



Town of Erwin
Zoning Application & Permit
Planning & Inspections Department

Permit #
25-0077

Rev Sep2014

Each application should be submitted with an attached plot/site plan with the proposed use/structure showing lot shape, existing and proposed buildings, parking and loading areas, access drives and front, rear, and side yard dimensions.

Name of Applicant	William Elmore Builders, LLC.	Property Owner	Daniel Scott Lane
Home Address	109 S. Ellis Avenue	Home Address	306 West J Street
City, State, Zip	Dunn, NC 28334	City, State, Zip	Erwin, NC 28339
Telephone	(919) 820-3661 & (336) 782-6168	Telephone	(910) 988-7599
Email	billy@elmorebuilders.com	Email	daniellanepac@gmail.com

Address of Proposed Property		TBD, NC 55 Hwy E, Erwin, NC 28339	
Parcel Identification Number(s) (PIN)	0598-81-9034.000	Estimated Project Cost	\$505,000.00
What is the applicant requesting to build / what is the proposed use of the subject property? Be specific.		New Construction - Single Family Residential	
Description of any proposed improvements to the building or property		New Construction - Single Family Residential	
What was the Previous Use of the subject property?		Vacant Lot	
Does the Property Access DOT road?		Yes	
Number of dwelling/structures on the property already		0	Property/Parcel size 2.63 Acres (114,478 SF)
Floodplain SFHA <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Watershed <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<u>MUST</u> circle one that applies to property		Existing/Proposed Septic System <input type="checkbox"/> Or <u>Existing/Proposed County/City Sewer</u> <input checked="" type="checkbox"/>	

Owner/Applicant Must Read and Sign

The undersigned property owner, or duly authorized agent/representative thereof certifies that this application and the forgoing answers, statements, and other information herewith submitted are in all respects true and correct to the best of their knowledge and belief. The undersigning party understands that any incorrect information submitted may result in the revocation of this application. Upon issuance of this permit, the undersigning party agrees to conform to all applicable town ordinances, zoning regulations, and the laws of the State of North Carolina regulating such work and to the specifications of plans herein submitted. The undersigning party authorizes the Town of Erwin to review this request and conduct a site inspection to ensure compliance to this application as approved.

William (Billy) Elmore III	<i>Billy Elmore</i>	1/15/25
Print Name	Signature of Owner or Representative	Date

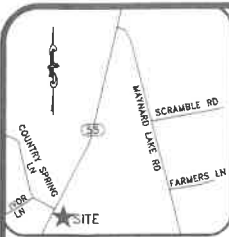
For Office Use

Zoning District	Bd	Existing Nonconforming Uses or Features	NA
Front Yard Setback	40 ft	Other Permits Required	<input type="checkbox"/> Conditional Use <input checked="" type="checkbox"/> Building <input type="checkbox"/> Fire Marshal <input type="checkbox"/> Other
Side Yard Setback	12 ft	Requires Town Zoning Inspection(s)	<input checked="" type="checkbox"/> Foundation <input checked="" type="checkbox"/> Prior to C. of O.
Rear Yard Setback	40 ft	Zoning Permit Status	<input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied
Fee Paid: \$100		Date Paid:	Staff Initials:

Comments	Driveway permit from NCDOT, building permits from Hornett Co.
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Signature of Town Representative: <i>[Signature]</i>	Date <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied: 1/17/25
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. Home not to be placed within
easement



LEGEND
DW=DRIVEWAY
EP=EDGE OF PAVEMENT
PO=PORCH
R/W=RIGHT OF WAY
SW=SIDE WALK
O = EXISTING IRON PIPE (EIP)
O = EXISTING IRON ROD (EIR)
O = NEW IRON PIPE (NIP)
O = MAG NAIL SET (MNS)
O = EXISTING MAG NAIL (EMN)
O = COMPUTED POINT (CP)

SETBACKS PER
P.B. 2024, PG. 500
FRONT 40'
SIDE 12'
REAR 40'



THIS EXHIBIT MAP IS OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.

PRELIMINARY
NICHOLAS M. FRENCH, PLS L-4817 DATE

THIS MAP IS ONLY INTENDED FOR THE PARTIES AND PURPOSES SHOWN. THIS MAP IS NOT FOR RECORDATION. NO TITLE REPORT PROVIDED.

THIS MAP MAY NOT BE A CERTIFIED SURVEY AND HAS NOT BEEN REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS AND HAS NOT BEEN REVIEWED FOR COMPLIANCE WITH RECORDING REQUIREMENTS FOR PLATS.

VICINITY MAP (NTS)

NOTES:

1. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET UNLESS OTHERWISE NOTED.

2. AREAS SHOWN HEREON WERE COMPUTED USING THE COORDINATE METHOD.

3. LINES NOT SURVEYED ARE SHOWN AS DASHED LINES FROM INFORMATION REFERENCED ON THE FACE OF THIS PLAT.

4. PROPERTY MAY BE SUBJECT TO ANY/ALL EASEMENTS AND RESTRICTIONS OF RECORD. THIS SURVEY IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND OR DECEDED AND HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. A NORTH CAROLINA LICENSED ATTORNEY-AT-LAW SHOULD BE CONSULTED REGARDING CORRECT OWNERSHIP, WIDTH AND LOCATION OF EASEMENTS, AND OTHER TITLE QUESTIONS REVEALED BY TITLE EXAMINATION.

5. DRIVEWAY IMPERVIOUS CALCULATION SHOWN HEREON CALCULATED TO THE FRONT PROPERTY LINE/RIGHT-OF-WAY.

6. PROGRESS ENERGY HIGH TRANSMISSION POWERLINE 100' R/W EASEMENT WAS SCALED IN FROM P.B. 2024, PG.500

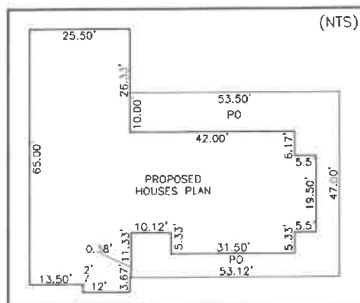
N/F
SANDRA AVERY JOHNSON
D.B. 3462, PG. 842

N/F
ERIC SCOTT AVERY &
LINDA TEMPLE
D.B. 4165, PG. 1645

N/F
DEREK AVERY &
JENNIFER AVERY WILSON
D.B. 3751 PG. 757

N/F
DEREK AVERY &
JENNIFER AVERY WILSON
P.B. 2024, PG. 115

THIS PROPERTY IS NOT
LOCATED IN THE SPECIAL
FLOOD HAZARD AREA.
FLOOD MAP: 3720059800J
HARNETT COUNTY
CID: 370456
PANEL: 0598
SUFFIX: J
EFFECTIVE
DATE: 10/03/2006

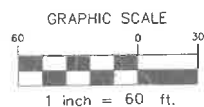


01
±114,478 S.F.
±2.63 AC.

NC 55 E ERWIN
60' PUBLIC R/W

IMPERVIOUS AREA

HOUSE	4,197 SF
DRIVE TO R/W	2,282 SF
WALK	307 SF
TOTAL	6,786 SF



PRELIMINARY

PROJECT: NC 55 E ERWIN
SURVEY BY: N/A
DRAWN BY: MTH
SCALE: 1"=60'
DATE: 01-16-2025

PLOT PLAN
FOR
ELMORE BUILDERS
NC 55 E. ERWIN
LOT 01
GROVE TWP., HARNETT CO., NC
P.B. 2024, PG. 500 PIN: 0598-81-9034.000

REVISIONS:

ECLS
GLOBAL, INC.
U.S. VETERAN-OWNED
19 N MEKINLEY ST
COATS, NC 27521
910.897.3237 (TEL) 910.897.3239 (FAX) CDD-4175