

LIST OF SYMBOLS			
SECTION SHEET	SECTION MARK	SLOPE UP PITCH	
SECTION SHEET	DETAIL MARK	EARTH	
TITLE SCALE	TITLE MARK	INSULATION	
INTERIOR BEARING WALL	STANDARD WALL		
JACK STUDS UNDER HEADER	KING STUDS TO EQUAL # JACKS		

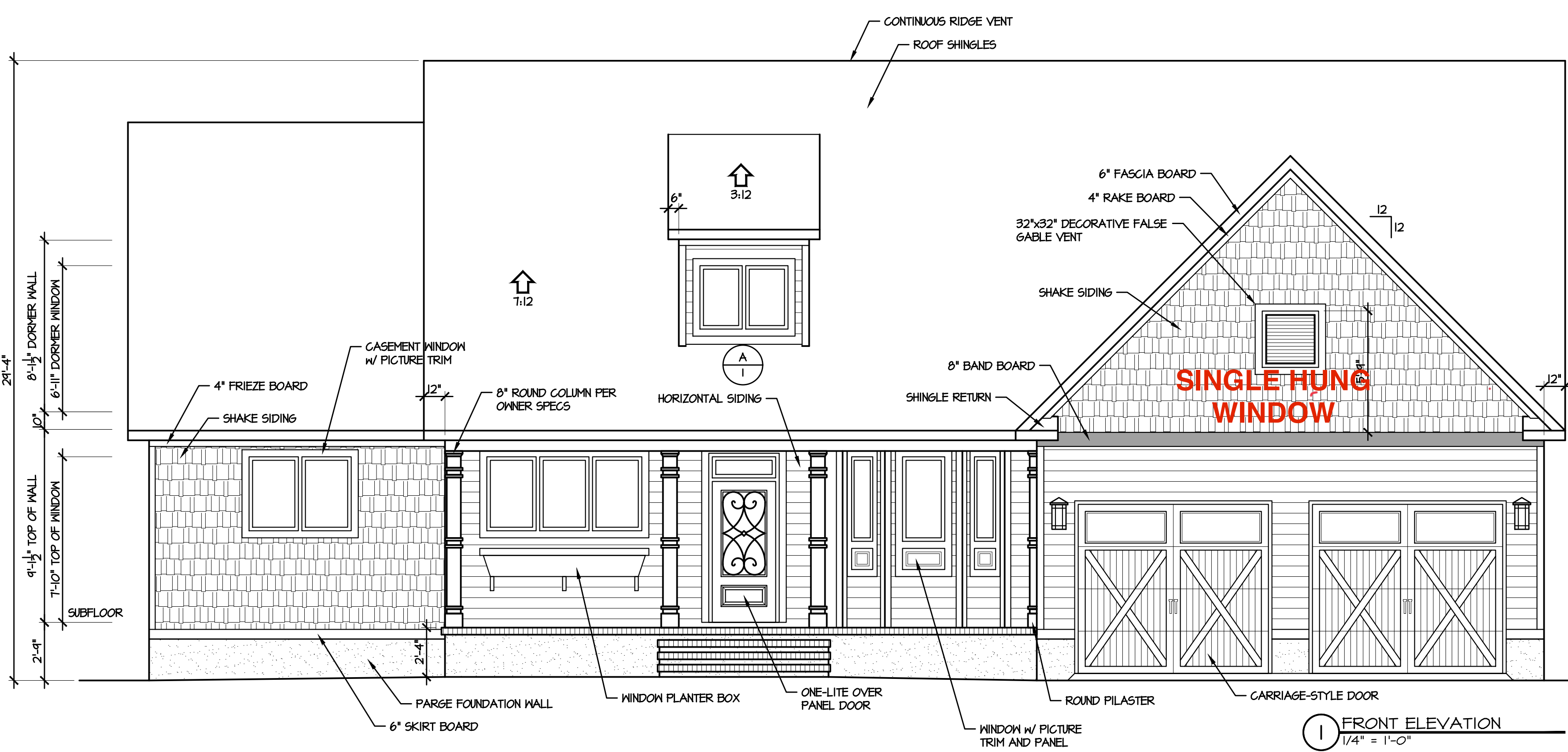
LIST OF ABBREVIATIONS					
ACCESS	ACCESS TO ATTIC OR CRAWL SPACE	DN	DISH WASHER	PCKT	POCKET DOOR
AFF	ABOVE FLOOR	EQ	EQUAL	PERF	PERFORATED
ASL	ABOVE SEA LEVEL	FDN	FOUNDATION	PL	PLATE
BD	BOARD	FV	FOUNDATION VENT	PL	PRESSURE TREATED FOR EXPOSURE
BDRM	BEDROOM	GL	GLASS (DOOR)	PL	POINT LOAD (SOLID BLOCK)
BM	BEAM	HB	HOSE BIB	R45	ROOF & SHELF (CLOSETS)
CAB	CABINETS / CABINETS	HDR	DOOR / WINDOW / OPENING HEADER	REF	REFRIGERATOR
CJ	CONTROL JOINT	HJ	MATER/ELECTRICAL HOOK UPS	REINF	REINFORCEMENT
CL	CENTERLINE	HVAC	HEATING, VENTING & AIR CONDITION	RM	ROOM
CMU	CONCRETE MASONRY UNIT	KWALL	KNEEWALL	SEG	SEGMENTED
CO	CLEAR OPENING	LVL	LAMINATED VENEER LUMBER	SHWR	SHOWER
COL	COLUMN	MNF	MANUFACTURED	SILV(S)	SHELVES(S)
CONC	CONCRETE	MAS	MASONRY	SPEC(D)	SPECIFICATION / SPECIFIED
CSMT	CASEMENT	NIC	NOT IN CONTRACT	SQ	SQUARE
DBL	DOUBLE	OC	ON CENTER	ST	SUN TUBE
DIAM	DIAMETER	OH	OVERHANG	SST	SIMPSON STRONG-TIE OR EQUAL
DJ	DOUBLE JOIST	OPNG	OPENING	SUBFLR	SUB-FLOOR
DN	DOWN	OPT	OPTIONAL	SYF	SOUTHERN YELLOW PINE
DP	DEEP				

SUMMARY	
PROJECT INFO	LOT 15 CLEARWATER LAKES, JOHNSVILLE TOWNSHIP
NAME OF PROJECT:	289 BRET ROAD, CAMERON, NC 28326
PROPOSED USE:	RESIDENTIAL
CONTACT:	CAVINESS & GATES
CODE COMPLIANCE:	2024 NC STATE RESIDENTIAL BUILDING CODE
MUNICIPALITY:	414 HARNETT COUNTY
GAS COMMUNITY: YES/NO	TODD TUCKER, AIBD, CPBD
DESIGNER:	
SPACE DATA:	
FIRST FLOOR, HEATED:	2346 SF
FRONT PORCH:	218 SF
REAR PORCH:	544 SF
GARAGE:	512 SF
TOTAL UNDER ROOF:	3730 SF
OVERALL BUILDING HEIGHT:	21'-3" WITH SLAB FOUNDATION
NUMBER OF FLOOR:	ONE STORY w/ ATTIC STORAGE
DESIGN LOADS	
ROOF LOADS:	20 PSF LIVE, 20 PSF DEAD
ATTIC LOADS:	20 PSF LIVE, WHERE INDICATED (SEE TRUSS DWGS)
FIRST FLOOR:	40 PSF LIVE, 10 PSF DEAD
UPPER FLOORS:	30 PSF LIVE, 15 PSF DEAD
WIND LOAD:	FOR ASCE 7-10, RISK CATEGORY II, EXPOSURE 'B', 120 mph
ALL GARAGE PORTAL WALLS TO BE FRAMED WITH 2x6 STUDS	

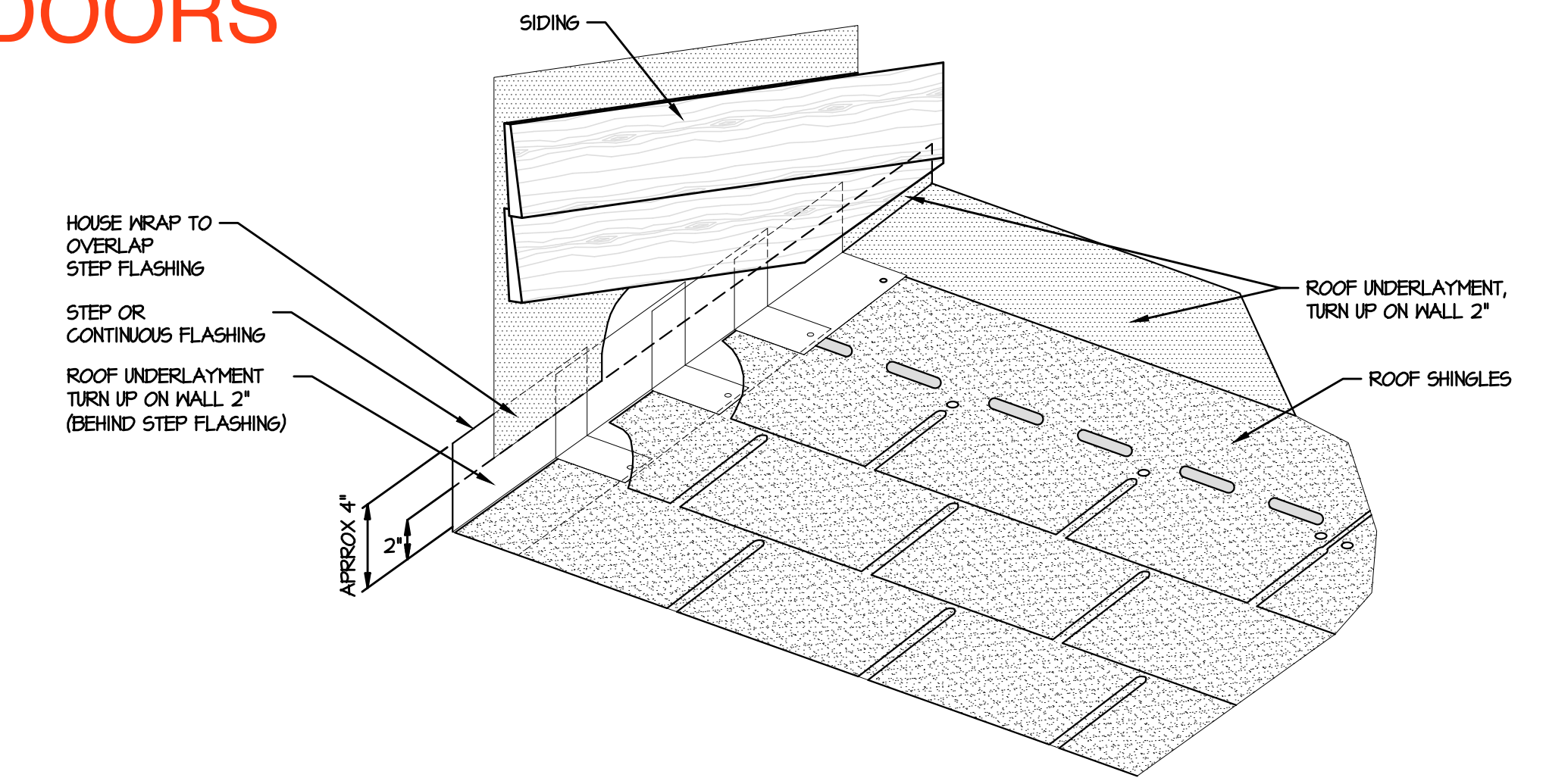
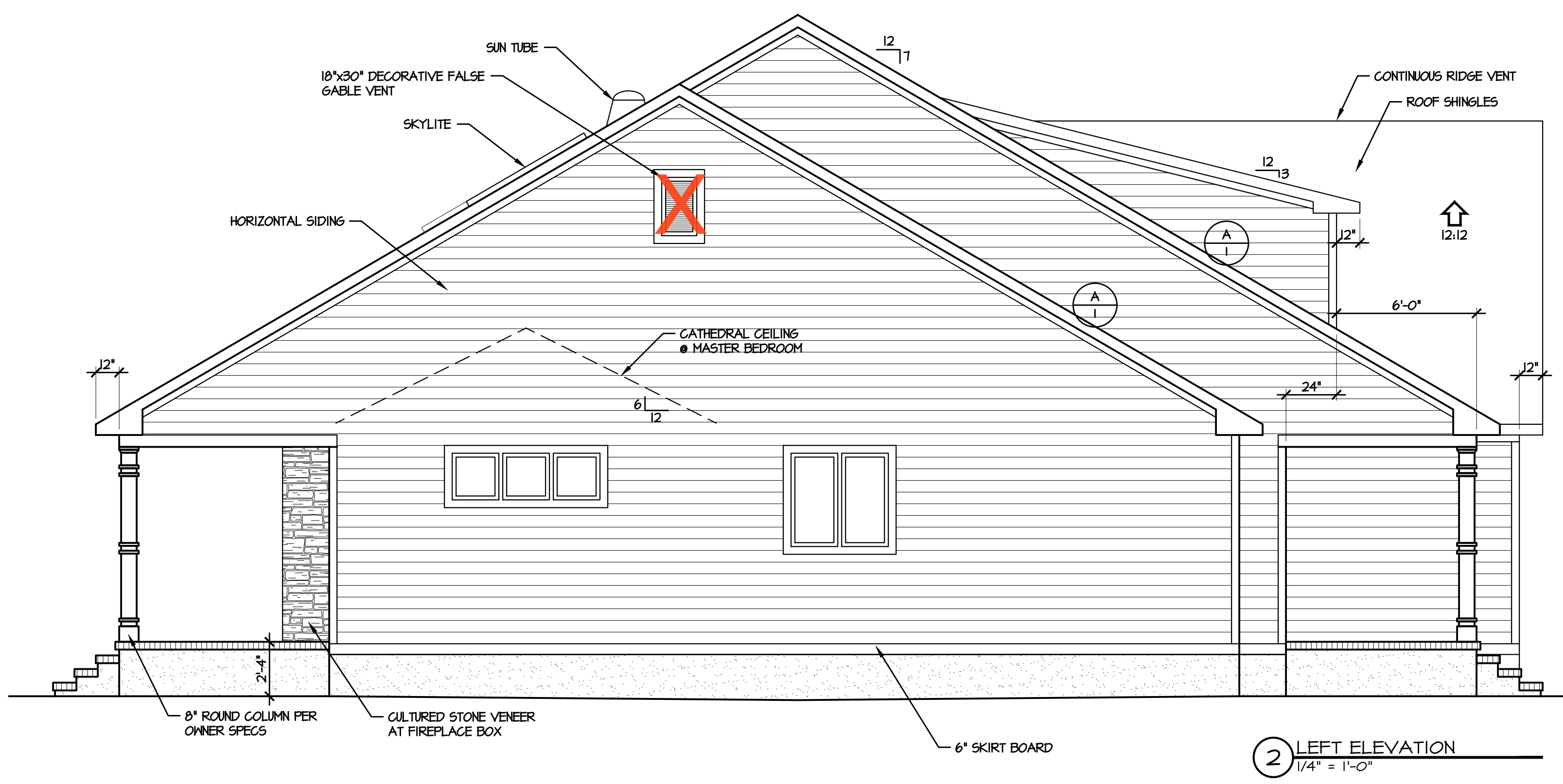
ATTIC VENT CALCULATIONS R306	
ATTIC AREA:	1330 SF.
RIDGE VENTS:	74 L.F. / 10 S.F. (67%)
SOFFIT VENTS:	88 L.F. / 5 S.F. (33%)
RATIO:	$\frac{15}{1330} = \frac{1}{90}$
* CALCS BASED ON VENT FREE AREA OF 18 S.I. FOR RIDGE & 9 S.I. FOR SOFFIT (PLF)	

ENERGY COMPLIANCE (CHAPTER ELEVEN)	
CLIMATE ZONE:	4A HARNETT COUNTY
CHAPTER II ENERGY EFFICIENCY COMPLIANCE (CHECK ONE)	
<input checked="" type="checkbox"/> PRESCRIPTIVE CODE	
<input type="checkbox"/> PERFORMANCE	
CEILING INSULATION:	R38
WALL INSULATION:	R15
FLOOR INSULATION:	(CLOSED CRAWL SPACE)

FOUNDATION NOTES	
1.	CRAWL SPACE GRADE MINIMUM 12" BELOW GIRDER / 18" BELOW JOISTS
2.	DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS LONGER THAN 60"
3.	FIELD-LOCATE CRAWL SPACE ACCESS, SIZED PER CODE
4.	CLOSED CONDITIONED CRAWL SPACE PER SECTION R409



8 FOOT TALL GARAGE DOORS



NOTICE TO CONTRACTOR
All construction must comply with current NC Building Codes and is subject to field inspection and verification.

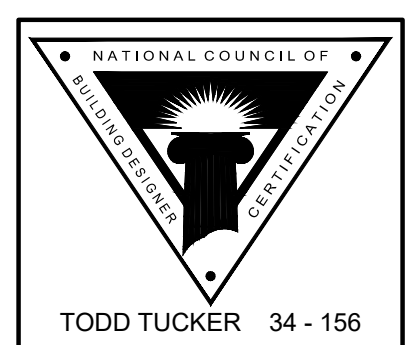
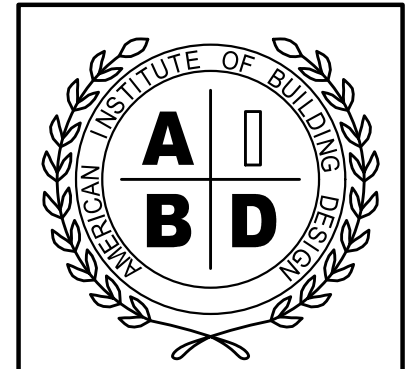
APPROVED
Limited building only review
Permit holder responsible for full compliance with the code

02/03/2025

Bohannon

Harnett COUNTY
NORTH CAROLINA

ROOF-TO-WALL FLASHING DETAIL-NRCA
NOT TO SCALE (FOR ALL ROOF/WALL TRANSITIONS)



TODD TUCKER 34-156

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289 BRET ROAD RESIDENCE
CAMERON, HARNETT COUNTY, NORTH CAROLINA

SHEET TITLE:
ELEVATIONS / BUILDING DATA

PLAN NO:
KOENII24

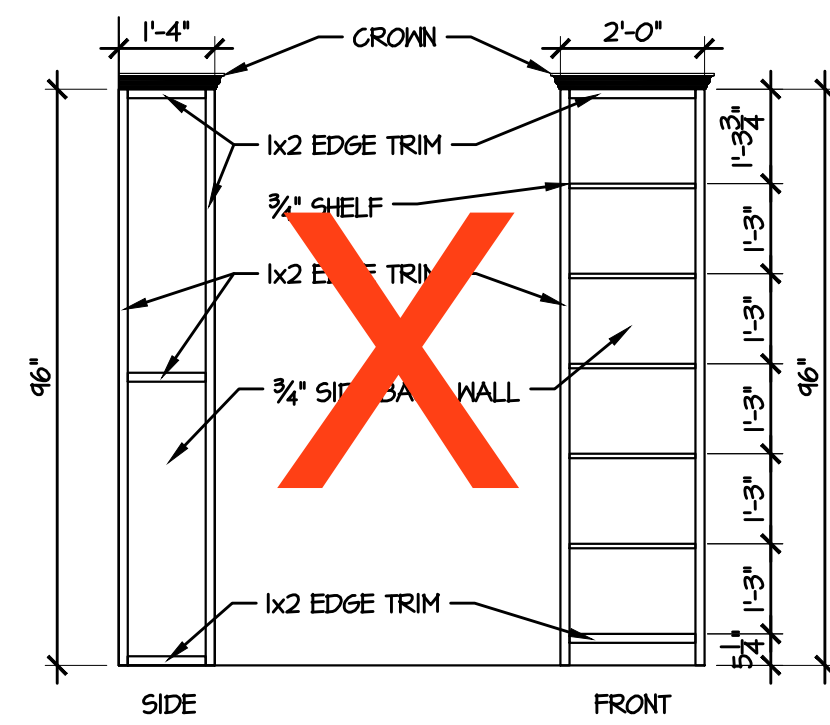
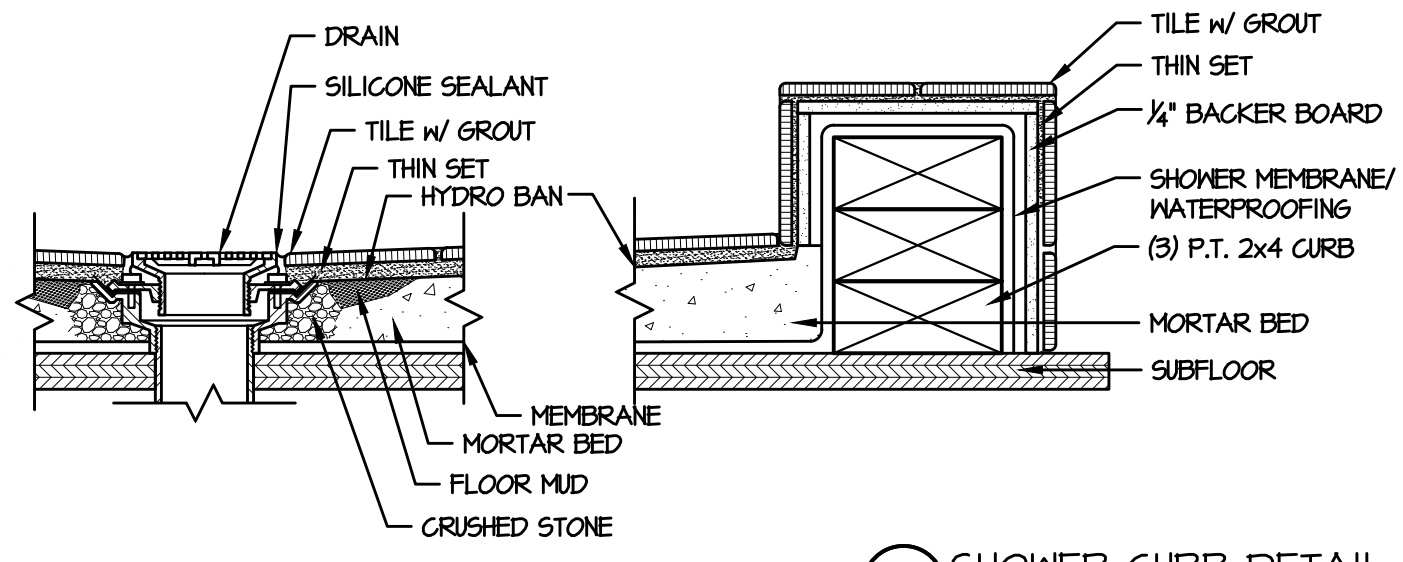
DATE:
NOVEMBER 2024

REVISION DATE:

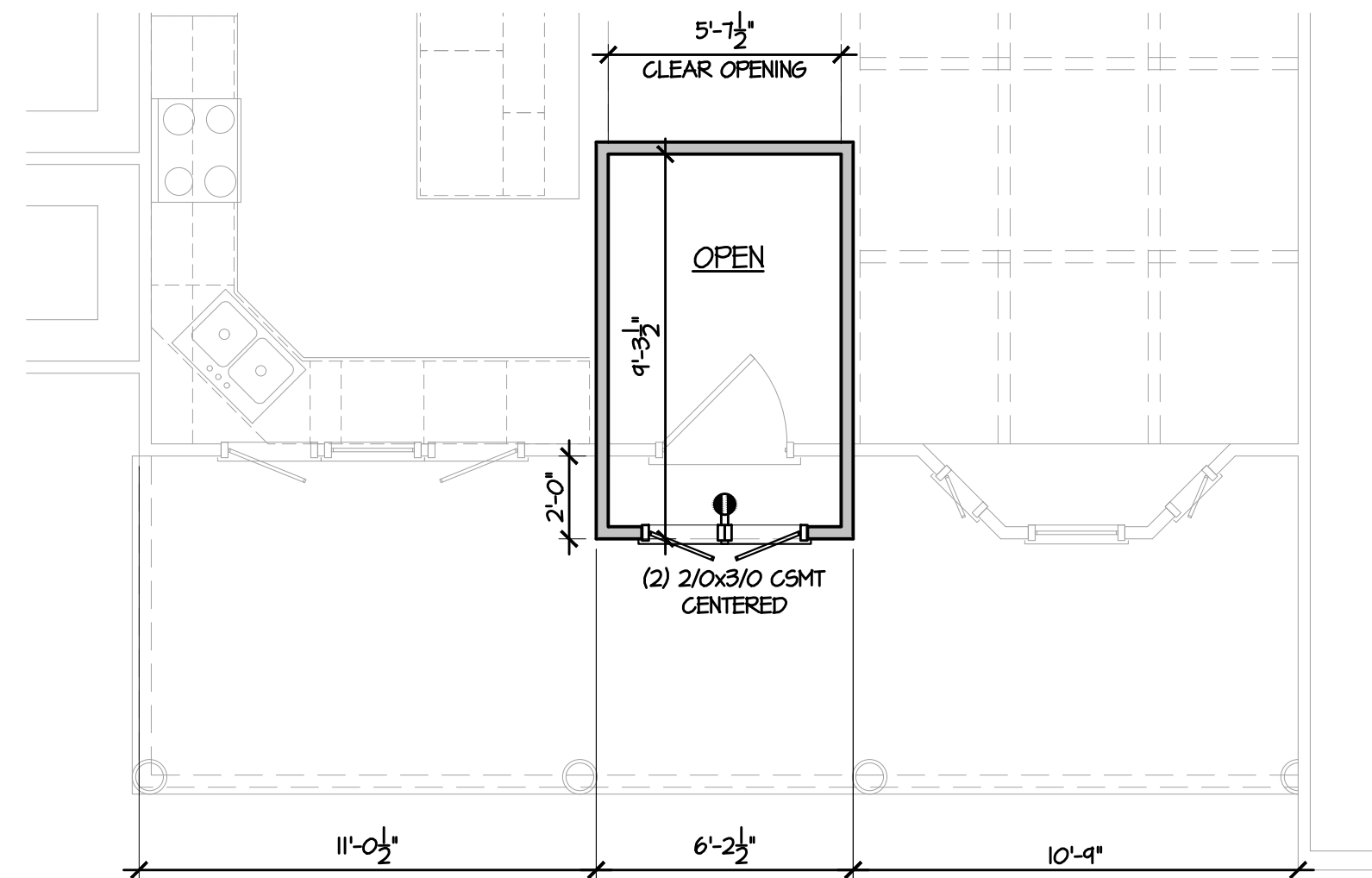
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1

FIELD & REDLINE NOTES

6x6 DECK POSTS



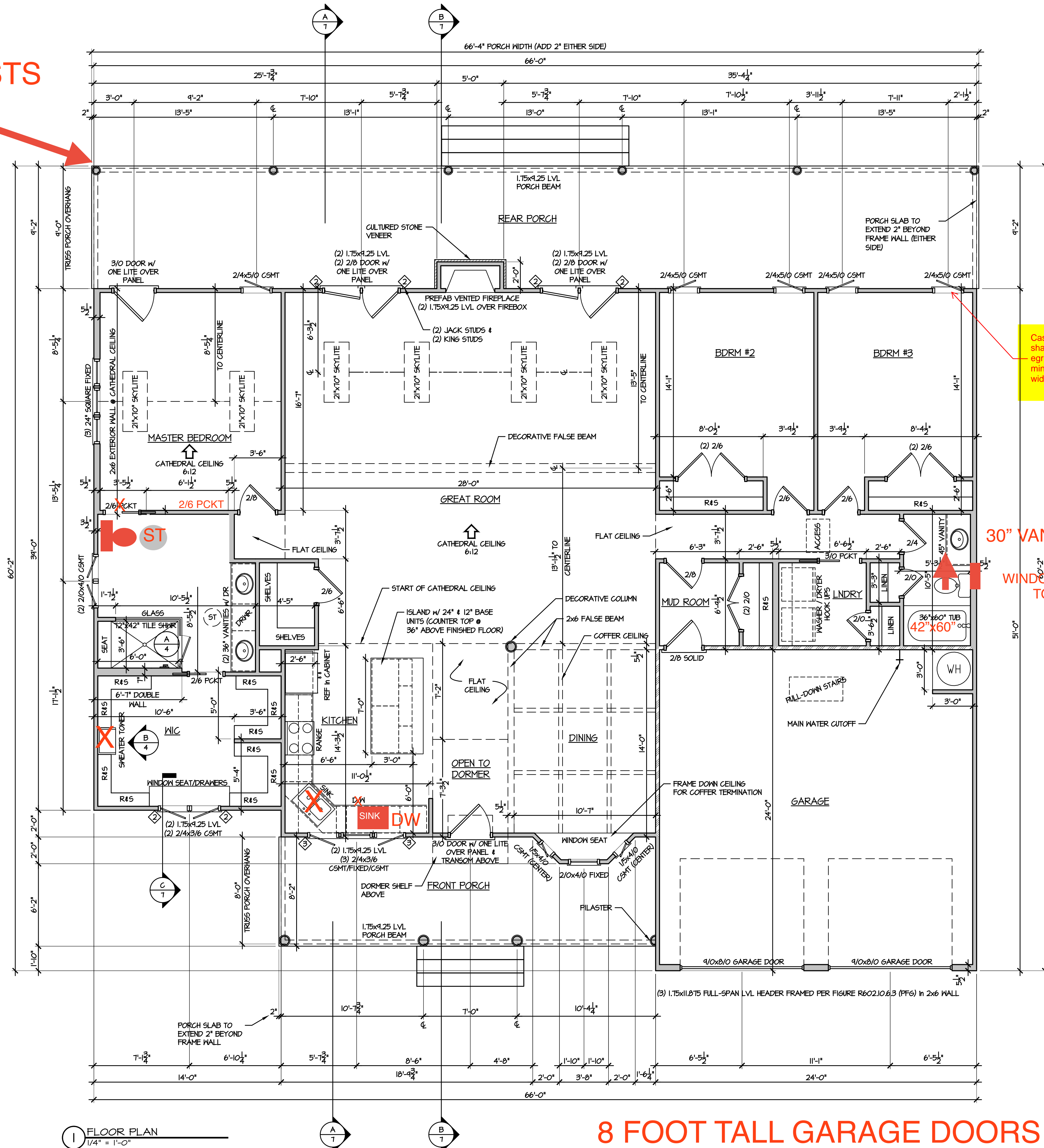
B SWEATER TOWER
3/8" = 1'-0"



2 DORMER @ FOYER PLAN
1/4" = 1'-0"

FRAMING NOTES:

1. DOOR AND WINDOW HEADER TO BE (2) 2x10 #2 SYP OR BETTER WITH ONE JACK AND ONE KING STUD, UNLESS NOTED OTHERWISE
2. NUMBER OF KING STUDS PER OPENING TO MATCH NUMBER OF JACK STUDS - E.G. (2) JACKS STUDS & (2) KING STUDS
3. ALL DOOR HEIGHTS TO BE 6'-8"
4. ALL TOP OF WINDOWS TO BE MOUNTED AT 7'-10" AFF
5. DINING ROOM FALSE BEAMS TO BE FRAMED DOWN TO 8'-1 1/2" AFF
6. ALL WALLS FRAMED WITH 2x4 STUDS UNLESS NOTED OTHERWISE

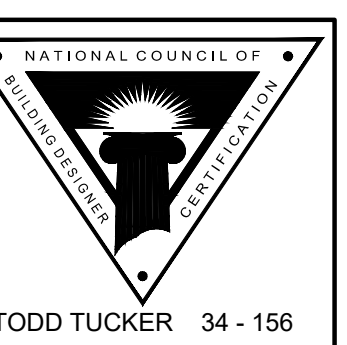
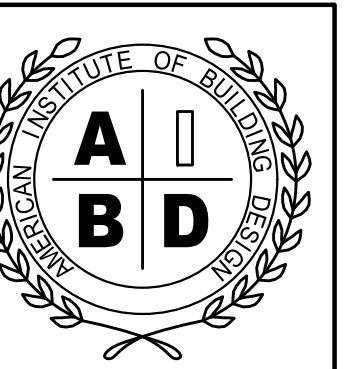


1 FLOOR PLAN
1/4" = 1'-0"

Caseмент windows shall have side hinge egress kits to meet minimum clear egress width of 20"

30" VANITY WINDOW ABOVE TOILET

8 FOOT TALL GARAGE DOORS



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289 BRET ROAD RESIDENCE
CAMERON, HARNETT COUNTY, NORTH CAROLINA
SHEET TITLE: FRAMING PLANS

PLAN NO: KOENII24

DATE: NOVEMBER 2024

REVISION DATE:

SHEET NO: 4

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FIELD & REDLINE NOTES

ELECTRICAL NOTES:

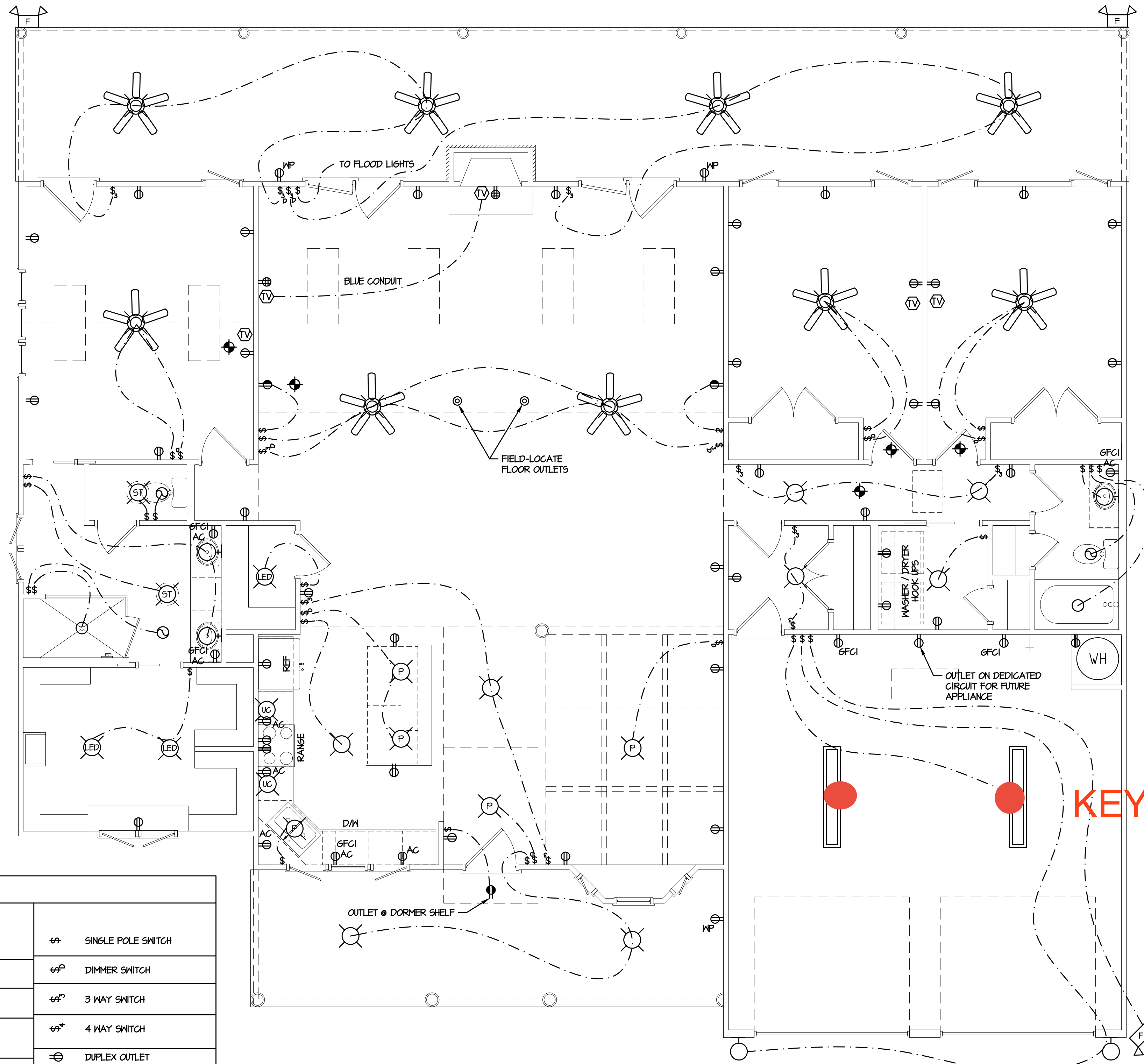
1. INSTALL LOW-WATTAGE LED LIGHTING IN SMALL CLOSETS PER 2017 NEC ARTICLE 410.2 & ARTICLE 410.16
2. GREAT ROOM AND REAR PORCH LIGHTS ON DIMMER SWITCHES
3. CEILING FANS SPEED CONTROLLED REMOTELY

BATHROOM LIGHT SWITCH NOTES:

1. FIRST LIGHT SWITCH TO VANITY LIGHT (CLOSEST TO DOOR)
2. SECONDARY SWITCHES TO RECESSED TUB/SHOWER/PANTRY LIGHTS, ETC.
3. FINAL SWITCH TO FAN (FURTHEST FROM DOOR)

SMOKE DETECTOR NOTES:

1. INSTALL SMOKE DETECTORS ON EVERY LEVEL, IN ALL SLEEPING AND GUEST ROOMS, AND OUTSIDE OF EACH SLEEPING ROOM NO GREATER THAN 21' FROM ANY DOOR TO A SLEEPING ROOM [2022 NFPA T2, 24.8.1.1]
2. WHERE AN INTERIOR FLOOR LEVEL EXCEEDS 1000 SQUARE FEET, SMOKE ALARMS SHALL BE INSTALLED WHERE ALL POINTS FALL WITHIN 30' OF TRAVEL DISTANCE OR ONE SMOKE ALARM PER 500 SQUARE FEET. FOR VAULTED CEILING OVER MULTIPLE LEVELS, SMOKE ALARMS IN THE UPPER LEVEL NEAR THE CATHEDRAL SHALL BE CONSIDERED AS PART OF THE LOWER FLOOR PROTECTION [2022 NFPA T2, 24.8.1.3, 24.8.1.3.1 and 24.8.1.3.2]
3. MAINTAIN 120" MIN FROM KITCHEN COOKING APPLIANCES [2022 NFPA T2, 24.11.3.4(5)]
4. MAINTAIN 36" MIN FROM A BATHROOM DOOR CONTAINING A TUB OR SHOWER [2022 NFPA T2, 24.11.3.4(6)]
5. MAINTAIN 36" MIN FROM A SUPPLY REGISTER OF A FORCED HEATING/COOLING SYSTEM AND OUTSIDE OF THE DIRECT AIRFLOW [2022 NFPA T2, 24.11.3.4(7)]
6. MAINTAIN 36" MIN FROM TIP OF CEILING FAN BLADE [2019 NFPA T2, 24.11.3.4(8)]
7. WHERE STAIRS LEAD TO AN ABOVE-OCCUPIABLE LEVEL, A SMOKE DETECTOR SHALL BE LOCATED SO THAT RISING SMOKE IN THE STAIRWAY CANNOT BE BLOCKED BY AN INTERVENING DOOR [2019 NFPA T2, 24.11.3.4(9)]
8. PLACE SMOKE DETECTORS AT HIGHEST POINT OF TRAY CEILING [2019 NFPA T2, 24.11.3.4(10)]

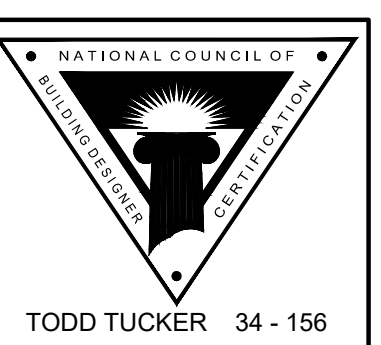
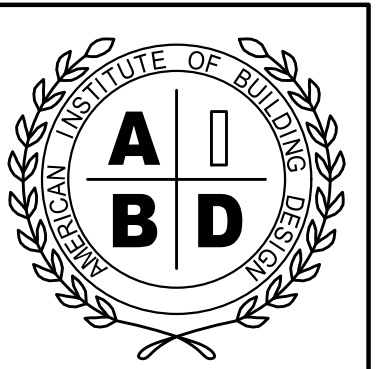


KEYLESS

Ceiling receptacles for 8 foot tall garage doors

ELECTRICAL LEGEND

	CEILING FAN		LIGHT KIT IN SUN TUBE		SINGLE POLE SWITCH
	CEILING FAN W/ LIGHT		COMMUNICATIONS		DIMMER SWITCH
	FLUORESCENT LIGHT		UL APPROVED SMOKE / CO DETECTOR		3 WAY SWITCH
	WALL MOUNT LIGHT		SURROUND SOUND CEILING SPEAKER		4 WAY SWITCH
	SURFACE LIGHT		DOOR CONTACT		DUPLEX OUTLET ABOVE COUNTER UNDER COUNTER
	PENDANT LIGHT		DIRECTIONAL MOTION SENSOR		EXTERIOR DUPLEX OUTLET
	LED LIGHT		SECURITY KEYPAD		1/2 HOT DUPLEX OUTLET ON SWITCH
	UNDER-WALL-CABINET LIGHT		20" ON-G ENCLOSURE HOUSING PHONE, CABLE, ALARM & REQUIRES 110V OUTLET		DUPLEX OUTLET ON SWITCH
	FLOOD LIGHTS		SURROUND SOUND TERMINATION POINT-PHONE, CABLE, SS & FUTURE PIPE WILL TERMINATE IN ONE PHONE/CABLE JACK & SPOUT PLATE		GROUND FAULT CIRCUIT INTERRUPT DUPLEX OUTLET
	RECESS LIGHT				QUAD OUTLET
	LIGHT / EXHAUST FAN COMBO				FLOOR OUTLET
	EXHAUST FAN				220 V OUTLET



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289 BRET ROAD RESIDENCE
CAMERON, HARNETT COUNTY, NORTH CAROLINA

SHEET TITLE:
ELECTRICAL PLAN

PLAN NO:
KOENII24

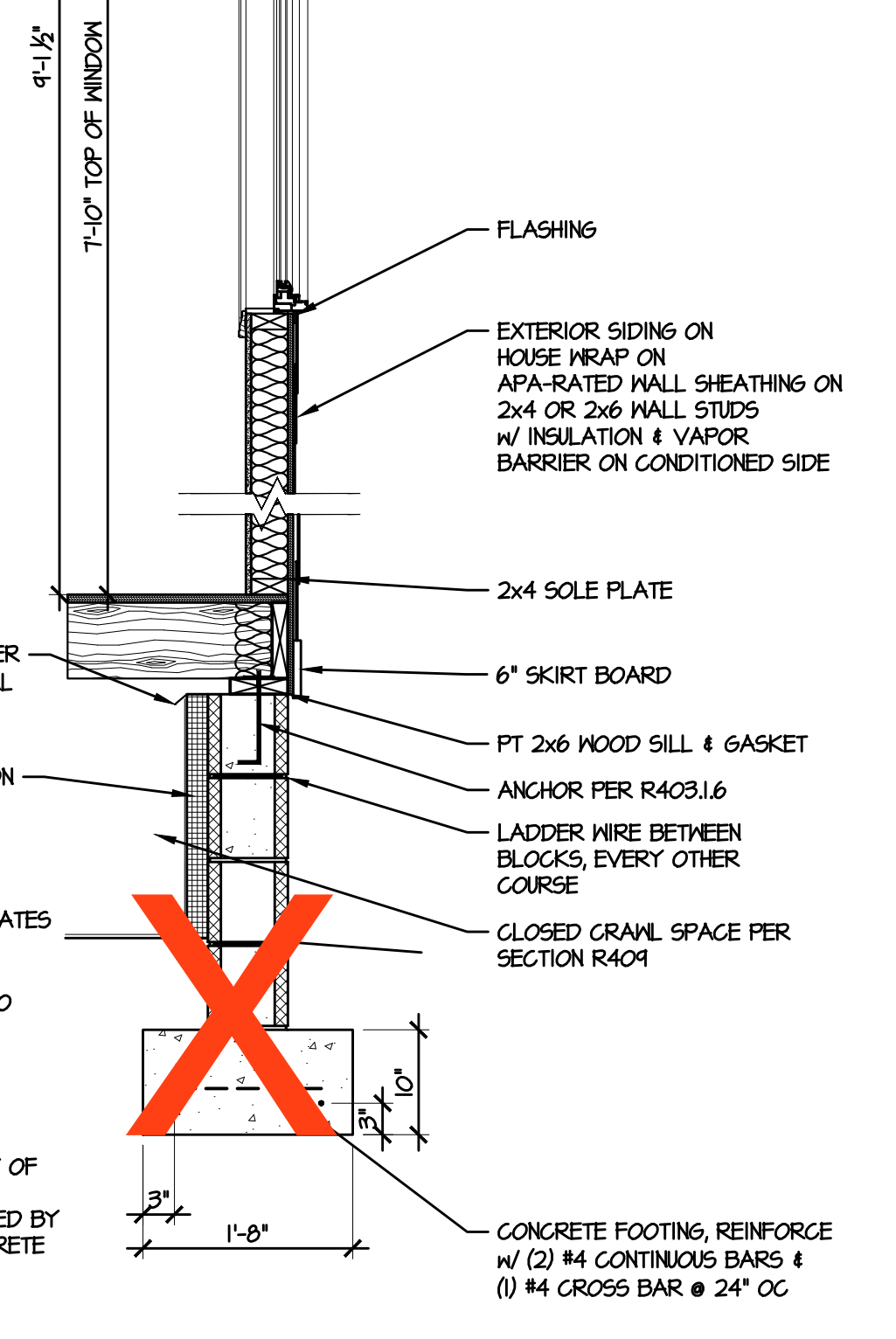
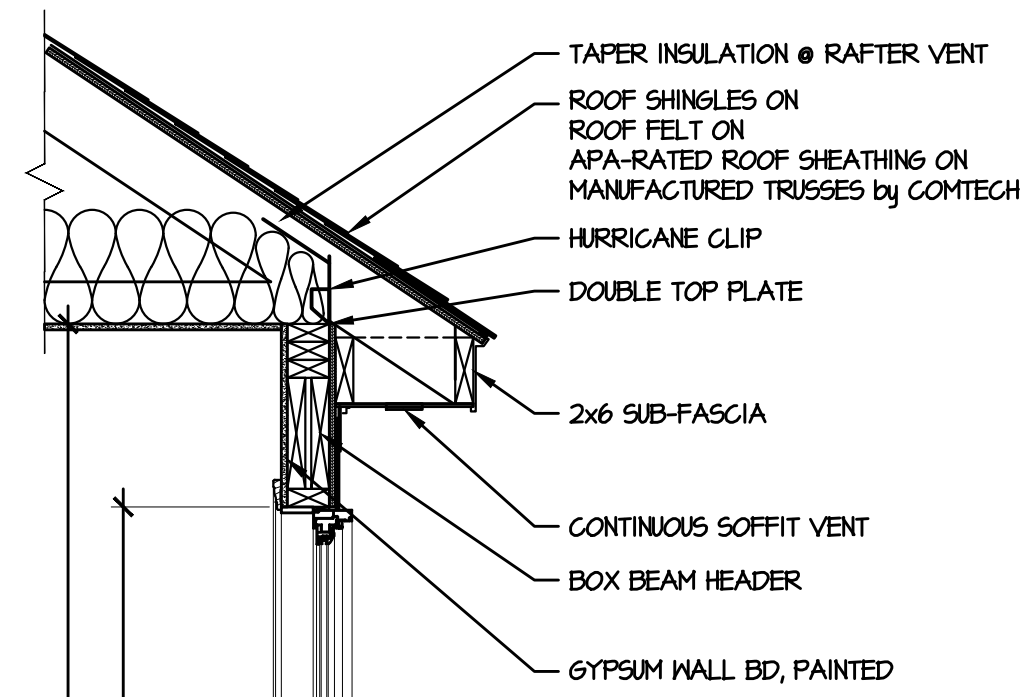
DATE:
NOVEMBER 2024

REVISION DATE:

SHEET NO:
6

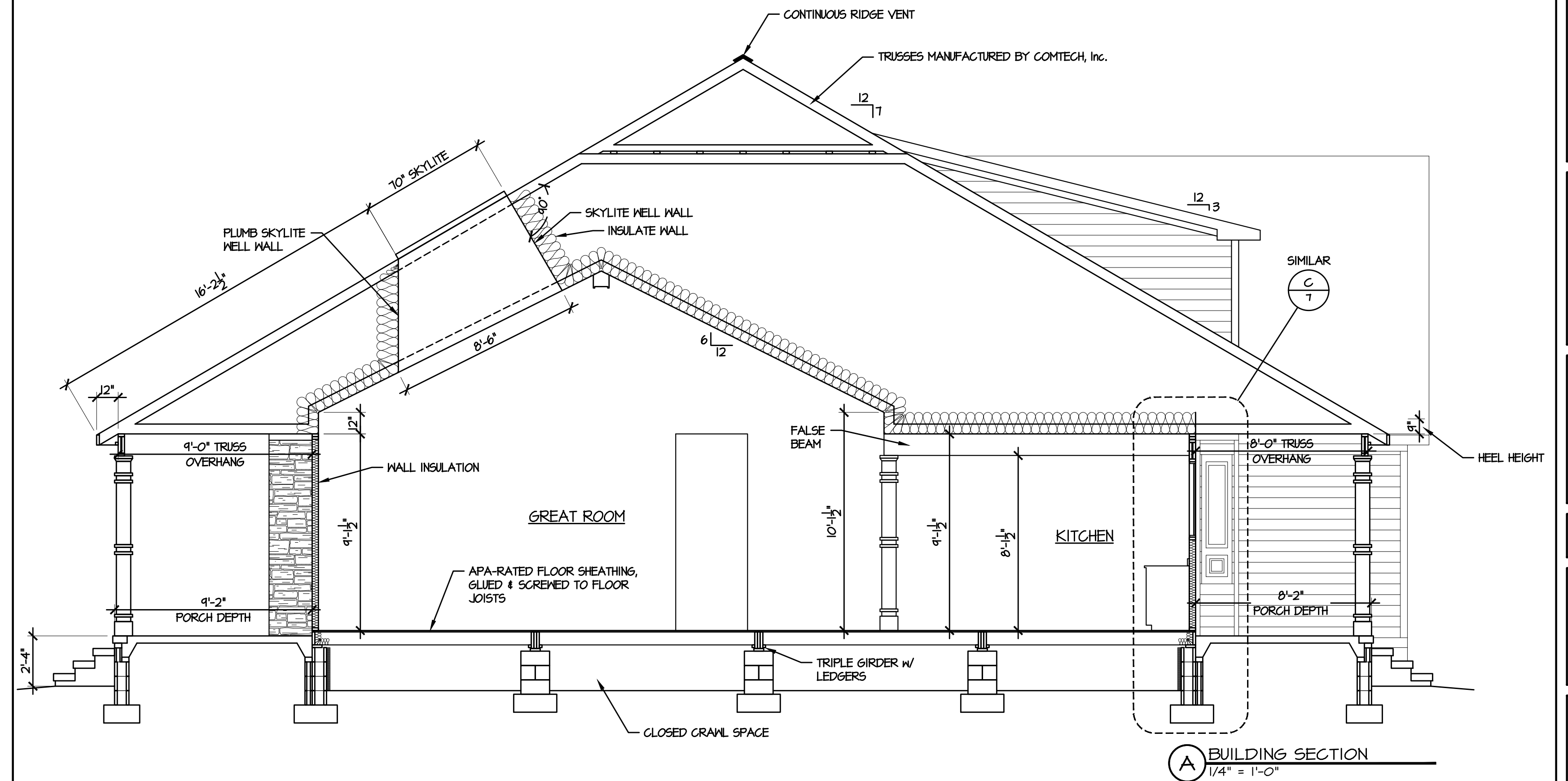
FIELD & REDLINE NOTES

4 and 8 brick and block foundation wall. See attachment.

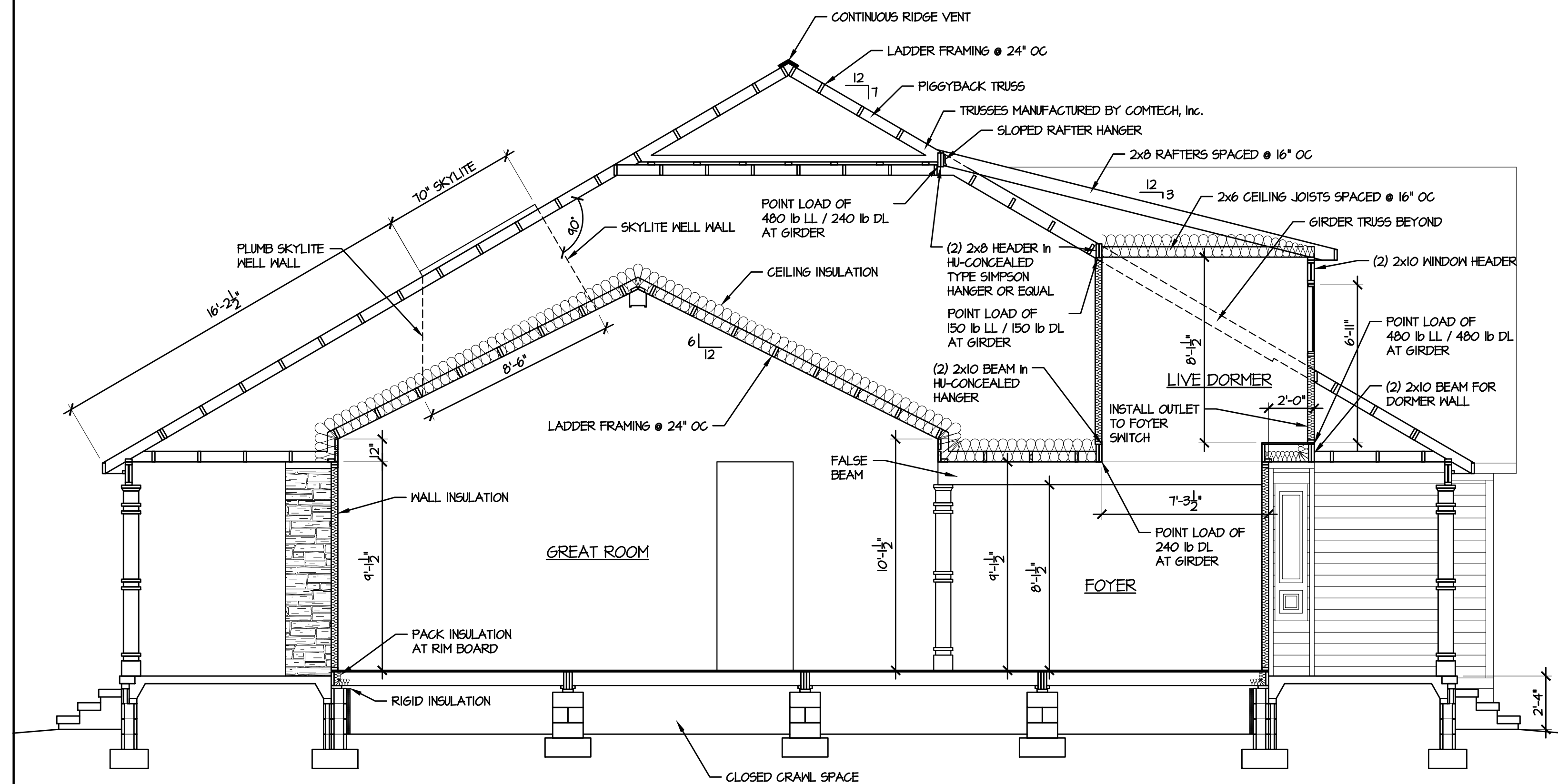


(C) TYPICAL WALL SECTION
3/4" = 1'-0"

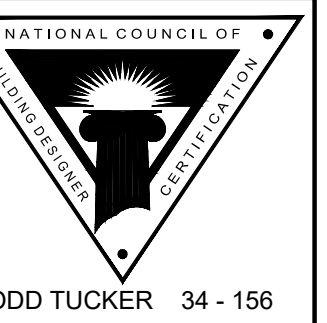
R4031.6 FOUNDATION ANCHORAGE.
WOOD SILL PLATES AND WOOD WALLS SUPPORTED DIRECTLY ON CONTINUOUS FOUNDATIONS SHALL BE ANCHORED TO THE FOUNDATION IN ACCORDANCE WITH THIS SECTION. WOOD SOLE PLATES AT ALL EXTERIOR WALLS ON MONOLITHIC SLABS, WOOD SOLE PLATES OF BRACED WALL PANELS AT BUILDING INTERIORS ON MONOLITHIC SLABS AND ALL WOOD SILL PLATES SHALL BE ANCHORED TO THE FOUNDATION WITH MINIMUM 1/2-INCH-DIAMETER (12.7 MM) ANCHOR BOLTS SPACED NOT GREATER THAN 6 FEET (1829 MM) ON CENTER OR APPROVED ANCHORS OR ANCHOR STRAPS SPACED AS REQUIRED TO PROVIDE EQUIVALENT ANCHORAGE TO 1/2-INCH-DIAMETER (12.7 MM) ANCHOR BOLTS. BOLTS SHALL EXTEND NOT LESS THAN 7 INCHES (178 MM) INTO CONCRETE OR GROUTED CELLS OF MASONRY UNITS. THE BOLTS SHALL BE LOCATED IN THE MIDDLE THIRD OF THE WIDTH OF THE PLATE. A NUT AND WASHER SHALL BE TIGHTENED ON EACH ANCHOR BOLT. THERE SHALL BE NOT FEWER THAN TWO BOLTS PER PLATE SECTION WITH ONE BOLT LOCATED NOT MORE THAN 12 INCHES (305 MM) FROM THE CORNER. INTERIOR BEARING WALL SOLE PLATES ON MONOLITHIC SLAB FOUNDATION THAT ARE NOT PART OF A BRACED WALL PANEL SHALL BE POSITIVELY ANCHORED WITH APPROVED FASTENERS. SILL PLATES & SOLE PLATES SHALL BE PROTECTED AGAINST DECAY AND TERMITES WHERE REQUIRED BY SECTIONS R301 AND R310. ANCHOR BOLTS SHALL BE PERMITTED TO BE LOCATED WHILE CONCRETE IS STILL PLASTIC AND BEFORE IT HAS SET, WHERE ANCHOR BOLTS RESIST PLACEMENT OR THE CONSOLIDATION OF CONCRETE AROUND ANCHOR BOLTS IS IMPEDED, THE CONCRETE SHALL BE VIBRATED TO ENSURE FULL CONTACT BETWEEN THE ANCHOR BOLTS AND CONCRETE.



(A) BUILDING SECTION
1/4" = 1'-0"



(B) BUILDING SECTION
1/4" = 1'-0"



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289 BRET ROAD RESIDENCE
CAMERON, HARNETT COUNTY, NORTH CAROLINA

PLAN NO: KOENII24

DATE: NOVEMBER 2024

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SECTIONS

PLAN NO: KOENII24

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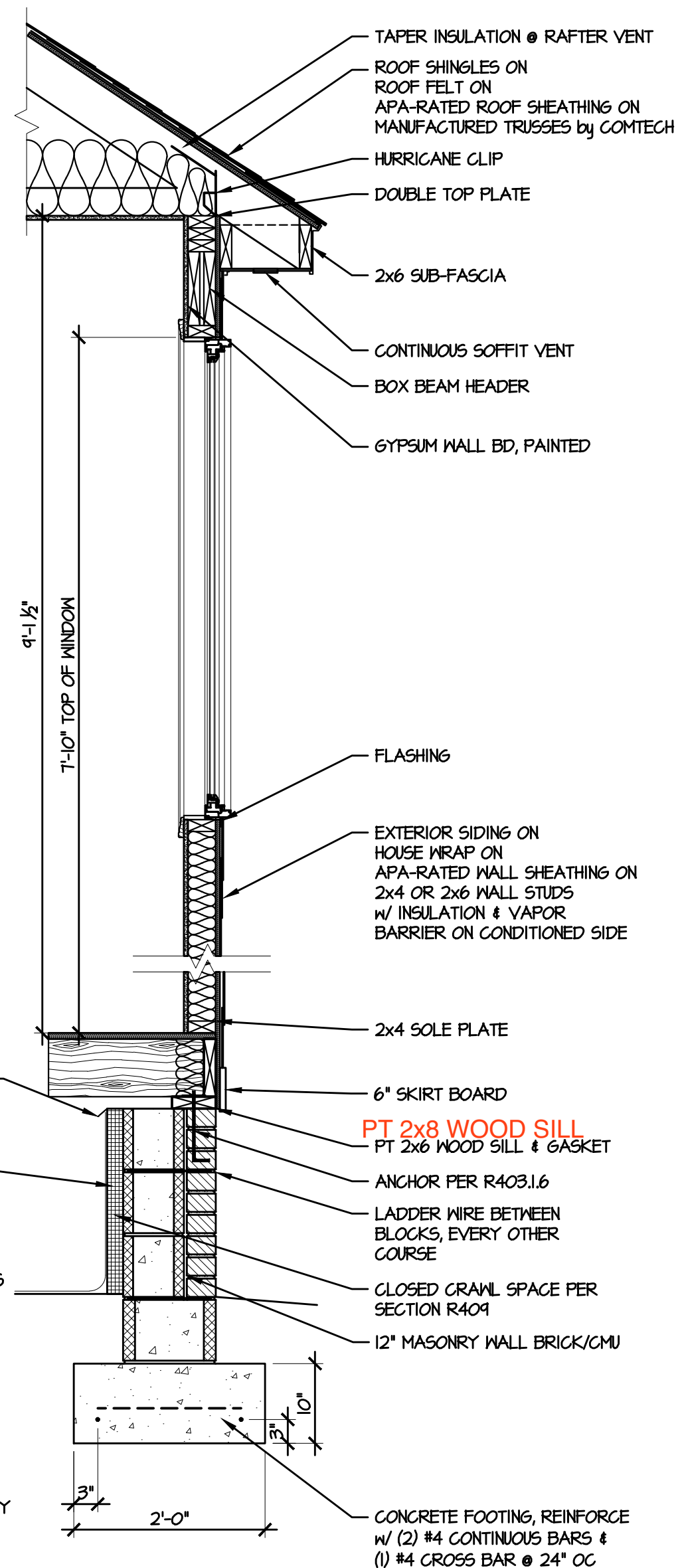
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7

YES

R403.1.6 FOUNDATION ANCHORAGE.
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C TYPICAL WALL SECTION
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