

Adams Soil Consulting, PLLC
1676 Mitchell Road
Angier, NC 27501
919-414-6761
alexadams@bcsoil.com

January 24, 2025
Project #2076

“This AOWE/PE submittal is pursuant to and meets the requirements of G.S. 130A-336.2

RE: 289 Bret Road – Cameron, NC - 3-bedroom Single Family Residence for Patricia Stewart (Harnett County PIN#9567-41-0416)

To whom it may concern:

Adams Soil Consulting (ASC) conducted a preliminary soil evaluation on the above referenced parcel to determine the areas of soils which are suitable for subsurface wastewater disposal systems (conventional & LPP). The soil/site evaluation was performed using hand auger borings during moist soil conditions based on the criteria found in the State Subsurface Rules 15ANCAC 18E. From this evaluation, ASC is providing the attached septic system design for a new single-family home sized for a 360 gallon/day septic system.

The suitable soils found on the subject property were somewhat variable in the initial and repair areas. The area designated for the initial/primary septic system (see attached septic plan) was found to contain soils with greater than 24 inches in depth before a restrictive horizon was encountered.

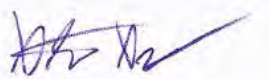
The initial and primary septic fields for the new home were sized based on a flow rate of 360 gallons/day and utilizing Accepted Status system for the initial and a PPBPS (T&J Panel Block – 50% Reduction) repair system. Any unauthorized site disturbance, filling, soil removal, or layout changes may result in the permit being revoked.

The septic installer contractor shall install the repair (if needed) system on contour, see attached site plan for the primary system and repair. No underground utilities, water lines, or sprinkler systems shall be placed into the initial or repair septic areas. Installation must meet all state and local county regulations for septic system installation. The trenches must be installed in the same location as the site plan. If flags trench flags are missing at the time of installation, they must be remarked by Adams Soil Consulting staff. Contact Alex Adams at 919-414-6761. A preconstruction conference is required with the septic installer prior to construction activities at least 14 days in advance of construction activities.

This report does not guarantee the future function of any waste water disposal system installed.

If you have any questions regarding the findings on the attached site plan or in this report, please feel free to contact me anytime.

Sincerely,



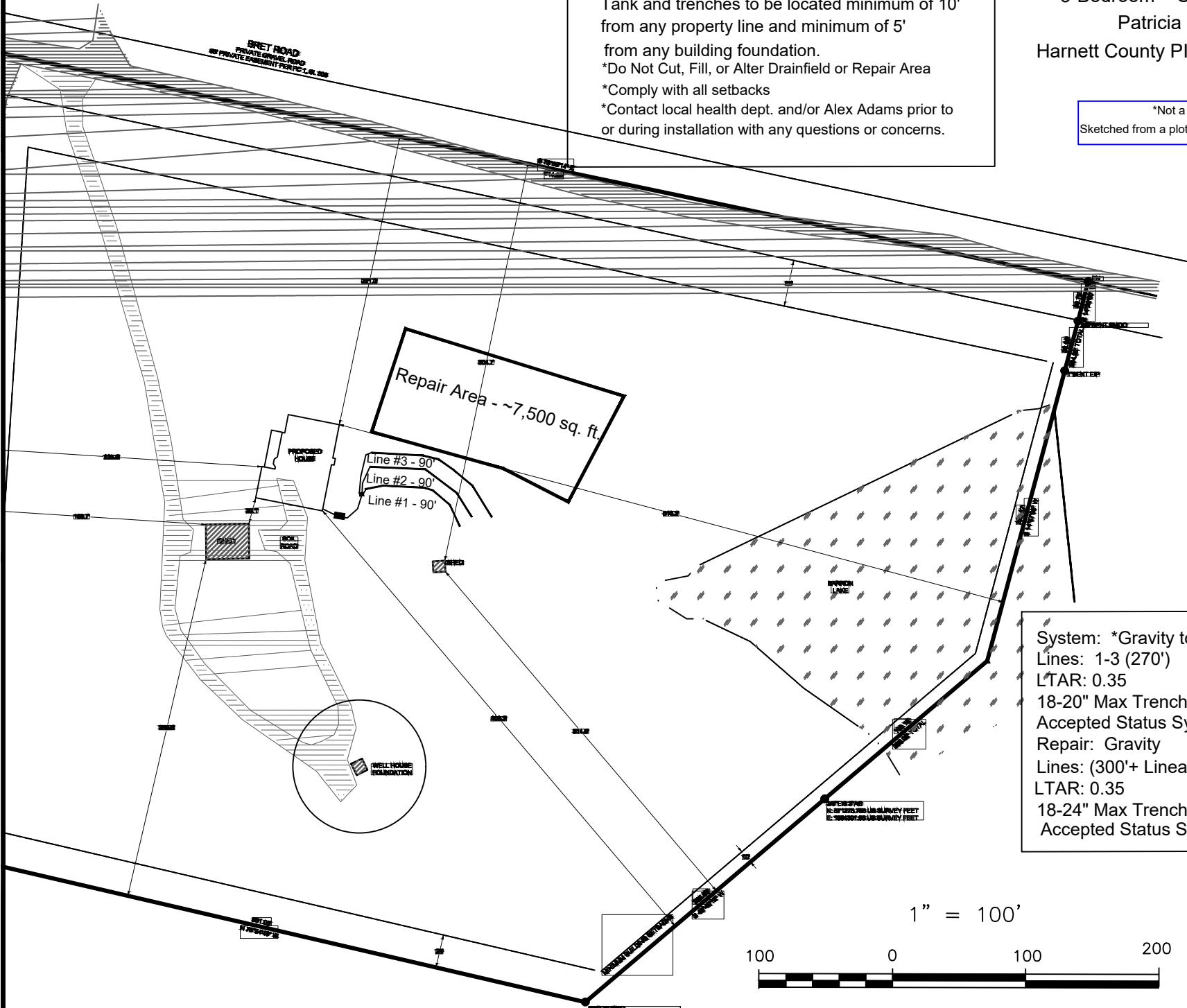
Alex Adams
NC Licensed Soil Scientist #1247
AOWE Certification: 10021E



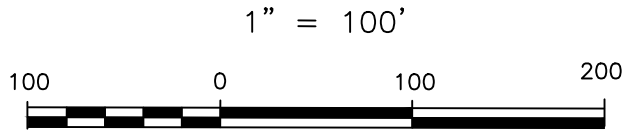
289 Bret Road
3-Bedroom - Septic Proposal
Patricia Stewart
Harnett County PIN: 9567-41-0416

****1000 Gallon Septic and Pump Tank**
Tank and trenches to be located minimum of 10'
from any property line and minimum of 5'
from any building foundation.
*Do Not Cut, Fill, or Alter Drainfield or Repair Area
*Comply with all setbacks
*Contact local health dept. and/or Alex Adams prior to
or during installation with any questions or concerns.

*Not a Survey
Sketched from a plot plan supplied by owner



System: *Gravity to D-Box
Lines: 1-3 (270')
LTAR: 0.35
18-20" Max Trench Bottom
Accepted Status System
Repair: Gravity
Lines: (300'+ Linear feet of drain line)
LTAR: 0.35
18-24" Max Trench Bottom
Accepted Status System

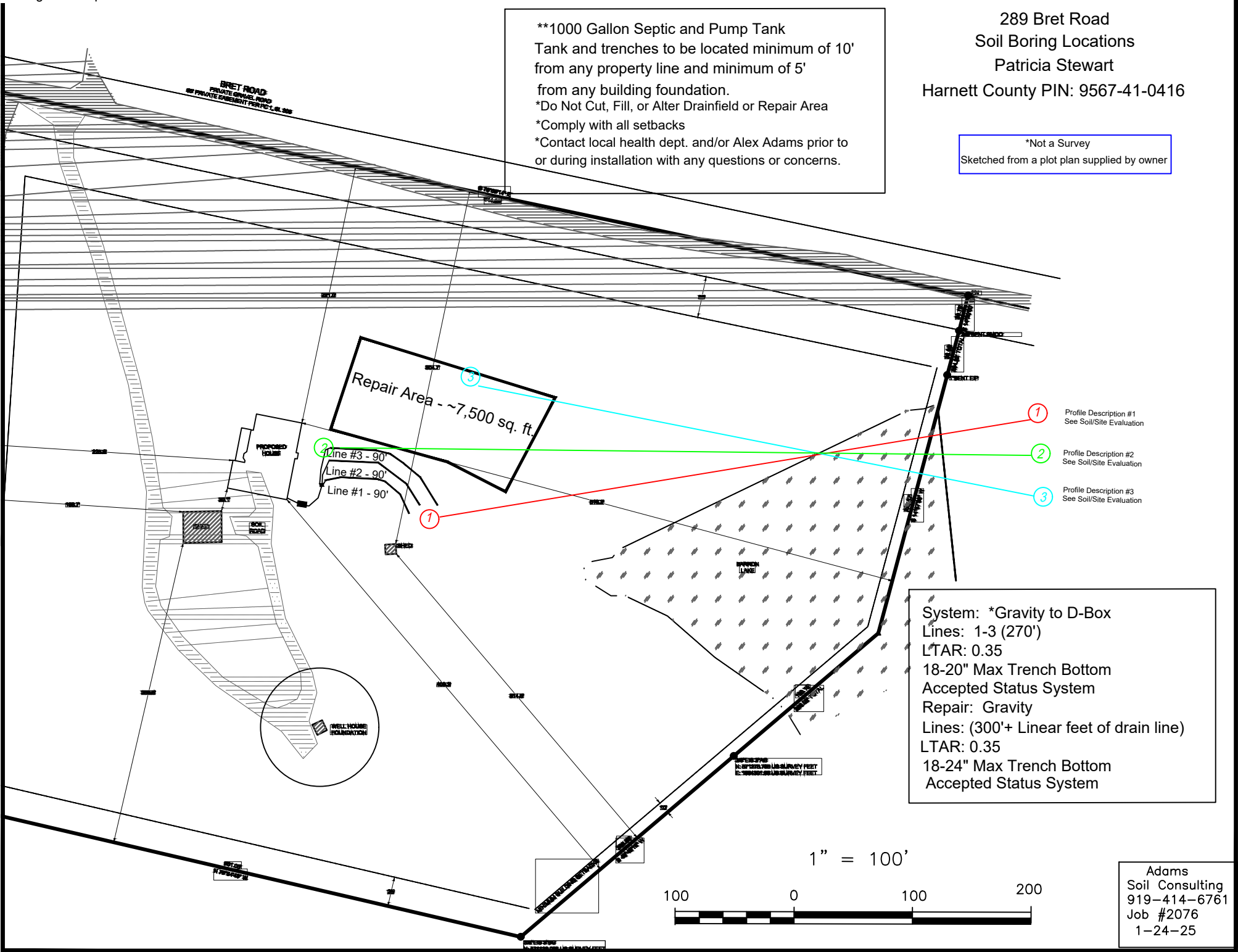


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919-414-6761
Job #2076
1-24-25

289 Bret Road
Soil Boring Locations
Patricia Stewart
Harnett County PIN: 9567-41-0416

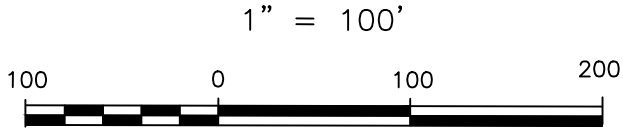
****1000 Gallon Septic and Pump Tank**
Tank and trenches to be located minimum of 10'
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from any building foundation.
*Do Not Cut, Fill, or Alter Drainfield or Repair Area
*Comply with all setbacks
*Contact local health dept. and/or Alex Adams prior to
or during installation with any questions or concerns.

*Not a Survey
Sketched from a plot plan supplied by owner



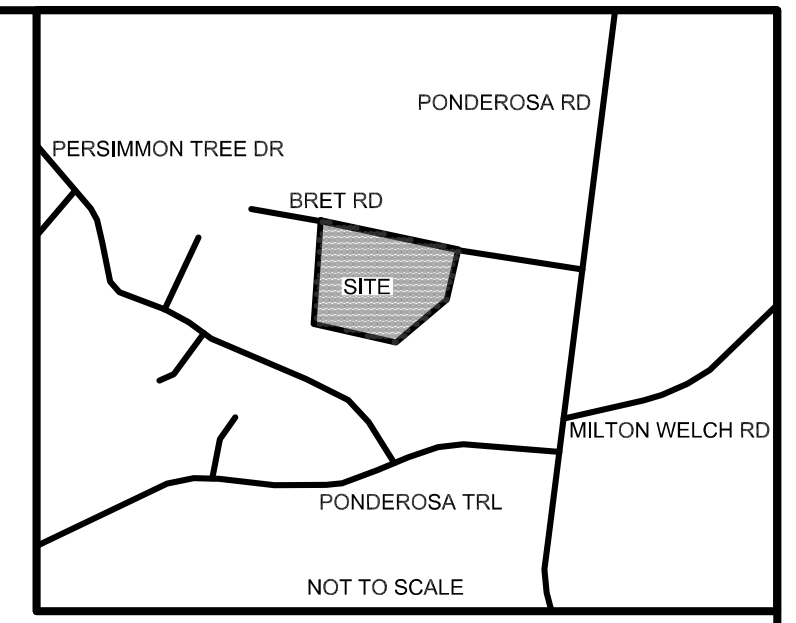
- ① Profile Description #1
See Soil/Site Evaluation
- ② Profile Description #2
See Soil/Site Evaluation
- ③ Profile Description #3
See Soil/Site Evaluation

System: *Gravity to D-Box
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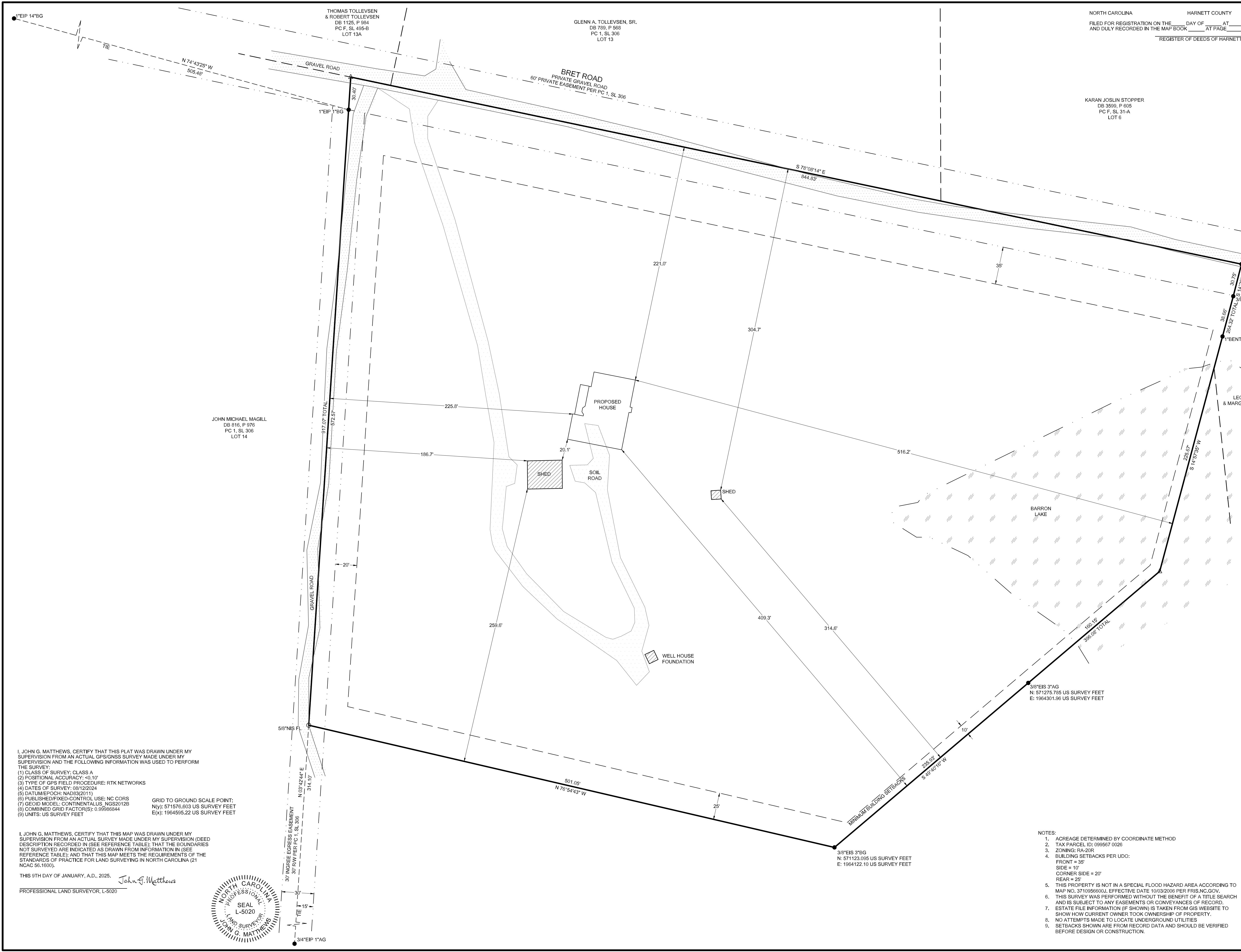


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1-24-25

NORTH CAROLINA HARNETT COUNTY
FILED FOR REGISTRATION ON THE _____ DAY OF _____ AT _____ (AM/PM)
AND DULY RECORDED IN THE MAP BOOK _____ AT PAGE _____
REGISTER OF DEEDS OF HARNETT COUNTY



VICINITY MAP



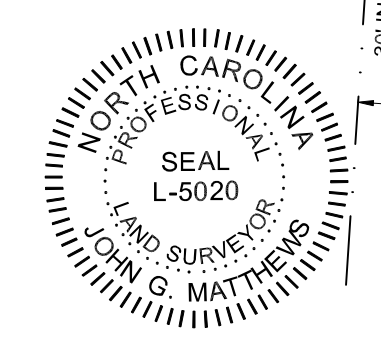
LEGEND OF SYMBOLS AND ABBREVIATIONS.

CP	COMPUTED POINT
EA	EXISTING AXLE
ECM	EXISTING CONCRETE MONUMENT
EIP	EXISTING IRON PIPE
EIS	EXISTING IRON STAKE
NIS	NEW IRON STAKE
FH	FIRE HYDRANT
GV	GAS VALVE
LP	LIGHT POLE
SM	SANITARY SEWER MANHOLE
ST	STORM MANHOLE
TP	TELEPHONE PEDESTAL
TR	TRANSFORMER
UP	UTILITY POLE
WM	WATER METER
WV	WATER VALVE
W	WELL
#AG	(#) INCHES ABOVE GRADE
APT	ABOVEGROUND PROPANE TANK
BFPV	BACKFLOW PREVENTER VALVE
BIS	(#) INCHES BELOW GRADE
CATV	CABLE TV PEDESTAL
CB	CATCH BASIN
CL	CENTERLINE
CO	CLEAN OUT
CMP	CORRUGATED METAL PIPE
CPP	CORRUGATED PLASTIC PIPE
DB	DEED BOOK
DI	DROP INLET
EJB	ELECTRIC JUNCTION BOX
EM	ELECTRIC METER
EMN	EXISTING MAG NAIL
EN	EXISTING NAIL
EOP	EDGE OF PAVEMENT
EPN	EXISTING P/NAIL
ERRS	EXISTING RAILROAD SPIKE
ETJ	EXTRA-TERRITORIAL JURISDICTION
FES	FLARED END SECTION
FOM	FIBER OPTIC MARKER
FL	FLUSH WITH GRADE
GIS	GEOGRAPHIC INFORMATION SYSTEM
HVAC	HEATING, VENTILATION, & AIR CONDITIONING
ICV	IRRIGATION CONTROL VALVE
INV	INVERTER
MB	MAP BOOK
MBS	MINIMUM BUILDING SETBACKS
NIF	NOW OR FORMERLY
NMN	NEW MAG NAIL
P	PAGE
PC	PLAT CABINET
RCP	REINFORCED CONCRETE PIPE
RW	RIGHT-OF-WAY
SL	SLIDE
SO FT	SQUARE FEET
TBC	TOP BACK CURB
TBD	TO BE DETERMINED
TOC	TOE OF CURB
UPT	UNDERGROUND PROPANE TANK
UDO	UNIFIED DEVELOPMENT ORDINANCE
YI	YARD INLET
---	SURVEYED PROPERTY BOUNDARY
---	OTHER SURVEYED LINE
---	LINE NOT SURVEYED
---	RIGHT-OF-WAY
---	OVERHEAD ELECTRIC LINES
-x-x-	FENCE
-ss-ss-	SANITARY SEWER LINES
- - -	TIE LINE

REVISIONS:
01/03/2025 - ADD PROPOSED HOUSE
01/09/2025 - MOVE PROPOSED HOUSE

I, JOHN G. MATTHEWS, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL GPS/GNSS SURVEY MADE UNDER MY SUPERVISION AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THE SURVEY:
(1) CLASS OF SURVEY: CLASS A
(2) POSITIONAL ACCURACY: $0.10'$
(3) TYPE OF GPS FIELD PROCEDURE: RTK NETWORKS
(4) DATES OF SURVEY: 08/12/2024
(5) DATUM/EPOCH: NAD83(2011)
(6) PUBLISHED/FIXED CONTROL USE: NC CORS
(7) GEOID MODEL: CONTINENTAL_US_NGS2012B
(8) COMBINED GRID FACTOR(S): 0.99986844
(9) UNITS: US SURVEY FEET
GRID TO GROUND SCALE POINT:
N(y): 571576.803 US SURVEY FEET
E(x): 1964595.22 US SURVEY FEET

I, JOHN G. MATTHEWS, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN (SEE REFERENCE TABLE); THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM INFORMATION IN (SEE REFERENCE TABLE); AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 36.1600).
THIS 9TH DAY OF JANUARY, A.D., 2025.
John G. Matthews
PROFESSIONAL LAND SURVEYOR, L-5020



- NOTES:
- ACREAGE DETERMINED BY COORDINATE METHOD
 - TAX PARCEL ID: 099567 0026
 - ZONING: RA-20R
 - BUILDING SETBACKS PER UDO:
FRONT = 35'
SIDE = 10'
CORNER SIDE = 20'
REAR = 25'
 - THIS PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA ACCORDING TO MAP NO. 371095600J, EFFECTIVE DATE 10/03/2006 PER FRIS.NC.GOV.
 - THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE SEARCH AND IS SUBJECT TO ANY EASEMENTS OR CONVEYANCES OF RECORD.
 - ESTATE FILE INFORMATION (IF SHOWN) IS TAKEN FROM GIS WEBSITE TO SHOW HOW CURRENT OWNER TOOK OWNERSHIP OF PROPERTY.
 - NO ATTEMPTS MADE TO LOCATE UNDERGROUND UTILITIES
 - SETBACKS SHOWN ARE FROM RECORD DATA AND SHOULD BE VERIFIED BEFORE DESIGN OR CONSTRUCTION.

SITE PLAN FOR
PATRICIA STEWART
CLEARWATER LAKES, LOT 15
JOHNSONVILLE TOWNSHIP
HARNETT COUNTY, NORTH CAROLINA

OCTOBER 28, 2024

SCALE 1" = 40'

REFERENCE TABLE:
DEED BOOK 4248, PAGE 43
PLAT CABINET 1, SLIDE 306
HARNETT COUNTY REGISTRY

PROPERTY ADDRESS:
289 BRET RD
CAMERON, NC 28526

OWNER'S ADDRESS:
PATRICIA STEWART
608 BRISBANE CT
FAYETTEVILLE, NC 28314

MATTHEWS JOHN G. MATTHEWS, L-5020
LAND SURVEYING & MAPPING 10 COURTHOUSE SQUARE
FIRM LICENSE: P-1033 0111 CARTHAGE, NC 28527
910-447-2671

JOB# 12315SP

SOIL/SITE EVALUATION
for ON-SITE WASTEWATER SYSTEM
 (Complete all fields in full)

OWNER: Patricia Stewart
 ADDRESS:
 PROPOSED FACILITY: Single Family, 3-bedroom PROPOSED DESIGN FLOW (.1949): 360gpd
 LOCATION OF SITE: 289 Bret Rd – Cameron NC
 EVALUATION METHOD: Auger Boring

APPLICATION DATE:
 DATE EVALUATED: 1-15-25
 PROPERTY SIZE: ~10 Acres

TYPE OF WASTEWATER: Sewage

P R O F I L E #	.1940 LANDSCAPE POSITION/ SLOPE %	HORIZON DEPTH (IN.)	SOIL MORPHOLOGY (.1941)		OTHER PROFILE FACTORS				PROFILE CLASS & LTAR
			.1941 STRUCTURE/ TEXTURE	.1941 CONSISTENCE/ MINERALOGY	.1942 SOIL WETNESS/ COLOR	.1943 SOIL DEPTH	.1956 SAPRO CLASS	.1944 RESTR HORIZ	
1	Linear Slope/5%	0-18	GR/LS	VFR/SEXP/NS	N/A	33	N.O	N.O	PS/.4
		18-33	SBK/SCL	FR/SEXP/SS					
2	Linear Slope/5%	0-12	GR/LS	VFR/SEXP/NS	N/A	32	N.O	N.O	PS/.35
		12-32	SBK/SCL	FR/SEXP/NS					
3	Linear Slope/5%	0-16	GR/LS	VFR/SEXP/NS	N/A	36	N.O	N.O	U/PS/.4
		16-36	SBK/SCL	FR/SEXP/NS					
4									

DESCRIPTION	INITIAL SYSTEM	REPAIR SYSTEM	OTHER FACTORS (.1946): _____ SITE CLASSIFICATION (.1948):/PS EVALUATED BY:A. Adams OTHER(S) PRESENT:
Available Space (.1945)	S	S	
System Type(s)	Type III g	Type III g	
Site LTAR	0.35	0.35	

COMMENTS: _____