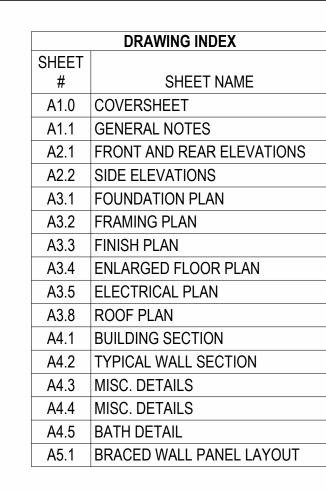
# **DESIGN CRITERIA:**

WIND SPEED: 120 MPH
SEISMIC DESIGN: B
SNOW LOAD: 10 PSF
CONCRETE BEARING CAPACITY: 3000 PSI

LIVING AREA: 2,141 S.F.
GARAGE: 423 S.F.
COVERED PORCH: 134 S.F.
TOTAL AREA UNDER COVERED PORCH: 2,698 S.F.
REAR DECK: 120 S.F.
TOTAL AREA: 2,818 S.F.







# THE SPENCER, J., RESIDENCE FOR PERMIT

MARCH 7, 2025

### **DESIGN CRITERIA:**

- 1. "NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION" BY NATIONAL FOREST PRODUCTS ASSOCIATION (NFPA).
- 2. "SPECIFICATIONS FOR THE DESIGN FABRICATION AND ERECTION OF STRUCTURAL STEEL BUILDINGS" BY AMERICAN INST. OF STEEL CONSTRUCTION (AISC).
- 3. "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" BY AMERICAN CONCRETE **INSTITUTE (ACI)**
- 4. "SPECIFICATIONS FOR CONCRETE MASONRY CONSTRUCTION" BY AMERICAN CONCRETE **INSTITUTE (ACI)**

40 PSF FLOOR LIVE LOAD: FLOOR DEAD LOAD: 10 PSF

50 PSF **GARAGE LIVE LOAD:** 50 PSF **GARAGE DEAD LOAD:** 

40 PSF **DECK LIVE LOAD:** 20 PSF **DECK DEAD LOAD:** 

120 MPH WIND SPEED:

ALLOWABLE DEFLECTION PER TABLE R301.7

10 PSF

### **GENERAL NOTES:**

**SEISMIC DESIGN:** 

SNOW LOAD:

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2018 IRC ONE AND TWO FAMILY DWELLING CODE AS PREPARED BY THE INTERNATIONAL COUNCIL OF BUILDING OFFICIALS, AND ALL LOCAL BUILDING CODES.
- 2. CONTRACTOR SHALL COMPLY WITH THE CONTENT OF THE SPECIFICATIONS FOR THIS HOUSE. THESE PLANS ARE NOT TO BE SCALED FOR CONSTRUCTION PURPOSES. ALL DIMENSIONS SUPERCEDE ANY SCALED REFERENCE. ANY DIMENSIONAL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER.
- 3. CONTRACTOR TO VERIFY ALL DIMENSIONS.
- 4. THE CONTRACTOR SHALL COORDINATE THE ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS, AND VERIFY THE REQUIREMENTS OF THE OTHER TRADES AS TO SLEEVES, CHASES, HANGERS, INSERTS, ANCHORS, HOLES, ETC
- 5. FINAL CONNECTION OF ALL WATER AND SEWER TO THE RESIDENCE IS THE RESPONSIBLITIY OF THE CUSTOMER. PLEASE COORDINATE IN ADVANCE ALL FEES, APPLICATIONS, AND AUTHORITIES INVOLVED IN THE CONNECTION OF WATER & SEWER

# **PORCH NOTES:**

- 1. ALL DECKING AND STEPS TO BE PRESSURE TREATED #2 SOUTHERN YELLOW PINE OR BETTER AND TREATED IN ACCORDANCE WITH THE AMERICAN WOOD PRESERVERS ASSOCIATION (AWPA) STANDARD C2.
- 2. WHERE DECKS FASTEN TO HOUSE FRAMING, PROVIDE A CONTINUOUS TREATED LEDGER THRU BOLTED TO FLOOR STRUCTURE PER IRC 2018 R507.
- 3. FASTENERS FOR PRESSURE TREATED LUMBER TO BE GALVINIZED.
- 4. # OF STEPS DEPENDENT ON GRADE, 3 STEPS INCLUDED, SEE CONTRACT FOR ADDITIONAL FOUNDATION CHARGES.
- 5. FRONT PORCH RAILS AND BALUSTERS TO BE BLACK POWDER COATED ALUM.; SEE OPTION

### **FOUNDATION NOTES:**

- 1. ALL FOOTINGS, INCLUDING SLAB ON GRADE, SHALL BEAR ON UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL WITH AN ALLOWABLE BEARING CAPACITY OF 2000 PSF, MIN.
- 2. ALL FOUNDATION CONCRETE SHALL OBTAIN A 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI. ALL SLAB ON GRADE CONCRETE AND CONCRETE EXPOSED TO WEATHER SHALL OBTAIN A 28-DAY COMPRESSIVE STRENGTH OF 3500 PSI AND BE AIR ENTRAINED.
- 3. ALL REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ASTM A615, GRADE 60.
- 4. CONCRETE PROTECTION FOR REINFORCING AS WELL AS PLACING AND FABRICATION OF REINFORCING SHALL BE IN ACCORDANCE WITH THE "AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS" (ACI 318).
- 5. EARTH FORMED FOOTINGS SHALL CONFORM TO THE SHAPE, LINES, AND DIMENSIONS AS SHOWN ON THE FOUNDATION PLAN. ALL WATER SHALL BE REMOVED PRIOR TO PLACING CONCRETE. FOOTING NOT TO BE PLACED ON FROZEN GROUND.
- 6. BEFORE PLACING CONCRETE, ALL EMBEDDED ITEMS SHALL BE PROPERLY LOCATED, ACCURATELY POSITIONED AND MAINTAINED SECURELY IN PLACE.
- 7. FOUNDATION FOOTING DEPTH MAY VARY ACCORDING TO LOCAL CODES AND FROST CONDITIONS.
- 8. DAMPPROOFING AND WATERPROOFING SHALL BE INSTALLED PER MANUF, SPECIFICATIONS AND LOCAL CODE REQUIREMENTS.
- 9. PROVIDE 1/2" DOUBLE GALV. FOUNDATION ANCHOR BOLTS AT 6' O.C. MAX. 1'-0" FROM CORNERS. SECURE TO SILL PLATE OR BOTTOM PLATE WITH 1/2" WASHER & NUT. NO LESS THAN 2 ANCHORS PER SECTION
- 10. SLABS SHALL HAVE CONTROL JOINTS IN PLACE WITHIN 48 HOURS AFTER POUR.
- 11. CONT. FOOTINGS @ FOUNDATIONS W/ BRICK & 8" BLOCK SHALL BE 20" WIDE X 10" THICK, U.N.O.
- 12. CONT. FOOTINGS @ FOUNDATIONS W/ 8" PARGED BLOCK SHALL BE 16" WIDE X 10" THICK, U.N.O.
- 13. ALL CONTINUOUS REINFORCING SHALL LAP 48 BAR DIAMETERS UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- 14. FOUNDATION DRAINS SHALL BE LOCATED PER LOCAL CODES.

# **FRAMING NOTES:**

- 1. JOISTS SPANS WERE DETERMINED ON THE BASIS OF THE ALLOWABLE STRESSES PER 2018 IRC.
- 2. PROVIDE DOUBLE JOISTS BELOW ALL PARALLEL PARTITIONS, AND ABOVE AND AROUND ALL OPENINGS NOT INDICATED ON DRAWINGS.
- 3. PROVIDE SOLID BLOCKING BETWEEN FLOOR JOISTS UNDER WALLS THAT ARE PERPENDICULAR TO THE FLOOR JOISTS.
- 4. SHEATH ALL EXTERIOR WALLS WITH NOMINAL 1/2" STRUCTURAL GRADE 2 PLYWOOD OR NOMINAL 1/2" OSB.
- 5. PROVIDE MIN. DOUBLE JAMB FOR ALL BEAMS. U.N.O.
- 6. PROVIDE MIN. TRIPLE JACK FOR ALL GIRDER TRUSSES. U.N.O.
- 7. PROVIDE SOLID BLOCKING BELOW ALL COLUMNS TO TRANSFER LOAD DIRECTLY TO FRAMING AND OR FOUNDATION.
- 8. BALLOON FRAME ALL END WALLS WITH CATHEDRAL CEILINGS, U.N.O.
- 9. ALL FLUSH FRAMED LVL OR PSL BEAM TO BEAM CONNECTIONS TO BE FASTENED WITH BEAM HANGERS. DESIGNED AND PROVIDED BY LVL OR PSL MANUFACTURER, UNLESS A SPECIFIC HANGER CONNECTOR IS CALLED FOR.
- 10. JOIST HANGERS ARE TO BE A MIN. OF 16 GAUGE. SIZE. AND PROFILE TO SUIT APPLICATION. U.N.O., PROVIDE HANGERS FOR ALL FLUSH FRAMED JOISTS.
- 11. JOIST HANGERS, HURRICANE CLIPS, POST BASED, POST CAPS, AND OTHER FRAMING SPECIALTIES ARE TO BE AS MANUFACTURED BY USP AND ARE TO BE USED ONLY IN STRICT ACCORDANCE WITH MANUFACTURERS WRITTEN SPECIFICATIONS.
- 12. USE "H" CLIPS FOR ALL UNSUPPORTED ROOF SHEATHING BUTT JOISTS.
- 13. WOOD EXPOSED THE THE ENVIROMENT, ATTACHED DIRECTLY TO CONCRETE OR DESIGNATED AS "TREATED" SHALL BE #2 SOUTHERN YELLOW PINE OR BETTER AND TREATED IN ACCORDANCE WITH THE AMERICAN WOOD PRESERVERS ASSOCIATION (AWPA) STANDARD C2. FASTENERS FOR PRESSURE TREATED WOOD TO BE GALVINIZED.
- 14. ENGINEERED JOISTS/ TRUSSES SHALL BE MANUFACTURED AND INSTALLED PER MANUF. WRITTEN SPECIFICATIONS.
- 15. ALL EXTERIOR AND INTERIOR WALLS TO BE CONSTRUCTED OF 2X4 STUDS @ 16" O.C., U.N.O.
- 16. ALL OSB SUBFLOOR TO BE GLUED AND NAILED W/ 8d NAILS. ALL OSB SHEATHING TO BE NAILED W/ 8d NAILS.
- 17. ICE & WATER SHEILD INSTALLED 8"-12" IN FEILD, 4"-6" EDGE ABOVE LIVING SPACE. ADD DOUBLE LAYER ON ANY ROOF UNDER 3/12.
- 18. ALL RAFTERS, GIRDERS, JOISTS, AND HEADERS TO BE #2 SOUTHERN YELLOW PINE OR BETTER, U.N.O.
- 19. 2-STORY HOMES TO HAVE 1" "SHEETROCK WINDOW" FOR STOCKING. ONE DRYWALL WINDOW ON EACH FLOOR. LOCATION TO BE DETERMAINED IN FIELD. ALL WINDOWS TO BE DOUBLE-HUNG U.N.O.
- 20. CEILINGS IN ATTACHED GARAGES SHALL BE 5/8" TYPE "X" WHEN THERE IS A CONDITIONED SPACE ABOVE.
- 21. ALL ROOFS WITH SLOPES LESS THAN 4/12 TO HAVE DOUBLE ICE SHEILD UNDERLAYMENT.
- 22. ALL INTERIOR PRE-HUNG DOORS TO HAVE ROUGH OPENING WIDTH OF 1-1/2" GREATER THAN DOOR FRAME SIZE.

### **ELECTRICAL NOTES:**

- 1. ELECTRICAL CONTRACTOR TO DESIGN & INSTALL COMPLETE ELECTRICAL SYSTEM IN ACCORDANCE W/ THE LATEST VERSION OF THE NATIONAL ELECTRICAL CODE, ALL LOCAL ELECTRICAL CODES, AND THE LOCAL UTILITY COMPANY'S REQUIREMENTS.
- 2. ALL WORK SHALL BE EXECUTED IN A NEAT AND WORKMANLIKE MANNER. JUNCTION BOXES SHALL BE SECURELY FASTENED. SET TRUE AND PLUMB. AND FLUSH WITH FINISHED SURFACE WHEN WIRING METHOD IS CONCEALED.
- 3. SIZE AND PROVIDE ADDITIONAL CIRCUITRY BASED ON DEMAND OF SCHEDULED FIXTURES AND EQUIPMENT. INCLUDE A REASONABLE ALLOWANCE FOR SPACE CIRCUITS AND FUTURE EXPANSION.
- 4. THE ELECTRICAL CONTRACTOR SHALL VERIFY LOCATION, HEIGHT, OUTLET AND SWITCH ARRANGEMENTS, AND EQUIPMENT PRIOR TO ROUGH-IN.
- 5.THE ELECTRICAL CONTRACTOR SHALL FURNISH ALL WIRING MATERIALS AND MAKE ALL FINAL ELECTRICAL CONNECTIONS FOR ALL PERMANENTLY INSTALLED.
- 6. ALL FLUSH SWITCHED SHALL BE MOUNTED 46" TO CENTER ABOVE FINISHED FLOOR U.N.O. RECEPTACLE OUTLETS SHALL BE MOUNTED 12" TO CENTER ABOVE FINISHED FLOOR U.N.O.
- 7. FURNISH AND INSTALL WHERE INDICATED, GROUND-FAULT CIRCUIT INTERRUPTER RECEPTACLES (GFI) TO PROVIDE GROUND-FAULT CIRCUIT PROTECTION AS REQUIRED BY THE CURRENT NATIONAL ELECTRICAL CODE.
- 8. INSTALL LAMPS FOR ALL FIXTURES, 50% ENERGY EFFICIENT.
- 9. PROVIDE AND INSTALL EXHAUST FANS IN ALL BATHROOMS: VENT TO EXTERIOR (REAR OR SIDE). EXHAUST FANS TO BE MOISTURE RATED.
- 10. SEAL ALL PENETRATIONS MADE THROUGH FOUNDATIONS, WALLS, AND ROOFS.
- 11. ALL SMOKE DETECTORS TO BE INSTALLED AS REQUIRED BY INTERNATIONAL RESIDENTIAL CODE AND ARE TO BE INTERCONNECTED FOR ALARM AT EACH STATION, SUCH THAT ALARM AT ANY ONE STATION WILL RESULT IN ALARM AT ALL STATIONS. SMOKE DETECTORS WILL BE HARDWIRED WITH BATTERY BACKUP.
- 12. PROVIDE AT LEAST (2) EXTERIOR WEATHERPROOF RECEPTACLES AS NOTED ON PLANS.
- 13. PROVIDE AT LEAST (1) EXTERIOR WEATHERPROOF RECEPTACLE WITHIN 25' OF HVAC EQUIPMENT LOCATED IN ATTICS OR CRAWLSPACES FOR SERVICING EQUIPMENT.
- 14. PROVIDE LIGHT FIXTURES AT ALL STAIR LANDINGS W/ SWITCHES AT EACH LEVEL SEPARATED BY 6 STEPS OR MORE.
- 15. SWITCHES AND RECEPTACLES TO BE WHITE AND OF STANDARD GRADE WITH PLASTIC COVER PLATES UNLESS NOTED OTHERWISE.

# **EXISTING CONDITIONS:**

- 1. CONTRACTOR TO VERIFY FIELD CONDITIONS AND PLANS PRIOR TO START OF WORK. CONTACT COSTRUCTION SUPERVISOR IMMEDIATELY WITH ANY CONFLICTS BETWEEN THESE PLANS AND EXISTING FIELD CONDITIONS.
- 2. GRADING LINE ON PLANS IS NOT AN ACCURATE REPRESENTATION OF THE EXTSITING LOT. GRADE TO BE VERIFIED IN FIELD. HOUSE MAY CHANGE DUE TO EXISTING CONDITIONS.

# **HVAC NOTES:**

- 1. HVAC CONTRACTOR IS RESPONSIBLE FOR ACCURATELY SIZING EQUIPMENT, SUPPLY VENTS & RETURN(S) BASED ON (1) TON PER 650 HEATED SQUARE FEET.
- 2. HVAC CONTRACTOR SHALL NOT BLOCK ATTIC ACCESS WITH SUPPLY OR RETURN DUCTWORK.
- 3. HVAC SHOULD FOLLOW SIGNED PLANS.



 $\blacksquare$  $\square$ 

**U** ₹ THE WINCHESTER

**DATE:** 03.07.2025 **DRAWN BY:** HAD **JOB** #: 50000183

FARMHOUSE

EXTERIOR

PLAN:

**SCALE:** 

# **ELEVATION NOTES:**

- 1. # OF STEPS DEPENDENT ON GRADE, 3 STEPS INCLUDED, SEE CONTRACT FOR ADDITIONAL FOUNDATION CHARGES.
- 2. GRADING LINE ON PLANS IS NOT AN ACCURATE REPRESENTATION OF THE EXTSITING LOT. GRADE TO BE VERIFIED IN FIELD. HOUSE MAY CHANGE DUE TO EXISTING CONDITIONS.
- 3. ALL BRACKETS, ETC. MOUNTED ONTO THE EXTERIOR SHALL BE ATTACHED BY MOUNTING BLOCKS OR PVC.
- 4. ALL FASCIA AND RAKE BOARD TO BE 2X6, WRAPPED ALUMIN., AND INSTALLED BY FRAMERS.
- 5. FRAMER TO PROPERLY FLASH AND INSTALL BAND/ LEDGER BOARD FOR ALL DECKS/ STOOPS.
- 6. RAILS AND BALUSTERS ARE NOT INCLUDED IN THE CONTRACT PRICE UNLESS SOLD AS AN UPGRADE. IF REQUIRED BY CODE, THEN THEY WILL BE CHARGED ON A SEPARATE ADDENDUM WITH EXTRA FOUNDATION.
- 7. ALL EXTERIOR VENTS TO MATCH.
- 8. EXTERIOR COACH LIGHT LOCATIONS FOR ENTRY DOORS TO BE INSTALLED @ 80" A.F.F.; SEE DETAILS ON A3.5.
- 9. REPLACE INCLUDED BRUSHED NICKEL INTERIOR AND EXTERIOR DOOR KNOBS WITH MATTE BLACK DOOR KNOBS; SEE OPTION #41048.
- 10. 9-FOOT CEILINGS ON FIRST FLOOR ONLY; SEE OPTION #00090.



2 REAR ELEVATION
1/4" = 1'-0"



LIVING AREA: 2,141 S.F.
GARAGE: 423 S.F.
COVERED PORCH: 134 S.F.
TOTAL AREA UNDER COVERED PORCH: 2,698 S.F.
REAR DECK: 120 S.F.
TOTAL AREA: 2,818 S.F.

0 2' 4' 8

FRONT ELEVATION

1/4" = 1'-0"

MITCHELL HOMES, INC.
4300 SOMMERVILLE COURT
MIDLOTHIAN, VA 23113
PHONE: 804-378-5211
FAX: 804-378-0811



# REV. DATE DE

THE SPENCER, J., RESIDENCE

**EVATIONS** 

AND

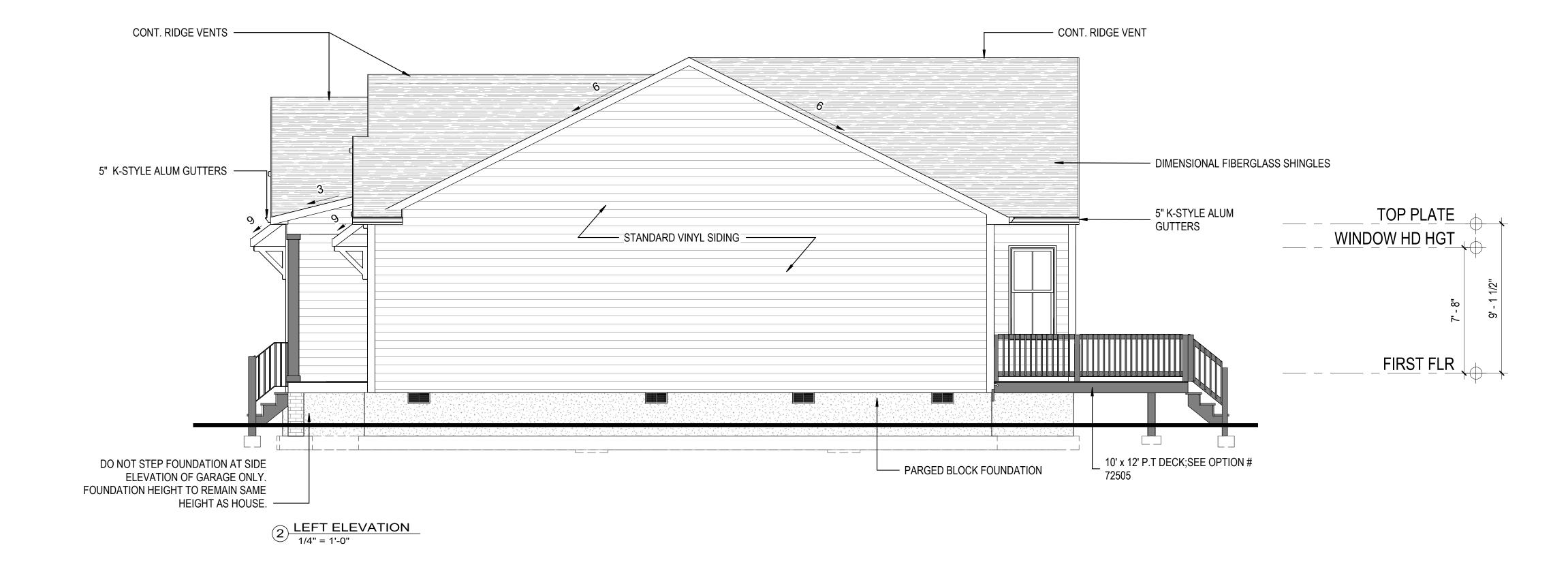
THE WINCHESTER
PLAN:
FARMHOUSE
EXTERIOR

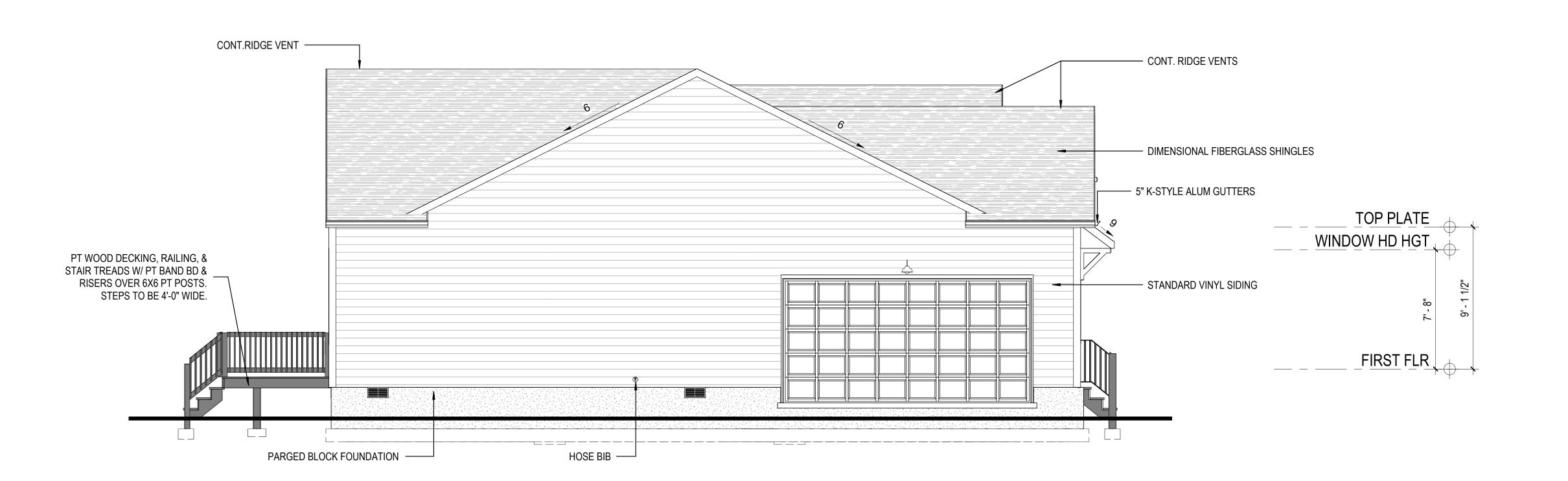
DATE: 03.07.2025
DRAWN BY: HAD
JOB #: 50000183
SCALE: 1/4" = 1'-0"

A2.

# **ELEVATION NOTES:**

- 1. # OF STEPS DEPENDENT ON GRADE, 3 STEPS INCLUDED, SEE CONTRACT FOR ADDITIONAL FOUNDATION CHARGES.
- 2. GRADING LINE ON PLANS IS NOT AN ACCURATE REPRESENTATION OF THE EXTSITING LOT. GRADE TO BE VERIFIED IN FIELD. HOUSE MAY CHANGE DUE TO EXISTING CONDITIONS.
- 3. ALL BRACKETS, ETC. MOUNTED ONTO THE EXTERIOR SHALL BE ATTACHED BY MOUNTING BLOCKS OR PVC.
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- 9. REPLACE INCLUDED BRUSHED NICKEL INTERIOR AND EXTERIOR DOOR KNOBS WITH MATTE BLACK DOOR KNOBS; SEE OPTION #41048.
- 10. 9-FOOT CEILINGS ON FIRST FLOOR ONLY; SEE OPTION #00090.





1) RIGHT ELEVATION 1/4" = 1'-0"

LIVING AREA: 2,141 S.F.
GARAGE: 423 S.F.
COVERED PORCH: 134 S.F.
TOTAL AREA UNDER COVERED PORCH: 2,698 S.F.
REAR DECK: 120 S.F.
TOTAL AREA: 2,818 S.F.

MIDLOTHIA PHONE: 80 FAX: 804 www.MITCHELL

Mitchell HOMES

SPENCER, J., RESIDENCE

SIDE ELEVATIONS
HARNETT COUNTY, NC

THE WINCHESTER PLAN: FARMHOUSE EXTERIOR

DATE: 03.07.2025
DRAWN BY: HAD
JOB #: 50000183
SCALE: 1/4" = 1'-0"

A2.2

### **FOUNDATION PLAN NOTES:**

- 1. MITCHELL HOMES, INC. PROVIDES 4 COURSE FOUNDATION STANDARD. EXTRA FOUNDATION IS NOT INCLUDED. SEE CONTRACT FOR ADDITIONAL FOUNDATION CHARGES. \*IF ADDITIONAL COURSES ARE SOLD ACCESS DOOR TO REMAIN STANDARD SIZE/ MATERIAL W/ (4) BRICK TIES UNLESS AN UPGRADED DOOR IS SOLD.
- 2. ANCHOR BOLTS TO BE SET BY MASON OR CONCRETE CONTRACTOR.
- 3. FOOTING CONTRACTOR TO PROVIDE 1 1/2" PVC SLEEVE THROUGH FOOTING.
- 4. BORA-CARE TERMITE PRE-TREATMENT PROVIDED THROUGHOUT.
- 5. # OF STEPS DEPENDENT ON GRADE, 3 STEPS INCLUDED, SEE CONTRACT FOR ADDITIONAL FOUNDATION CHARGES.
- 6. INTERIOR GRADE TO BE NO MORE THAN 3" FROM EXTERIOR GRADE.
- 7. PROVIDE 6 MIL POLY VAPOR BARRIER OVER INSIDE GRADE.
- 8. FRAMER TO PROPERLY FLASH AND INSTALL BAND/ LEDGER BOARD FOR ALL DECKS/ STOOPS.



CRAWL SPACE: 2,141 S.F. ACCESS DOOR: 768 S.IN. FOUNDATION VENT NFA: 45 S.IN. NEED APPROX: 14 TOTAL # OF VENTS: 14

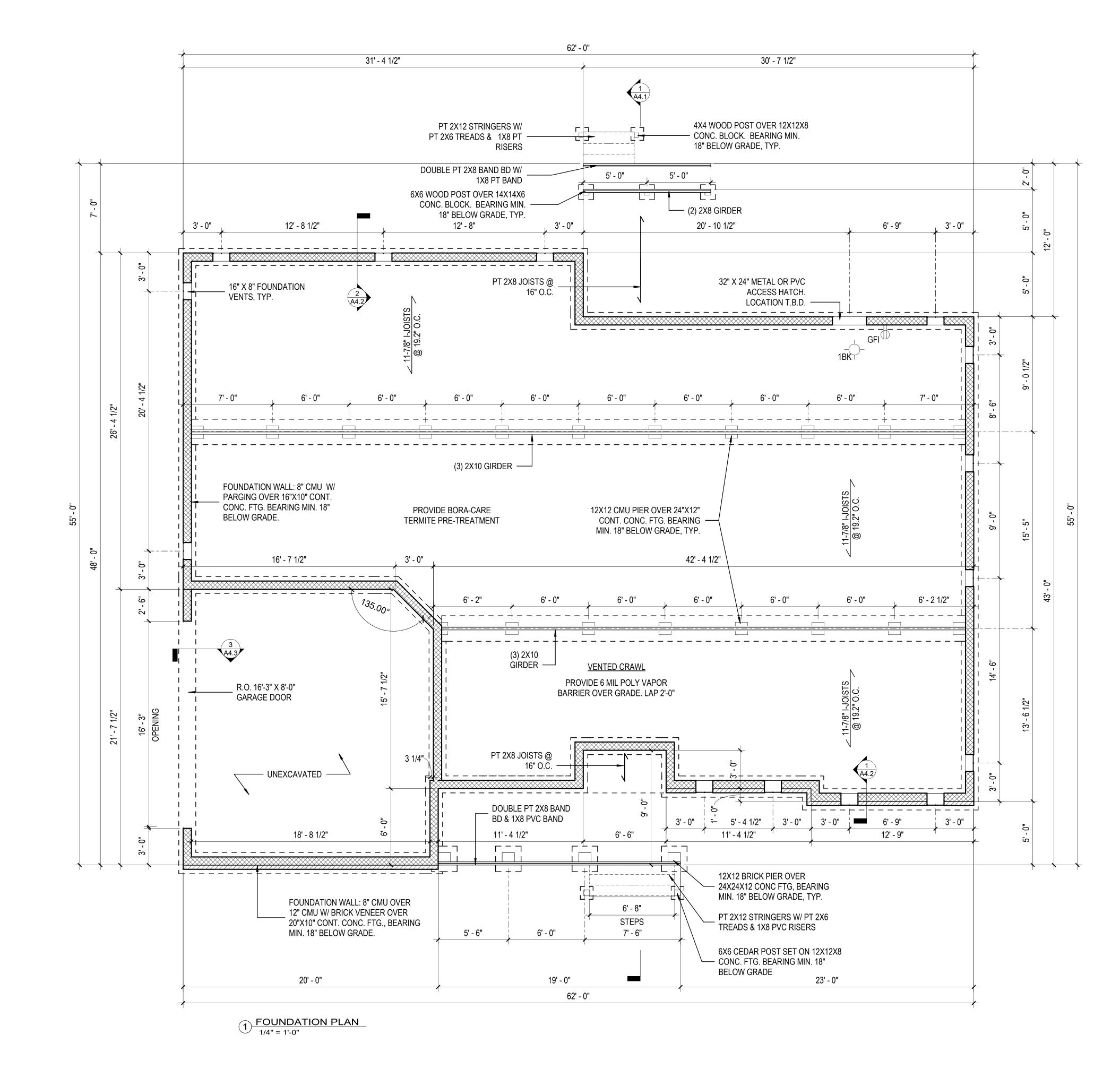
# LEGEND

8" CMU W/ PARGING

8" CMU OVER 12" CMU W/ BRICK VENEER

─ FOOTING BELOW

0 2' 4'



MITCHELL HOMES, INC.
14300 SOMMERVILLE COURT
MIDLOTHIAN, VA 23113
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www.MITCHELLHOMESING.com



THE SPENCER, J., RESIDENCE FOUNDATION PLAN

THE WINCHESTER PLAN:
FARMHOUSE EXTERIOR

DATE: 03.07.2025
DRAWN BY: HAD
JOB #: 50000183
SCALE: As indicated

A3.<sup>2</sup>

	PLAN NOTES
NUM	NOTE
1	2X6 WALL
2	FRAMER TO INSULATE AND WEATHERSTRIP HATCH TO CODE
3	FRAMER TO PROVIDE R-15 BATT INSULATION & AIR BARRIER TO CODE BEHIND TUB AND SHOWER PRIOR TO INSTALLATION.
4	8X8 ROUGH SAWN CEDAR STRUCTURAL POST
5	10" WRAPPED PORCH BEAM
6	FAUX WOOD BEAM ABOVE; SEE OPTION #00090 & #37013.
7	CATHEDRAL EXTENTS
8	ANTHONY POWER COLUMN UNDER GIRDER TRUSS ABOVE
9	(3) STUD POSTS
10	(2) 14" LVL ABOVE
11	(2) 9-1/4" LVL ABOVE
12	ANTHONY POWER COLUMN UNDER LVL TO SUPPORT WEIGHT OF GIRDER TRUSS
13	(3) 2X10 HDR

### FRAMING PLAN NOTES:

1. 2X BLOCKING INSTALLED IN ALL KITCHEN CABINET AREAS AT 34", 54" AND 84" ABOVE FINISHED FLOOR.

2. 2X BLOCKING ON ALL PORCH CEILINGS FOR VINYL INSTALLATION.

3. ALLOW 4" MIN. FOR INTERIOR TRIM ON ALL DOORS AND WINDOW WHERE APPLICABLE. TRIM IS NOT TO BE CUT TO FIT.

4. ALL DIMENSIONS ARE FROM OUTSIDE EDGE OF EXTERIOR WALL SHEATHING OR FACE OF STUD OR CENTERLINE OF WALL, U.N.O.

5. ALL ACCESS DOORS TO BE INSULATED PER CODE.

6. FRAMERS MUST PROPERLY FLASH AND INSTALL THE BAND/LEDGER BOARD FOR ALL EXTERIOR DECKS, STOOPS, AND PORCHES.

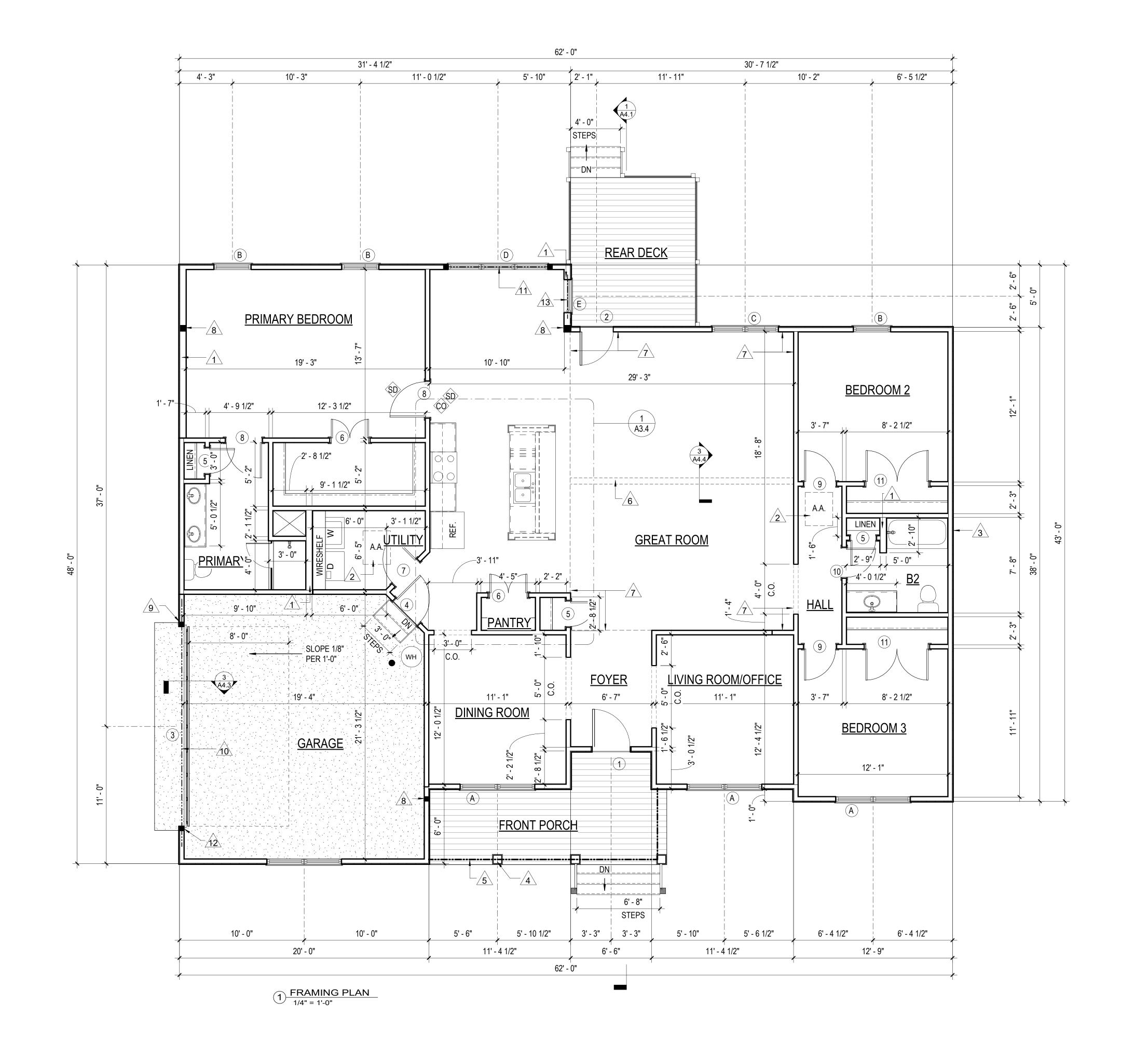
7. TOP NOTCH 350 WEATHER RESISTANT SUBFLOOR.

8. (2) 2X8 HEADER ON ALL SINGLE WINDOWS, (2) 2X10 HEADER ON ALL DOUBLE WINDOWS & EXTERIOR DOORS. (2) 2X12 HEADER ON ALL TRIPLE WINDOWS, U.N.O.

9. RAILS AND BALUSTERS ARE NOT INCLUDED IN THE CONTRACT PRICE UNLESS SOLD AS AN UPGRADE. IF REQUIRED BY CODE, THEN THEY WILL BE CHARGED ON A SEPARATE ADDENDUM WITH EXTRA FOUNDATION.

DOOR SCHEDULE							
MARK	SIZE	FINISH	DESCRIPTION	COUNT	USE		
1	30/68	FBRGLSS	3/4 GLASS RAISED PANEL W/ DEADBOLT & TRANSOM	1	Exterior		
2	28/68	STEEL	STEEL HALF LITE W/ DEADBOLT & TRANSOM	1	Exterior		
3	160/68	STEEL	OVERHEAD	1	Exterior		
4	28/68	STEEL	RAISED PANEL - FIRERATED	1	Interior		
5	20/68	COMP	RAISED PANEL	3	Interior		
6	30/68	COMP	RAISED PANEL - DOUBLE	2	Interior		
7	28/68	COMP	RAISED PANEL	1	Interior		
8	210/68	COMP	RAISED PANEL	2	Interior		
9	26/68	COMP	RAISED PANEL	2	Interior		
10	24/68	COMP	RAISED PANEL	1	Interior		
11	50/68	COMP	RAISED PANEL- DOUBLE	2	Interior		

	WIN	WINDOWS - DOUBLE HUNG W/ LOW E GLASS			
MARK	SIZE	GLAZING	U-VALUE	DESCRIPTION	COUNT
Α	30/60 TWIN	STANDARD	0.29	DOUBLE HUNG	4
В	30/60	STANDARD	0.29	DOUBLE HUNG	3
С	28/56TWIN	STANDARD	0.29	DOUBLE HUNG	1
D	28/56 TRIPLE	STANDARD	0.29	DOUBLE HUNG	1
Е	28/56	STANDARD	0.29	DOUBLE HUNG	1



MITCHELL HOMES, INC.
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REV. DATE DESCR

THE SPENCER, J., RESIDENCE

THE WINCHESTER PLAN: FARMHOUSE EXTERIOR

DATE: 03.07.2025 DRAWN BY: HAD JOB #: 50000183 SCALE: 1/4" = 1'-0"

	COMPO	NENTS
TYPE	COUNT	COMMENTS
CO DETECTOR	2	
FIRE EXTINGUISHER	1	2-A: 10-B: C RATED; INSTALLED
HOSE BIB	2	

PLAN SYMBOL LEGEND

FE FIRE EXTINGUISHER

A.A. ATTIC ACCESS

HB HOSE BIB

₩ DIS

DISHWASHER HOOKUP

MVV MICROWAVE OUTLET

LVP/LVT CARPET PT DECKING CONCRETE

FINISH PLAN NOTES:

1. SEE ELEVATIONS FOR WINDOW AND DOOR GRID PATTERNS.

2. # OF STEPS DEPENDENT ON GRADE (3 STEPS INCLUDED) \*SEE CONTRACT FOR ADDITIONAL FOUNDATION CHARGES.

3. 1-ZONE, 1 SYSTEM HVAC UNIT

4. RAILS AND BALUSTERS ARE NOT INCLUDED IN THE CONTRACT PRICE UNLESS SOLD AS AN UPGRADE. IF REQUIRED BY CODE, THEN THEY WILL BE CHARGED ON A SEPARATE ADDENDUM WITH EXTRA FOUNDATION.

5. GAS TANKLESS WATERHEATER; SEE OPTION #00701

6. WHOLE-HOUSE WATER FILTRATION SYSTEM: 2-STAGE WHOLE-HOUSE WATER FILTER INCLUDED ON EVERY HOME.

8.CATHEDRAL CEILING PACKAGE WITH FAUX BEAM;SEE OPTION #00047

7. 9'-FOOT CEILINGS ON FIRST FLOOR; SEE OPTION #00090

8.LEVEL 2 - OPTIONAL CHEF'S KITCHEN LAYOUT - DELUXE PACKAGE. INCLUDES: 42 INCH WALL CABINETS WITH CM8 FOR CROWN, ROLL OUT TRAYS;SEE OPTION #15107

CABINETS WITH CIVIO FOR CROWN, ROLL OUT TRATS, SEE OPTION #15107

9.SOLID SURFACE KITCHEN COUNTERTOP SELECTION FOR OPTIONAL CHEF'S KITCHEN LAYOUT;SEE OPTION #17103

10. REPLACE INCLUDED BRUSHED NICKEL INTERIOR AND EXTERIOR DOOR KNOBS WITH

MATTE BLACK DOOR KNOBS; SEE OPTION #41048.



LIVING AREA: 2,138 S.F.
GARAGE: 423 S.F.
FRONT PORCH: 112 S.F.
TOTAL AREA UNDER ROOF: 2,673 S.F.
P.T DECK: 120 S.F.
TOTAL AREA: 2,793 S.F.

0 2' 4'

THE WINCHESTER PLAN:
FARMHOUSE EXTERIOR

DATE: 03.07.2025

RESIDENCE

SPENCER,

THE

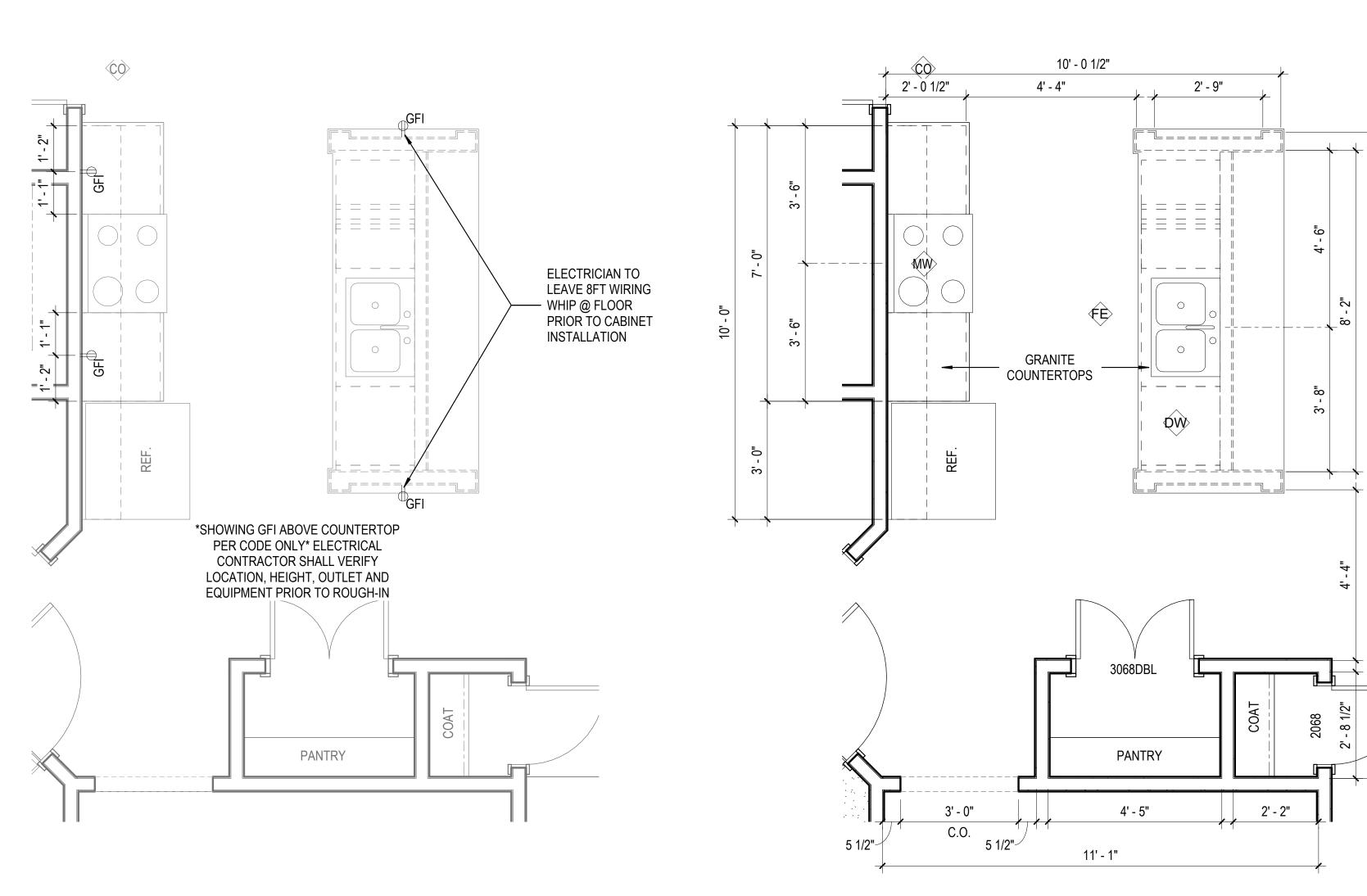
PLAN

FINIS

DATE: 03.07.2025 DRAWN BY: HAD JOB #: 50000183 SCALE: 1/4" = 1'-0"

1. DIMS AT KITCHEN ARE FROM FACE OF CABINET TO FACE OF STUD, U.N.O.

2. LEVEL 2 - DELUXE KITCHEN CABINETS - INCLUDES 42 INCH WALL CABINETS WITH CM8 FOR CROWN, ROLL OUT TRAYS; SEE OPTION #15107.



2 ENLARGED KITCHEN RECEPTACLE PLAN
1/2" = 1'-0"

1) ENLARGED FLOOR PLAN 1/2" = 1'-0"

MITCHELL HOMES, INC 14300 SOMMERVILLE COI MIDLOTHIAN, VA 2311; PHONE: 804-378-5211 FAX: 804-378-0811 www.MITCHELLHOMESINC



REV. DATE DESCRIPTIC

# REV. DAT

THE SPENCER, J., RESIDENCE
ENLARGED FLOOR PLAN
HARNETT COUNTY, NC

THE WINCHESTER
PLAN:
FARMHOUSE
EXTERIOR

DATE: 03.07.2025
DRAWN BY: HAD
JOB #: 50000183
SCALE: As indicated

		ELECTRICAL FIXTURES
TYPE	COUNT	COMMENTS
120 OUTLET	3	(1) STD IN MUDROOM; (2) IN GARAGE
CABLE JACK	3	(1) STD IN GREAT ROOM; (1) STD IN PRIMARY ROOM; (1) IN LIVING ROOM/OFFICE
CEILING FAN ROUGH-IN 2		ELECTRICAL ROUGHOIN INCLUDES OVERHEAD WIRING, MOUNTING BOX, AND (2) WALL SWITCHES; FAN NOT INCLUDED.
CEILING LIGHT - 1 BULB KEYLESS	3	(1) STD. IN CRAWL SPACE, (2) IN ATTIC AREA
CEILING RECEPTACLE	1	(1) STD IN GARAGE
DISHWASHER HOOKUP	1	
EXTERIOR GFI OUTLET	5	(3) STD EXTERIOR; (1) STD IN CRAWL SPACE; (1) AT REAR DECK
GFI CEILING OUTLET	1	(1) STD. IN ATTIC AREA WITHIN 6' OF HVAC UNIT
INTERIOR GFI OUTLET	4	ABOVE KITCHEN COUNTERTOP; REQ. BY CODE
LARGE FARMHOUSE COACH LIGHT	2	
LED LIGHT	27	7.5" DIA LED
LED STRIP LIGHT	2	(2) STD IN GARAGE
METER BASE	1	
MICROWAVE OUTLET	1	
POWER PANEL	1	(1) 200 AMP PANEL
SCONCE - 2 BULB	2	
SCONCE - 3 BULB	1	
SMALL FARMHOUSE COACH LIGHT	2	
SMOKE DETECTOR	5	HARDWIRED & INTERCONNECTED

### **ELECTRICAL PLAN NOTES:**

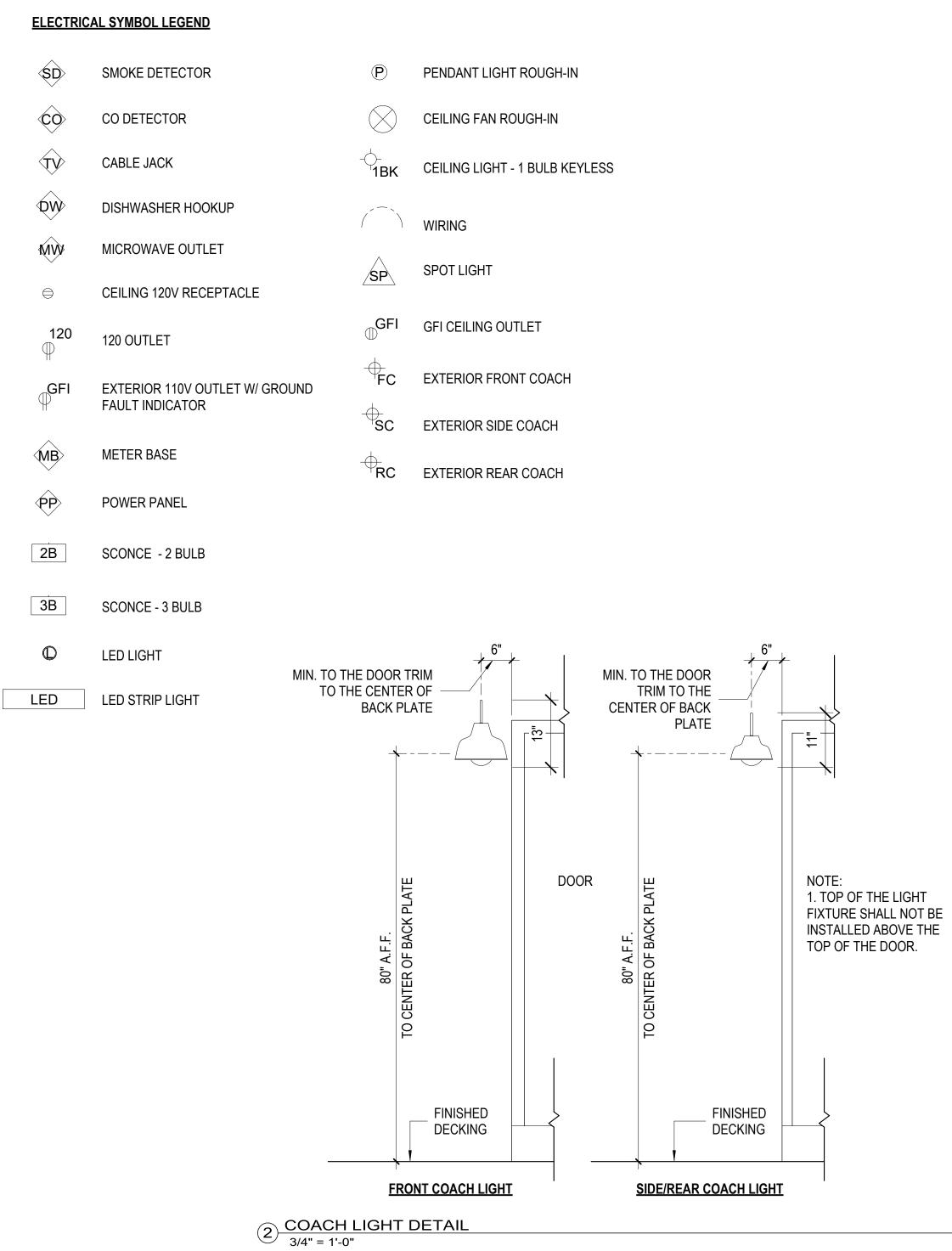
1. 1-ZONE, 1 SYSTEM HVAC UNIT.

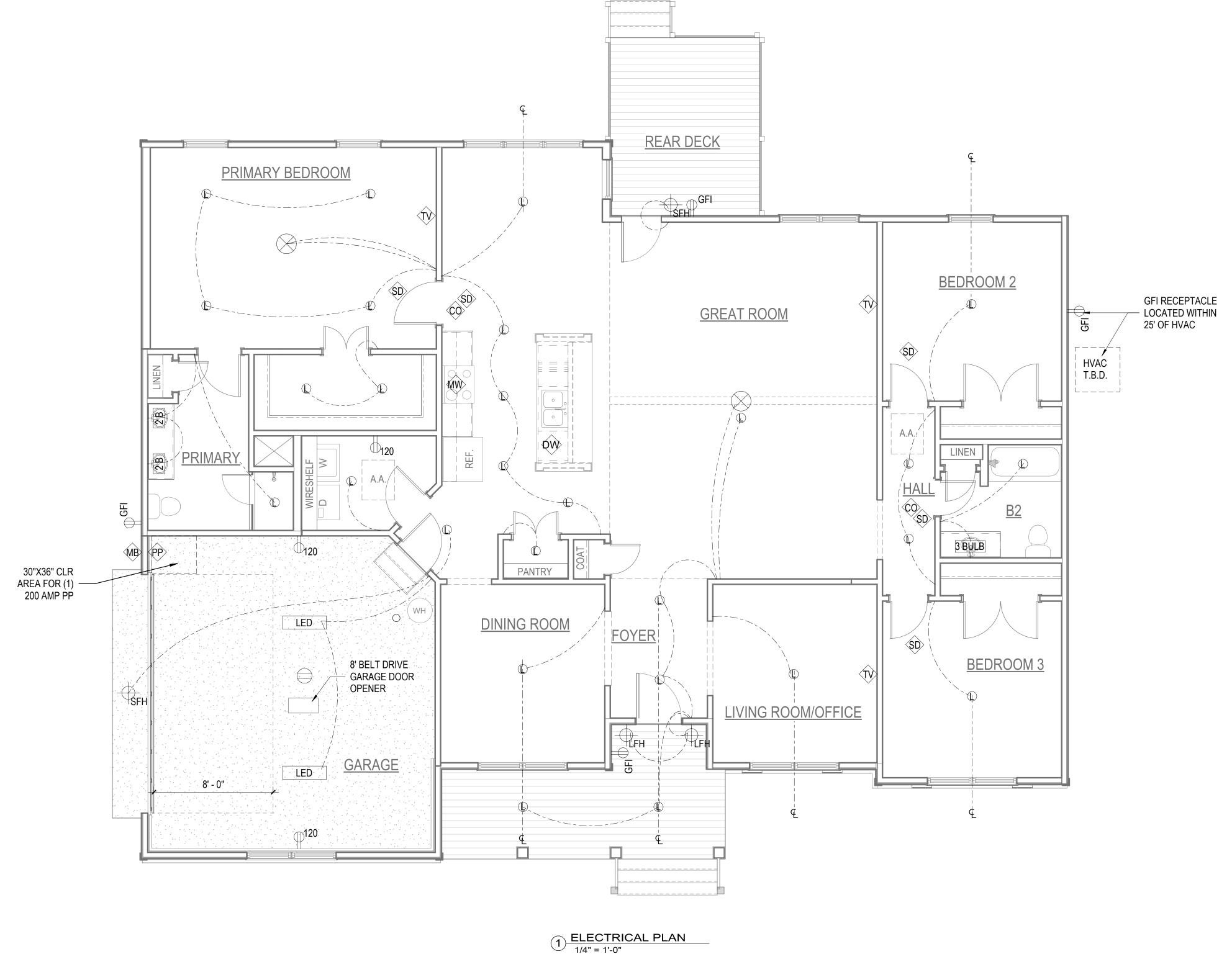
2. (1) 200 AMP POWER PANEL

3.CATHEDRAL CEILING PACKAGE WITH FAUX BEAM;SEE OPTION #00047

4.9'-FOOT CEILINGS ON FIRST FLOOR; SEE OPTION #00090

5.CEILING FAN ELECTRICAL ROUGH-IN - INCLUDES OVERHEAD WIRING, MOUNTING BOX, AND (2) WALL SWITCHES;SEE OPTION #22545







RESIDENCE **J.**, SPENCER, TRICAL COLINTY NO THE

PLAN

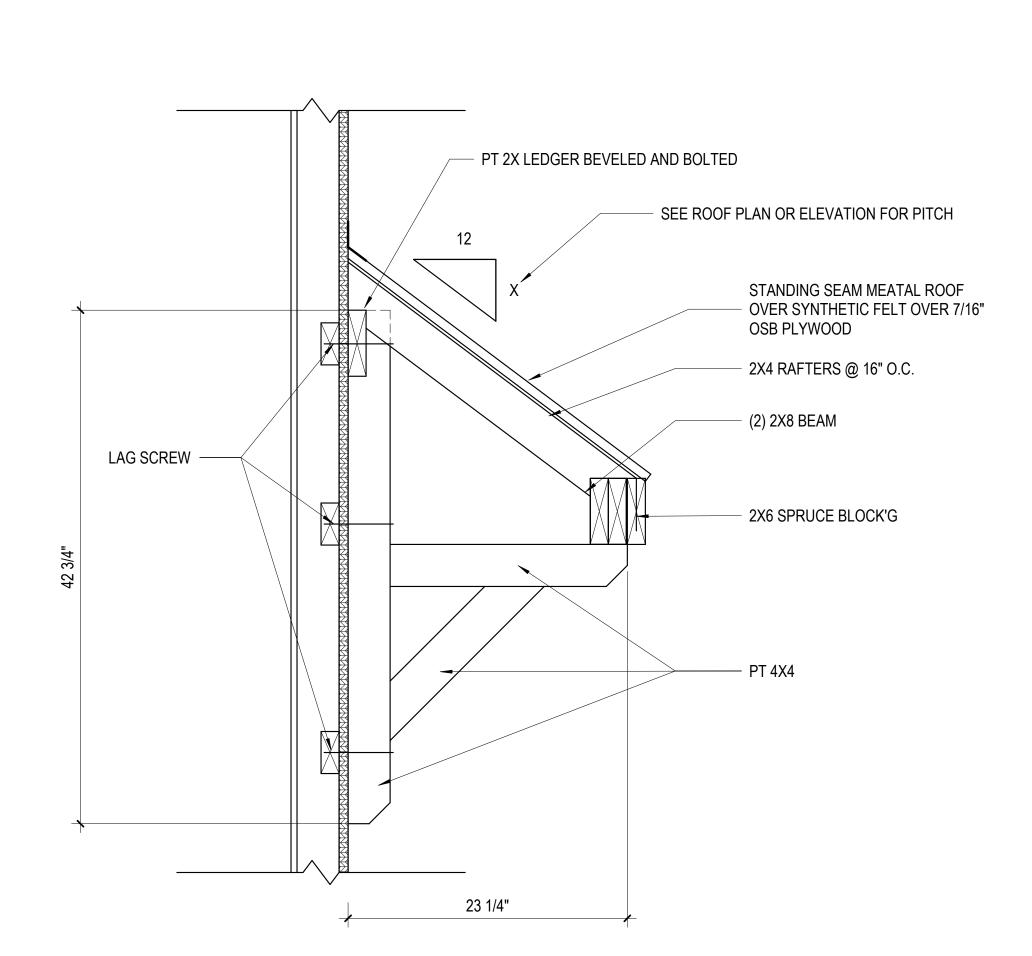
THE WINCHESTER PLAN: FARMHOUSE EXTERIOR

**DATE:** 03.07.2025 DRAWN BY: HAD **JOB** #: 50000183 SCALE: As indicated

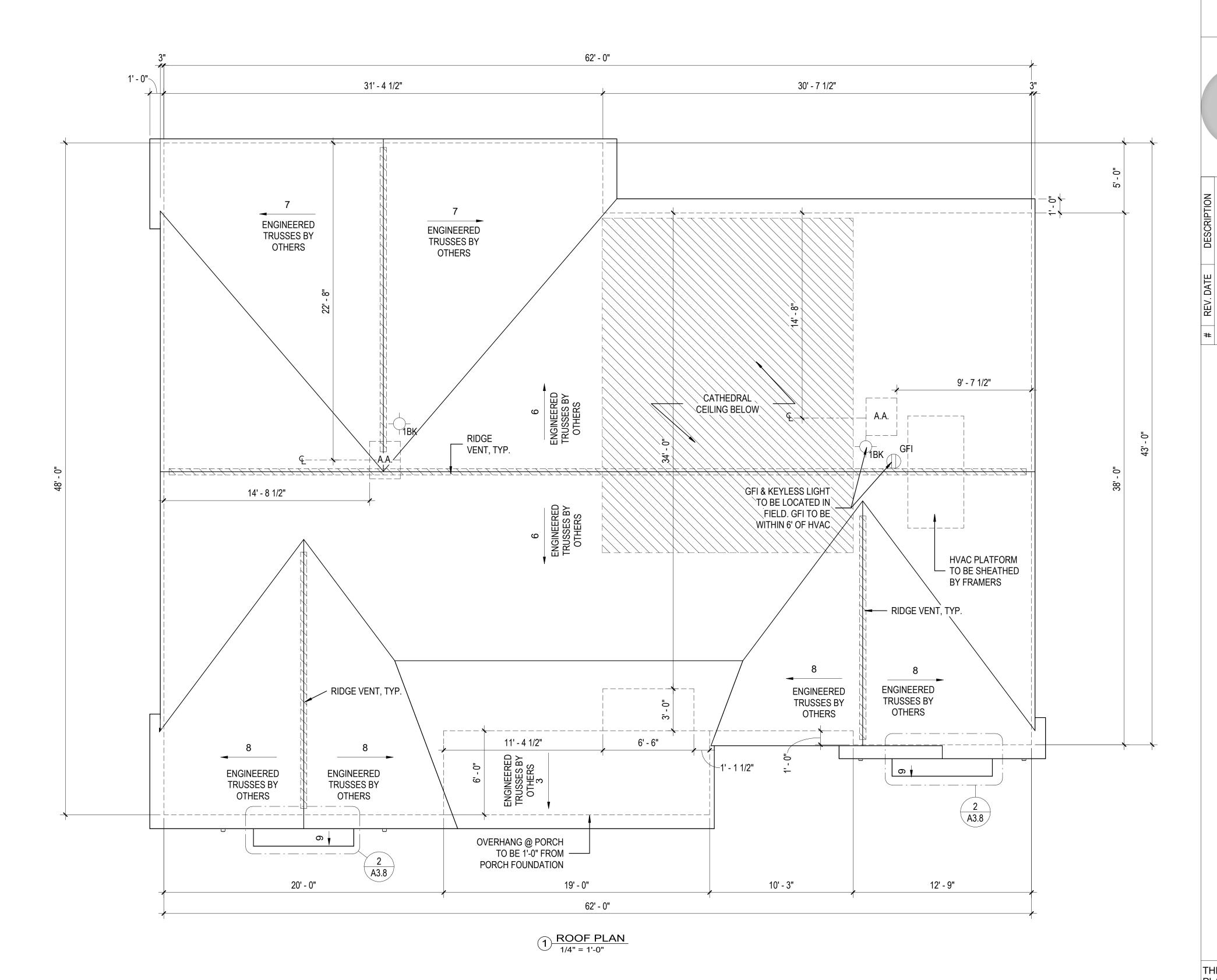
# **ROOF PLAN NOTES:**

1. HVAC AIR HANDLER LOCATED IN ATTIC.

2. ROOF SLOPES LESS THAN 4/12 TO REQUIRES DOUBLE UNDERLAYMENT.



2 R 0.2 - AWNING DETAILS
1 1/2" = 1'-0"



LEGEND LINE OF BEARING

— 7 ROOF SLOPE & DIRECTION

0 2' 4' 8

THE WINCHESTER
PLAN:
FARMHOUSE
EXTERIOR

DATE: 03.07.2025

DRAWN BY: HAD

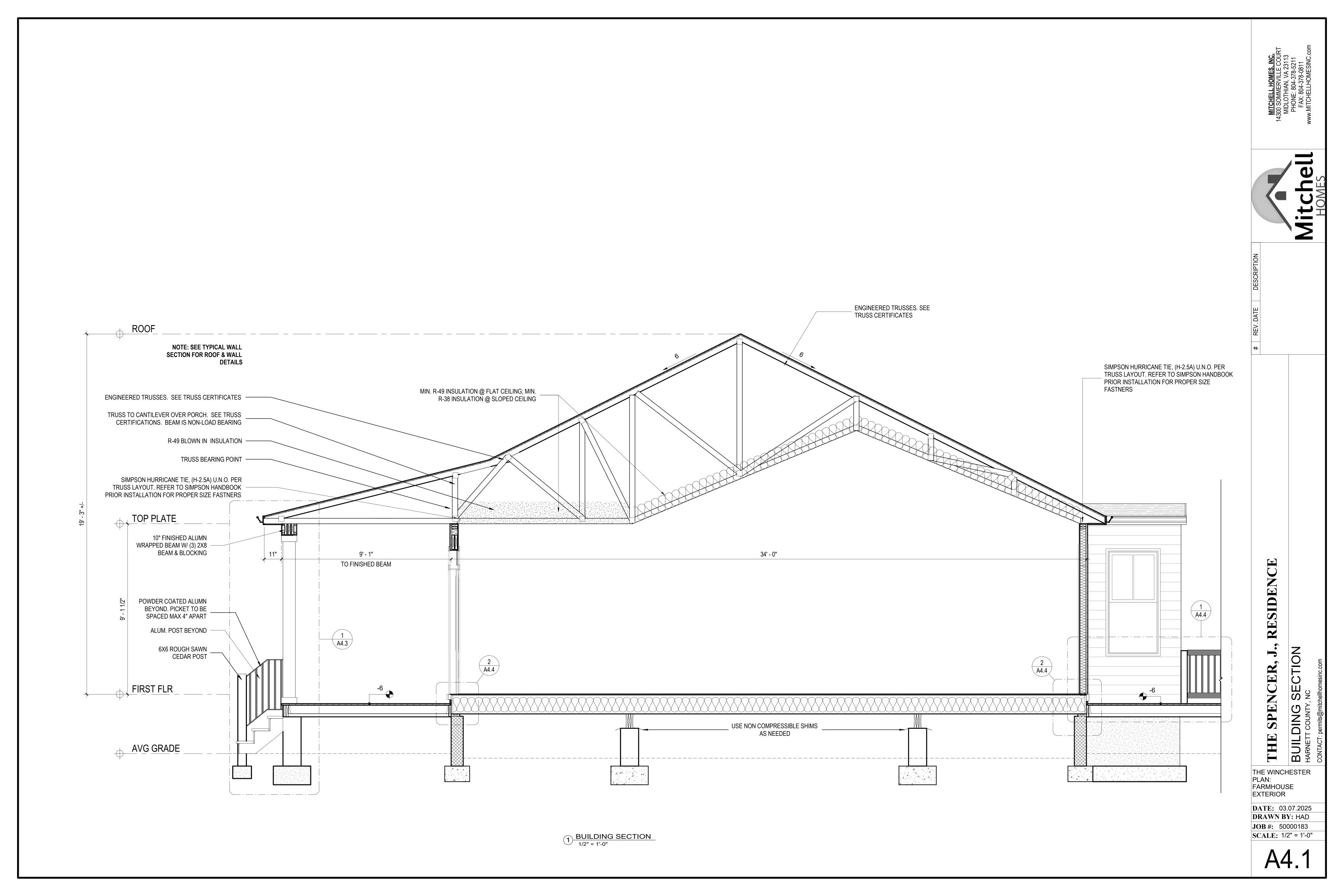
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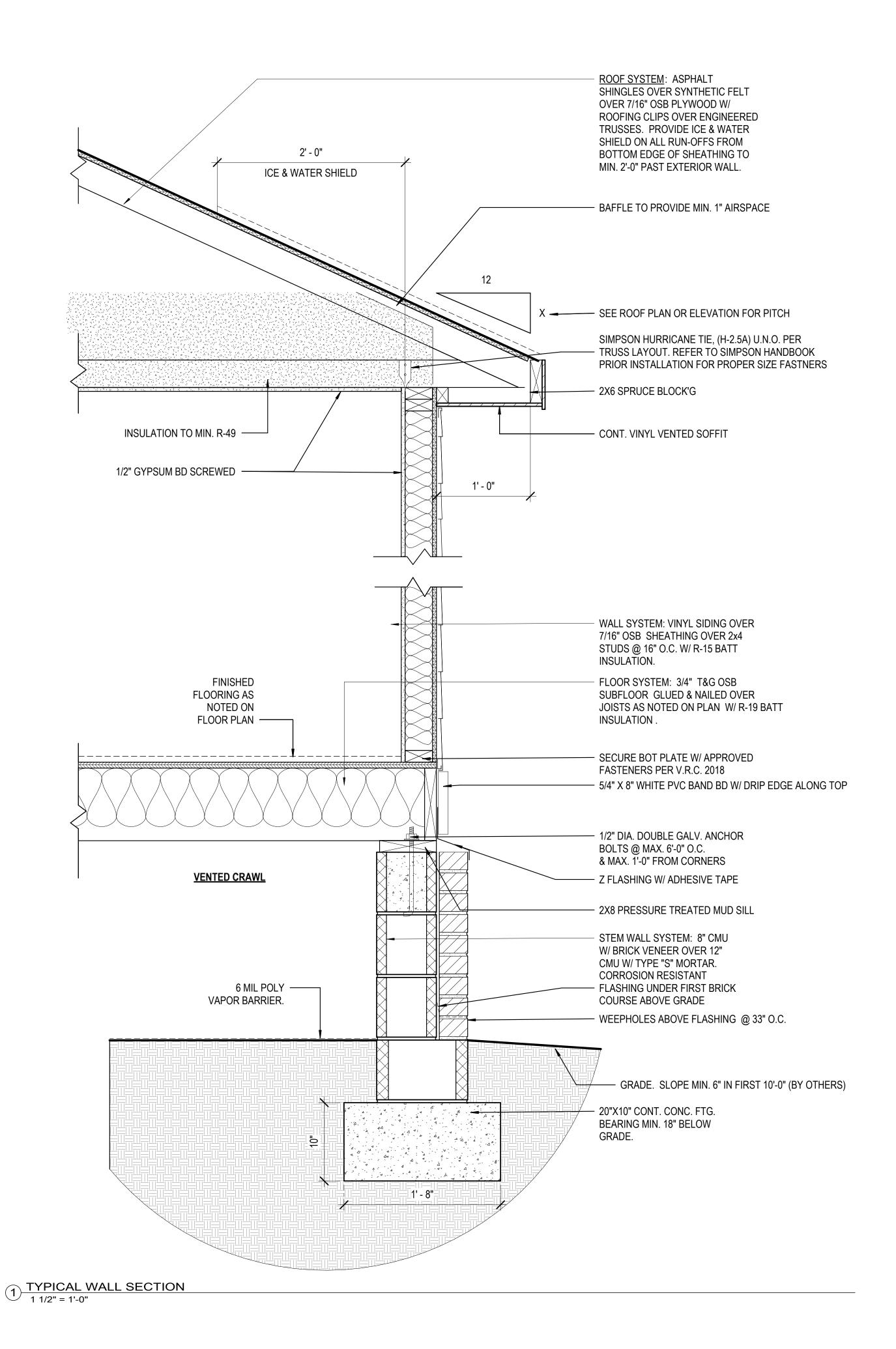
SPENCER,

THE

JOB #: 50000183
SCALE: As indicated



2 WALL SECTION- PARGED BLOCK, VENTED CRAWL 1 1/2" = 1'-0"





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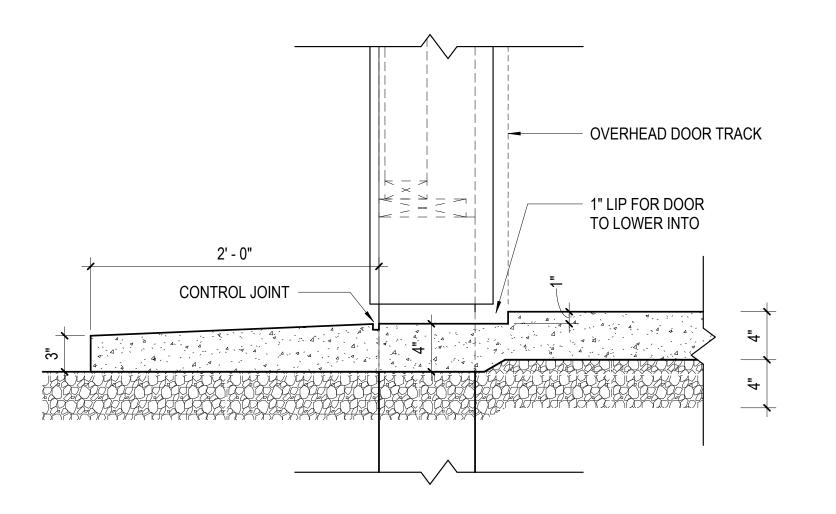
THE WINCHESTER FARMHOUSE

**DATE:** 03.07.2025 DRAWN BY: HAD **JOB** #: 50000183 **SCALE:** 1 1/2" = 1'-0"

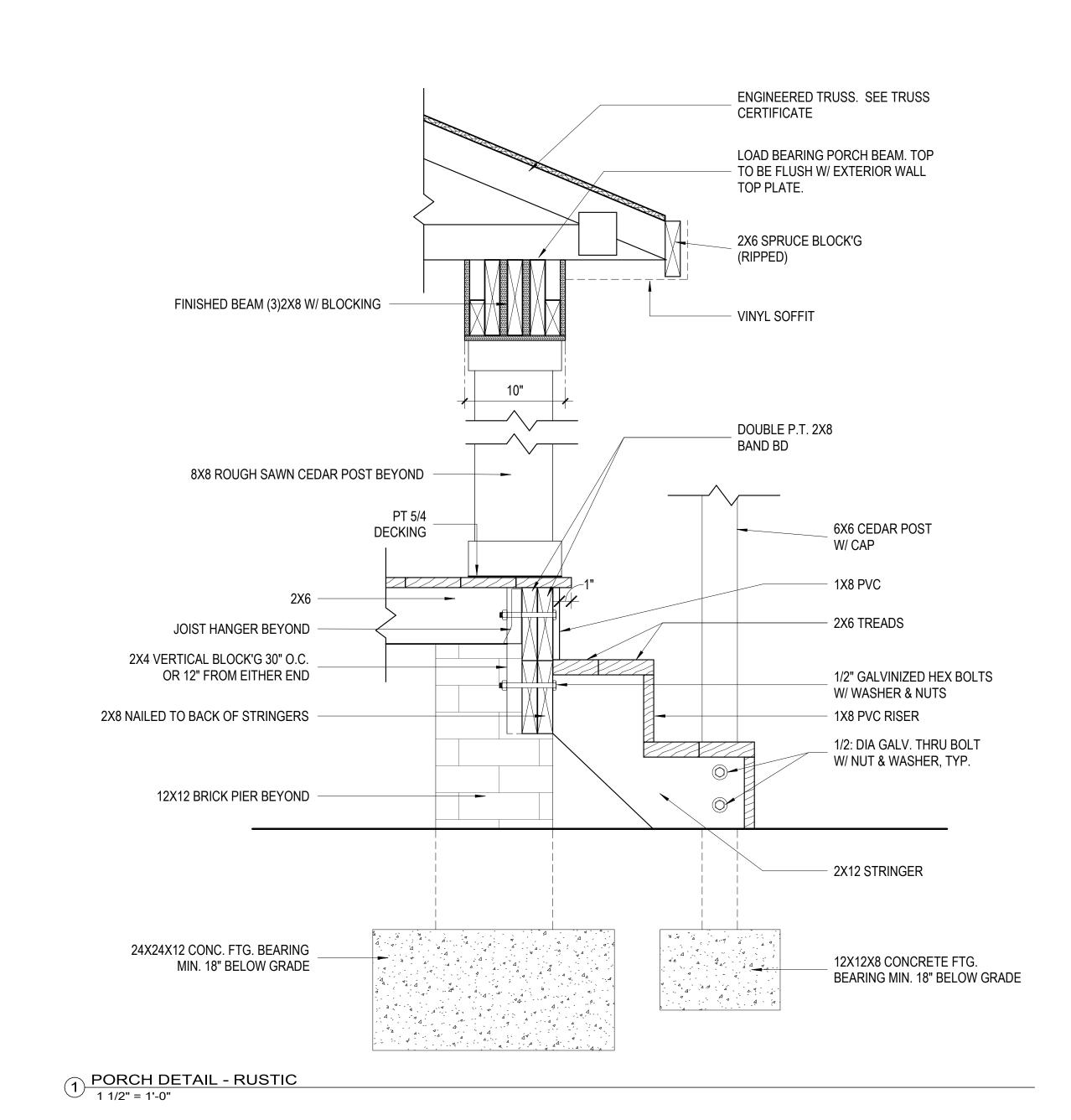
PLAN:

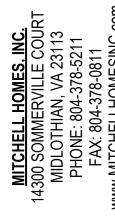
EXTERIOR

4 DECORATIVE GABLE PEDIMENT
1/2" = 1'-0"



3 GARAGE SLAB DETAIL 1 1/2" = 1'-0"





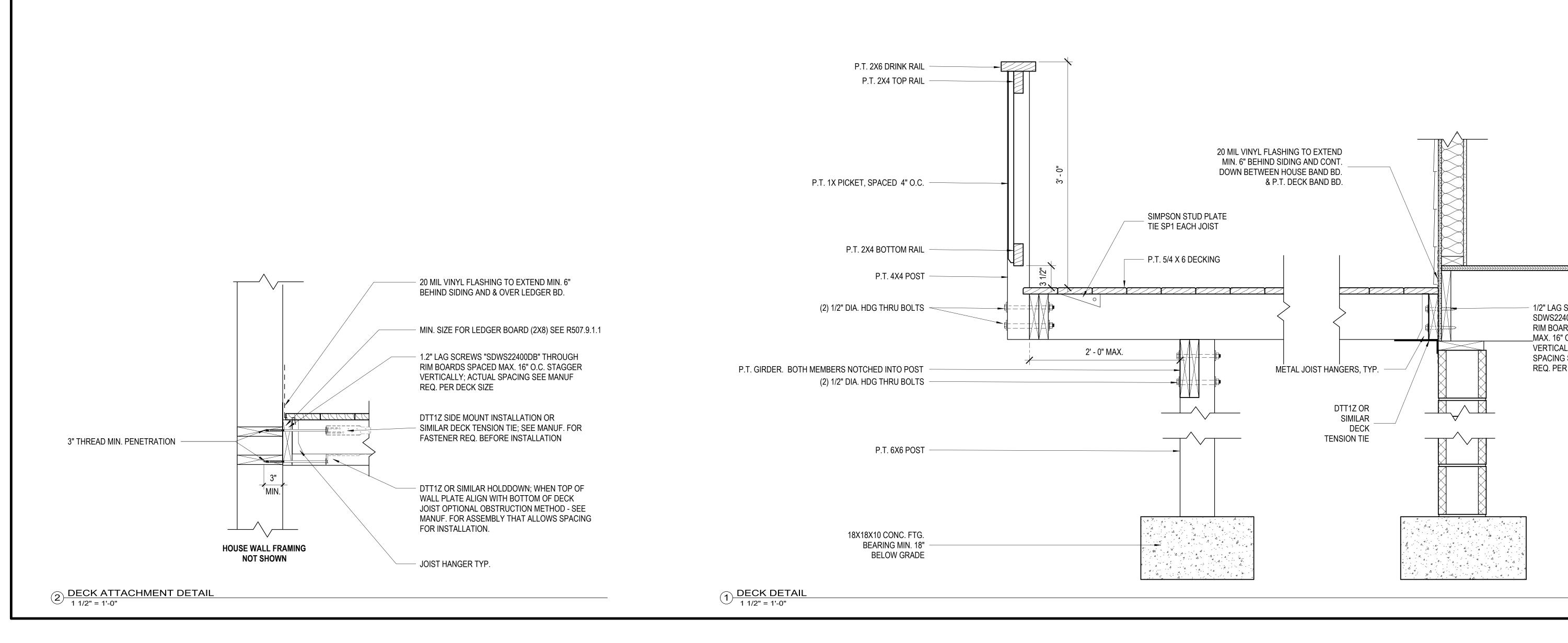
CE RESIDEN J., SPENCER, THE

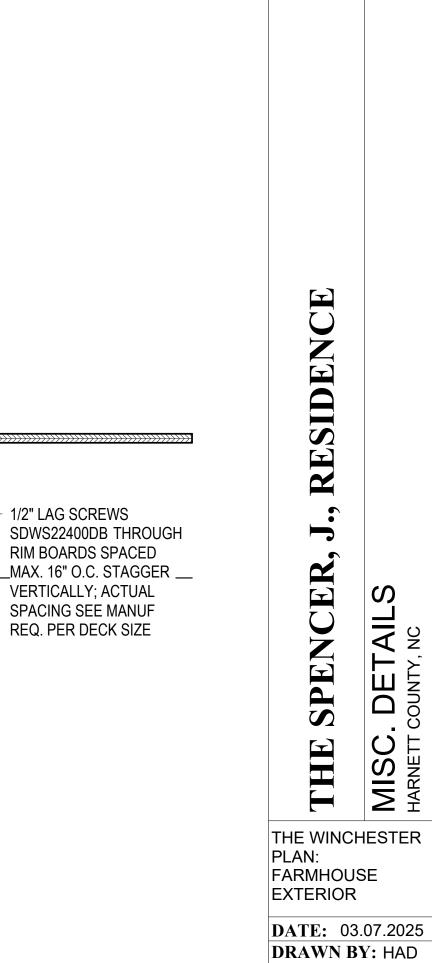
THE WINCHESTER PLAN: FARMHOUSE EXTERIOR

DETAILS SOUNTY, NC

**DATE:** 03.07.2025 DRAWN BY: HAD **JOB** #: 50000183 SCALE: As indicated

A4.3





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RESIDEN

SPENCER,

THE

- ROOF TRUSS

3 5/8" CROWN, PRIMED

AND PAINTED TO

MATCH CEILING.

GYP BD; SEE OPTION #91001.

BY FRAMERS

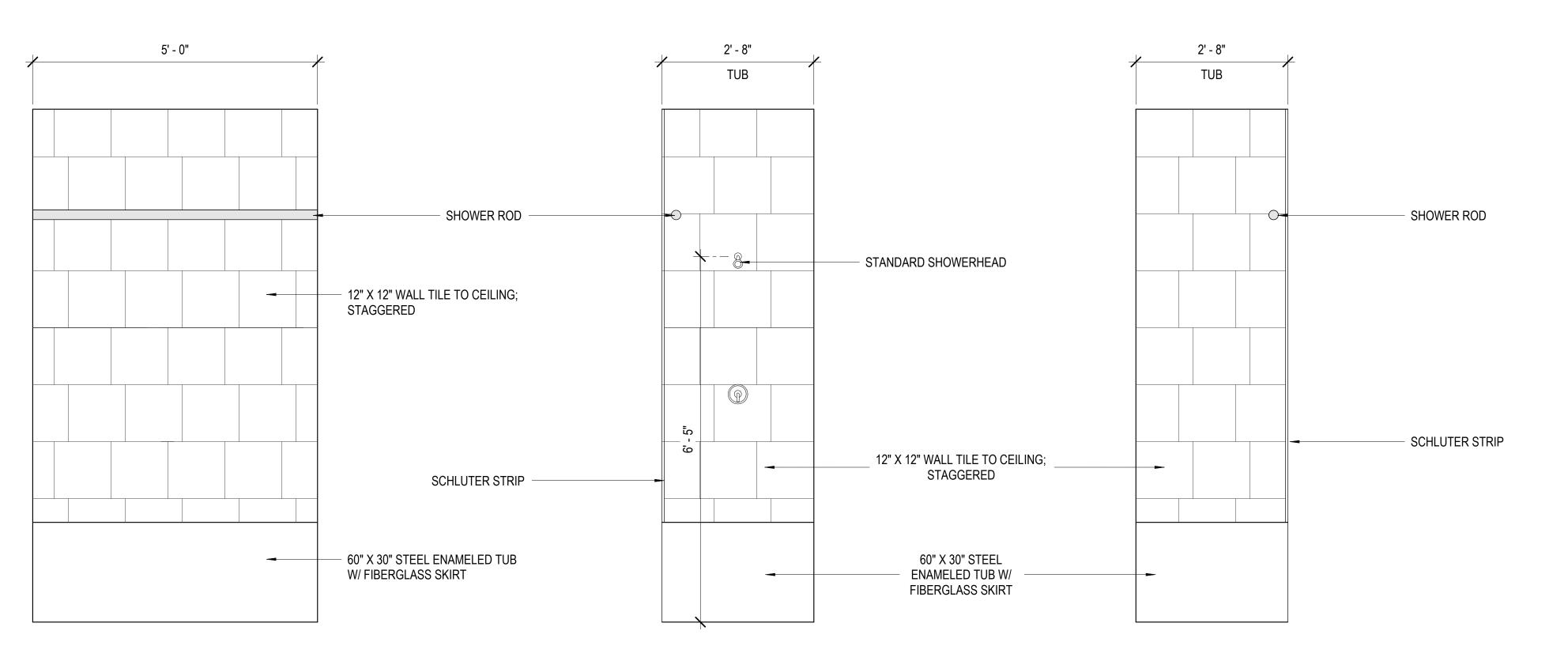
4" WOOD SCREWS

3 FAUX BEAM DETAIL 1 1/2" = 1'-0"

**SCALE:** 1 1/2" = 1'-0"

**JOB** #: 50000183

2 CERAMIC TILE SHOWER
3/4" = 1'-0"



**FRONT ELEVATION LEFT ELEVATION RIGHT ELEVATION** 

1 STANDARD TUB DETAIL
3/4" = 1'-0"



RESIDEN SPENCER,

THE THE WINCHESTER PLAN: FARMHOUSE EXTERIOR

**DATE:** 03.07.2025 DRAWN BY: HAD **JOB** #: 50000183 **SCALE:** 3/4" = 1'-0"

### **WALL BRACING NOTES:**

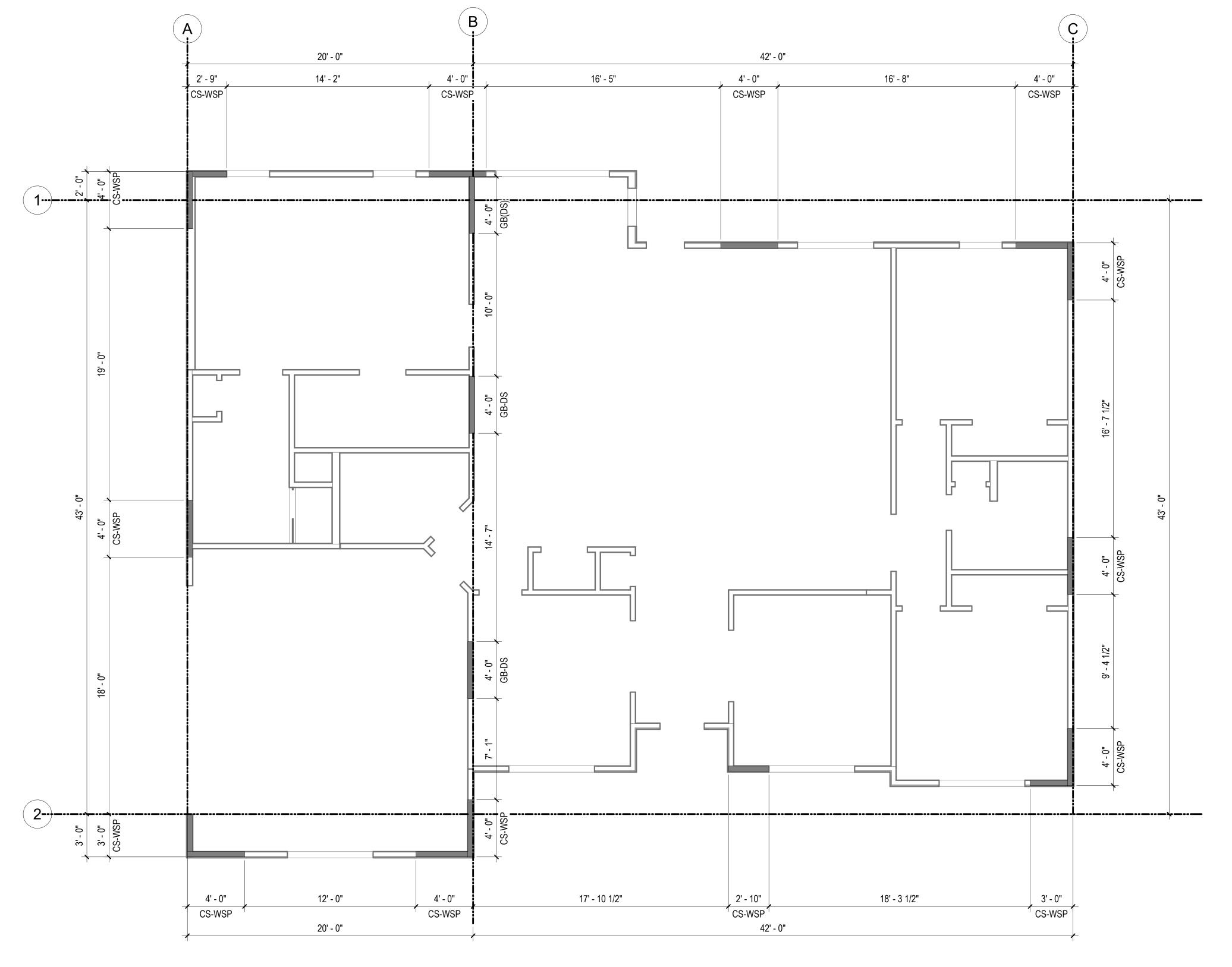
1. THIS MODEL HAS BEEN DESIGNED TO RESIST THE LATERAL FORCES AS STATED IN THE DESIGN CRITERIA ON SHEET A1.1.

2. WALL BRACING METHOD TO BE CONTINUOUS SHEATHING - WOOD STRUCTURAL PANEL (CS-WSP), U.N.O.

3. ALL PANELS TO BE 7/16" OSB SHETHING OVER 2X4 STUDS & 16" O.C. WITH DOUBLE TOP PLATE & SINGLE BOTTOM PLATE. SHEATHING TO EXTEND FROM BOTTOM EDGE OF BOTTOM PLATE TO TOP EDGE OF LOWER DOUBLE PLATE.

4. NAILING PATTERN AND FASTENERS SHALL CONFORM TO IRC 2018 CODE.

SEE ATTACHED WIND CALCULATION SHEET



1) BRACED WALL LAYOUT
1/4" = 1'-0"

LEGEND

BRACED WALL PANEL

---- BRACED WALL LINE

RESIDENCE SPENCER, THE

THE WINCHESTER
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A5.1