

| LIST OF SYMBOLS | | | |
|-------------------------|-----------------------------|----------------|--|
| SECTION SHEET | SECTION MARK | SLOPE UP PITCH | |
| SECTION SHEET | DETAIL MARK | EARTH | |
| TITLE SCALE | TITLE MARK | INSULATION | |
| INTERIOR BEARING WALL | STANDARD WALL | | |
| JACK STUDS UNDER HEADER | KING STUDS TO EQUAL # JACKS | | |

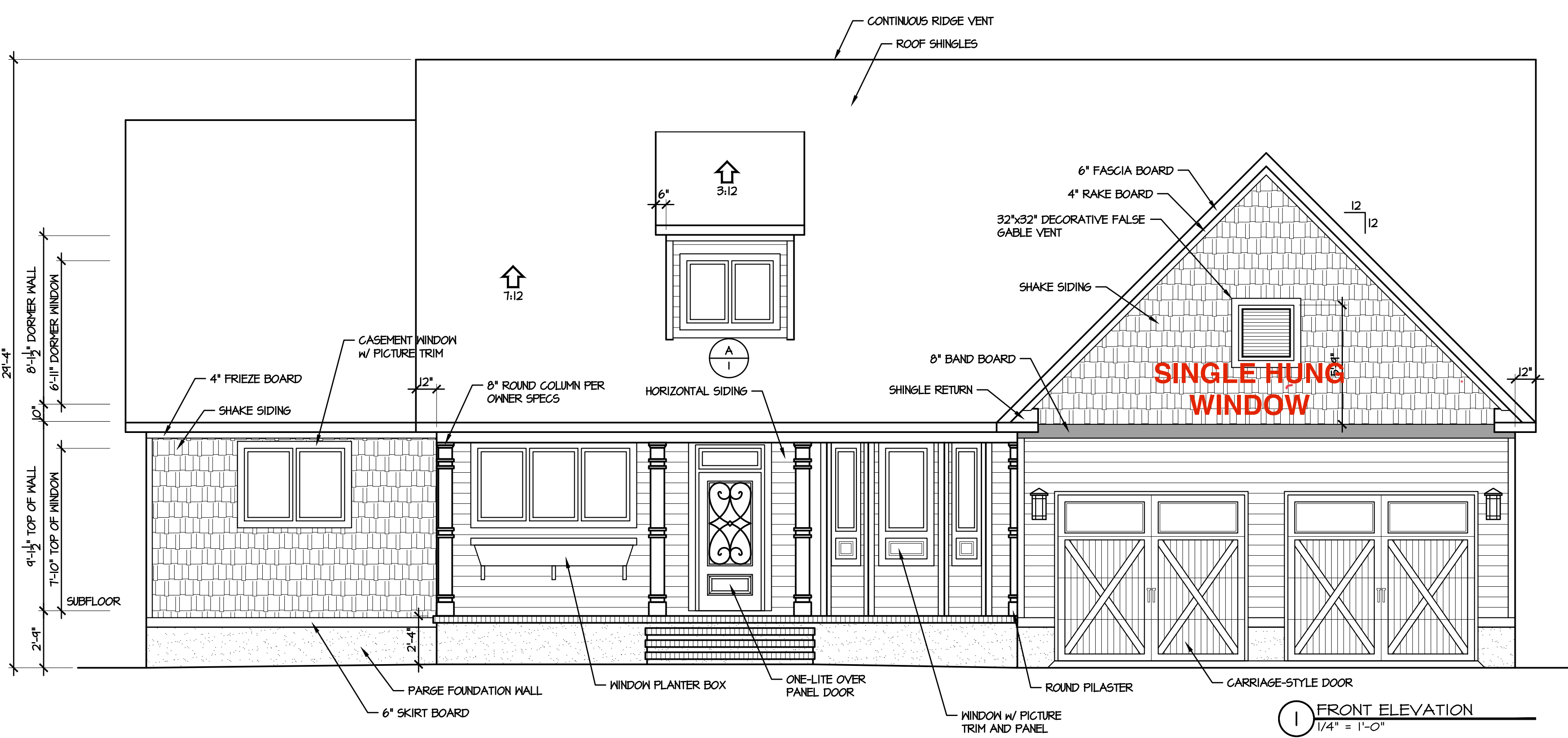
| LIST OF ABBREVIATIONS | | | | | |
|-----------------------|--------------------------------|-------|----------------------------------|----------|---|
| ACCESS | ACCESS TO ATTIC OR CRAWL SPACE | DN | DISH WASHER | PCKT | POCKET DOOR |
| AFF | ABOVE FLOOR | EQ | EQUAL | PERF | PERFORATED |
| ASL | ABOVE SEA LEVEL | FDN | FOUNDATION | PL | PLATE |
| BD | BOARD | FV | FOUNDATION VENT | PL | PRESSURE TREATED FOR EXPOSURE |
| BDRM | BEDROOM | GL | GLASS (DOOR) | PL | POINT LOAD (SOLID BLOCK) |
| BM | BEAM | HB | HOSE BIB | R45 | ROOF & SHELF (CLOSETS) |
| CAB | CABINETS / CABINETS | HDR | DOOR / WINDOW / OPENING HEADER | REF | REFRIGERATOR |
| CJ | CONTROL JOINT | HJ | MATER/ELECTRICAL HOOK UPS | REINF | REINFORCEMENT |
| CL | CENTERLINE | HVAC | HEATING, VENTING & AIR CONDITION | RM | ROOM |
| CMU | CONCRETE MASONRY UNIT | KWALL | KNEEWALL | SEG | SEGMENTED |
| CO | CLEAR OPENING | LVL | LAMINATED VENEER LUMBER | SHWR | SHOWER |
| COL | COLUMN | MANT | MANUFACTURED | SHELV(S) | SHELVES(S) |
| CONC | CONCRETE | MAS | MASONRY | SPEC(D) | SPECIFICATION / SPECIFIED |
| CSMT | CASEMENT | NIC | NOT IN CONTRACT | SQ | SQUARE |
| DBL | DOUBLE | OC | ON CENTER | ST | SUN TUBE |
| DIAM | DIAMETER | OH | OVERHANG | SST | SIMPSON STRONG-TIE OR EQUAL |
| DJ | DOUBLE JOIST | OPNG | OPENING | SUBFLR | SUB-FLOOR |
| DN | DOWN | OPT | OPTIONAL | SYP | SOUTHERN YELLOW PINE |
| DP | DEEP | | | | |
| | | | | T.G. | TOP CHORD |
| | | | | TOP | TOP OF WALL |
| | | | | TRANS | TRANSOM |
| | | | | TYP | TYPICAL |
| | | | | UN | UNLESS OTHERWISE NOTED |
| | | | | V.B. | VAPOR BARRIER |
| | | | | VAN | VANITY |
| | | | | W | WIDE |
| | | | | W | WITH |
| | | | | WP | WATER PROOF |
| | | | | MV | MAIN WATER VALVE SHUTOFF |
| | | | | #SP | NUMBER OF STUD POCKETS @ WINDOW/DOOR JAMB |

| SUMMARY | |
|---|--|
| PROJECT INFO | |
| NAME OF PROJECT: | LOT 15 CLEARWATER LAKES, JOHNSVILLE TOWNSHIP |
| PROJECT ADDRESS: | 284 BRET ROAD, CAMERON, NC 28326 |
| PROPOSED USE: | RESIDENTIAL |
| CONTACT: | CAVINESS & GATES |
| CODE COMPLIANCE: | 2024 NC STATE RESIDENTIAL BUILDING CODE |
| MUNICIPALITY: | 411 HARNETT COUNTY |
| GAS COMMUNITY: YES/NO | TODD TUCKER, AIBD, CPBD |
| DESIGNER: | |
| SPACE DATA: | |
| FIRST FLOOR, HEATED: | 2346 SF |
| FRONT PORCH: | 218 SF |
| REAR PORCH: | 544 SF |
| GARAGE: | 512 SF |
| TOTAL UNDER ROOF: | 3730 SF |
| OVERALL BUILDING HEIGHT: | 21'-3" WITH SLAB FOUNDATION |
| NUMBER OF FLOOR: | ONE STORY w/ ATTIC STORAGE |
| DESIGN LOADS | |
| ROOF LOADS: | 20 PSF LIVE, 20 PSF DEAD |
| ATTIC LOADS: | 20 PSF LIVE, WHERE INDICATED (SEE TRUSS DWGS) |
| FIRST FLOOR: | 40 PSF LIVE, 10 PSF DEAD |
| UPPER FLOORS: | 30 PSF LIVE, 15 PSF DEAD |
| WIND LOAD: | FOR ASCE 7-10, RISK CATEGORY II, EXPOSURE 'B', 120 mph |
| ALL GARAGE PORTAL WALLS TO BE FRAMED WITH 2x6 STUDS | |

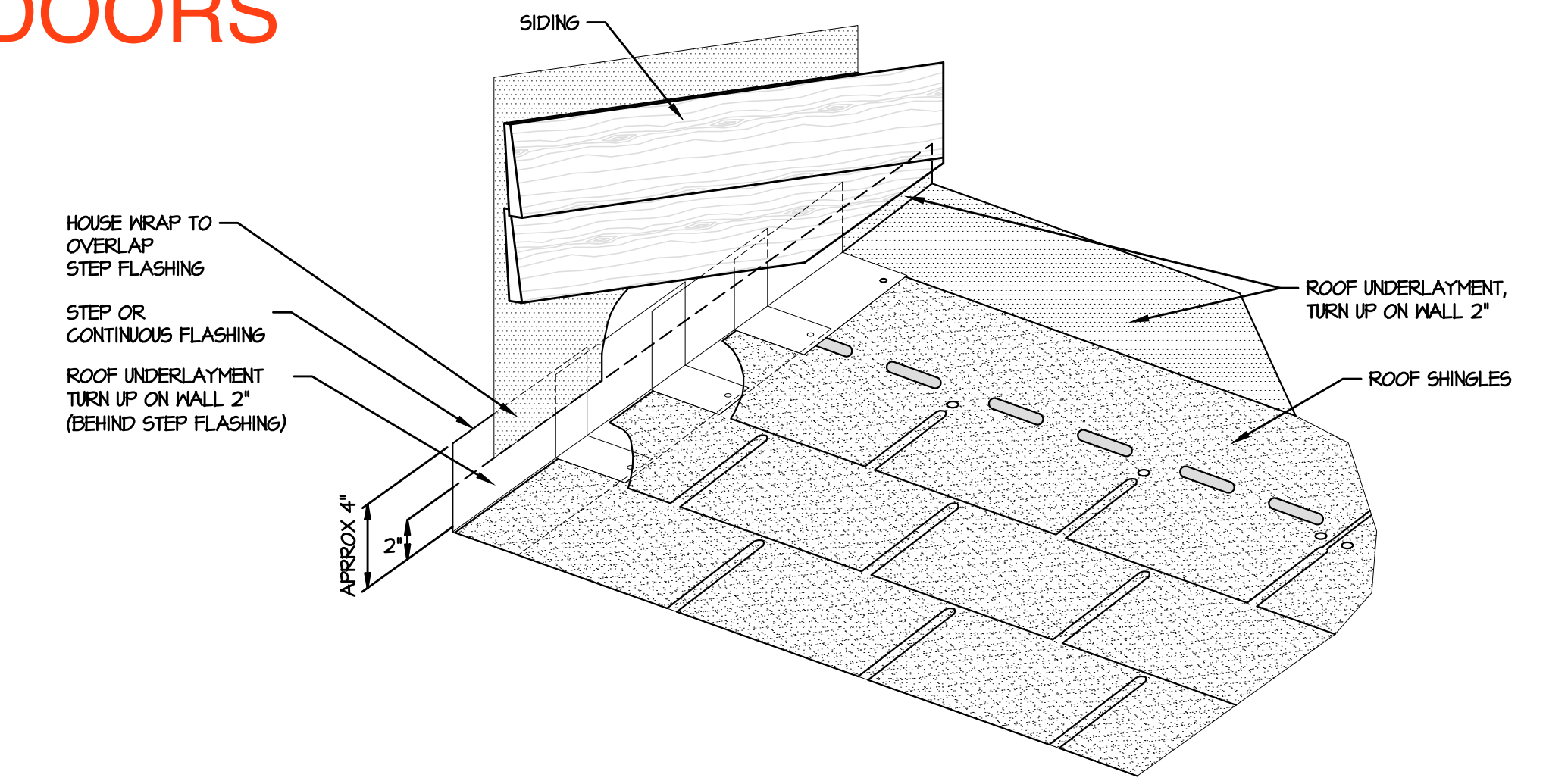
| ATTIC VENT CALCULATIONS R306 | |
|--|----------------------------------|
| ATTIC AREA: | 1330 SF. |
| RIDGE VENTS: | 74 L.F. / 10 S.F. (67%) |
| SOFFIT VENTS: | 88 L.F. / 5 S.F. (33%) |
| RATIO: | $\frac{15}{1330} = \frac{1}{90}$ |
| * CALCS BASED ON VENT FREE AREA OF 18 S.I. FOR RIDGE & 9 S.I. FOR SOFFIT (PLF) | |

| ENERGY COMPLIANCE (CHAPTER ELEVEN) | |
|---|----------------------|
| CLIMATE ZONE: | 4A HARNETT COUNTY |
| CHAPTER II ENERGY EFFICIENCY COMPLIANCE (CHECK ONE) | |
| <input checked="" type="checkbox"/> PRESCRIPTIVE CODE | |
| <input type="checkbox"/> PERFORMANCE | |
| CEILING INSULATION: | R38 |
| WALL INSULATION: | R15 |
| FLOOR INSULATION: | (CLOSED CRAWL SPACE) |

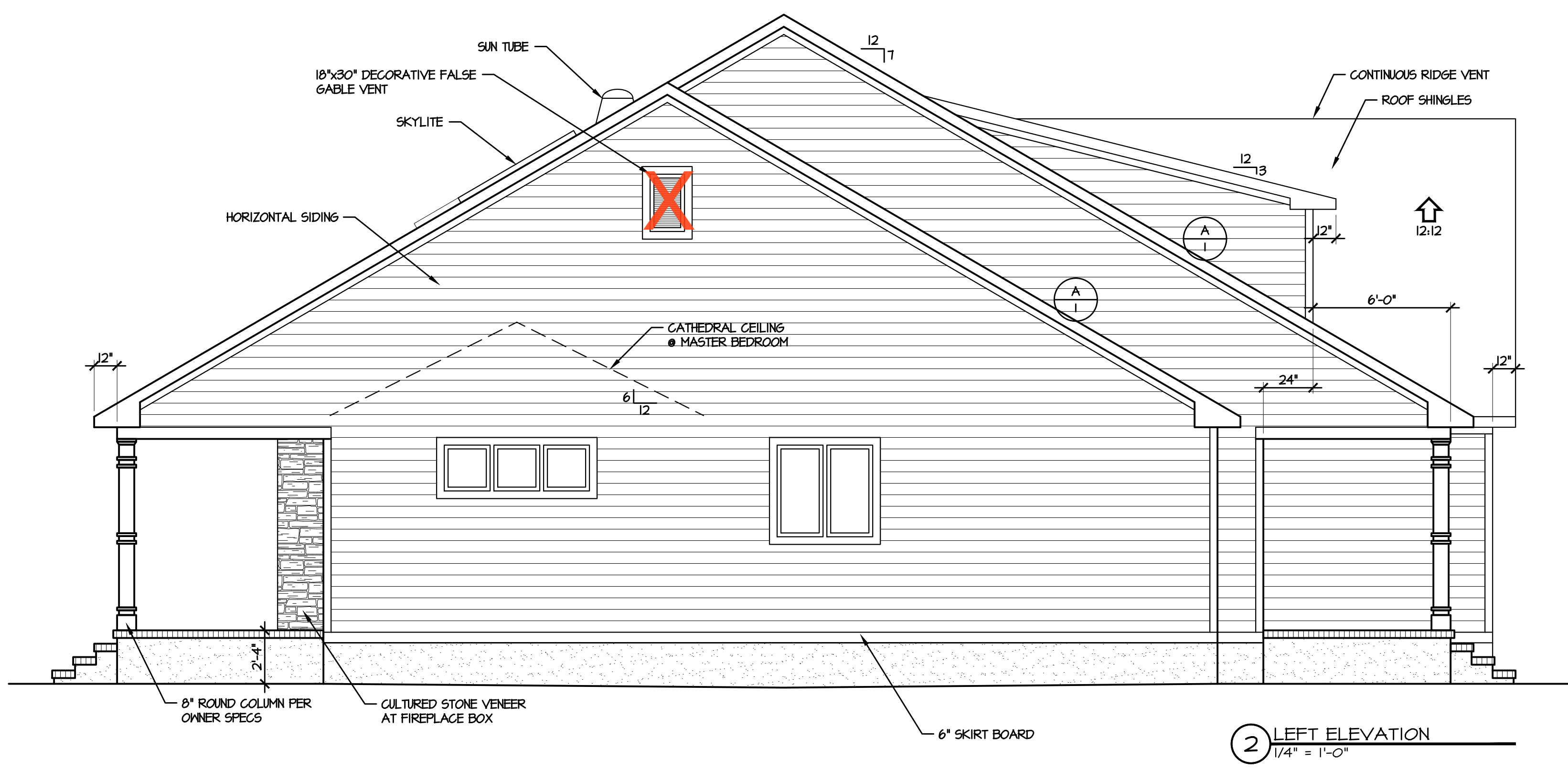
| FOUNDATION NOTES | |
|------------------|---|
| 1. | CRAWL SPACE GRADE MINIMUM 12" BELOW GIRDER / 18" BELOW JOISTS |
| 2. | DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS LONGER THAN 60" |
| 3. | FIELD-LOCATE CRAWL SPACE ACCESS, SIZED PER CODE |
| 4. | CLOSED CONDITIONED CRAWL SPACE PER SECTION R409 |



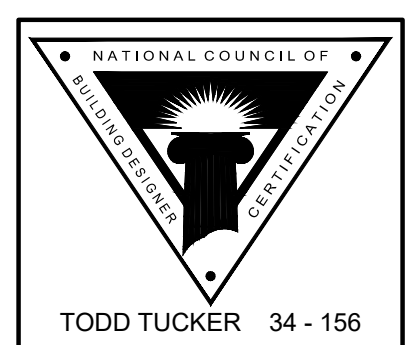
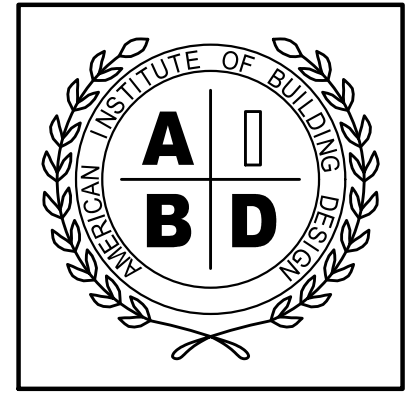
8 FOOT TALL GARAGE DOORS



A ROOF-TO-WALL FLASHING DETAIL-NRCA
NOT TO SCALE (FOR ALL ROOF/WALL TRANSITIONS)



2 LEFT ELEVATION
1/4" = 1'-0"



TODD TUCKER 34-156

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284 BRET ROAD RESIDENCE
CAMERON, HARNETT COUNTY, NORTH CAROLINA

SHEET TITLE:
ELEVATIONS / BUILDING DATA

PLAN NO:
KOENII24

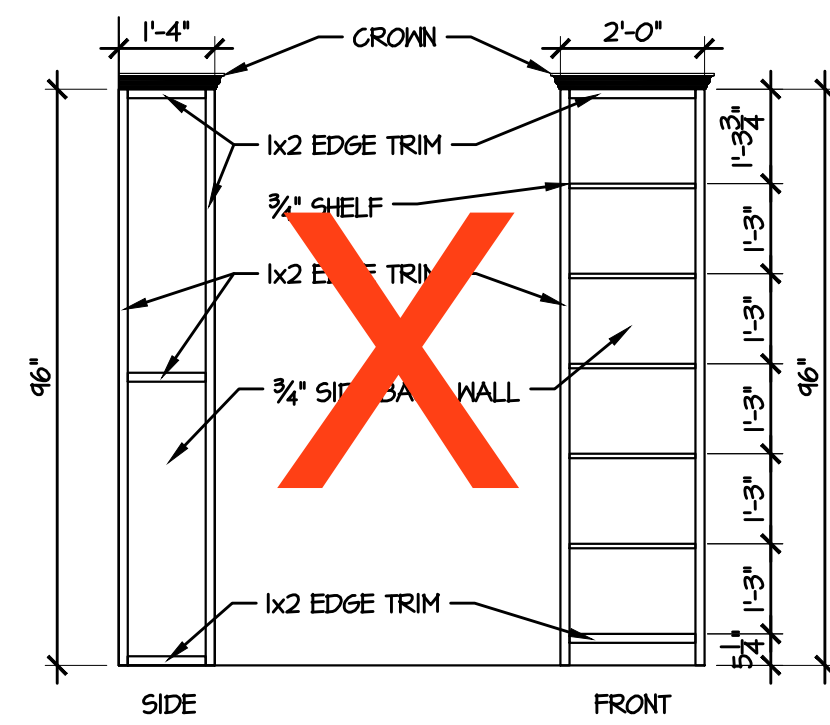
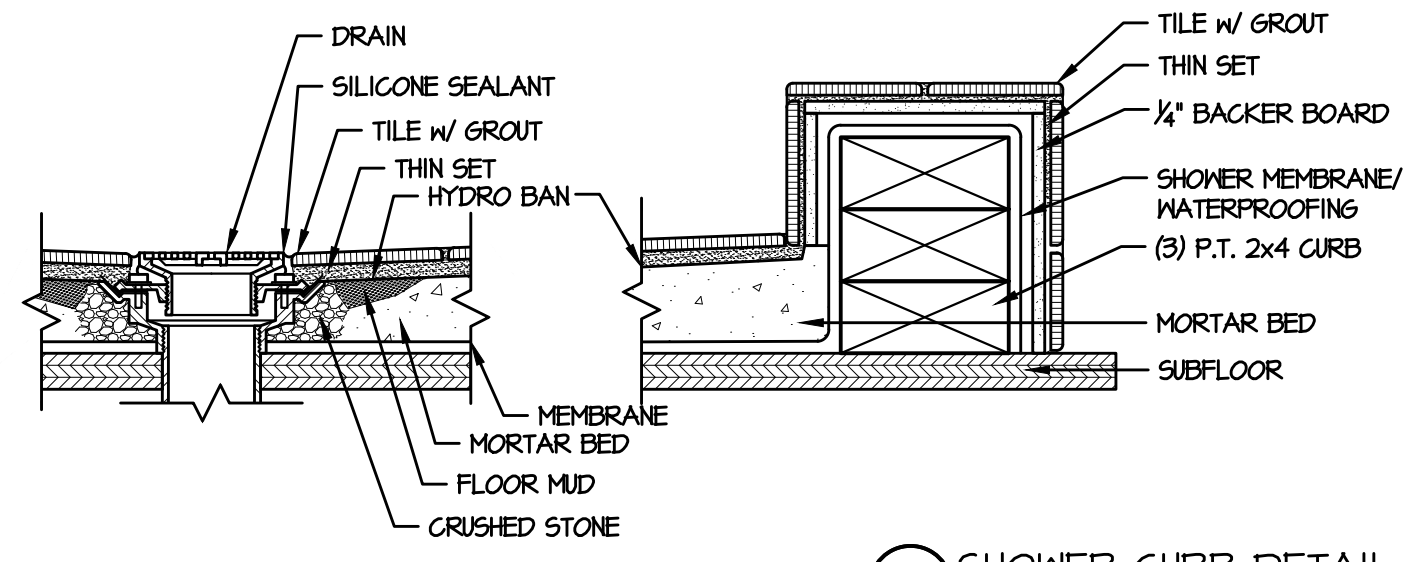
DATE:
NOVEMBER 2024

| REVISION DATE: |
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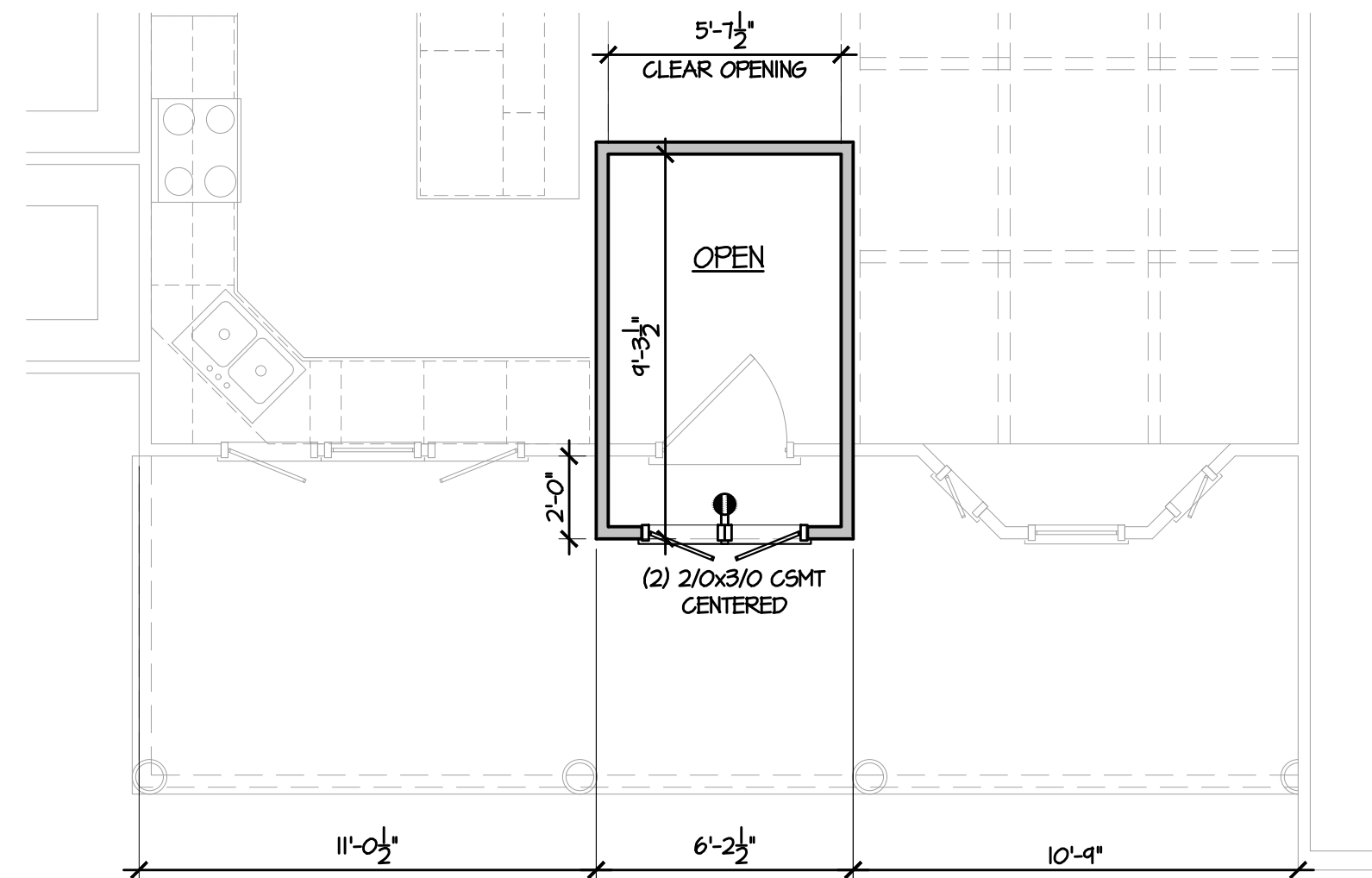
SHEET NO:
1

FIELD & REDLINE NOTES

6x6 DECK POSTS



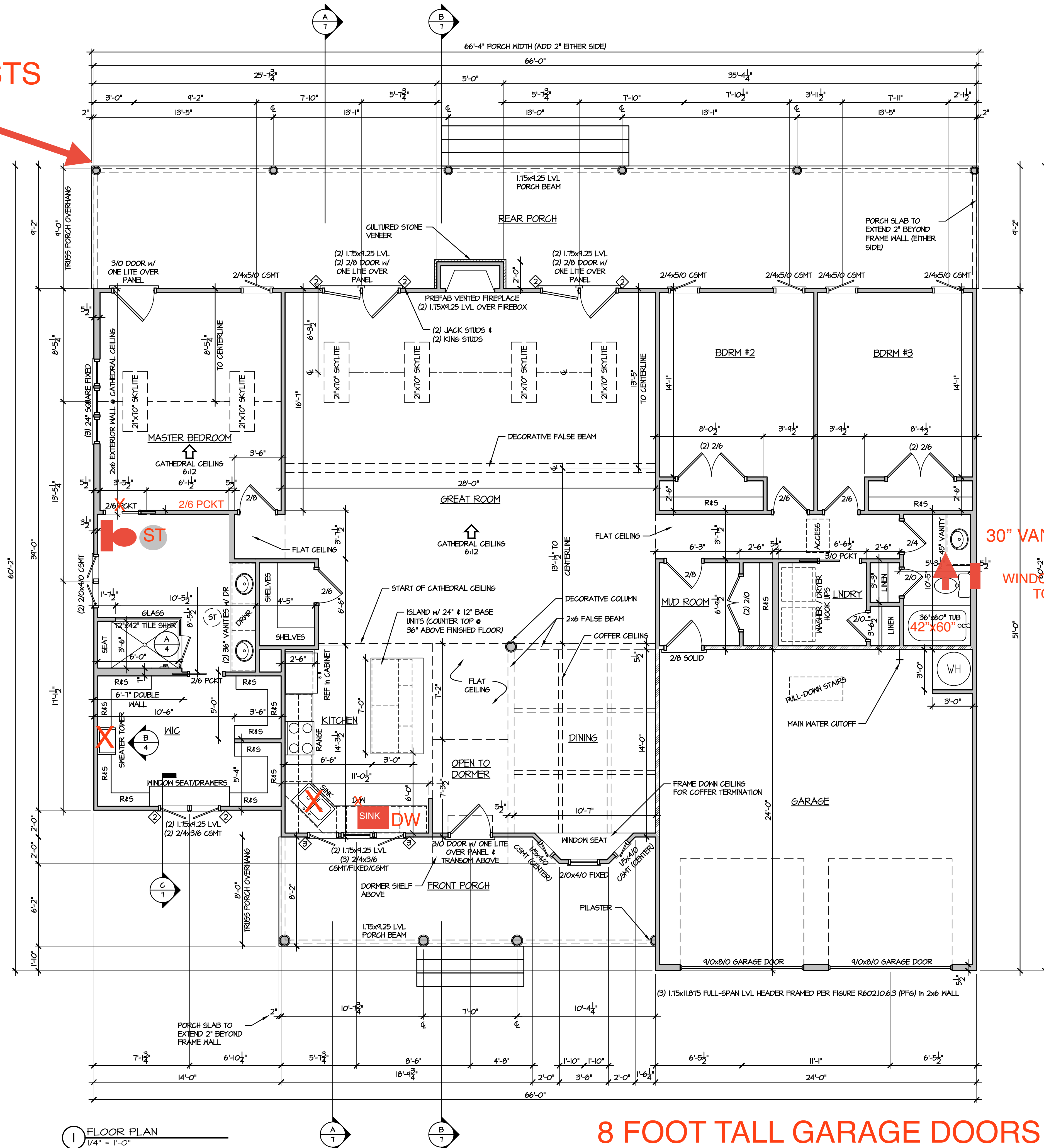
B SWEATER TOWER
3/8" = 1'-0"



2 DORMER @ FOYER PLAN
1/4" = 1'-0"

FRAMING NOTES:

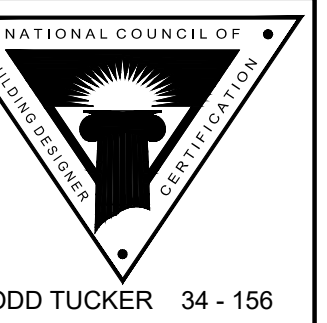
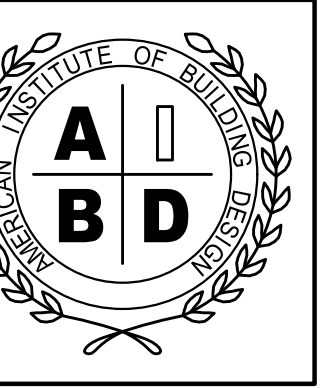
1. DOOR AND WINDOW HEADER TO BE (2) 2x10 #2 SYP OR BETTER WITH ONE JACK AND ONE KING STUD, UNLESS NOTED OTHERWISE
2. NUMBER OF KING STUDS PER OPENING TO MATCH NUMBER OF JACK STUDS - E.G. (2) JACKS STUDS & (2) KING STUDS
3. ALL DOOR HEIGHTS TO BE 6'-8"
4. ALL TOP OF WINDOWS TO BE MOUNTED AT 7'-10" AFF
5. DINING ROOM FALSE BEAMS TO BE FRAMED DOWN TO 8'-1 1/2" AFF
6. ALL WALLS FRAMED WITH 2x4 STUDS UNLESS NOTED OTHERWISE



1 FLOOR PLAN
1/4" = 1'-0"

8 FOOT TALL GARAGE DOORS

30" VANITY
WINDOW ABOVE TOILET



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289 BRET ROAD RESIDENCE
CAMERON, HARNETT COUNTY, NORTH CAROLINA

FRAMING PLANS

PLAN NO: KOENII24

DATE: NOVEMBER 2024

REVISION DATE:

SHEET NO:

4

FIELD & REDLINE NOTES

ELECTRICAL NOTES:

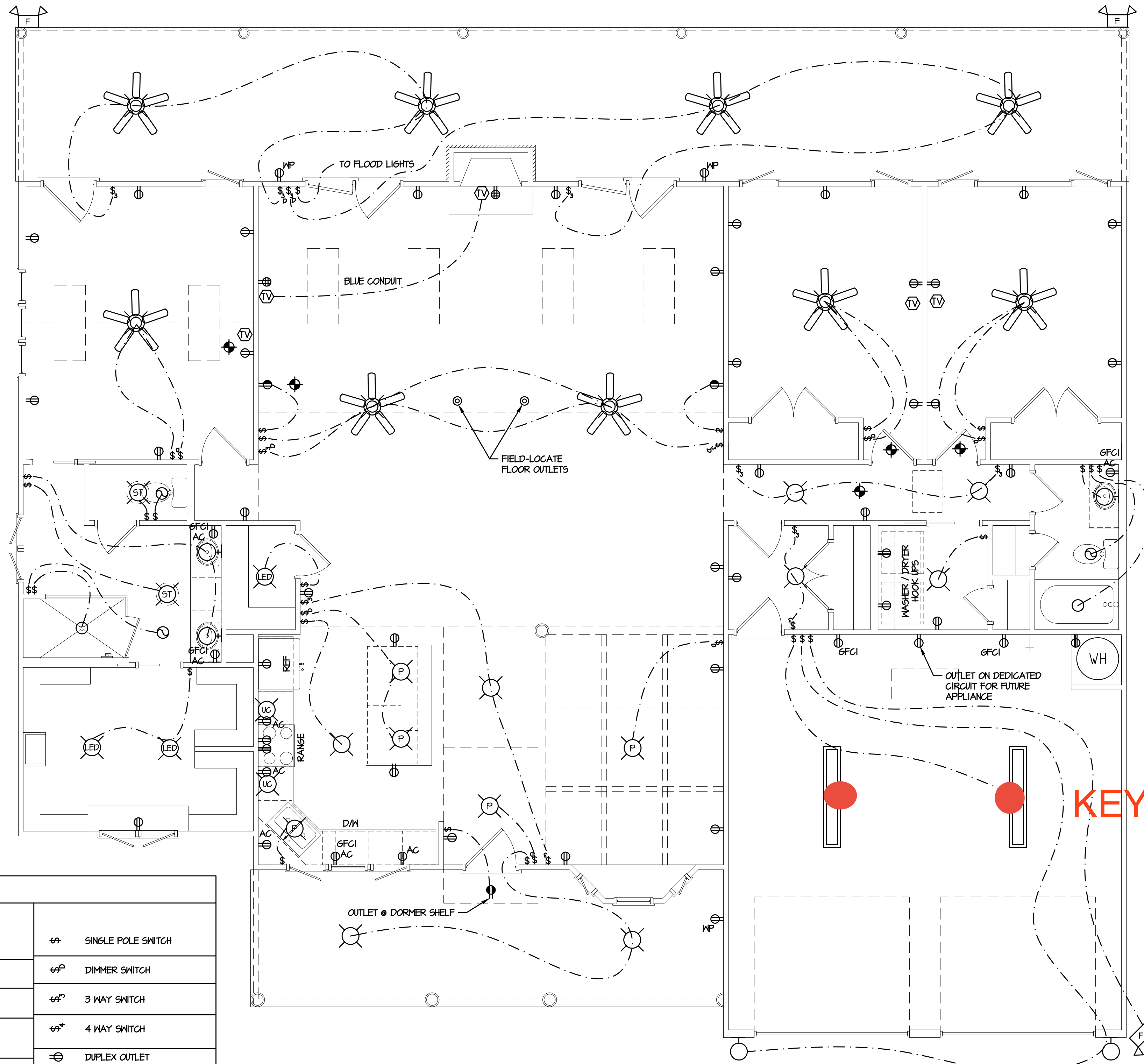
1. INSTALL LOW-WATTAGE LED LIGHTING IN SMALL CLOSETS PER 2017 NEC ARTICLE 410.2 & ARTICLE 410.16
2. GREAT ROOM AND REAR PORCH LIGHTS ON DIMMER SWITCHES
3. CEILING FANS SPEED CONTROLLED REMOTELY

BATHROOM LIGHT SWITCH NOTES:

1. FIRST LIGHT SWITCH TO VANITY LIGHT (CLOSEST TO DOOR)
2. SECONDARY SWITCHES TO RECESSED TUB/SHOWER/PANTRY LIGHTS, ETC.
3. FINAL SWITCH TO FAN (FURTHEST FROM DOOR)

SMOKE DETECTOR NOTES:

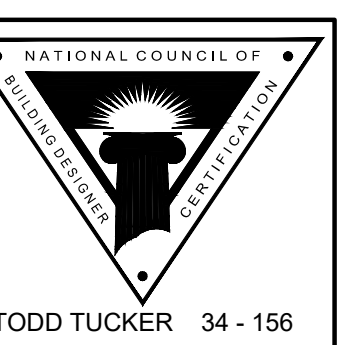
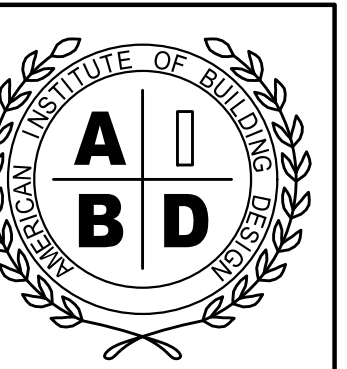
1. INSTALL SMOKE DETECTORS ON EVERY LEVEL, IN ALL SLEEPING AND GUEST ROOMS, AND OUTSIDE OF EACH SLEEPING ROOM NO GREATER THAN 21' FROM ANY DOOR TO A SLEEPING ROOM [2022 NFPA T2, 24.8.1.1]
2. WHERE AN INTERIOR FLOOR LEVEL EXCEEDS 1000 SQUARE FEET, SMOKE ALARMS SHALL BE INSTALLED WHERE ALL POINTS FALL WITHIN 30' OF TRAVEL DISTANCE OR ONE SMOKE ALARM PER 500 SQUARE FEET. FOR VAULTED CEILING OVER MULTIPLE LEVELS, SMOKE ALARMS IN THE UPPER LEVEL NEAR THE CATHEDRAL SHALL BE CONSIDERED AS PART OF THE LOWER FLOOR PROTECTION [2022 NFPA T2, 24.8.1.3, 24.8.1.3.1 and 24.8.1.3.2]
3. MAINTAIN 120" MIN FROM KITCHEN COOKING APPLIANCES [2022 NFPA T2, 24.11.3.4(5)]
4. MAINTAIN 36" MIN FROM A BATHROOM DOOR CONTAINING A TUB OR SHOWER [2022 NFPA T2, 24.11.3.4(6)]
5. MAINTAIN 36" MIN FROM A SUPPLY REGISTER OF A FORCED HEATING/COOLING SYSTEM AND OUTSIDE OF THE DIRECT AIRFLOW [2022 NFPA T2, 24.11.3.4(7)]
6. MAINTAIN 36" MIN FROM TIP OF CEILING FAN BLADE [2019 NFPA T2, 24.11.3.4(8)]
7. WHERE STAIRS LEAD TO AN ABOVE-OCCUPIABLE LEVEL, A SMOKE DETECTOR SHALL BE LOCATED SO THAT RISING SMOKE IN THE STAIRWAY CANNOT BE BLOCKED BY AN INTERVENING DOOR [2019 NFPA T2, 24.11.3.4(9)]
8. PLACE SMOKE DETECTORS AT HIGHEST POINT OF TRAY CEILING [2019 NFPA T2, 24.11.3.4(10)]



CEILING RECEPTACLES FOR 8 FOOT TALL GARAGE DOORS

ELECTRICAL LEGEND

| | | | | | |
|--|---------------------------|--|--|--|--|
| | CEILING FAN | | LIGHT KIT IN SUN TUBE | | SINGLE POLE SWITCH |
| | CEILING FAN W/ LIGHT | | COMMUNICATIONS | | DIMMER SWITCH |
| | FLUORESCENT LIGHT | | UL APPROVED SMOKE / CO DETECTOR | | 3 WAY SWITCH |
| | WALL MOUNT LIGHT | | SURROUND SOUND CEILING SPEAKER | | 4 WAY SWITCH |
| | SURFACE LIGHT | | DOOR CONTACT | | DUPLEX OUTLET ABOVE COUNTER UNDER COUNTER |
| | PENDANT LIGHT | | DIRECTIONAL MOTION SENSOR | | EXTERIOR DUPLEX OUTLET |
| | LED LIGHT | | SECURITY KEYPAD | | 1/2 HOT DUPLEX OUTLET ON SWITCH |
| | UNDER-WALL-CABINET LIGHT | | 20" ON-G ENCLOSURE HOUSING PHONE, CABLE, ALARM & REQUIRES 110V OUTLET | | DUPLEX OUTLET ON SWITCH |
| | FLOOD LIGHTS | | SURROUND SOUND TERMINATION POINT-PHONE, CABLE, SS & FUTURE PIPE WILL TERMINATE IN ONE PHONE/CABLE JACK & SPOUT PLATE | | GROUND FAULT CIRCUIT INTERRUPT DUPLEX OUTLET |
| | RECESS LIGHT | | | | QUAD OUTLET |
| | LIGHT / EXHAUST FAN COMBO | | | | FLOOR OUTLET |
| | EXHAUST FAN | | | | 220 V OUTLET |



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289 BRET ROAD RESIDENCE
CAMERON, HARNETT COUNTY, NORTH CAROLINA

SHEET TITLE:
ELECTRICAL PLAN

PLAN NO:
KOENII24

DATE:
NOVEMBER 2024

REVISION DATE:

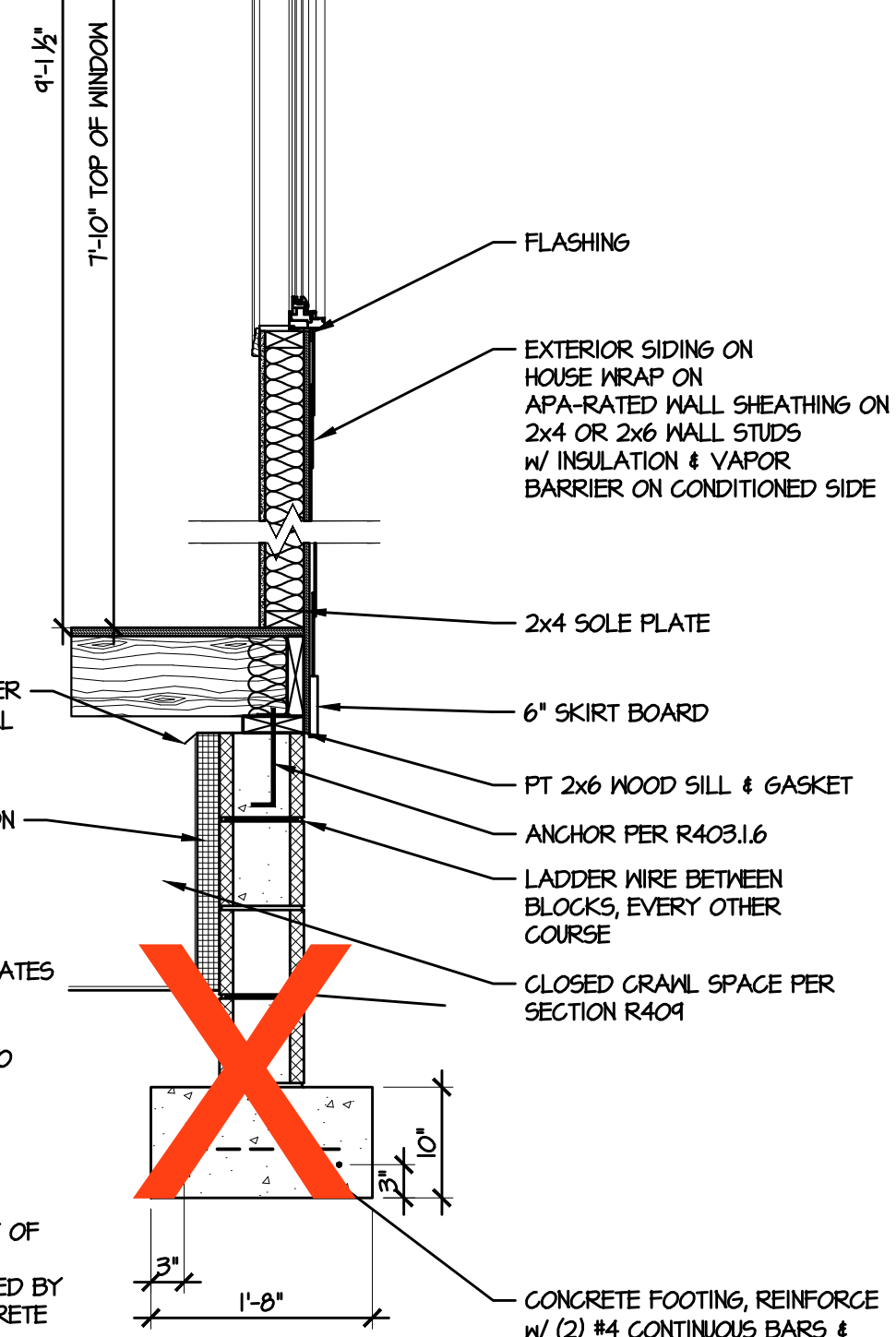
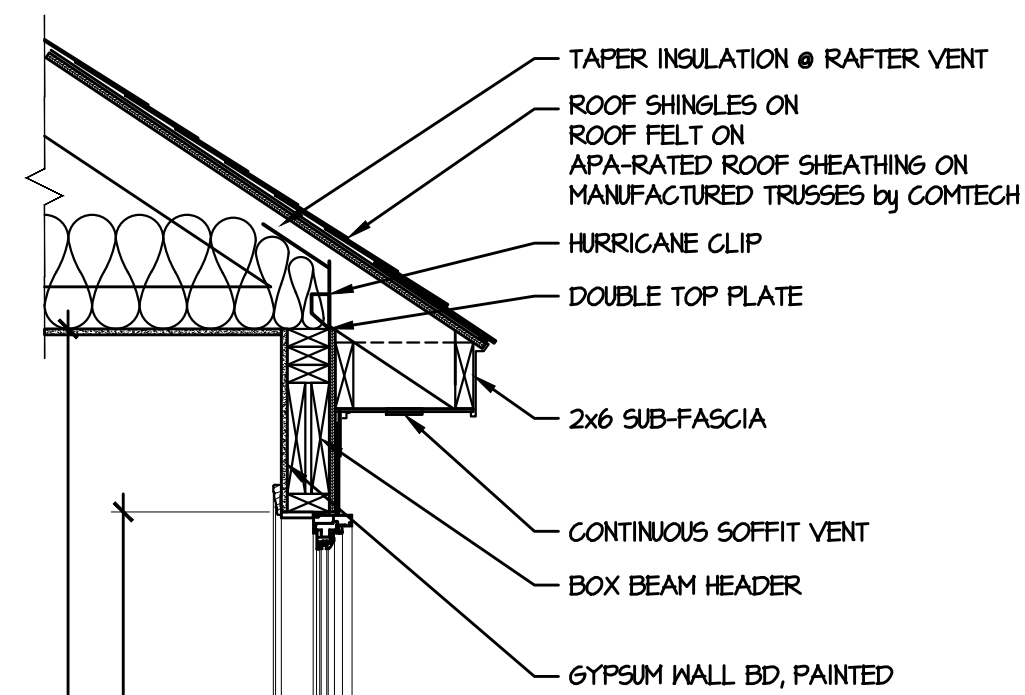
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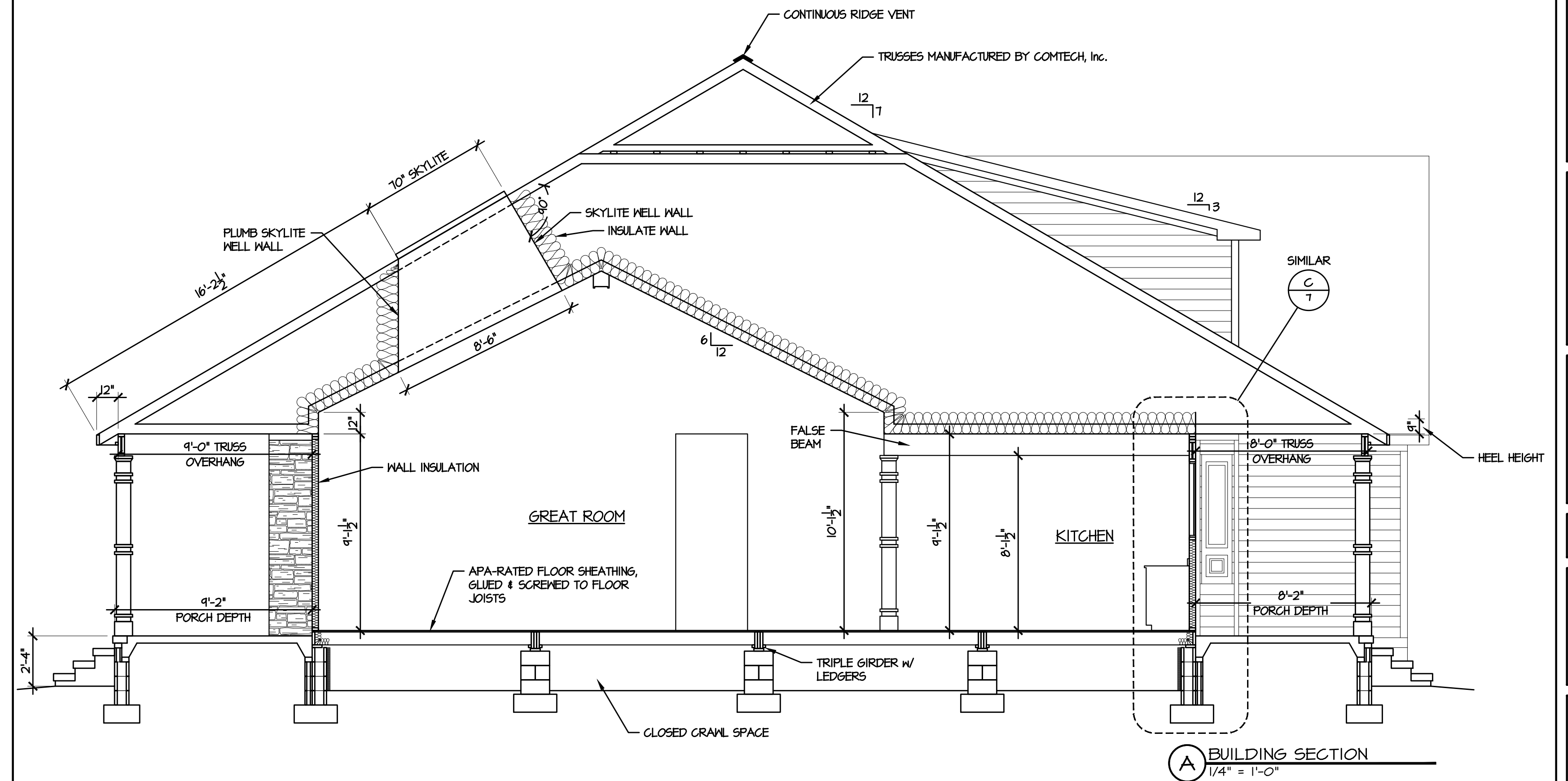
FIELD & REDLINE NOTES

4 and 8 brick and block foundation wall. See attachment.

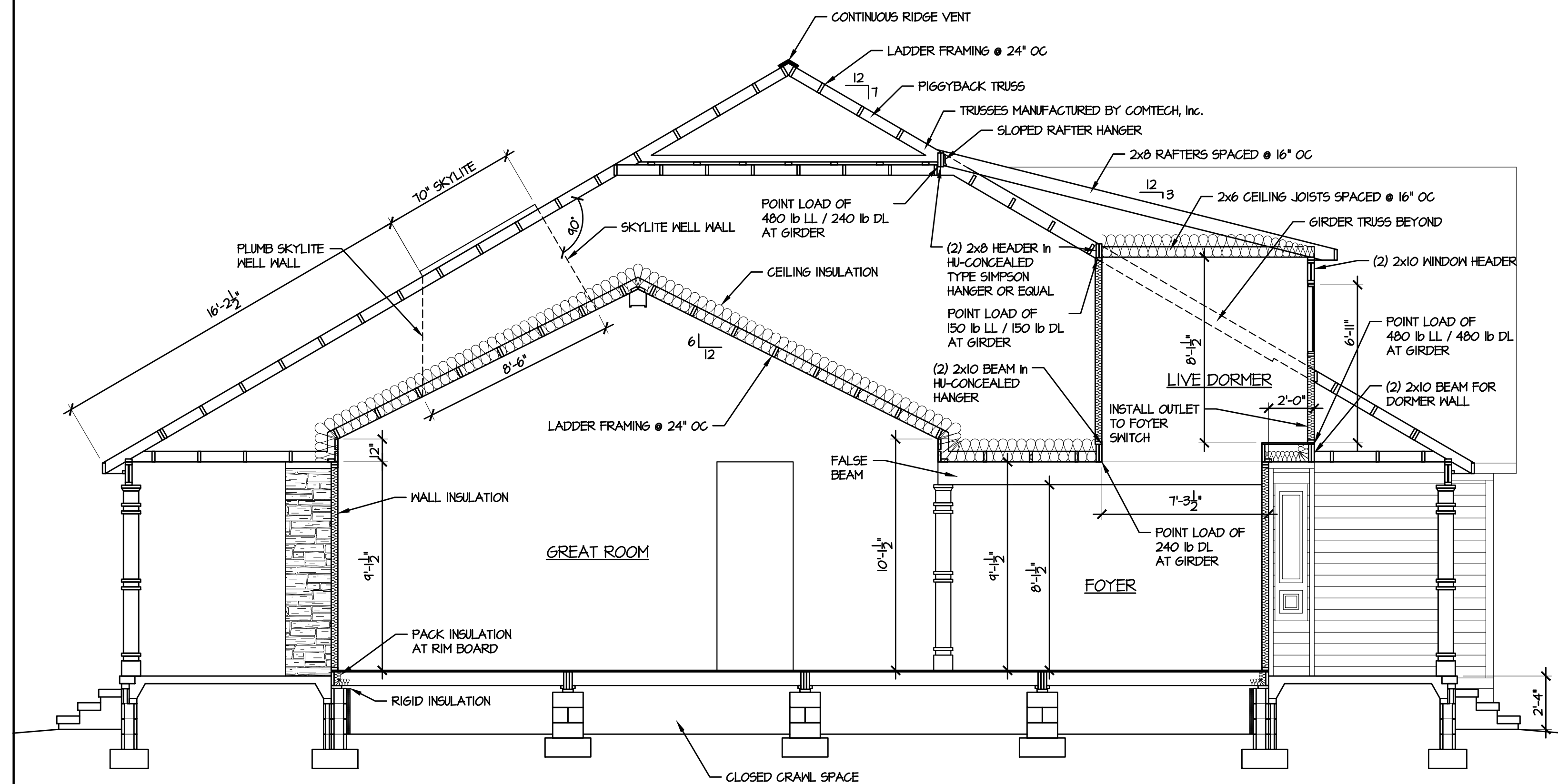


(C) TYPICAL WALL SECTION
3/4" = 1'-0"

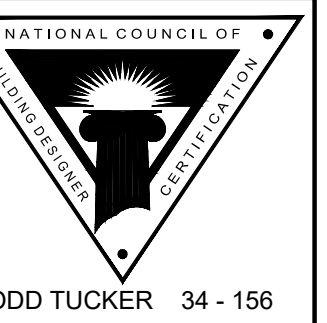
R4031.6 FOUNDATION ANCHORAGE.
WOOD SILL PLATES AND WOOD WALLS SUPPORTED DIRECTLY ON CONTINUOUS FOUNDATIONS SHALL BE ANCHORED TO THE FOUNDATION IN ACCORDANCE WITH THIS SECTION. WOOD SOLE PLATES AT ALL EXTERIOR WALLS ON MONOLITHIC SLABS, WOOD SOLE PLATES OF BRACED WALL PANELS AT BUILDING INTERIORS ON MONOLITHIC SLABS AND ALL WOOD SILL PLATES SHALL BE ANCHORED TO THE FOUNDATION WITH MINIMUM 1/2-INCH-DIAMETER (12.7 MM) ANCHOR BOLTS SPACED NOT GREATER THAN 6 FEET (1829 MM) ON CENTER OR APPROVED ANCHORS OR ANCHOR STRAPS SPACED AS REQUIRED TO PROVIDE EQUIVALENT ANCHORAGE TO 1/2-INCH-DIAMETER (12.7 MM) ANCHOR BOLTS. BOLTS SHALL EXTEND NOT LESS THAN 7 INCHES (178 MM) INTO CONCRETE OR GROUTED CELLS OF MASONRY UNITS. THE BOLTS SHALL BE LOCATED IN THE MIDDLE THIRD OF THE WIDTH OF THE PLATE. A NUT AND WASHER SHALL BE TIGHTENED ON EACH ANCHOR BOLT. THERE SHALL BE NOT FEWER THAN TWO BOLTS PER PLATE SECTION WITH ONE BOLT LOCATED NOT MORE THAN 12 INCHES (305 MM) FROM THE CORNER. INTERIOR BEARING WALL SOLE PLATES ON MONOLITHIC SLAB FOUNDATION THAT ARE NOT PART OF A BRACED WALL PANEL SHALL BE POSITIVELY ANCHORED WITH APPROVED FASTENERS. SILL PLATES & SOLE PLATES SHALL BE PROTECTED AGAINST DECAY AND TERMITES WHERE REQUIRED BY SECTIONS R301 AND R310. ANCHOR BOLTS SHALL BE PERMITTED TO BE LOCATED WHILE CONCRETE IS STILL PLASTIC AND BEFORE IT HAS SET, WHERE ANCHOR BOLTS RESIST PLACEMENT OR THE CONSOLIDATION OF CONCRETE AROUND ANCHOR BOLTS IS IMPEDED, THE CONCRETE SHALL BE VIBRATED TO ENSURE FULL CONTACT BETWEEN THE ANCHOR BOLTS AND CONCRETE.



(A) BUILDING SECTION
1/4" = 1'-0"



(B) BUILDING SECTION
1/4" = 1'-0"



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289 BRET ROAD RESIDENCE
CAMERON, HARNETT COUNTY, NORTH CAROLINA

PLAN NO: KOENII24

DATE: NOVEMBER 2024

REVISION DATE:

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SHEET NO:

7

SECTIONS

SHEET TITLE:

TODD TUCKER 34 - 156

TODD TUCKER, AIBD, CPBD
910-366-2636

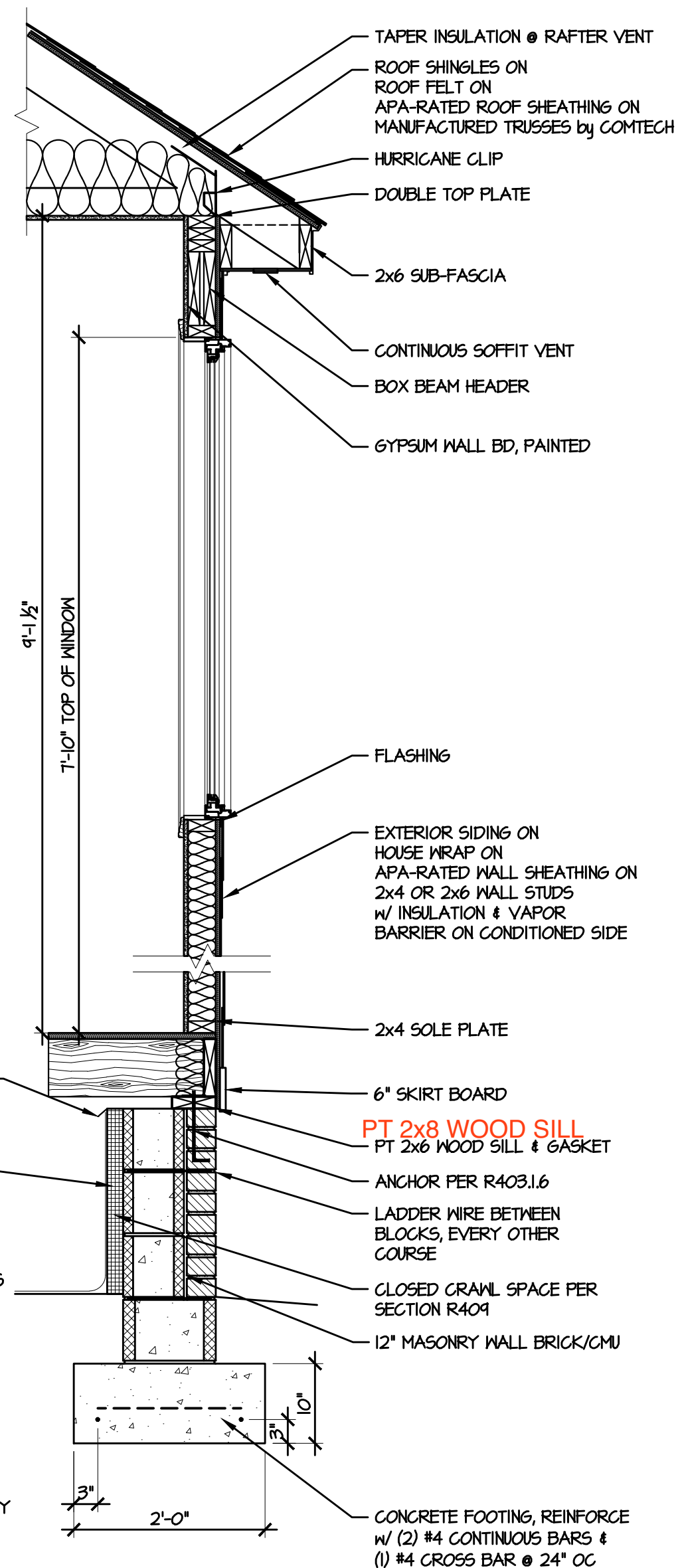
CAROLINA RESIDENTIAL DESIGN GROUP, LLC
Professional Member
Institute of Classical Architecture
American Institute of Building Design
Certified Professional Building Designer

CR
DG

11-28-24.dwg, 12/2/2024 8:36:28 AM, 1:1

YES

R403.1.6 FOUNDATION ANCHORAGE.
 WOOD SILL PLATES AND WOOD WALLS SUPPORTED DIRECTLY ON CONTINUOUS FOUNDATIONS SHALL BE ANCHORED TO THE FOUNDATION IN ACCORDANCE WITH THIS SECTION.
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C TYPICAL WALL SECTION
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