE WITH CS-WSP METHOD AS PRESCRIBED IN SECTION R602.10.3 (UNO)
- ALL SHEATHABLE SURFACES OF EXTERIOR WALLS (INCLUDING AREAS ABOVE AND BELOW OPENINGS AND GABLE END WALLS) SHALL BE CONTINUOUSLY SHEATHED WITH WOOD STRUCTURAL PANEL (WSP) SHEATHING WITH A MINIMUM THICKNESS OF 3/8". SHEATHING SHALL BE SECURED WITH MINIMUM 6d COMMON NAILS SPACED AT 6" O.C. AT PANEL EDGES AND SPACED AT 12" O.C. AT INTERMEDIATE SUPPORTS.
- MINIMUM BRACED WALL PANEL LENGTHS WITH CS-WSP METHOD SHALL BE AS FOLLOWS:
 - 24" ADJACENT TO OPENINGS NOT MORE THAN 67% OF WALL HEIGHT
 - 30" ADJACENT TO OPENINGS GREATER THAN 67% AND LESS THAN 85% OF WALL HEIGHT.
 - 48" FOR OPENINGS GREATER THAN 85% OF WALL HEIGHT
- SHEATH INTERIOR & EXTERIOR
- FOR CS-WSP METHOD, A MINIMUM 24" BRACED WALL PANEL CORNER RETURN SHALL BE PROVIDED AT BOTH ENDS OF A BRACED WALL LINE IN ACCORDANCE WITH FIGURE R602.10.3(4). IN LIEU OF A CORNER RETURN, EITHER A MIN. 48" BRACED WALL PANEL SHALL BE PROVIDED AT THE CORNER OR A HOLD-DOWN DEVICE WITH A MINIMUM UPLIFT DESIGN VALUE OF 800# SHALL BE FASTENED TO THE EDGE OF THE BRACED WALL PANEL CLOSEST TO THE CORNER AND TO THE FOUNDATION OR FRAMING BELOW.
 - MINIMUM 800# HOLD-DOWN DEVICE



FIRST FLOOR PLAN
1/4" = 1'-0" CEILING HGT. = 9'-0"

2X4 WALLS; 2X4 GARAGE WALLS & 2X6 PLUMBING WALLS AS NEEDED. 8' CEILINGS

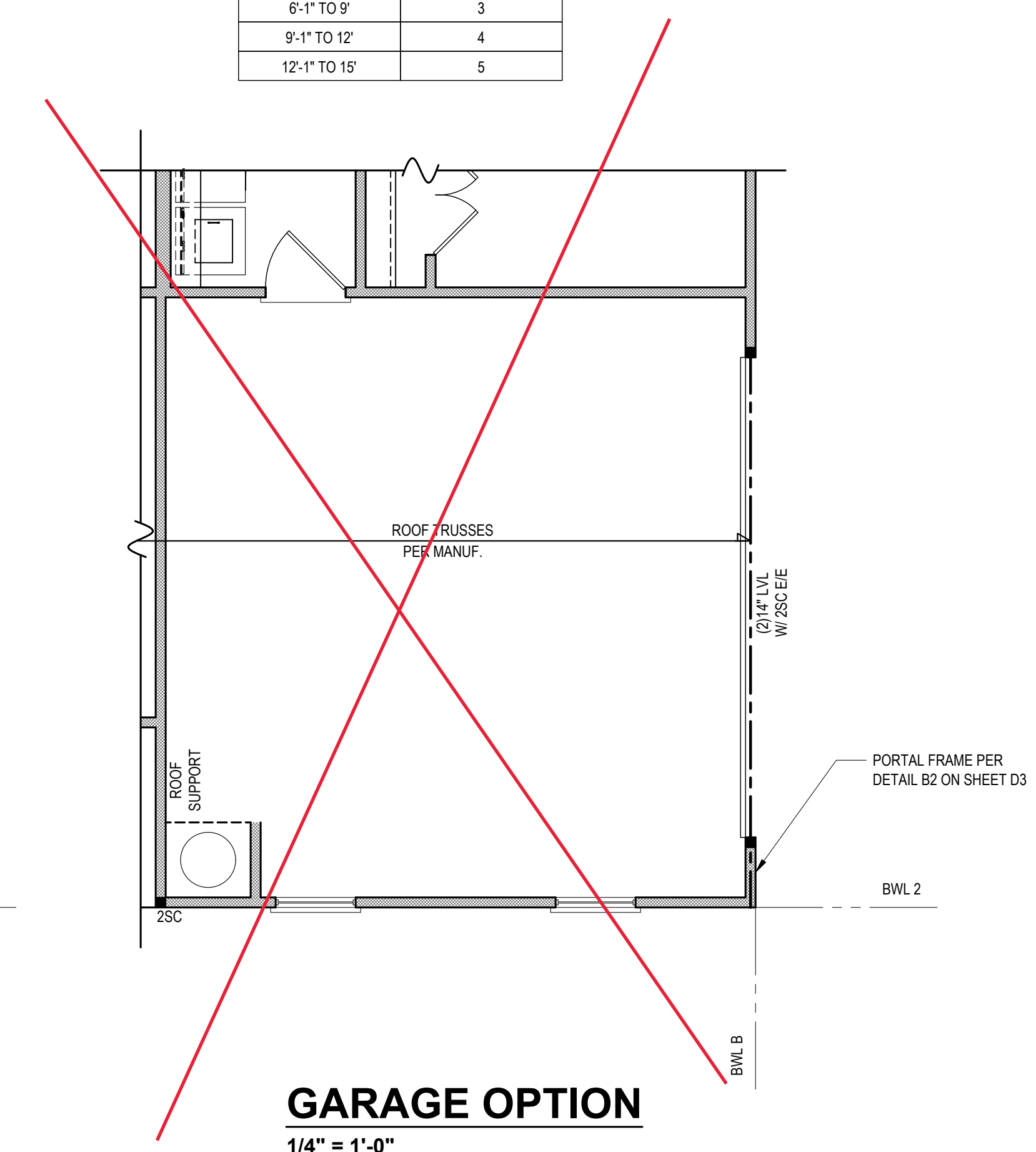
BRACING PANEL LENGTHS REQUIRED:

BWL A = 4.4 FT
BWL B = 4.4 FT
BWL 1 = 5.7 FT
BWL 2 = 5.7 FT

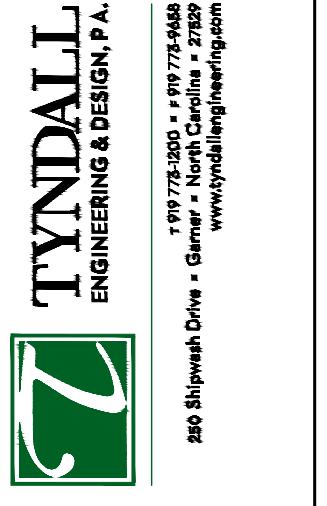
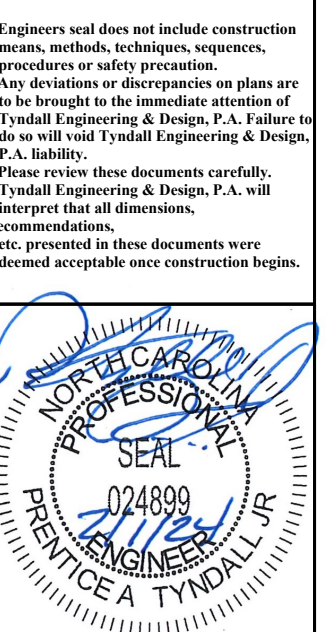
BRACING PANEL LENGTHS PROVIDED:

BWL A = 29.3 FT CS-WSP
BWL B = 44.7 FT CS-WSP
BWL 1 = 28.2 FT CS-WSP
BWL 2 = 14.5 FT CS-WSP

HEADER SPAN (FT)	MIN. # OF FULL HEIGHT STUDS (KING) 2 X 4 STUDS
UP TO 3'	1
3'-1" TO 6'	2
6'-1" TO 9'	3
9'-1" TO 12'	4
12'-1" TO 15'	5



GARAGE OPTION
1/4" = 1'-0"



Client: **A&G RESIDENTIAL**
916 ARSENAL AVE., SUITE B.
FAYETTEVILLE, NC 28305

THE HAVILLAND

1ST FLOOR HEADER
1ST FLOOR CEILING

Project #: **DRB2301-0091_C**
Date: **02/01/2024**
Engineered By: **JA**
DWG. Checked By: **PAT**
Scale: **SEE PLAN**

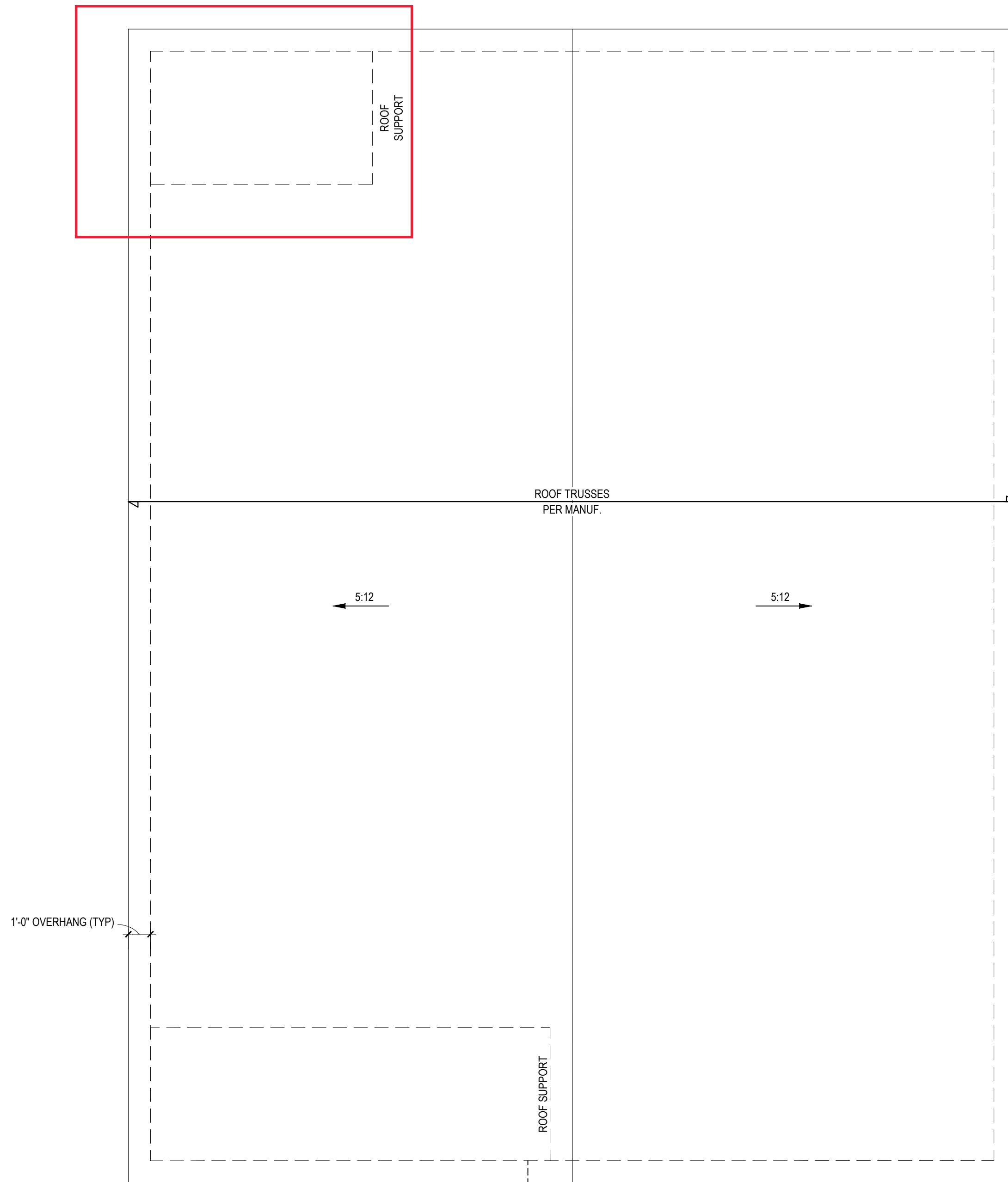
REVISIONS

No.	Date	Remarks

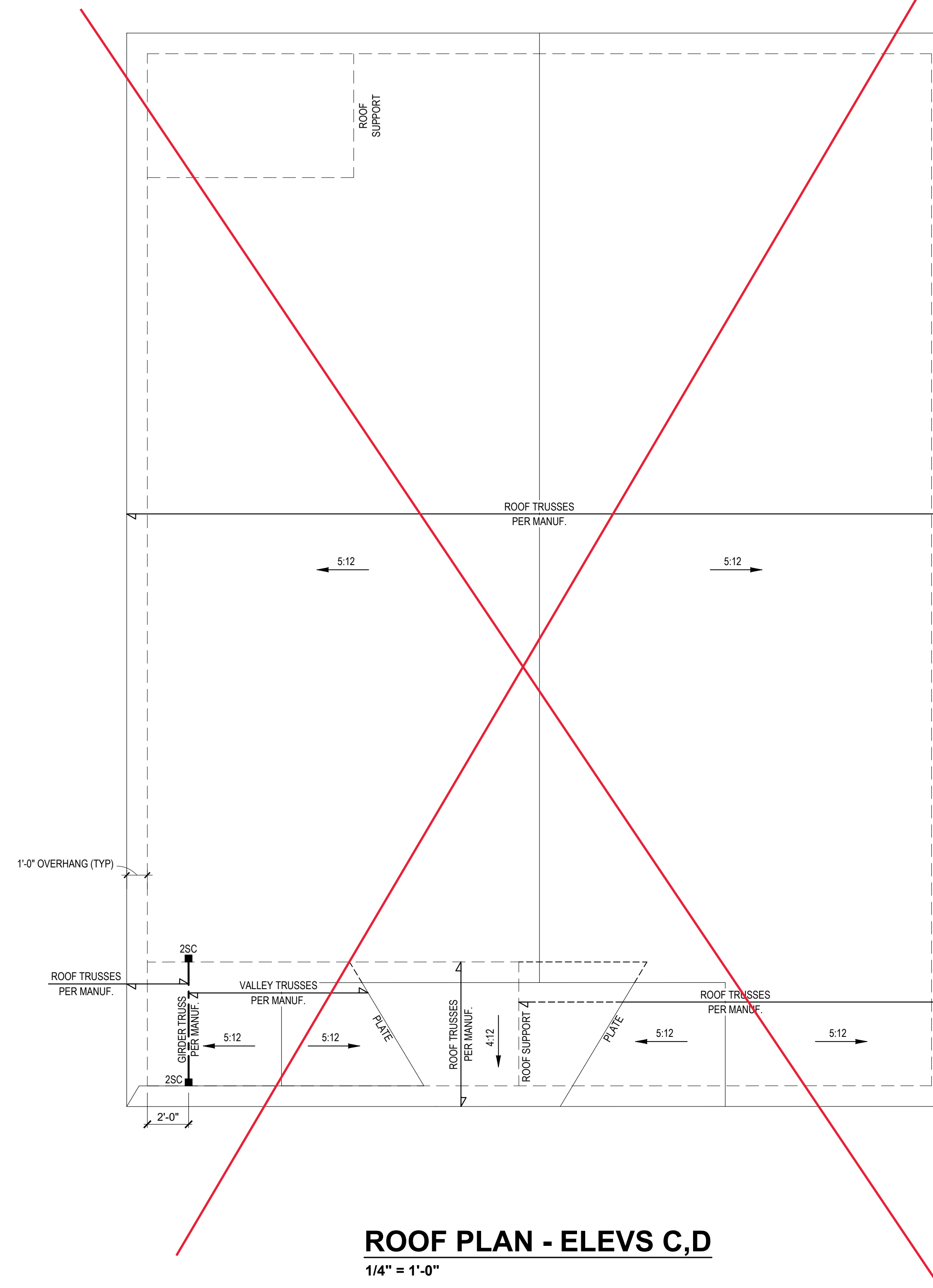
Sheet Number
S2
2 of 6

FILENAME: Z:\MIDWEST OFFICE\986_2023\DRB2301-0091_C_A.G. RESIDENTIAL_HAVILLAND\DWG\FILES\DRB2301-0091_C_E.DWG SWED BR: JAY LAST PLOT DATE: 2/1/2024 11:19 PM

**2X4 WALLS; 2X4
GARAGE WALLS & 2X6
PLUMBING WALLS AS
NEEDED. 8' CEILINGS**



ROOF PLAN - ELEVS A,B
1/4" = 1'-0"



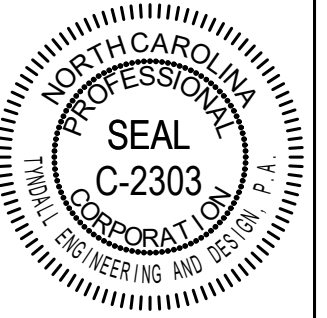
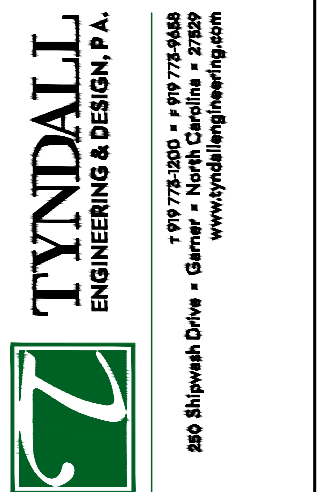
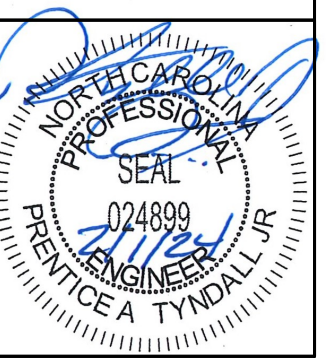
ROOF PLAN - ELEVS C,D
1/4" = 1'-0"

1900 SQ. FT. OF ATTIC / 300 = 7 SQ. FT. INLETS/OUTLETS REQUIRED

- 1) CALCULATION BASED ON VENTILATORS USED AT LEAST 2'-0" ABOVE THE COMB VENTS WITH THE BALANCE OF VENTILATION PROVIDED BY LEAVE VENTS.
- 2) CATHEDRAL CEILINGS SHALL HAVE A 1" MINIMUM CLEARANCE BETWEEN THE BOTTOM OF THE ROOF DECK AND THE INSULATION.

NO SCALE ATTIC VENTILATION CALCULATION

*Engineers seal does not include construction means, methods, techniques, sequences, procedures or safety precautions. Any deviations or discrepancies on plans are to be brought to the immediate attention of Tyndall Engineering & Design, P.A. Failure to do so will void Tyndall Engineering & Design, P.A. liability. Please review these documents carefully. Tyndall Engineering & Design, P.A. will interpret that all dimensions, recommendations, etc. presented in these documents were deemed acceptable once construction begins.



Client: **A & G RESIDENTIAL**
916 ARSENAL AVE. SUITE B.
FAYETTEVILLE, NC 28305

Plan: **THE HAVILLAND**

ROOF PLAN
ELEVS A, B, C, D

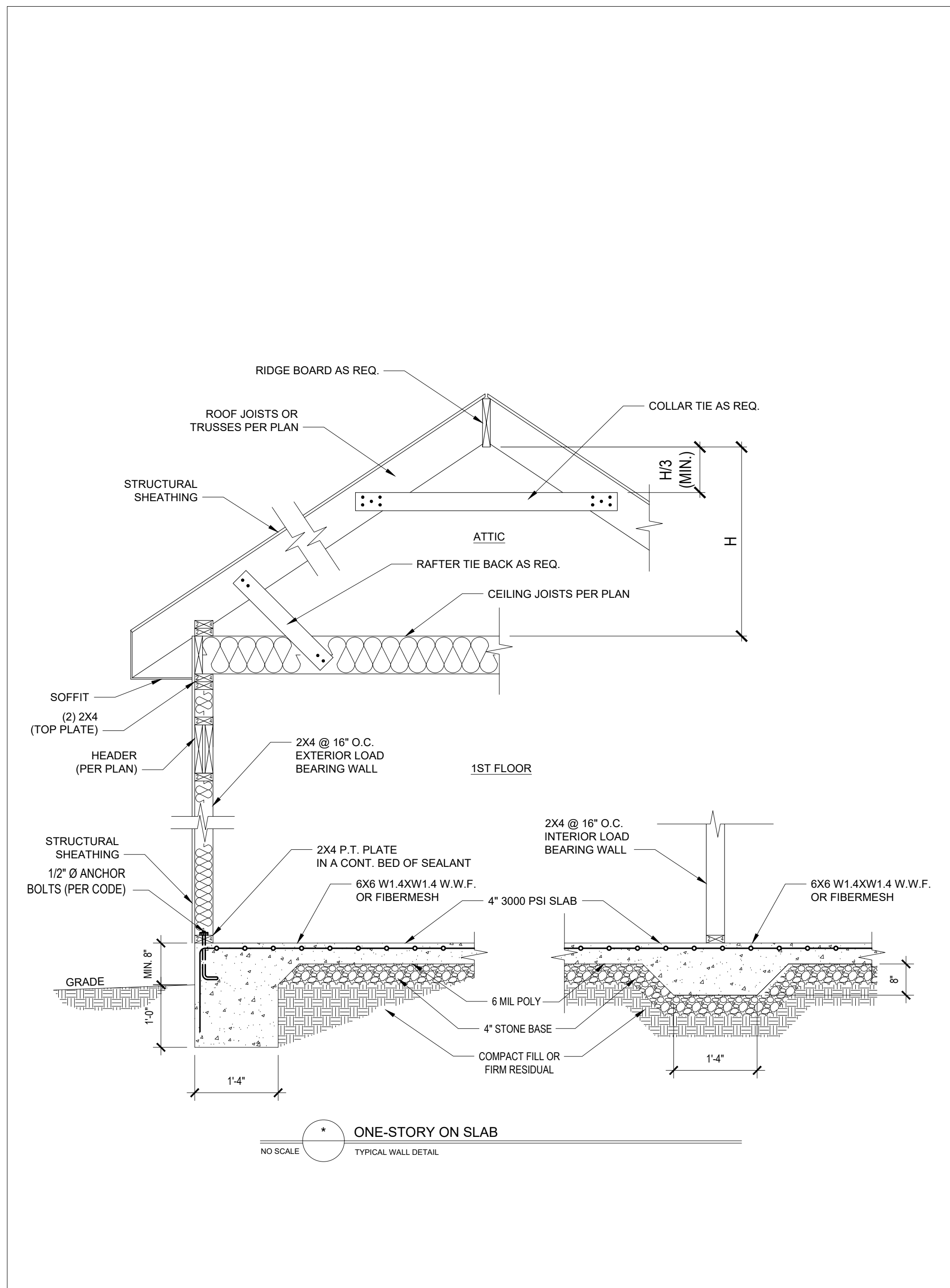
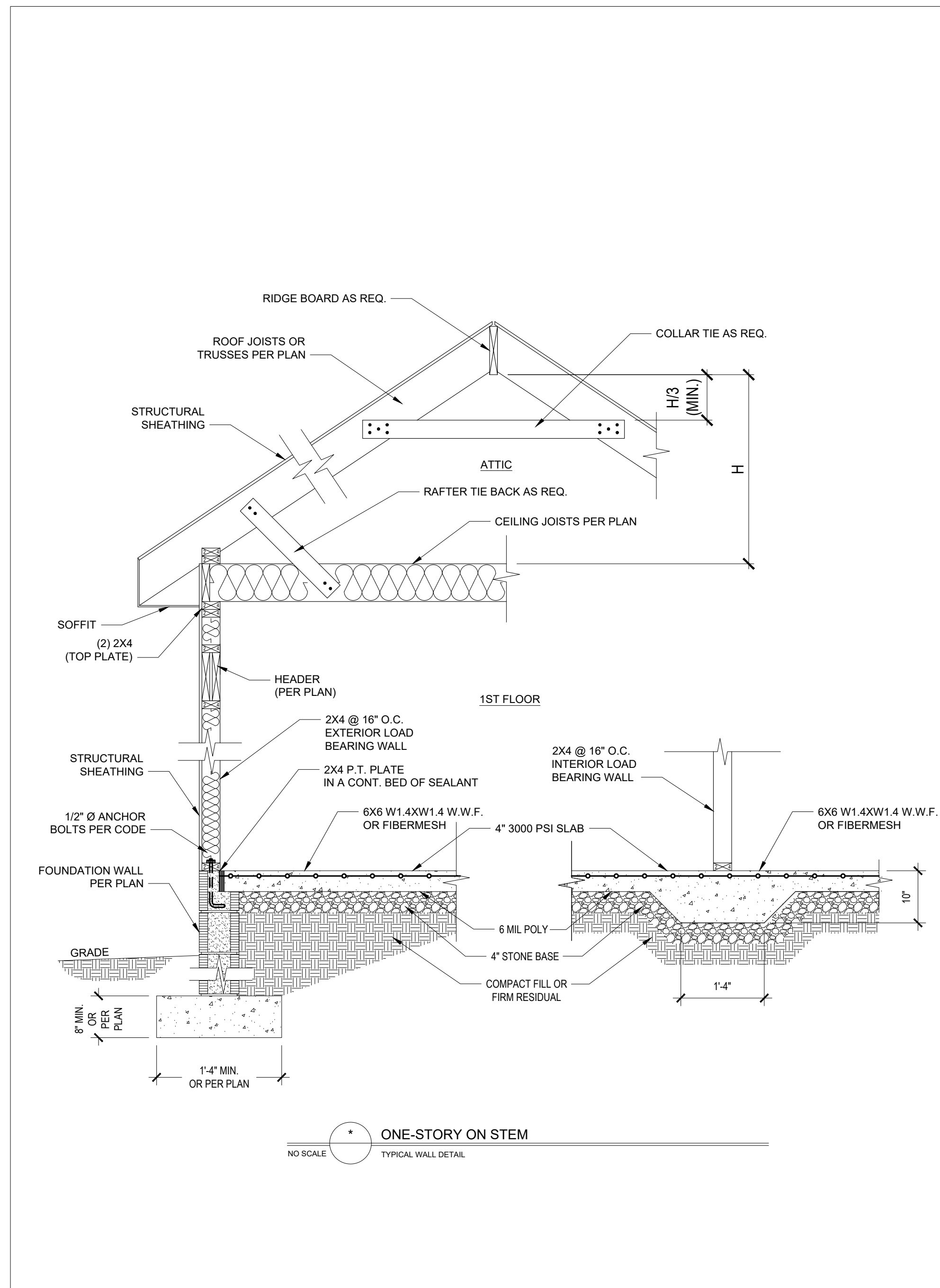
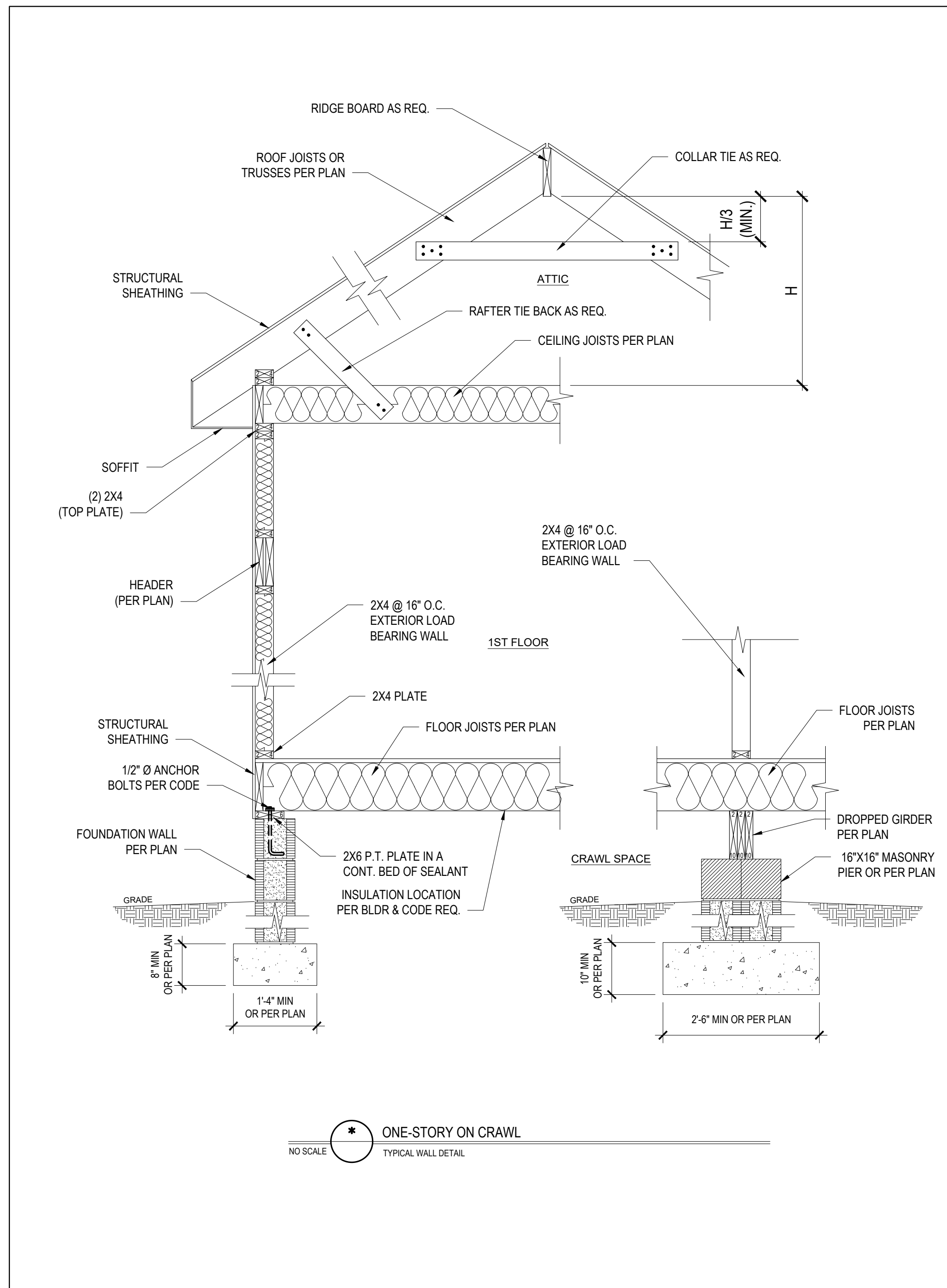
Project #: **DRB2301-0091_C**
Date: **02/01/2024**
Engineered By: **JA**
DWG. Checked By: **PAT**
Scale: **SEE PLAN**

REVISIONS		
No.	Date	Remarks

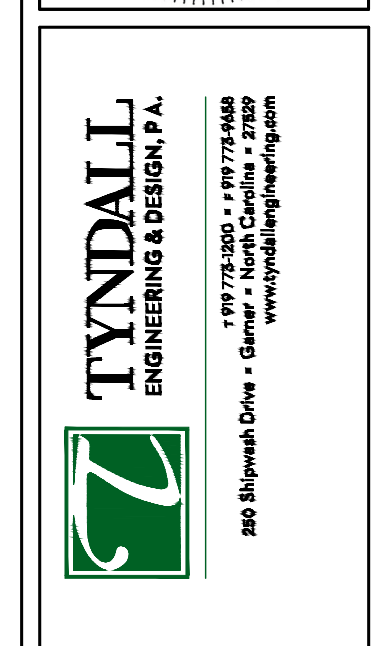
Sheet Number
S3
3 of 6

FILENAME: Z:\VALDES\OFFICE\DRB_2023\DRB2301-0091\A.G. RESIDENTIAL_HAVILLAND\DRB2301-0091_C.A.G. RESIDENTIAL_HAVILLAND\DRB2301-0091_C.ELEVS SWD.B1 - A11 JUST PLOT DATE:1/2024 1:19 PM

FILENAME: Z:\VALDES\OFFICE\DRB2301\091\0223\DRB2301-091_C.C. RESIDENTIAL\HULLAND\DOCS\FILES\DRB2301-091_C.C. ENGINE SWED BY: JAY LUST PLOT DATE: 1/2024 11:19 PM



Engineers seal does not include construction means, methods, techniques, sequences, procedures or safety precautions. Any deviation or discrepancies on plans are to be brought to the immediate attention of Tyn dall Engineering & Design, P.A. Failure to do so will void Tyn dall Engineering & Design, P.A. liability. Please review these documents carefully. Tyn dall Engineering & Design, P.A. will interpret that all dimensions, recommendations, etc. presented in these documents were deemed acceptable once construction begins.



CLIENT:
A&G RESIDENTIAL
916 ARSENAL AVE., SUITE B.
FAYETTEVILLE, NC 28305

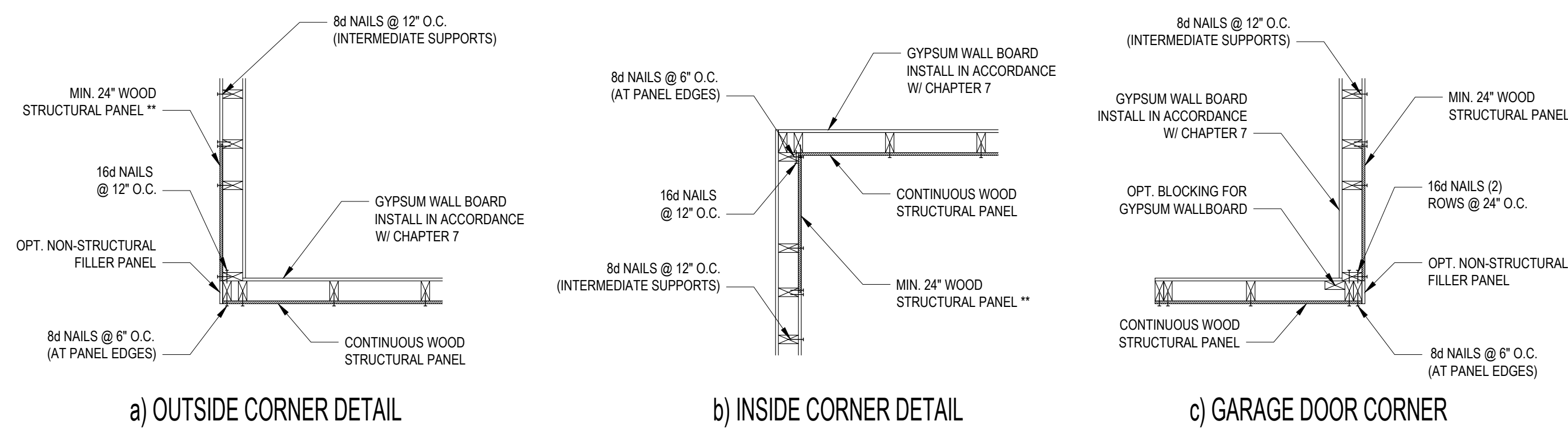
PROJECT:
THE HAVILLAND

STANDARD DETAILS

Project #: DRB2301-0091_C
Date: 02/01/2024
Engineered by: JA
DWG. Checked by: PAT
Scale: SEE PLAN

REVISIONS		
No.	Date	Remarks

Sheet Number
D2
5 of 6



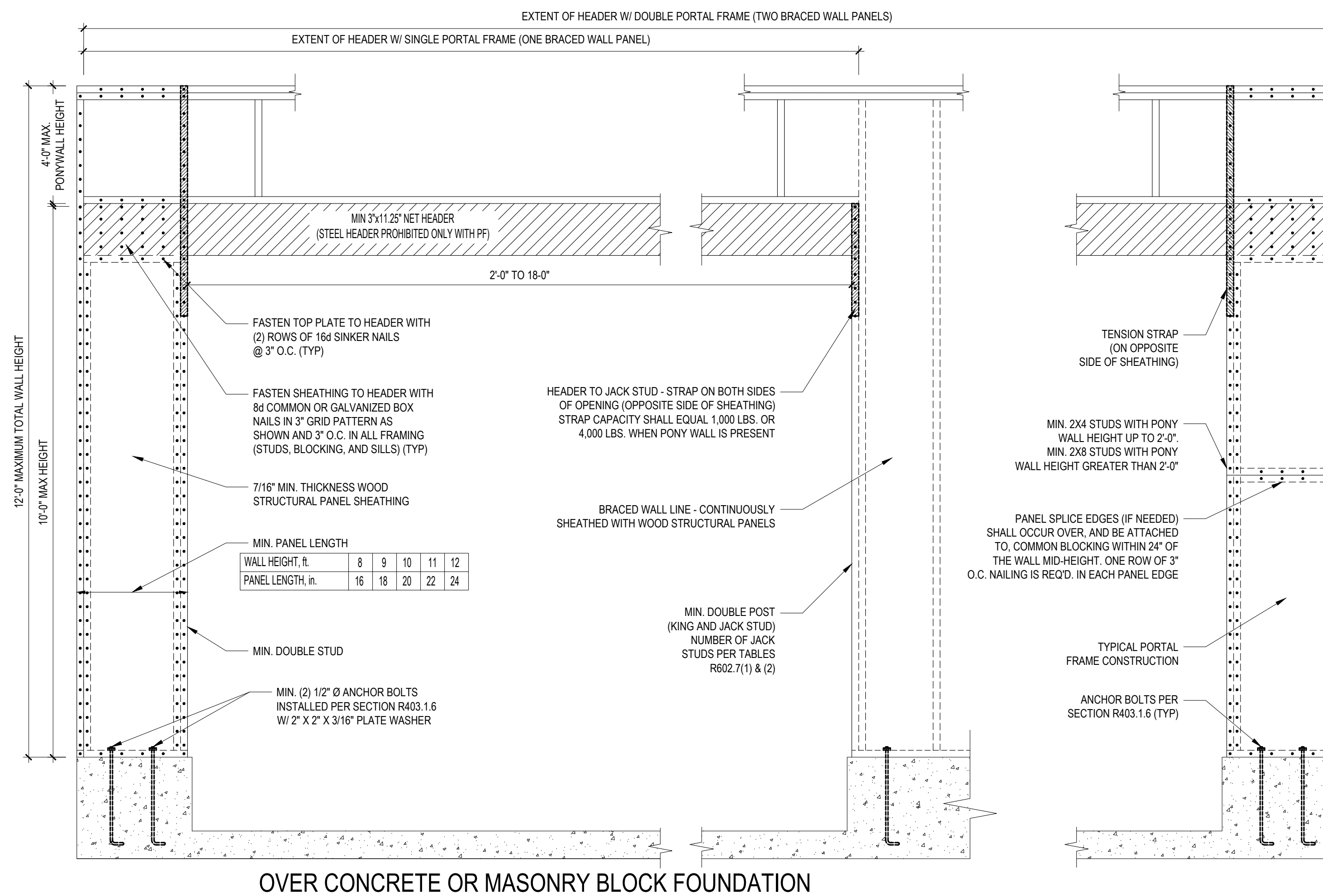
B1: TYPICAL EXTERIOR CORNER FRAMING FOR CONTINUOUS SHEATHING
NO SCALE

STRUCTURAL SHEATHING NOTES

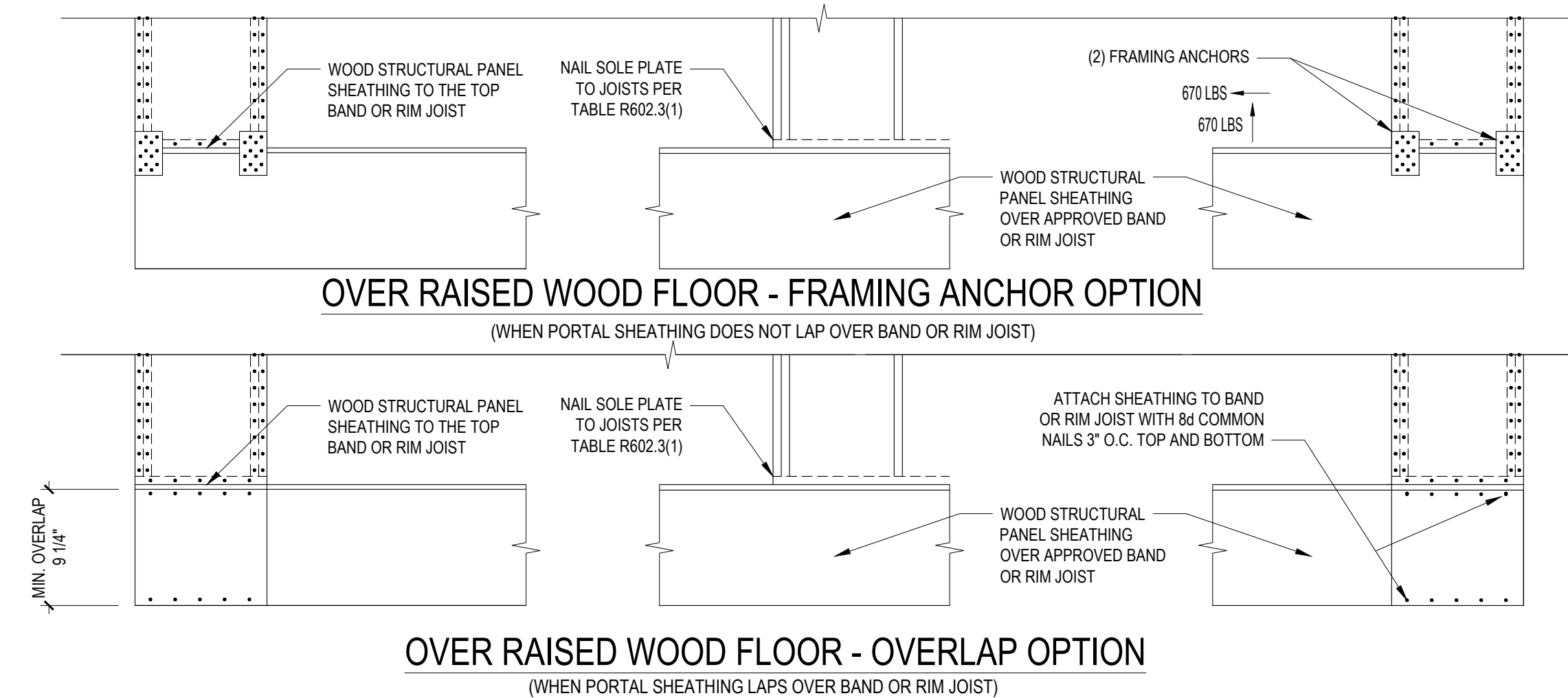
- DESIGNED FOR SEISMIC ZONE A-C AND WIND SPEEDS OF 120 MPH OR LESS.
- WALLS SHALL BE BRACED IN ACCORDANCE WITH SECTION R602.10.3 OF THE 2018 NCR.
- BRACING REQUIREMENTS SHALL BE PER TABLE R602.10.3. REFER TO SECTION R602.10.4 FOR LOAD PATH DETAILS INCLUDING CONNECTIONS & SUPPORT OF BRACED WALL PANELS.
- REFERENCE FIGURE R602.10.4.3 OF THE 2018 NCR.
- INTERIOR BRACED WALL PANELS (BWP) INDICATED SHALL BE SHEATHED IN ACCORDANCE WITH THE GB METHOD OR WSP METHOD AS PRESCRIBED IN SECTION R602.10.1 (UNO).
- 12\"/>

REQUIRED BRACED WALL PANEL CONNECTIONS				
METHOD	MATERIAL	MIN. THICKNESS	REQUIRED CONNECTION	
			@ PANEL EDGES	@ INTERMEDIATE SUPPORTS
CS-WSP	WOOD STRUCTURAL PANEL	3/8"	6d COMMON NAILS @ 6\"/>	

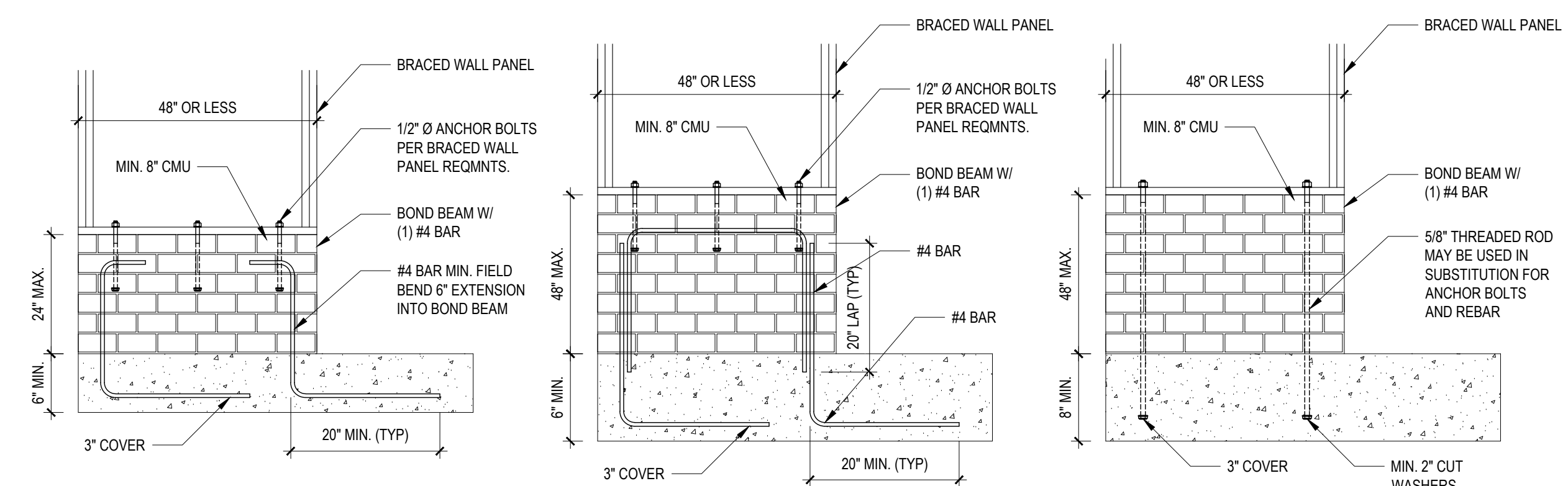
B3: BRACE WALL PANEL CONNECTIONS
NO SCALE



B2: METHOD PF: PORTAL FRAME CONSTRUCTION
FIGURE R602.10.1

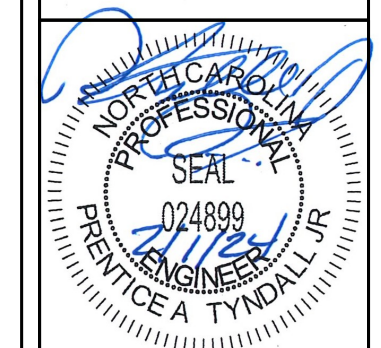


B3: BRACE WALL PANEL CONNECTIONS
NO SCALE

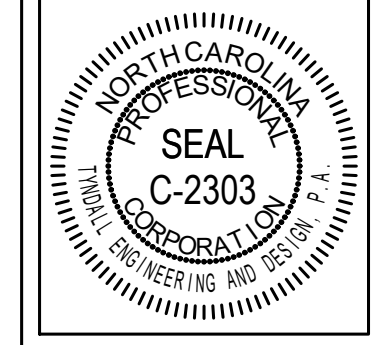


B4: MASONRY STEM WALL SUPPORTING BRACED WALL PANELS
FIGURE R602.10.4.3 OF THE 2018 NCR
NOTE: GROUT BOND BEAMS AND ALL CELLS WHICH CONTAIN REBAR, THREADED RODS AND ANCHOR BOLTS

Engineers seal does not include construction means, methods, techniques, sequences, procedures or safety precautions. Any deviation or discrepancies on plans are to be brought to the immediate attention of Tyndall Engineering & Design, P.A. Failure to do so will void Tyndall Engineering & Design, P.A. liability. Please review these documents carefully. Tyndall Engineering & Design, P.A. will interpret that all dimensions, recommendations, etc. presented in these documents were deemed acceptable once construction begins.



TYNDALL
ENGINEERING & DESIGN, P.A.
100 Blytheville Drive • Garner, NC 27529
www.tyndallengineering.com



Client: **A&G RESIDENTIAL**
916 ARSENAL AVE., SUITE B.
FAYETTEVILLE, NC 28305

Project #: **DRB2301-0091_C**
Date: **02/01/2024**
Engineered by: **JA**
DWG. Checked by: **PAT**
Scale: **SEE PLAN**

SHEATHING DETAILS

REVISIONS

No.	Date	Remarks

Sheet Number
D3
6 of 6

FILENAME: Z:\MIDWEST OFFICE\986_2023\DRB2301-0091_C.A.G. RESIDENTIAL\DWG\FILES\DRB2301-0091_C.DWG SWED BR: JAY LAST PLOT DATE: 2/1/2024 1:19 PM