

Residence for  
Gammon Construction  
The Armstrong - Delude Residence  
Lot 18, Harnett County North Carolina

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GENERAL NOTES:

- ALL WORK IS TO BE DONE IN STRICT ACCORDANCE WITH NORTH CAROLINA STATE RESIDENTIAL BUILDING CODE, 2018 EDITION (HEREIN SHOWN AS N.C.S.R.B.C.).
- DIMENSIONS SHOWN ON DRAWINGS GOVERN OVER SCALE..
- STUD WALL DESIGN SHALL CONFORM TO ALL N.C.S.R.B.C. REQUIREMENTS.
- CONTRACTOR SHALL USE TEMPERED SAFETY GLASS IN ALL LOCATIONS AS REQUIRED BY N.C.S.R.B.C., SECTION R308.4
- ANY HABITABLE ROOM SHALL MEET ALL LIGHT/VENTILATION AND EGRESS AS REQUIRED BY N.C.S.R.B.C., SECTIONS R-303.1 AND R-310.1
- ALL WALLS SHOWN ON FLOOR PLANS ARE 2x4 FRAME UNLESS NOTED OTHERWISE.
- ALL ANGLED WALLS SHOWN ON FLOOR PLANS ARE 45° UNLESS NOTED OTHERWISE.
- ALL WINDOWS SHALL HAVE A MINIMUM DPI RATING OF 25. BUILDER SHALL VERIFY WITH WINDOW MANUFACTURER THAT UNITS INSTALLED MEET THESE REQUIREMENTS AS PER N.C.S.R.B.C., TABLE 301.2(6).
- ENERGY EFFICIENCY REQUIREMENTS FOR THE SPECIFIC CLIMATE ZONE WHERE STRUCTURE IS BEING BUILT SHALL BE IN ACCORDANCE WITH CHAPTER 11 OF THE NORTH CAROLINA RESIDENTIAL BUILDING CODE, AS SHOWN IN TABLES N1102 AND N1102.1.
- TERMITE TREATMENT - BORATE APPLIED TO ALL FRAME MEMBERS WITHIN 24" AFF.

MATERIALS LEGEND

	EARTH/COMPACT FILL		FINISH WOOD
	CONCRETE		ROUGH WOOD
	BRICK		BLOCKING
	CONCRETE BLOCK/STONE		PLYWOOD
	STEEL		BATT INSULATION
	ALUMINUM		RIGID INSULATION

TOILET ACCESSORIES LEGEND

PROVIDE 2x4 BLOCKING IN THE WALL FOR THE FOLLOWING:

TB	TOWEL BAR
TP	TOILET PAPER HOLDER
TR	TOWEL RING
MC	MEDICINE CABINET
MR	MAGAZINE RACK

THE PURPOSE OF THESE DRAWINGS IS TO SHOW THE INTENT OF THE DESIGN AND CONSTRUCTION OF THIS HOME. ANY ERRORS AND/OR OMISSIONS FOUND IN THIS SET SHOULD IMMEDIATELY BE REPORTED TO HOMES UNIQUE FOR CLARIFICATION OR CORRECTION. THE CONTRACTOR SHOULD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. ONCE A PERMIT HAS BEEN ISSUED FOR CONSTRUCTION, THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY AS TO THE ACCURACY OF THE PLANS AND TO ANY CHANGES MADE BY THE CONTRACTOR AND/OR THE OWNER.

DUE TO VARYING LOCAL AND STATE CODES, HOMES UNIQUE CANNOT BE HELD RESPONSIBLE FOR ANY REQUIREMENTS THAT EXISTING SITE CONDITIONS MAY CREATE.

RESIDENTIAL BUILDING CODE SUMMARY

- PLANS ARE DESIGNED TO THE 2018 NORTH CAROLINA RESIDENTIAL BUILDING CODE.
- HOUSE IS DESIGNED FOR 130 MPH, 3 SECOND GUST (101 MPH FASTEST WIND), EXPOSURE B.
- ANCHOR BOLTS SHALL BE MIN. 1/2" DIAMETER WITH STANDARD WASHER AND NUT AND SHALL EXTEND 7" MIN. INTO MASONRY OR CONCRETE. BOLTS TO BE NO MORE THAN 6' O.C. AND WITHIN 12" OF CORNERS. ALTERNATE ANCHOR STRAPS CAN BE USED INSTEAD OF ANCHOR BOLTS SPACED AT THE EQUIVALENT SPACING AND INSTALLED PER MANUFACTURER'S SPECIFICATION'S EXCEPT AT GARAGE LUG FTG.
- MEAN ROOF HEIGHT: 26'-10"
- COMPONENT & CLADDING DESIGNED FOR THE FOLLOWING LOADS:  
MEAN ROOF HGT: UP TO 30' 30'-1" TO 35' 35'-1" TO 40' 40'-1" TO 45'  

ZONE 1	16.5, -18.0	17.3, -18.9	18.0, -19.6	18.5, -20.2
ZONE 2	16.5, -21.0	17.3, -22.1	18.0, -22.9	18.5, -23.5
ZONE 3	16.5, -21.0	17.3, -22.1	18.0, -22.9	18.5, -23.5
ZONE 4	18.0, -19.5	18.9, -20.5	19.6, -21.3	20.2, -21.8
ZONE 5	18.0, -24.1	18.9, -25.3	19.6, -26.3	20.2, -27.0
- MINIMUM VALUES FOR ENERGY COMPLIANCE: ZONE 3
- MAXIMUM GLAZING U-FACTOR: 0.35
- INSULATING VALUES: CEILING: R-30\* / WALLS: R-15 / FLOOR: R-19 / SLABS: R-0. CODE REFERENCE: TABLE N1102.1 (\*R-30 ONLY IF UNCOMPRESSED, R-38 REQUIRED IF COMPRESSED)
- FLASHING SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R703.8 OF THE N.C.R.B.C.
- FIREBLOCKING SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R602.8 OF THE N.C.R.B.C.
- DRAFTSTOPPING SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R302.12 OF THE N.C.R.B.C.

AREA CALCULATIONS

	HEATED:	UNHEATED:
1ST FLOOR:	1063	GARAGE: 504
2ND FLOOR:	1413	FRONT PORCH: 118
REC ROOM:	0	REAR DECK: 144
TOTAL:	2476	TOTAL: 766

WIDTH: 40'-0"  
DEPTH: 55'-4"

FOUNDATION VENTING CALCULATIONS

(REFERENCE: N.C.S.R.B.C., 2018 EDITION, SECTION R408)  
THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL BE NOT LESS THAN ONE (1) SQUARE FOOT FOR EACH 150 SQUARE FEET OF CRAWL SPACE GROUND AREA AND ONE FOUNDATION VENT SHALL BE WITHIN THREE (3) FEET OF EACH CORNER OF THE BUILDING.

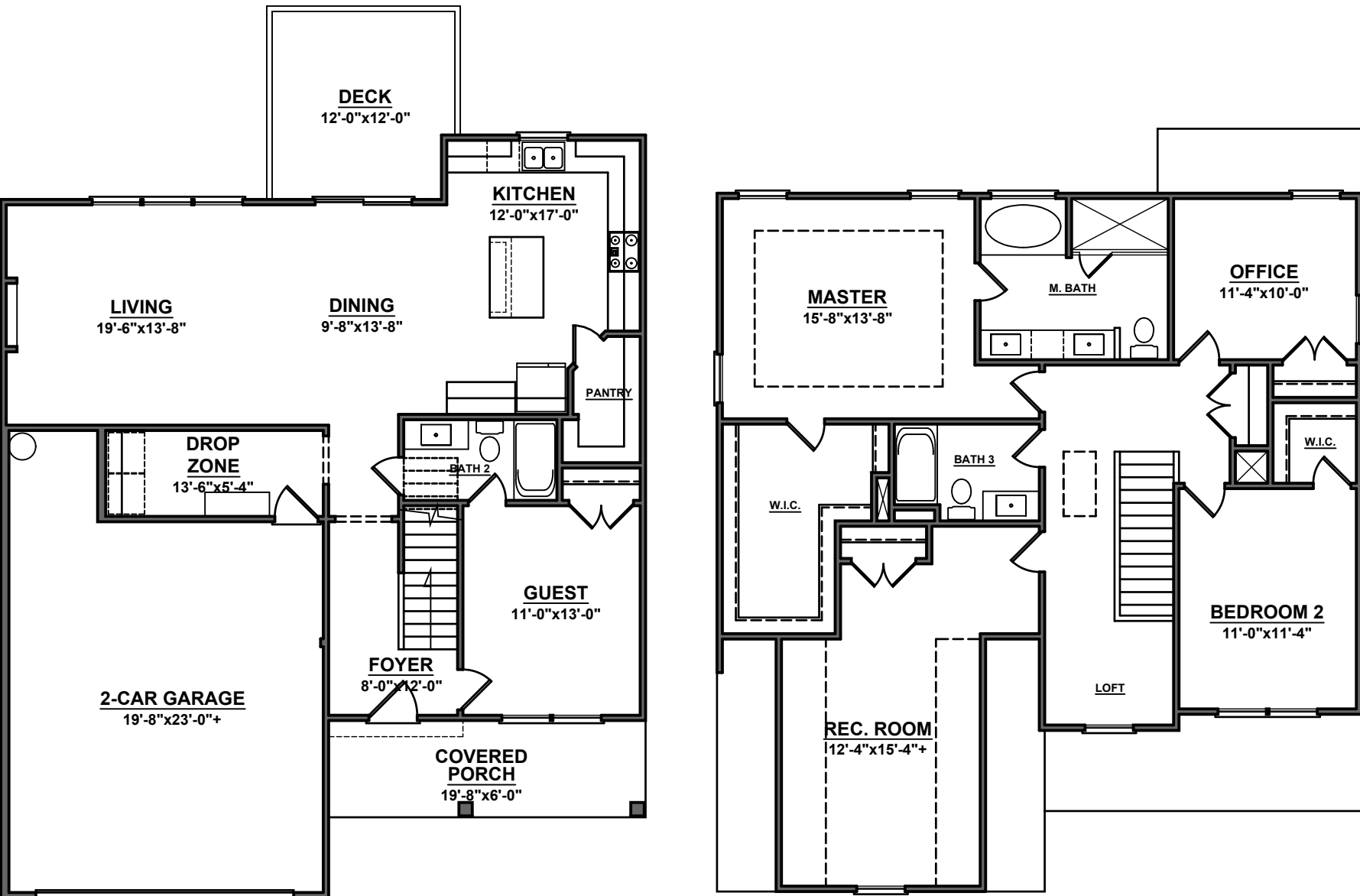
EXCEPTION: THE TOTAL AREA OF VENTILATION OPENINGS MAY BE REDUCED TO 1/1500 OF THE UNDER-FLOOR AREA WHERE THE GROUND SURFACE IS TREATED WITH AN APPROVED VAPOR RETARDER MATERIAL AND THE REQUIRED OPENINGS ARE PLACED SO AS TO PROVIDE CROSS-VENTILATION.

1063 SQUARE FEET OF CRAWL SPACE AREA / 150 =  
7.09 SQUARE FEET OF NET FREE AREA REQUIRED

ATTIC VENTILATION REQUIREMENTS

NATURAL ROOF VENTILATION	MECHANICAL ROOF VENTILATOR
1685 SQ. FT. 150 = 11.23 SQ. FT. VENT REQ'D.	1685 SQ. FT. 300 = 5.62 SQ. FT. VENT REQ'D.

BUILDER TO PROVIDE APPROPRIATE VENTILATING AS REQUIRED PER CODE



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Suite 223  
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The purpose of these drawings is to show the intent of the design and construction of this home. Contractor should verify all conditions and dimensions prior to construction. Once a permit has been issued, contractor shall assume all responsibility to the accuracy of the plans and any changes made during construction.

PROJECT INFO:  
**Gammon Construction**  
The Armstrong  
Delude Residence  
Lot 18, Harnett County NC

TITLE:  
**Cover Sheet**

PROJECT NUMBER:  
**6633**  
DRAWN BY:  
**J.A.D.**  
CHECKED BY:  
**J.T.S.**  
REVISIONS:

DATE:  
**9/18/2024**  
SHEET:

**C**

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FOR INFO:  
Hammon Construction  
The Armstrong  
Delude Residence  
Lot 18, Harnett County NC

CC BY-NC-ND 4.0

III.

PROJECT NUMBER:

6633

DRAWN BY:

J.A.D.

CHECKED BY:

J.T.S.

REVISIONS:

DATE: \_\_\_\_\_

9/18/2024

SHEET:

1



## FRONT ELEVATION

SCALE: 1/4"=1'-0"

NOTE - SLOPE ALL GRADES AWAY FROM HOUSE FOR POSITIVE DRAINAGE



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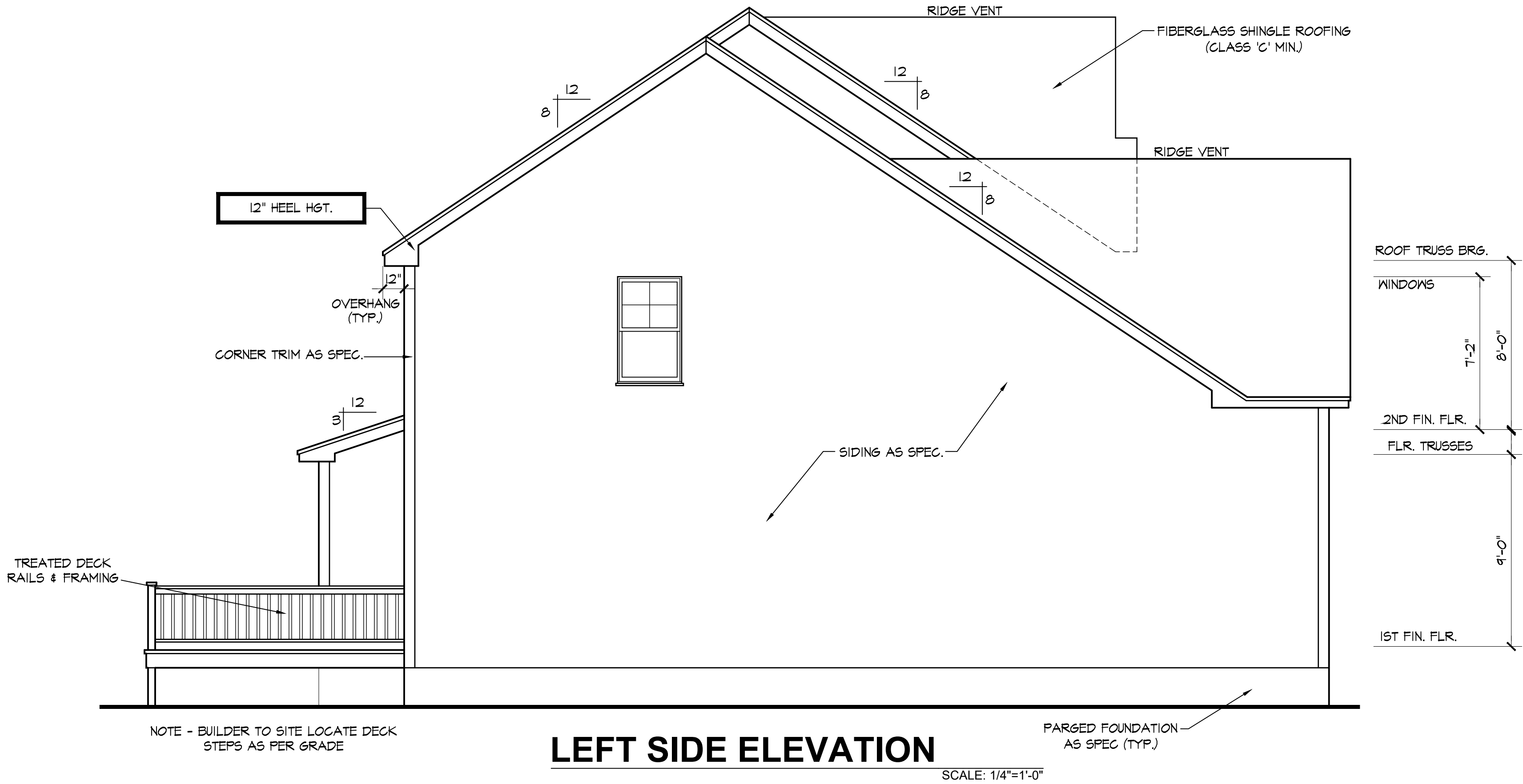
PROJECT INFO:  
**Gammon Construction**  
The Armstrong  
Delude Residence  
Lot 18, Harnett County NC

TITLE:  
**Elevations**

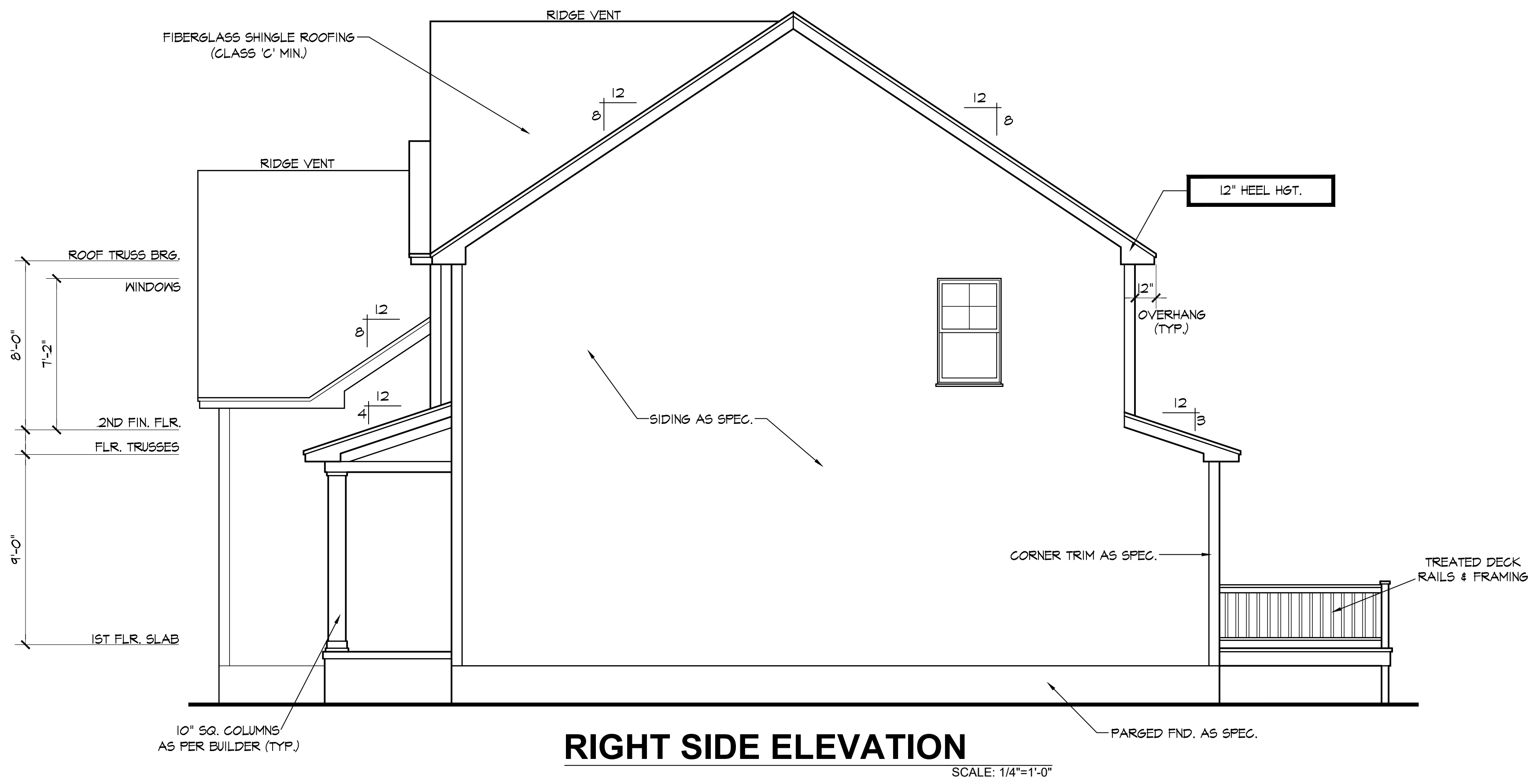
PROJECT NUMBER:  
**6633**  
DRAWN BY:  
**J.A.D.**  
CHECKED BY:  
**J.T.S.**  
REVISIONS:

DATE:  
**9/18/2024**  
SHEET:

**2**









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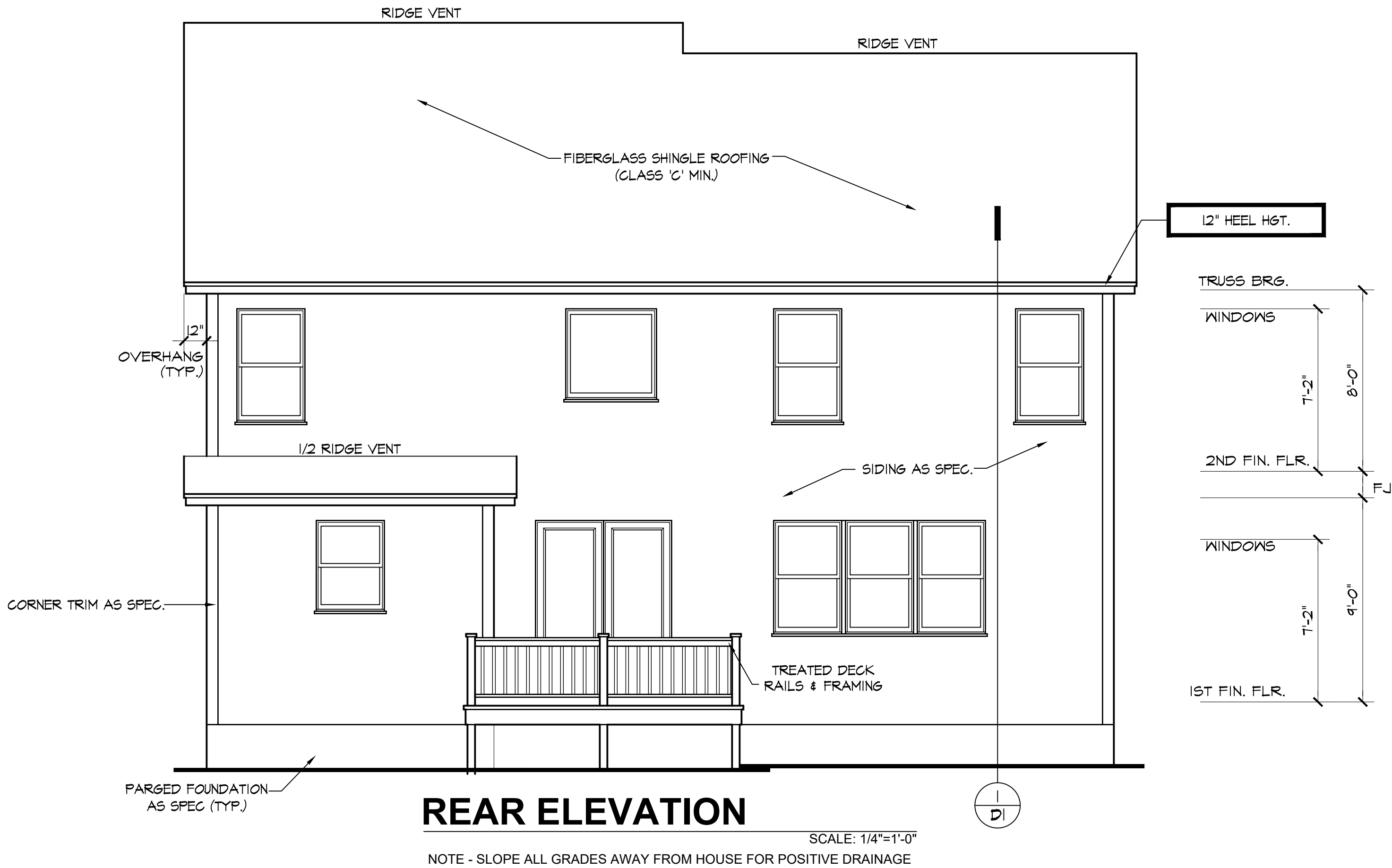
PROJECT INFO:  
**Gammon Construction**  
The Armstrong  
Delude Residence  
Lot 18, Harnett County NC

TITLE:  
**Elevations**

PROJECT NUMBER:  
**6633**  
DRAWN BY:  
**J.A.D.**  
CHECKED BY:  
**J.T.S.**  
REVISIONS:

DATE:  
**9/18/2024**  
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## REAR ELEVATION

SCALE: 1/4"=1'-0"

NOTE - SLOPE ALL GRADES AWAY FROM HOUSE FOR POSITIVE DRAINAGE



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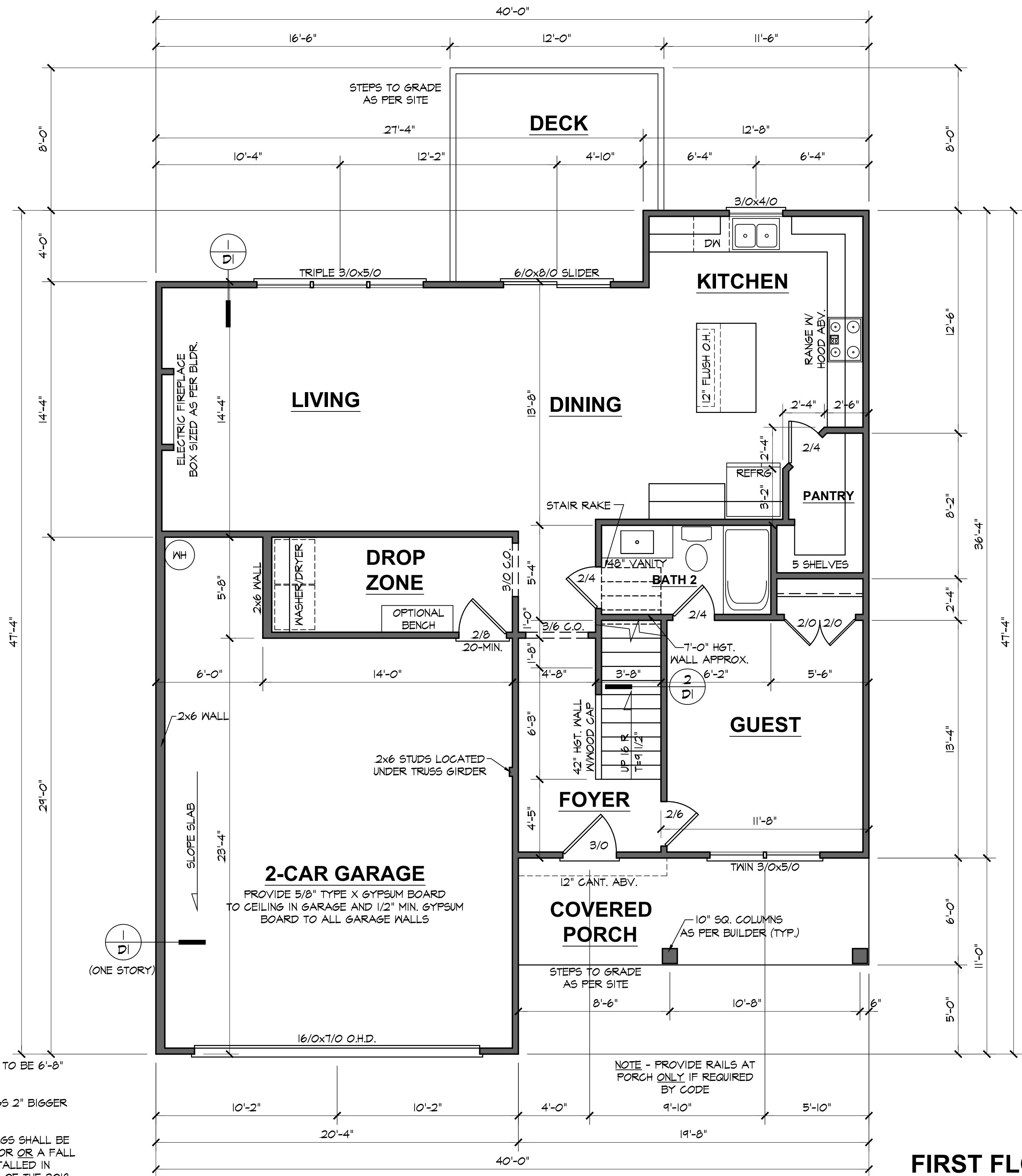
PROJECT INFO:  
**Gammon Construction**  
The Armstrong  
Delude Residence  
Lot 18, Harnett County NC

TITLE:  
**Floor Plan**

PROJECT NUMBER:  
**6633**  
DRAWN BY:  
**J.A.D.**  
CHECKED BY:  
**J.T.S.**  
REVISIONS:

DATE:  
**9/18/2024**  
SHEET:

**5**



**NOTES:**

ALL DOORS AND CASED OPENINGS TO BE 6'-8" TALL UNLESS NOTED OTHERWISE.

ROUGH FRAME ALL CASED OPENINGS 2" BIGGER THAN FINISHED OPENING CALL FOR

BOTTOM OF WINDOW CLEAR OPENINGS SHALL BE MORE THAN 24" ABOVE FINISH FLOOR OR A FALL PREVENTION DEVICE SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R312.3 OF THE 2018 NORTH CAROLINA RESIDENTIAL BUILDING CODE.

**FIRST FLOOR PLAN**

9'-0" (NOM.) CLG. HGT. U.N.O.  
SET WINDOWS @ 7'-2" U.N.O.

SCALE: 1/4"=1'-0"



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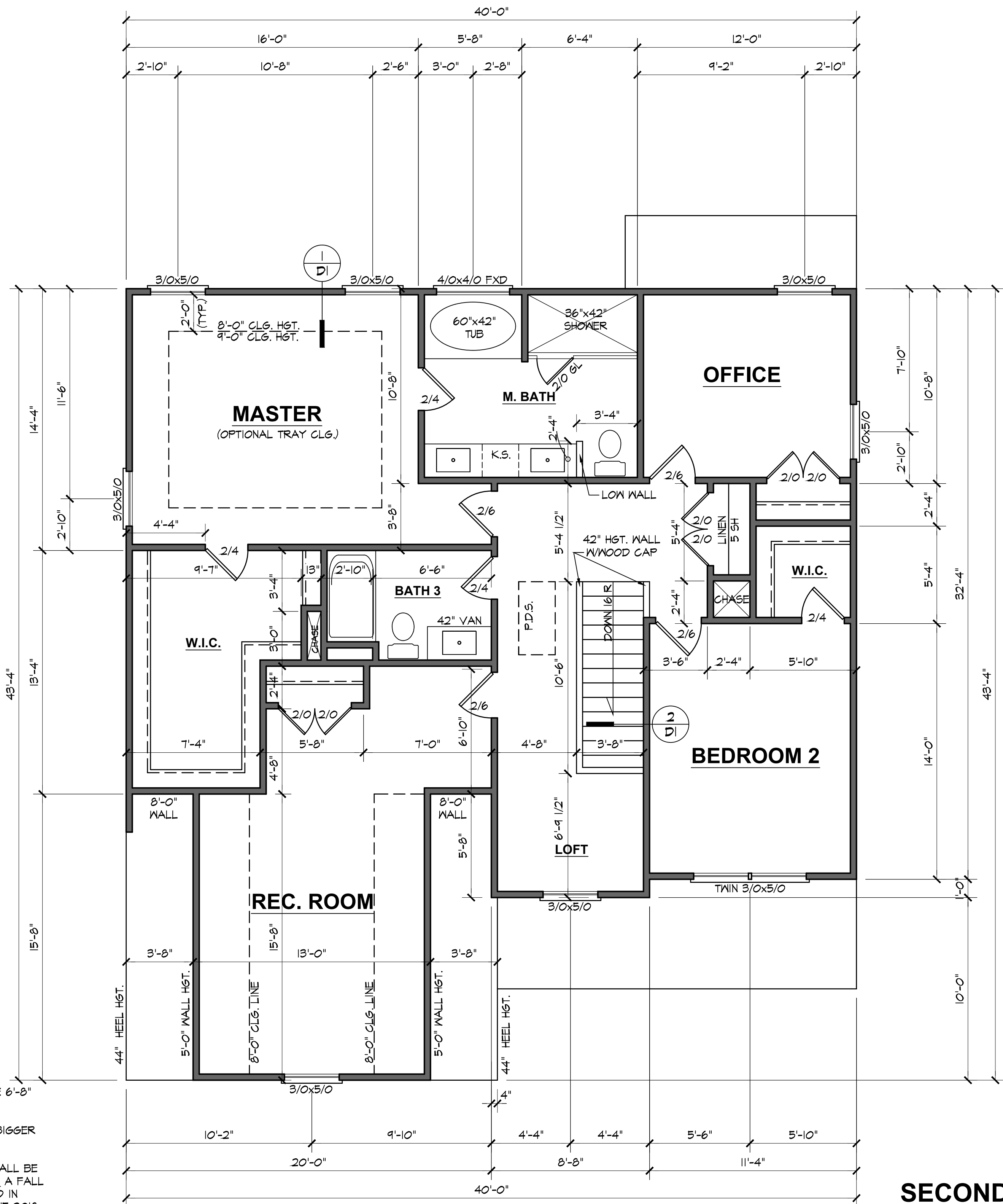
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The Armstrong  
Delude Residence  
Lot 18, Harnett County NC

TITLE:  
**Floor Plan**

PROJECT NUMBER:  
**6633**  
DRAWN BY:  
**J.A.D.**  
CHECKED BY:  
**J.T.S.**  
REVISIONS:

DATE:  
**9/18/2024**  
SHEET:

**6**



**NOTES:**

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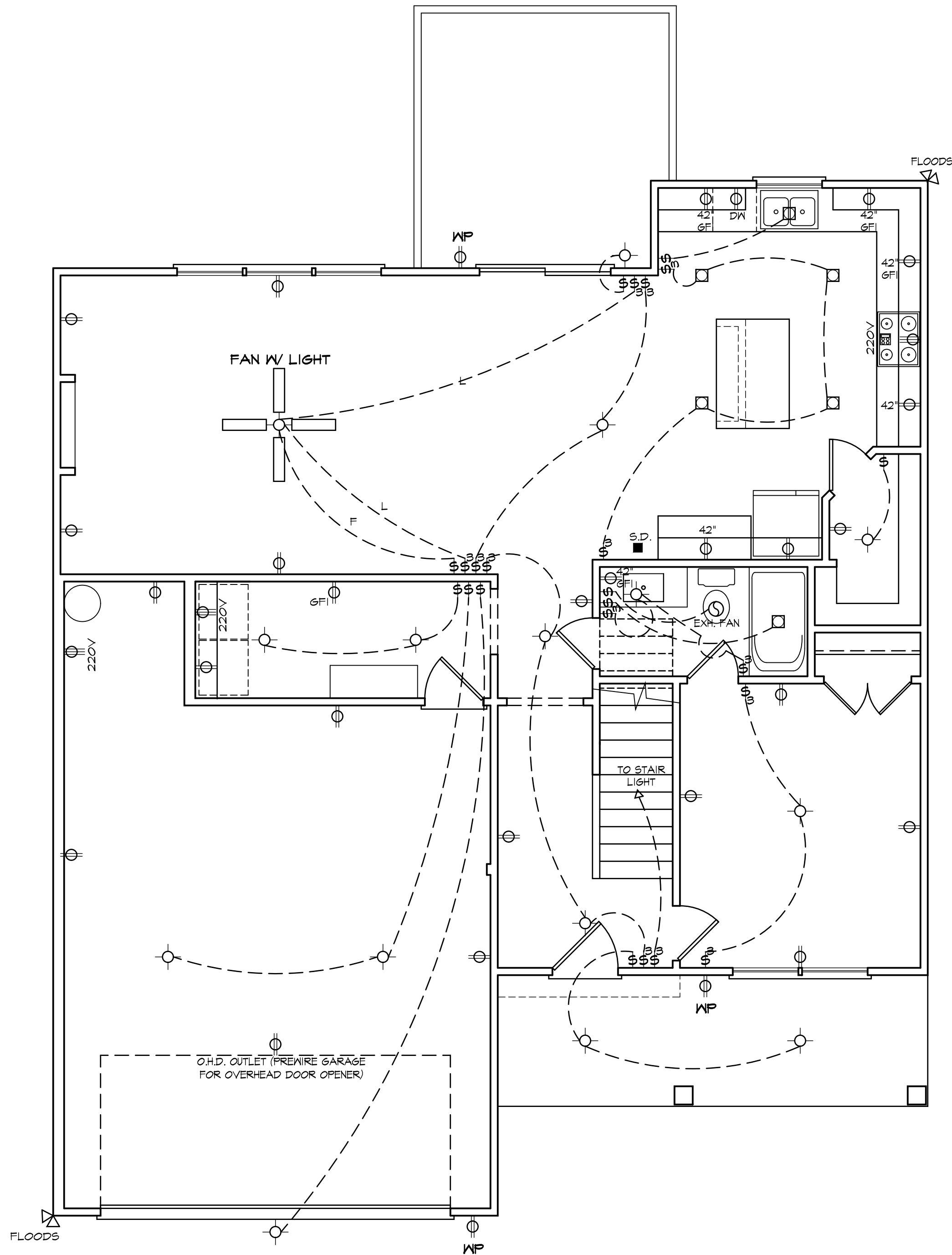
BOTTOM OF WINDOW CLEAR OPENINGS SHALL BE MORE THAN 24" ABOVE FINISH FLOOR OR A FALL PREVENTION DEVICE SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R312.3 OF THE 2018 NORTH CAROLINA RESIDENTIAL BUILDING CODE.

**SECOND FLOOR PLAN**

8'-0" (NOM.) CLG. HGT. U.N.O.  
SET WINDOWS @ 7'-2" U.N.O.

SCALE: 1/4"=1'-0"





## FIRST FLOOR ELECTRICAL PLAN

NOTE - ELECTRICAL RECEPTACLE AND SWITCH QUANTITIES AND LOCATIONS SHOWN ON PLAN ARE FOR ILLUSTRATION PURPOSES ONLY. ACTUAL NUMBER AND LOCATIONS SHALL BE FIELD DETERMINED AS PER CLIENT AND BUILDER EXCEPT WHERE CODE REQUIREMENTS APPLY.

ELECTRICAL LEGEND	
	- LIGHT FIXTURE
	- FAN/LIGHT
	- WATERPROOF OUTLET
	- RECESSED LIGHTING
	- SINGLE PULL SWITCH
	- 3-WAY SWITCH
	- 4-WAY SWITCH
	- DIMMER SWITCH
	- SMOKE DETECTOR
	- FLOOD LIGHTS
	- EYEBALL SPOTS
	- DUPLEX RECEPTACLE (110V)
	- 220 VOLT RECEPTACLE
	- SWITCHED RECEPTACLE (TOP WIRE ONLY)
	- GROUND FAULT CIRCUIT INTERRUPTOR
	- CLS FANLIGHTS
	- TRACK LIGHTS
	- FLUORESCENT LIGHTING
	- CABLE OUTLET
	- TELEPHONE OUTLET
	- COMPUTER DATA OUTLET
	- BURGLAR ALARM
	- INTERCOM
NOTE: ALL ELECTRICAL TO BE VERIFIED BY OWNER/BUILDER BEFORE ROUGH-IN.	



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PROJECT INFO:  
**Gammon Construction**  
The Armstrong  
Delude Residence  
Lot 18, Harnett County NC

TITLE:  
**Electrical**

PROJECT NUMBER:  
**6633**  
DRAWN BY:  
**J.A.D.**  
CHECKED BY:  
**J.T.S.**  
REVISIONS:

DATE:  
**9/18/2024**  
SHEET:

**7**





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PROJECT INFO:  
**Gammon Construction**  
The Armstrong  
Delude Residence  
Lot 18, Harnett County NC

TITLE:  
**Electrical**

PROJECT NUMBER:  
**6633**  
DRAWN BY:  
**J.A.D.**  
CHECKED BY:  
**J.T.S.**  
REVISIONS:

DATE:  
**9/18/2024**  
SHEET:

**8**

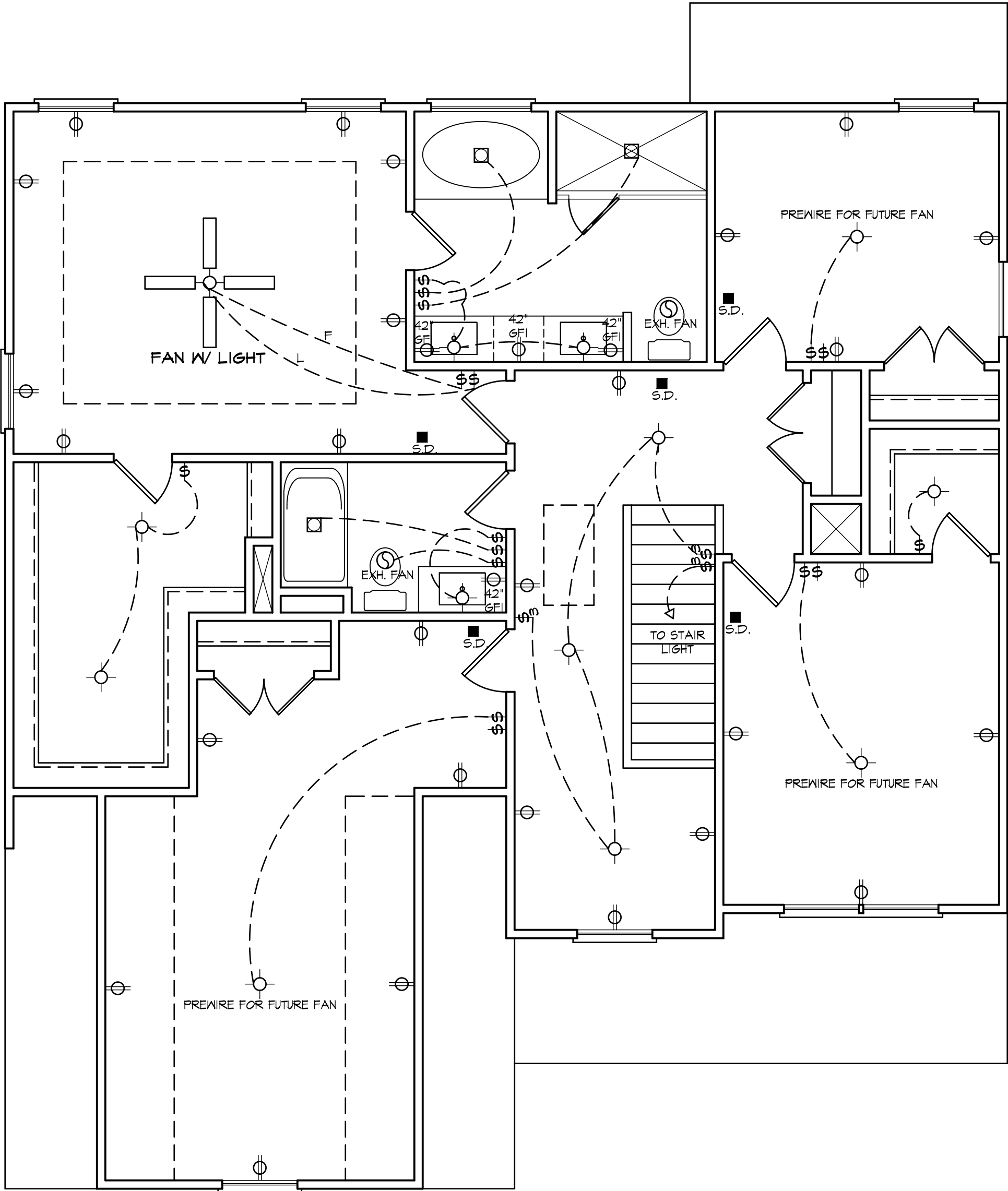
ELECTRICAL LEGEND

- - LIGHT FIXTURE
- - FAN/LIGHT
- ⊕ - WATERPROOF OUTLET
- - RECESSED LIGHTING
- \$ - SINGLE PULL SWITCH
- \$₃ - 3-WAY SWITCH
- \$₄ - 4-WAY SWITCH
- \$ₐ - DIMMER SWITCH
- - SMOKE DETECTOR
- ⚡ - FLOOD LIGHTS
- ▽ - EYEBALL SPOTS
- ⊕ - DUPLEX RECEPTACLE (110V)
- ⊕ - 220 VOLT RECEPTACLE
- ⊕ - SWITCHED RECEPTACLE (TOP WIRE ONLY)
- ⊕GFI - GROUND FAULT CIRCUIT INTERRUPTOR

- ⊕ - CLS FAN/LIGHTS
- - TRACK LIGHTS
- - FLUORESCENT LIGHTING

- - CABLE OUTLET
- ▲ - TELEPHONE OUTLET
- △ - COMPUTER DATA OUTLET
- ⊗ - BURGLAR ALARM
- - INTERCOM

NOTE: ALL ELECTRICAL TO BE VERIFIED BY OWNER/BUILDER BEFORE ROUGH-IN.



SECOND FLOOR ELECTRICAL PLAN

NOTE - ELECTRICAL RECEPTACLE AND SWITCH QUANTITIES AND LOCATIONS SHOWN ON PLAN ARE FOR ILLUSTRATION PURPOSES ONLY. ACTUAL NUMBER AND LOCATIONS SHALL BE FIELD DETERMINED AS PER CLIENT AND BUILDER EXCEPT WHERE CODE REQUIREMENTS APPLY.

NOTE 2 - ALL ROOF OVERHANGS TO BE 12" U.N.O.



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**Gammon Construction**  
The Armstrong  
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Lot 18, Harnett County NC

Details

TITLE:

PROJECT NUMBER:

6633

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J.A.D.

CHECKED BY:

J.T.S.

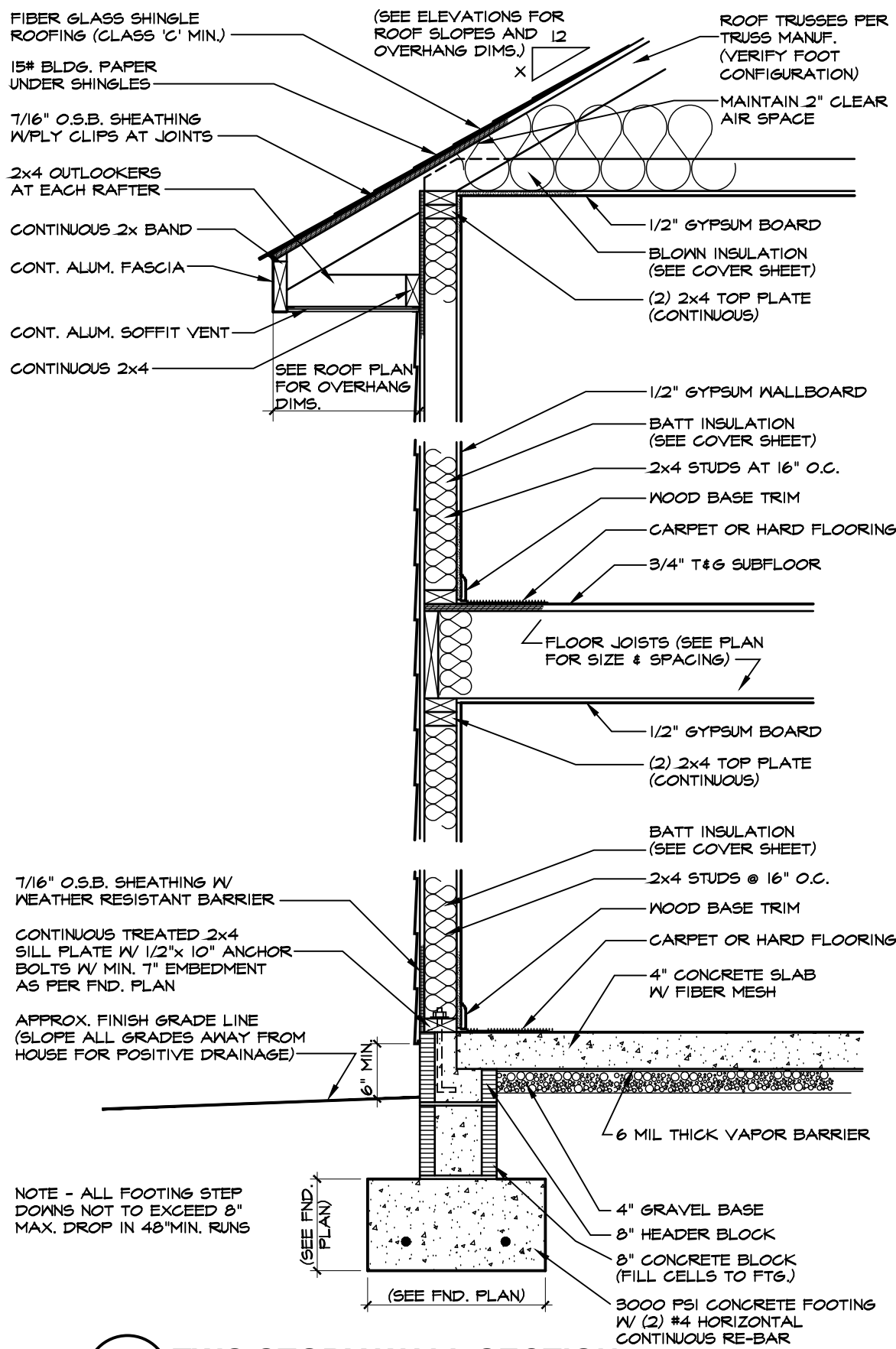
REVISIONS:

DATE:

9/18/2024

SHEET:

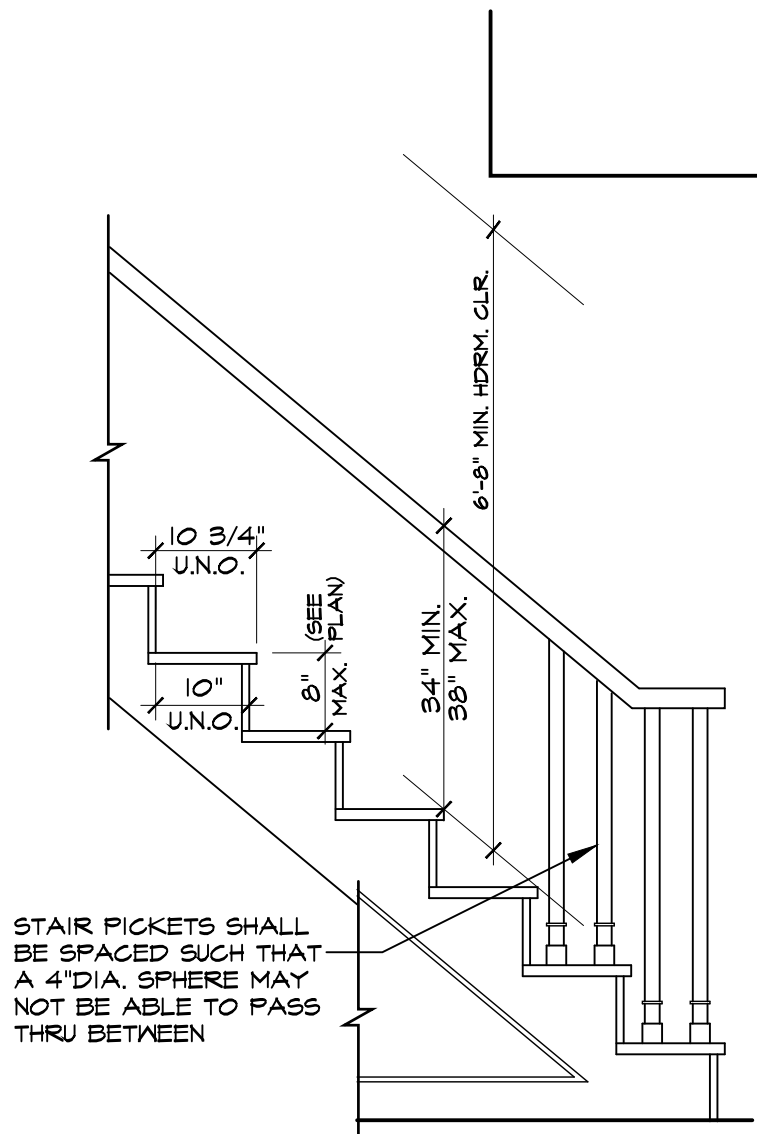
D1



1 TWO STORY WALL SECTION

SCALE: 3/4"=1'-0"

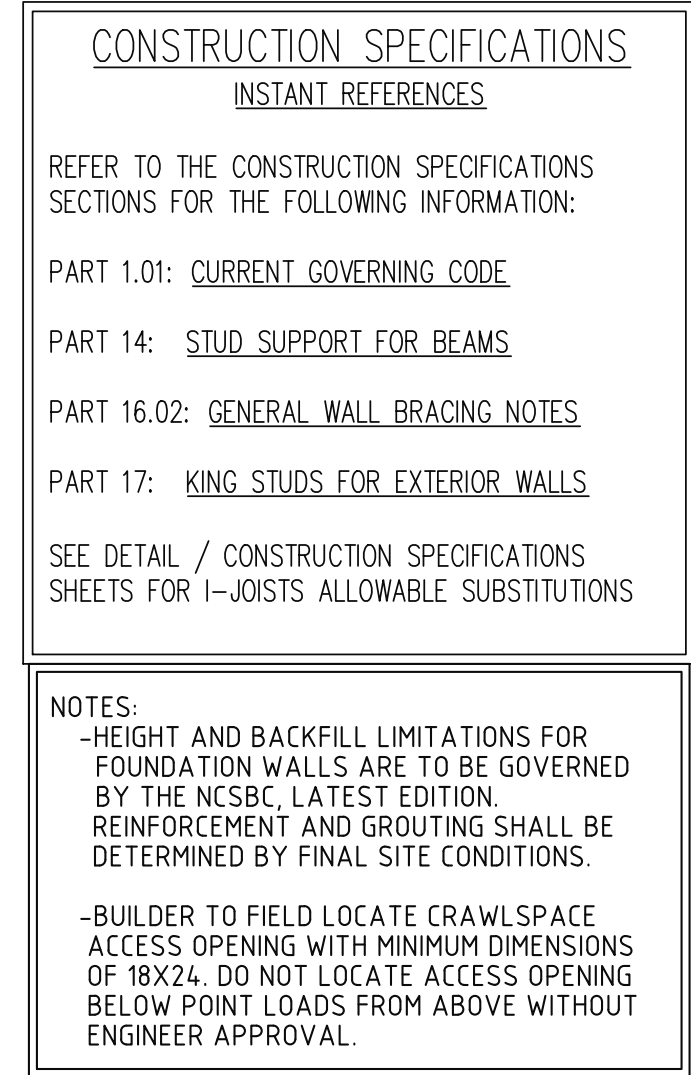
BLOCK STEM WALL



2 TYPICAL STAIR DETAIL

SCALE: 3/4"=1'-0"





<b>DELUDE RESIDENCE</b>			
<b>STRUCTURAL ADDENDUM</b>			
<b>SCOPE:</b>			
<b>LOC:</b>	18 SENTER HILLS	REV #	REF PROJ #
			DATE

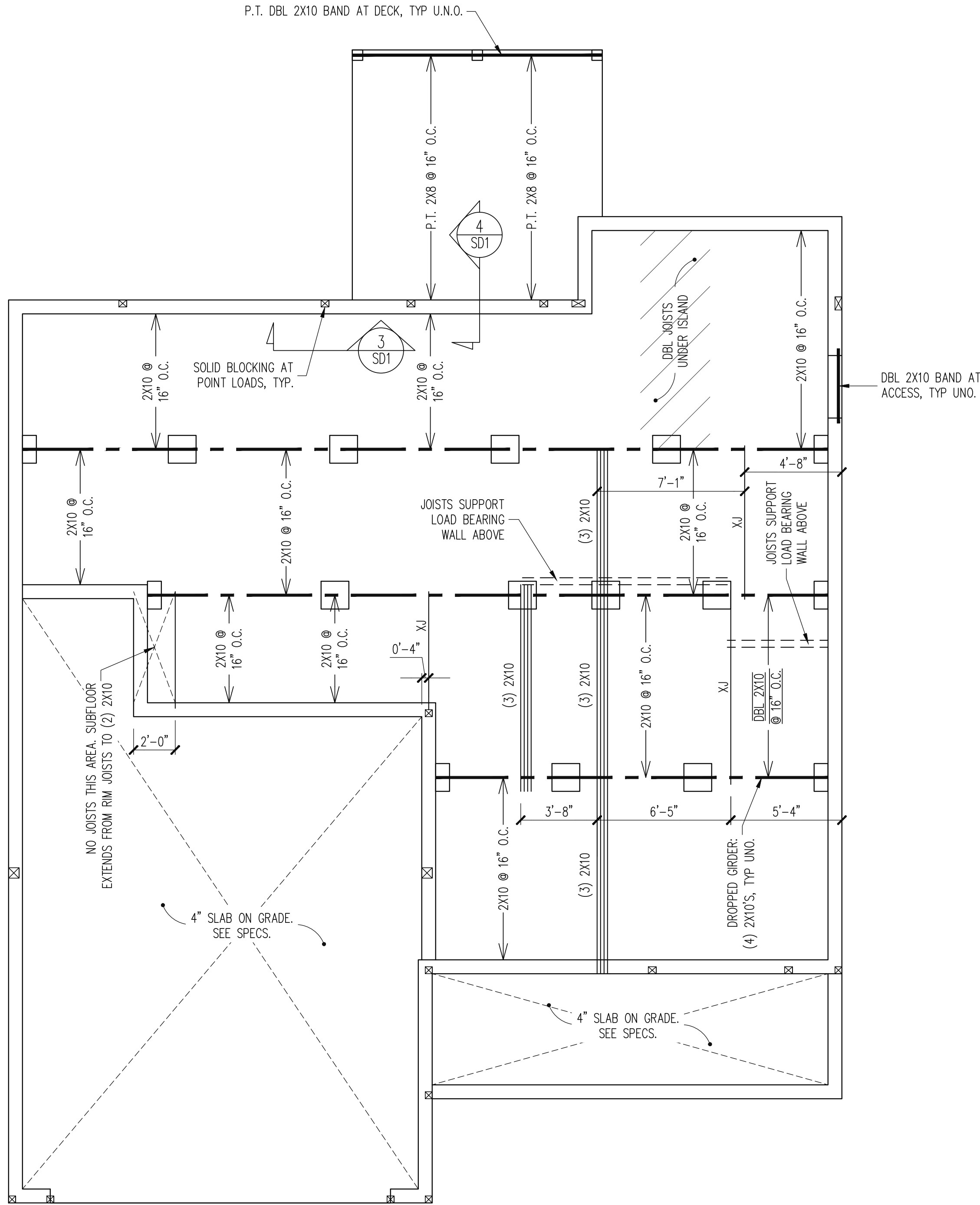
<b>ENG:</b> NBC/JKM	
<b>DATE:</b> 7/23/2024	

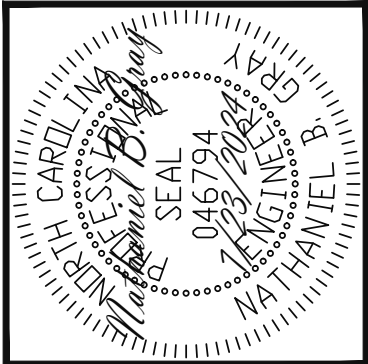
<b>PROJECT NO.</b>	
24-18-394	

<b>SHEET NO.</b>	
S1	
1 of 6	



CRAWLSPACE PLAN  
1/4" = 1'-0"



Engineering

STRUCTURAL ENGINEERS

License No. C-3870

318 W Millbrook Rd. Suite 201

Raleigh, North Carolina 27609

Phone (919) 844-1661

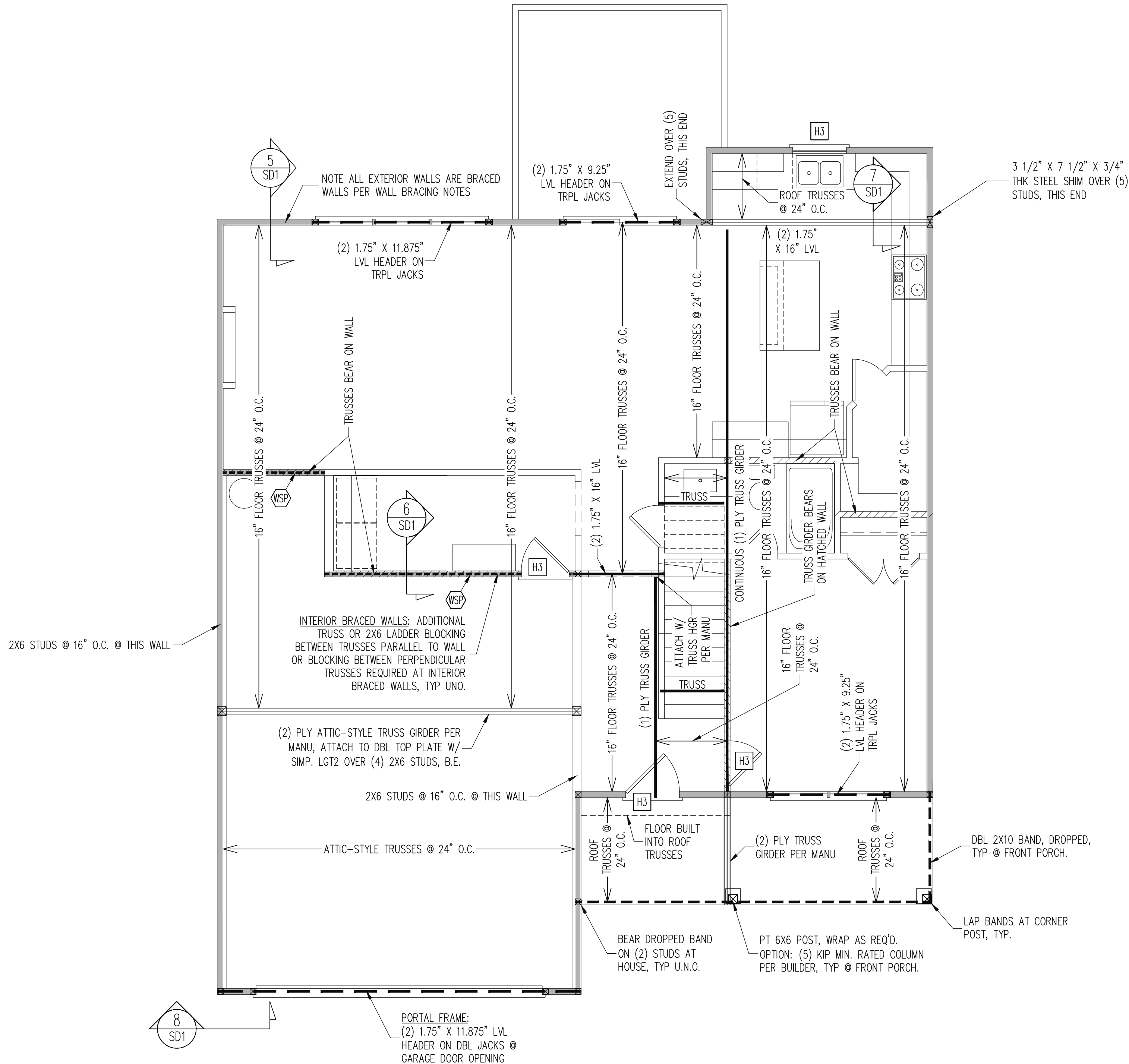
Associates, P.A.

DELUDE RESIDENCE			
STRUCTURAL ADDENDUM			
SCOPE:			
LOC:	18 SENTER HILLS	REV #	REF PROJ #
			DATE

ENG: NBG/JKM  
DATE: 7/23/2024

PROJECT NO.  
24-18-394

SHEET NO.  
S2  
2 of 6



### WALL BRACING

SHADED WALLS:

ALL EXTERIOR STUD WALLS, EXTERIOR SIDE, ARE TO BE CONTINUOUSLY SHEATHED WITH 7/16 APA RATED OSB NAILED TO STUDS WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN PANEL FIELD.

WSP - ONE SIDE OF INTERIOR WALL OR INSIDE OF EXTERIOR WALL WITH 3/8" MIN. THICKNESS WOOD STRUCTURAL PANELING. ATTACH WSP TO STUD WALL WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN PANEL FIELD.

NOTES:  
PROVIDED CONTINUOUS SHEATHING = 174' MIN.

REFERENCE PART 16.02 OF CONSTRUCTION SPECIFICATIONS FOR GENERAL WIND BRACING INFORMATION.

### HEADER SCHEDULE

H1	SINGLE 2X4 TURNED FLAT (A)
H2	(2) 2X4'S ON SINGLE JACKS (B)
H3	(2) 2X10'S ON SINGLE JACKS (C)
H4	(2) 1.75" X 9.25" LVL'S ON DBL JACKS
H5	(3) 2X10'S ON SINGLE JACKS

NOTES:  
-HEADERS IN NON LOAD BEARING INTERIOR WALLS ARE NOT LABELED.

CAROLINA  
NORTH  
SOUTH  
WEST  
EAST  
SEAL  
045794  
2/23/2024  
NATHANIEL B. CRAY  
REGISTERED PROFESSIONAL ENGINEER

STRUCTURAL ENGINEERS  
License No. C-3870  
318 W Millbrook Rd. Suite 201  
Raleigh, North Carolina 27609  
Phone (919) 844-1661

Engineering  
Associates, P.A.

DELUDE RESIDENCE

STRUCTURAL ADDENDUM

SCOPE:

LOC:

REV #

REF PROJ #

DATE

18 SENTER HILLS

ENG: NBG/JKM

DATE: 7/23/2024

PROJECT NO.

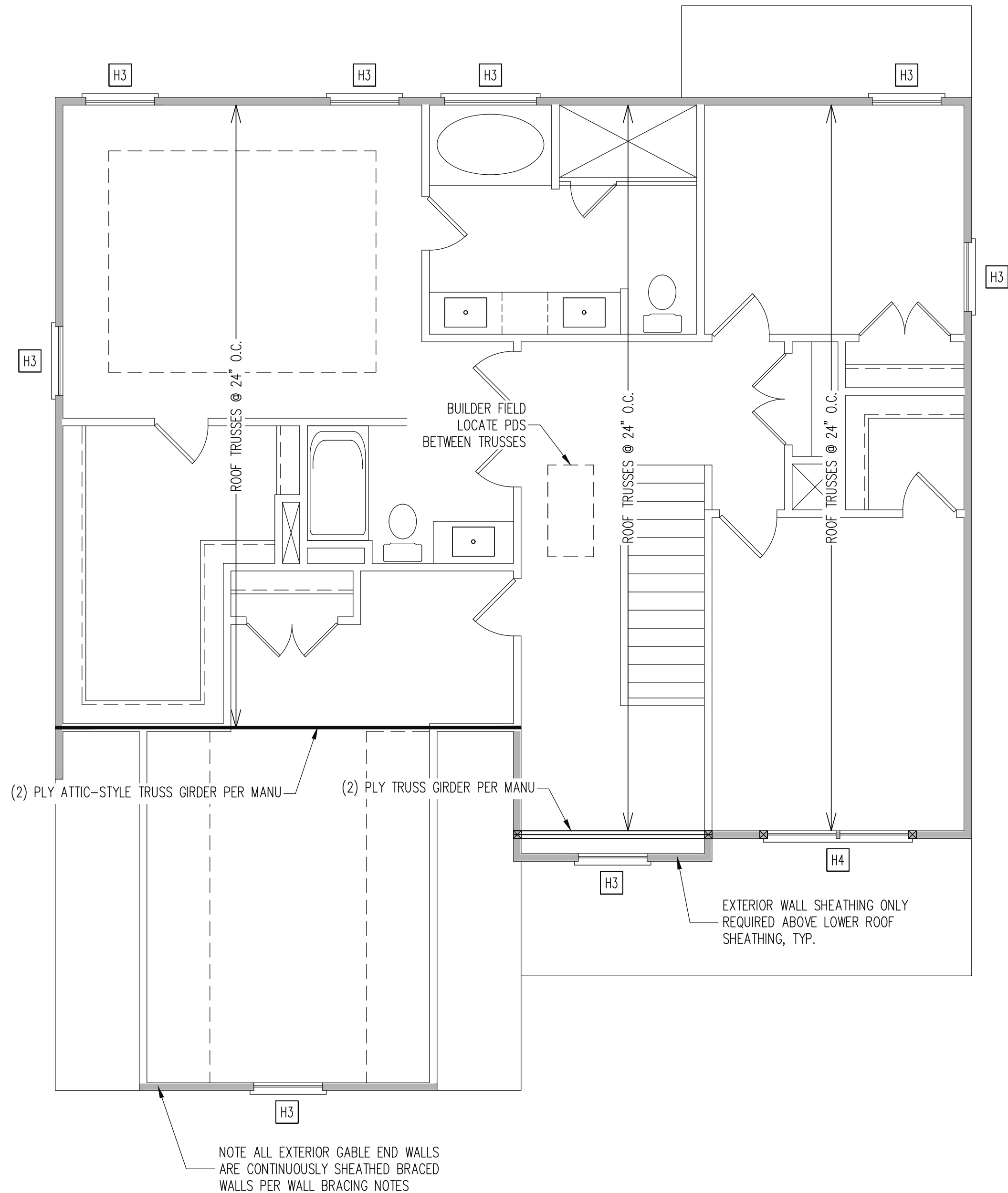
24-18-394

SHEET NO.

S3

3 of 6





### WALL BRACING

SHADED WALLS:

ALL EXTERIOR STUD WALLS, EXTERIOR SIDE, ARE TO BE CONTINUOUSLY SHEATHED WITH 7/16 APA RATED OSB NAILED TO STUDS WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN PANEL FIELD.

NOTES:  
PROVIDED CONTINUOUS SHEATHING = 142' MIN.

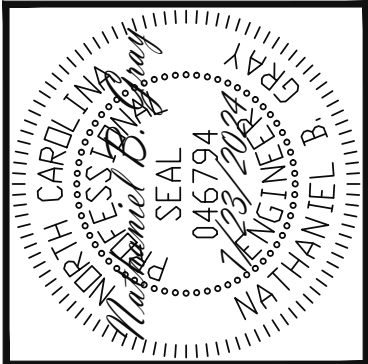
REFERENCE PART 16.02 OF CONSTRUCTION SPECIFICATIONS FOR GENERAL WIND BRACING INFORMATION.

### HEADER SCHEDULE

H1	SINGLE 2X4 TURNED FLAT (A)
H2	(2) 2X4'S ON SINGLE JACKS (B)
H3	(2) 2X10'S ON SINGLE JACKS (C)
H4	(2) 1.75" X 9.25" LVL'S ON DBL JACKS
H5	(3) 2X10'S ON SINGLE JACKS

NOTES:  
-HEADERS IN NON LOAD BEARING INTERIOR WALLS ARE NOT LABELED.

1ST FLOOR FRAMING PLAN  
WALLS AND CEILING 1/4" = 1'-0"



**Engineering**

**STRUCTURAL ENGINEERS**

License No. C-3870

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Raleigh, North Carolina 27609

Phone (919) 844-1661

**Assoc**

**ASSOCIATES, P.A.**

SCOPE:	DELUDE RESIDENCE		18 SENTER HILLS	
	STRUCTURAL ADDENDUM			
	REV #	REF PROJ #	DATE	

ENG: NBG/JKM

DATE: 7/23/2024

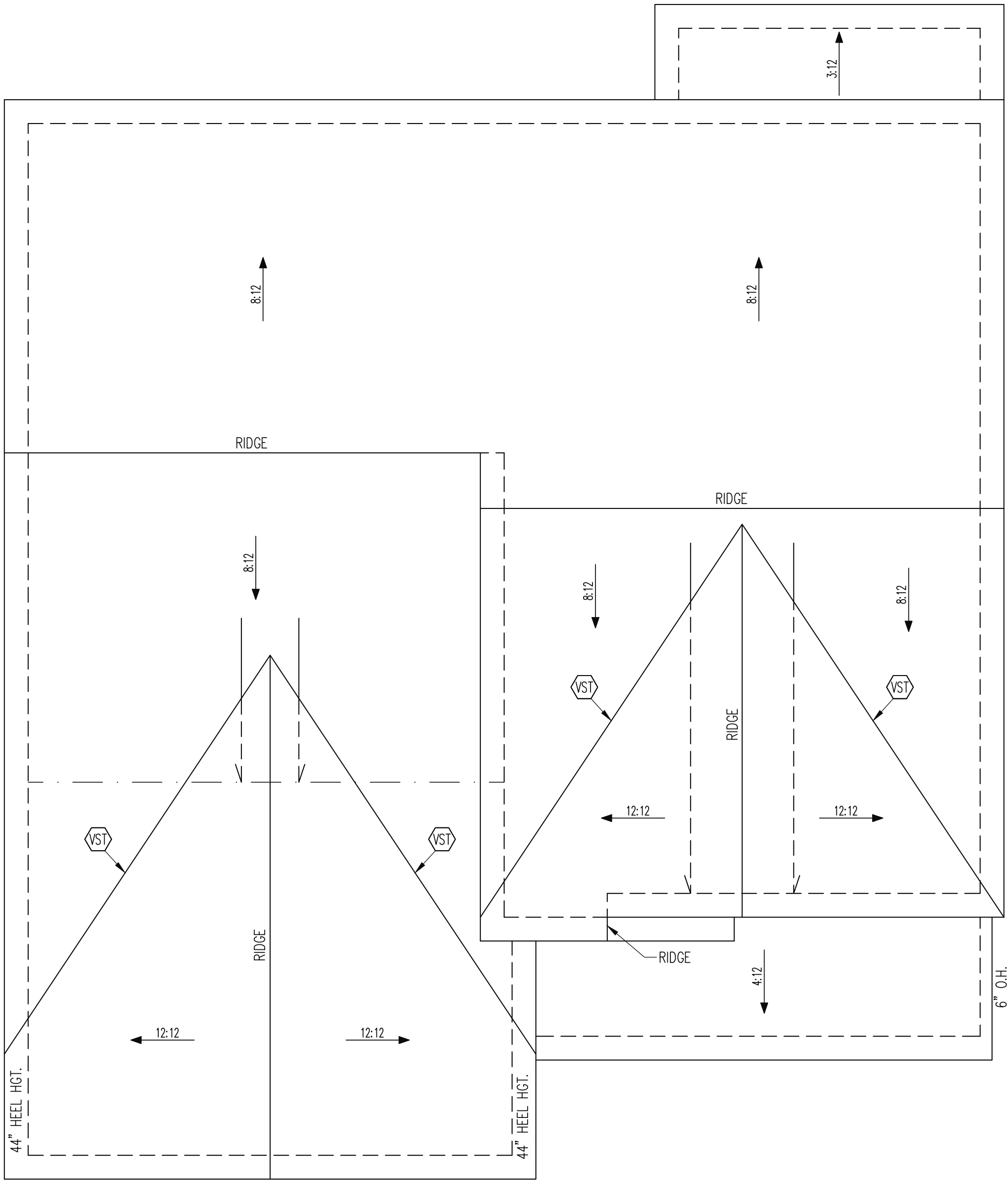
PROJECT NO.

24-18-394

SHEET NO.

S4

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### TRUSS UPLIFT CONNECTORS

EXPOSURE B, 120 MPH, ANY PITCH

24\"/>

TRUSSES SHALL BE ATTACHED TO SUPPORT WALL FOR UPLIFT RESISTANCE. CONTINUOUS OSB WALL SHEATHING BELOW PROVIDES CONTINUOUS UPLIFT RESISTANCE TO FOUNDATION. ALL TRUSSES SUPPORTED BY INTERMEDIATE SUPPORT WALLS, KNEEWALLS OR BEAMS SHALL BE ATTACHED TO SUPPORTING MEMBER PER SCHEDULE BELOW.

ROOF SPAN IS MEASURED HORIZONTALLY BETWEEN FURTHEST SUPPORT POINTS.

ROOF SPAN UP TO 18'	CONNECTOR NAILING PER TABLE 602.3(1) NCRBC 2018 EDITION
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OVER 18'	(1) SIMPSON H2.5A HURRICANE CLIP TO DBL TOP PLATE OR BEAM
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### FRAMING NOTES

ROOF ONLY

- ROOF TRUSSES PER MANU. TYPICAL U.N.O.
- VERIFY ALL HEEL HEIGHTS, ROOF PITCHES, AND ARCHITECTURAL OVERHANGS PRIOR TO CONSTRUCTION

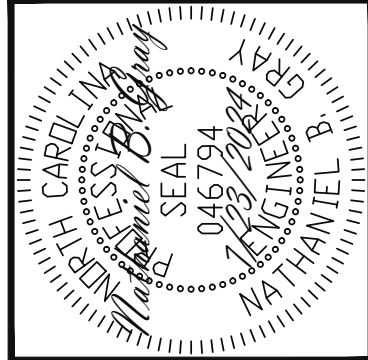
### FRAMING SCHEDULE

ROOF ONLY

VST VALLEY SET TRUSSES PER MANU

## ROOF FRAMING PLAN

1/4\"/>



**Engineering**  
**Lech**  
ASSOCIATES, P.A.

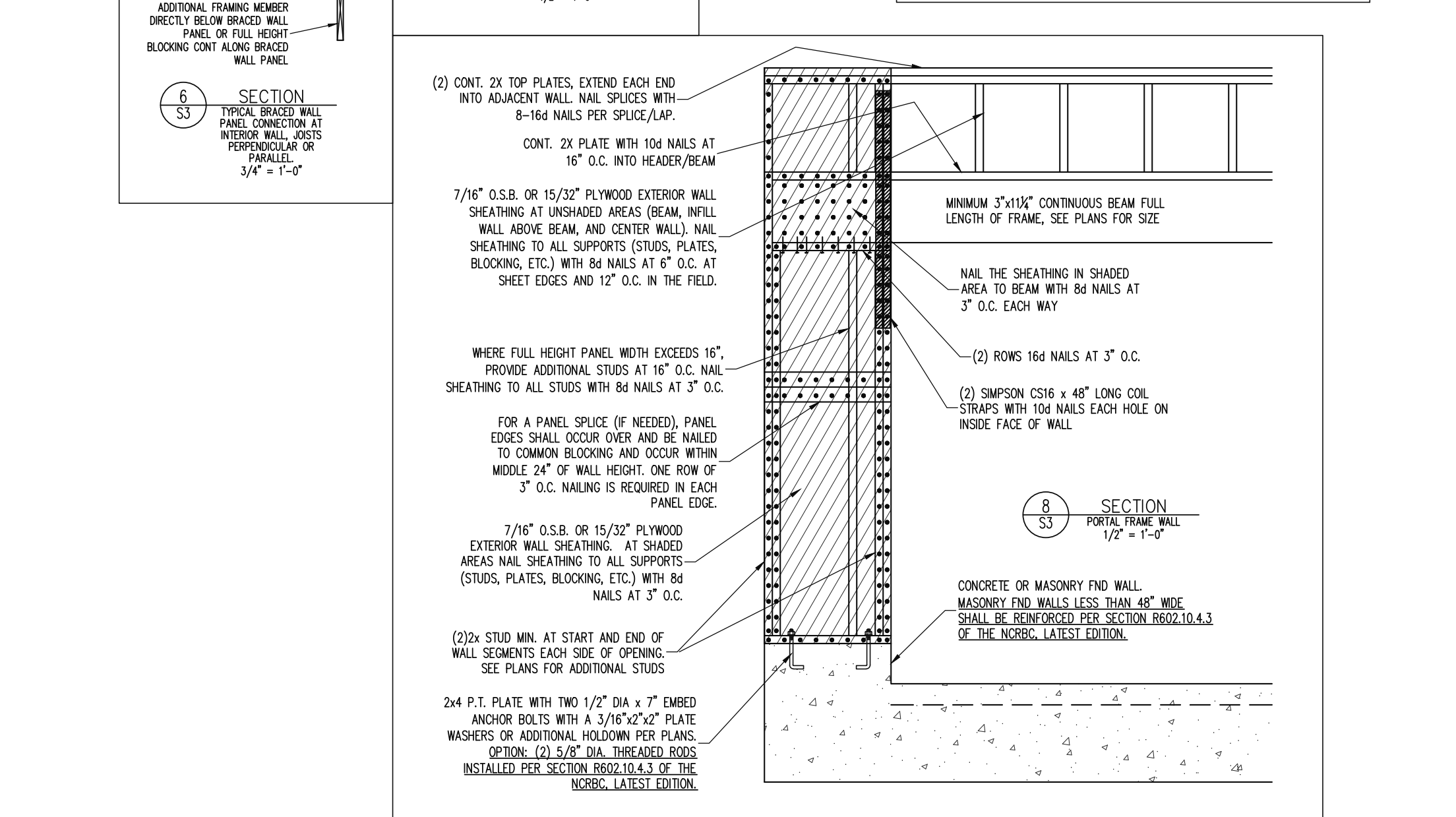
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DELUDE RESIDENCE		STRUCTURAL ADDENDUM	
SCOPE:	REV #	REF PROJ #	DATE
LOC:	18	SENTER HILLS	

ENG: NBG/JKM  
DATE: 7/23/2024

PROJECT NO.  
24-18-394

SHEET NO.  
S5  
5 of 6



NOTES

ABBREVIATIONS

THE BUILDER IS RESPONSIBLE FOR REVIEWING PLANS PRIOR TO CONSTRUCTION. THE BUILDER SHALL IMMEDIATELY CONTACT THE ENGINEER OF RECORD (EOR) BEFORE PROCEEDING IF THE FOLLOWING CONDITIONS ARE NOTED BEFORE OR DURING CONSTRUCTION:

- 1) THE WORKING PLANS DO NOT BEAR THE SEAL OF THE EOR
- 2) THE PLANS CONTAIN INCOMPATIBLE OR INCOMPLETE INFORMATION

ANY ERRORS DUE TO A FAILURE TO FOLLOW THE ABOVE PROCEDURES SHALL NOT BE THE RESPONSIBILITY OF THE EOR. FURTHERMORE, IT IS THE RESPONSIBILITY OF THE BUILDER TO ENSURE THAT ANY REVISIONS ISSUED BY THE EOR ARE PROMPTLY DISTRIBUTED TO THE SUBCONTRACTORS

THE EOR DOES NOT PERFORM PENETRATION OR VENTING CALCULATIONS OR ANY OTHER CALCULATIONS THAT ARE NOT DIRECTLY RELATED TO STRUCTURAL ENGINEERING.

ROOF AND FLOOR TRUSSES TO BE DESIGNED BY AN ENGINEER REGISTERED BY THE STATE. FINAL TRUSS DRAWING SHOULD BE SUBMITTED TO THE EOR FOR REVIEW

ABV ABOVE  
B. BOTH  
B.E. BETWEEN ENDS  
BTWN BETWEEN  
BP CAST IN PLACE  
CONC CONCRETE  
CS CONTINUOUS SHEARING  
DBA DIAMETER  
DBL DOUBLE  
DOJ DOUBLE JOIST  
DSP DRIP STUD POCKET  
EQ EQUAL  
EAC EACH  
FLG FLANGE  
FL PL FLUTCH PLATE  
FLR FLOOR

FND FOUNDATION  
FG FOOTING  
HSD HOT DIPPED GALVANIZED  
HVR HANGER  
LVL LAMINATED VENEER LUMBER  
NIS NOT TO SCALE  
O.C. ON CENTER  
PSL PARALLEL STRAND LUMBER  
PT PRESSURE TREATED  
QJ QUAD JOIST  
SJ SINGLE JOIST  
SQ SQUARE

T/J TRIPLE JOIST  
TYP TYPICAL  
TR TRUSS  
TSP TRIPLE STUD POCKET  
UNO UNLESS NOTED OTHERWISE  
XJ EXTRA JOIST

DECK SPECIFICATIONS

1. A DECK IS AN EXPOSED EXTERIOR WOOD FLOOR STRUCTURE WHICH MAY BE ATTACHED TO A STRUCTURE OR BE FREE STANDING. ROOFED PORCHES, OPEN OR SCREENED IN, MAY BE CONSTRUCTED USING THESE PROVISIONS.
2. SUPPORT POSTS SHALL BE SUPPORTED BY A FOOTING.
3. WHEN ATTACHED TO A STRUCTURE, THE STRUCTURE TO WHICH ATTACHED SHALL HAVE A TREATED WOOD BAND FOR THE LENGTH OF THE DECK, OR CORROSION RESISTANT FLASHING SHALL BE USED TO PREVENT MOISTURE FROM COMING IN CONTACT WITH THE UNREATED FRAMING OF THE STRUCTURE. THE DECK BAND AND THE STRUCTURE BAND SHALL BE CONSTRUCTED IN CONTACT WITH EACH OTHER EXCEPT AT BROOK VENEER AND WHERE PLYWOOD SHEATHING IS REQUIRED AND PROPERLY FLASHED. SINGING SHALL NOT BE CONSTRUCTED BETWEEN THE STRUCTURE AND THE DECK BAND. IF ATTACHED TO A BROOK STRUCTURE, NEITHER FLASHING NOR A TREATED BAND FOR THE BROOK STRUCTURE IS REQUIRED. IN ADDITION, THE TREATED DECK BAND SHALL BE CONSTRUCTED IN CONTACT WITH THE BROOK
4. WHEN THE DECK IS SUPPORTED AT THE STRUCTURE BY ATTACHING THE DECK TO THE STRUCTURE, THE FOLLOWING ATTACHMENT SCHEDULES SHALL APPLY FOR ATTACHING THE DECK BAND TO THE STRUCTURE:

	JOIST LENGTH	
	UP TO 8' MAX.	UP TO 16' MAX.
REQUIRED FASTENERS	ONE- 5/8" $\Phi$ BOLT @ 42" O.C. AND (2) ROWS OF 12d NAILS @ 8" O.C. OR TWO ROWS OF SIMPSON CSH24X400B $\Phi$ d = 3/2" O.C. STAGGERED	ONE- 5/8" $\Phi$ BOLT @ 20" O.C. AND (3) ROWS OF 12d NAILS @ 6" O.C. OR TWO ROWS OF SIMPSON CSH24X400B $\Phi$ d = 16" O.C. STAGGERED

	JOIST LENGTH	
	UP TO 8' MAX.	UP TO 16' MAX.
REQUIRED FASTENERS	ONE- 5/8" $\Phi$ BOLT @ 28" O.C.	ONE- 5/8" $\Phi$ BOLT @ 16" O.C.

5. IF THE DECK BAND IS SUPPORTED BY A 1/2" MINIMUM MASONRY LEDGE ALONG THE FOUNDATION WALL, 5/8" BOLTS SPACED @ 48" O.C. MAY BE USED FOR SUPPORT.
6. OTHER MEANS OF SUPPORT, SUCH AS JOIST HANGERS, MAY BE USED TO CONNECT DECK JOISTS TO A TREATED STRUCTURE BAND
7. GROERS SHALL BEAR DIRECTLY ON POSTS OR BE CONNECTED TO THE SIDES OF POSTS WITH 2- 5/8"  $\Phi$  BOLTS
8. FLOOR DECKING SHALL BE NO. 2 GRADE TREATED SOUTHERN PINE OR EQUIVALENT. THE MINIMUM FLOOR DECKING THICKNESS SHALL BE AS FOLLOWS:

JOIST SIZE	DECKING
12" O.C.	1" S4S
16" O.C.	1" T&G
24" O.C.	2" S4S
32" O.C.	2" S4S

9. MAXIMUM HEIGHT OF DECK SUPPORT POSTS IS AS FOLLOWS:

POST SIZE	MAX POST HEIGHT
4X4	8'
ENGINEERED	20' +

NOTES: 1) THIS TABLE IS BASED ON NO. 2 TREATED SOUTHERN PINE POSTS.  
2) THIS TABLE IS BASED ON A MAXIMUM TRIBUTARY AREA OF 128 SQ. FT.  
3) POST HEIGHT IS FROM TOP OF FOOTING TO BOTTOM OF ORDER.

10. DECKS SHALL BE BRACED TO PROVIDE LATERAL STABILITY BY ONE OF THE FOLLOWING METHODS:
  - A. WHEN THE DECK FLOOR HEIGHT IS LESS THAN 4'-0" AND THE DECK IS ATTACHED TO THE STRUCTURE IN ACCORDANCE WITH SECTION 4, LATERAL BRACING IS NOT REQUIRED.
  - B. 4X4 WOOD KNEE BRACES MAY BE PROVIDED ON EACH COLUMN IN BOTH DIRECTIONS. THE KNEE BRACES SHALL ATTACH TO EACH POST AT A POINT NOT LESS THAN 1/3 OF THE POST LENGTH FROM THE TOP OF THE POST, AND THE BRACES SHALL BE ANGLED BETWEEN 45° AND 60° FROM THE HORIZONTAL. KNEE BRACES SHALL BE ATTACHED AT THE ENDS TO THE ORDER AND THE POST WITH ONE - 5/8"  $\Phi$  BOLT
  - C. FOR FREE STANDING DECKS WITHOUT KNEE BRACES OR DIAGONAL BRACING, LATERAL STABILITY MAY BE PROVIDED BY EMBEDDING THE POSTS IN CONCRETE IN ACCORDANCE WITH THE FOLLOWING:

POST SIZE	TRIBUT. AREA	POST HEIGHT	EMB. DEPTH	CONC. DIA.
4X4	48 SQ. FT.	4'-0"	2'-6"	1'-0"
6X6	120 SQ. FT.	6'-0"	3'-6"	1'-8"
11. DISE DIAGONAL VERTICAL CROSS BRACING SHALL BE PROVIDED IN TWO PERPENDICULAR DIRECTIONS FOR FREE STANDING DECKS OR PARALLEL TO THE STRUCTURE AT THE EXTERIOR COLUMN LINE FOR ATTACHED DECKS. THE BRACES SHALL BE ATTACHED TO THE POSTS WITH ONE - 5/8"  $\Phi$  BOLT AT EACH END OF THE BRACE.

