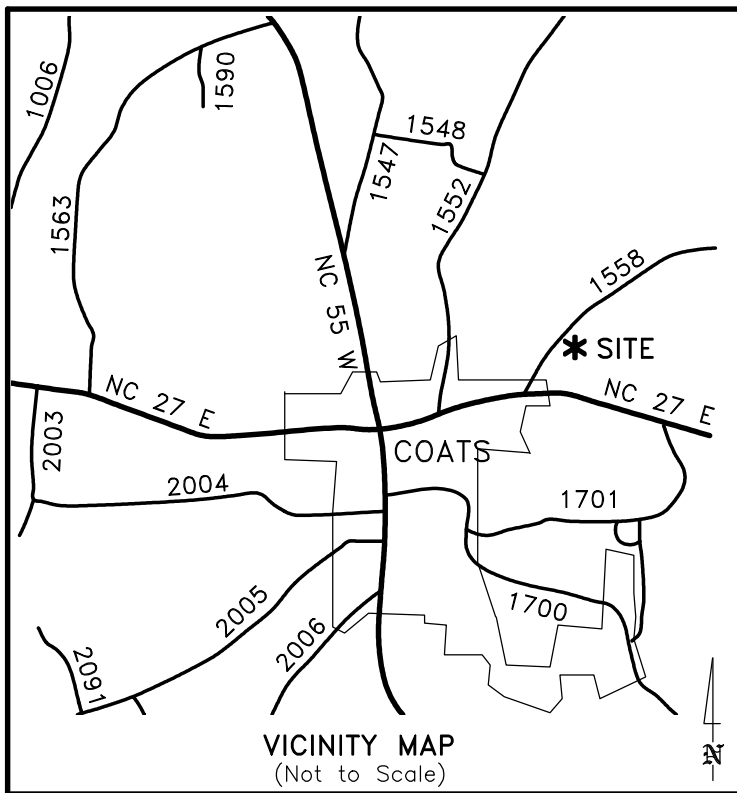




SYMBOLS & ABBREVIATIONS:

- EIP/EIS... Existing Iron Pipe or Stake
- ERB..... Existing ReBar Stake
- ERRS.... Existing Rail Road Spike
- EPK..... Existing Parker-Kaylon Nail
- EMN..... Existing Magnetic Nail
- ECS..... Existing Cotton Picker Spindle
- ☒ ECM..... Existing Concrete Monument
- AG/BG..... Above/Below Ground Surface
- △ CP..... Calculated Point (not set)
- ⊙ CNTRL..... Control Point - Grid Coordinates
- ISS..... Iron Stake Set (#4 rebar)
- MNS..... Magnetic Nail Set
- ⊙ CSS..... Cotton Spindle Set
- ⬮ FH..... Fire Hydrant
- ⊙ PP..... Power Pole
- OHE..... Overhead Electric Lines
- └..... Land Hook (Property combined)
- C/L..... Centerline of Road or Easement
- R/W..... Right-of-Way
- D.B..... Deed Book
- P.B/P.C..... Plat Book / Plat Cabinet
- M.B..... Map Book
- NC_PIN..... Parcel Identifier Number
- Ac..... Acres (Area of property)
- SF..... Square Feet
- [123]..... House Address

SURVEY NOTES:

- Iron Stakes (1/2" Re-bar) set at all new property corners unless labeled otherwise.
- Magnetic Nails set at all points in paved road surfaces, unless otherwise indicated.
- Areas determined by coordinate method.
- All distances & dimensions are horizontal ground distances unless otherwise indicated.
- No NC Geodetic Survey monuments or other such control monuments were found within 2,000 feet of the subject property unless otherwise shown hereon.
- This survey is based upon the references shown as taken from County GIS records. No title search was provided for this survey. A complete title search by a licensed attorney may reveal other easements, restrictions, and title issues not made available to the surveyor.
- No underground utilities were marked by providers prior to this survey. Call NC 811 prior to any excavation to locate any underground utilities.
- Wetlands, soil conditions, or other environmental features were not delineated for this survey.

LEGEND:

- Subject Lot Boundary Line
- - - Adjoining Boundary Line
- - - R/W Right-of-Way Line
- - - C/L Centerline
- - - MBS...Minimum Building Setback
- - - OHE...Overhead Electric Line
- ▲ CP Calculated Point

Town of Coats
Minimum Building
Setback Requirements
Zoned: SFR-1

Primary Structures
FRONT: 42' from R/W
REAR: 16'
SIDE: 16'
CORNER LOT SIDE: 24'

Accessory Structures
FRONT: 82' from R/W
REAR: 5'
SIDE: 5'
CORNER LOT SIDE: 25.5'

FEMA FLOOD HAZARD STATEMENT
The subject property shown on this plot is located within the FEMA "Zone X" (Minimal Flood Risk) Area as shown on FIRM Number: 372160000K Effective date: 10/3/2006

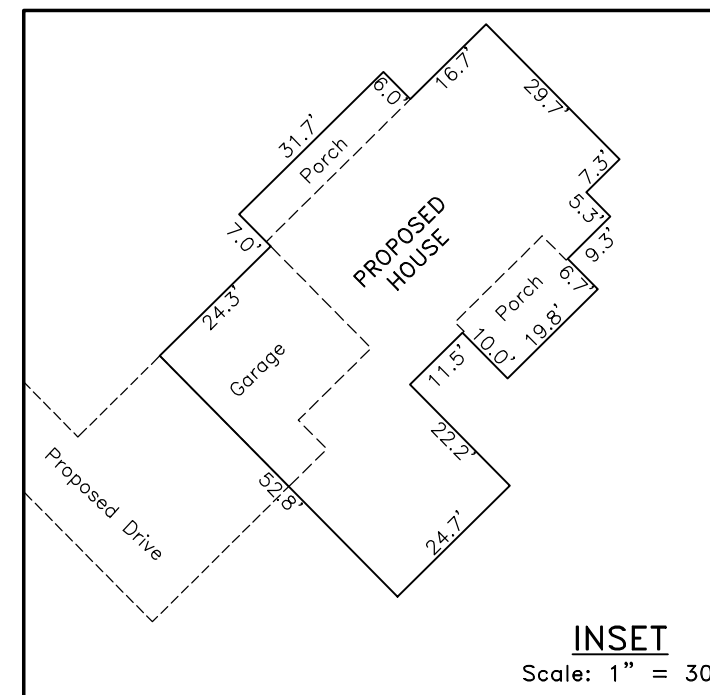
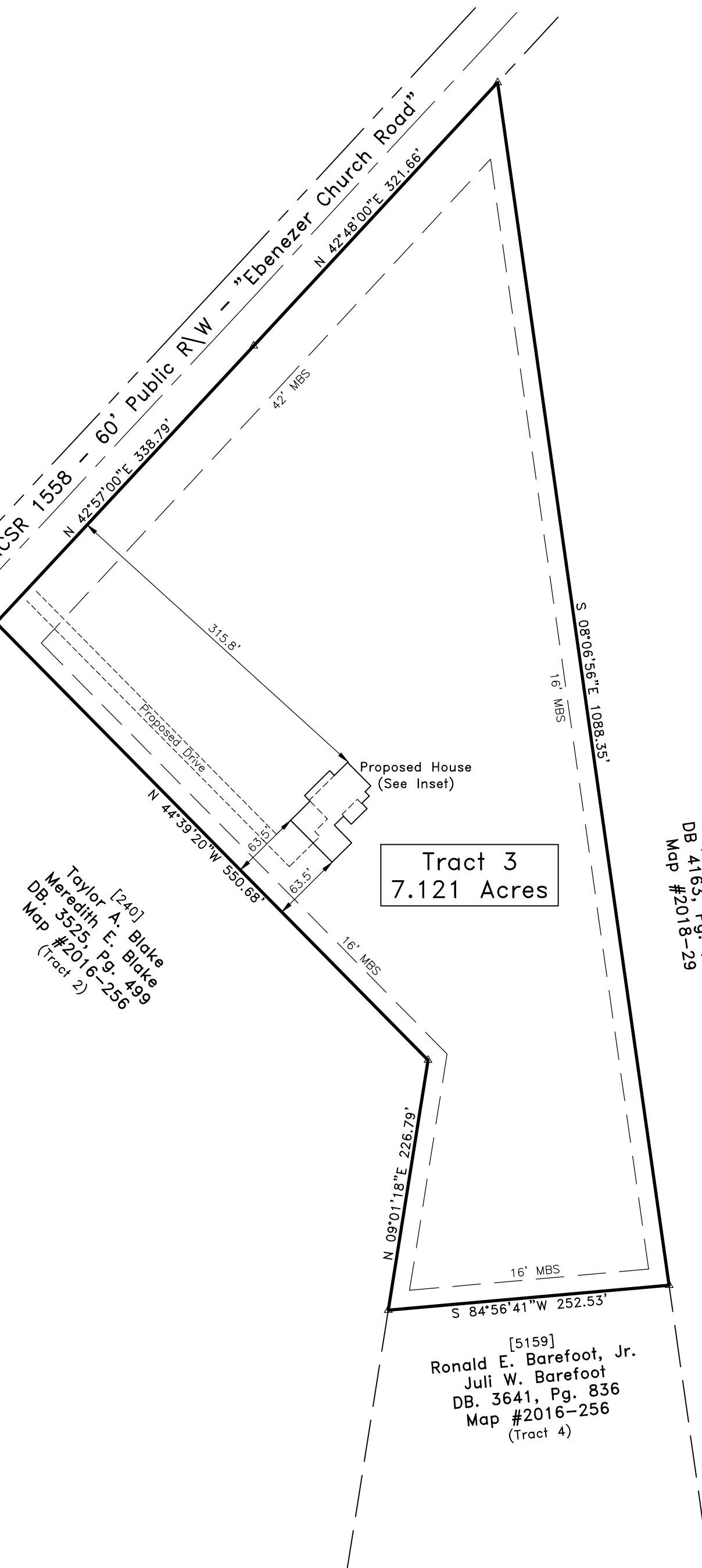
~PRELIMINARY PLOT PLAN~

- Not an actual survey -

This plan represents proposed improvements to a lot of record. This plan is subject to review and approval by County Planning and Inspections Departments.

References:

-Deed Book 3455, Pg. 512
-Map #2016-256



"PLOT PLAN FOR"
IHSAN BRANDON SHWAIKEH
& LINDSAY SHWAIKEH

CARE OF: STS CONSTRUCTION

~ Ebenezer Church Rd., Coats ~

GROVE TOWNSHIP - HARNETT COUNTY - NORTH CAROLINA

ZONED: Town of Coats SFR-1

PIN 1600-27-3108.000
PID: 071600 0262 03

STREAMLINE LAND SURVEYING, Inc.

NC FIRM C-1898

870 NC 55 W, Coats, N.C. 27521

Phone: 910-897-7715

DATE: 1/23/2025

SCALE: 1" = 100'

SURVEYED BY: N/A

DRAWN BY: MGG

FILE: DATA\1600\250123SH.dwg (PlotPlan)