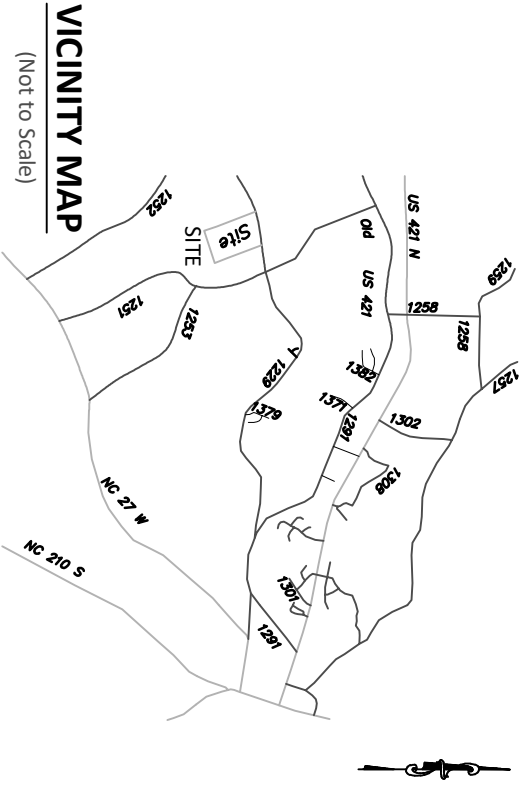




Bateman Civil Survey Company

Engineers • Surveyors • Planners

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NOBELS Firm No. C-2378



VICINITY MAP

(Not to Scale)

LEGEND

PO = FRONT COVERED PORCH
SP = SCREENED PORCH/PATIO
CP = COVERED PORCH/PATIO
WD = WOOD DECK
SW = SIDEWALK
DW = CONC DRIVEWAY
P = CONC PATIO
X = COMPUTED POINT
X = MAG NAIL FOUND
O = IRON PIPE FOUND (IPF)
● = IRON PIPE SET (IPS)
● = DRILL HOLE FOUND
WMD = WATER METER
CO = CLEAN OUT
AC = AIR CONDITIONER
EB = SEWER MANHOLE
EB = ELECTRIC BOX
C = CABLE BOX
T = TELEPHONE PEDESTAL
CB = CATCH BASIN/CURB INLET
IC = IRRIGATION CONTROLLER
L = LIGHT POLE
U = UTILITY POLE
F = FIRE HYDRANT
DI = DRAIN INLET
WV = WATER VALVE
S = STREET SIGN
YI = YARD INLET
G = GAS METER
E = ELECTRIC METER

PRELIMINARY

This map is of an existing parcel of land and is only intended for the parties and purposes shown. This map not for recordation. No title report provided.

BUILDER TO VERIFY HOUSE LOCATION
DIMENSIONS AND REVIEW TOTAL
IMPERVIOUS NOTED ON THIS PLOT PLAN

PRELIMINARY PLOT PLAN

FOR

DAVIDSON HOMES

WELLERS KNOLL - LOT 31

236 VAN WINKLE STREET, LILLINGTON, NC
UPPER LITTLE RIVER TOWNSHIP, HARNETT COUNTY

DATE: 1/10/24 DRAWN BY: SLA CHECKED BY: SPC

REFERENCE: BM 2023 PG. 59-62

BCS# 230051

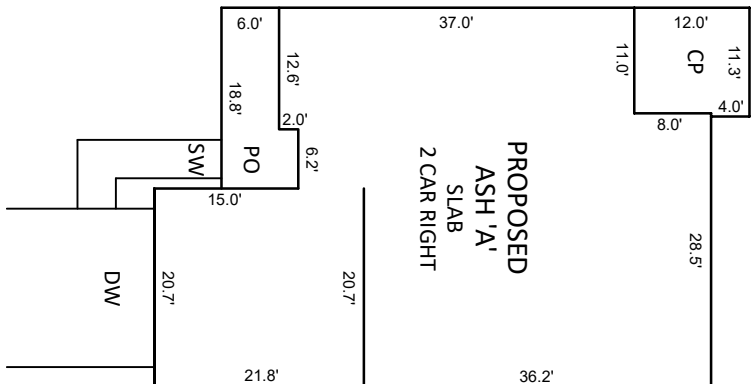
SCALE: 1" = 30'

LOT INFORMATION:

PIN: 0529-78-8043.000
REFERENCE: .DB. 4262, PGS. 2538-2541
TOTAL LOT AREA = 0.593 AC = 25,828 SF

HOUSE = 1,946 SF
PORCH = 125 SF
SIDEWALK = 73 SF
DRIVEWAY = 657 SF
COVERED PORCH = 133 SF
STOOP = 9 SF
AC PAD = 9 SF
PROPOSED IMPERVIOUS = 2,952 SF
PERCENT IMPERVIOUS = 11.43%
MAXIMUM IMPERVIOUS = 7,000 SF

BUILDING SETBACKS
FRONT - 35' FROM RW
REAR - 25'
SIDE - 10'
SIDE CORNER - 20'



INSET SCALE: 1"=20'

NOTES:

- THIS SURVEY WAS PREPARED BY BATEMAN CIVIL SURVEY CO., UNDER THE SUPERVISION OF STEVEN P. CARSON, PLS.
- THIS PLAN HAS BEEN PREPARED FOR LAYOUT AND PERMITTING PURPOSES ONLY.
- PROPERTY LINES SHOWN WERE TAKEN FROM EXISTING FIELD EVIDENCE, EXISTING DEEDS AND PLATS OF PUBLIC RECORD, AND INFORMATION SUPPLIED TO THE SURVEYOR BY THE CLIENT.
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES AND ALL BEARINGS ARE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM UNLESS OTHERWISE SHOWN.
- THIS MAP IS NOT FOR RECORDATION AND SHOULD BE REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS.
- THE BASIS OF NORTH AND ALL EASEMENTS, RIGHTS-OF-WAYS, BUFFERS, SETBACKS AND ADJOINERS, ETC. REFERENCED IN TITLE BLOCK.
- NO INVESTIGATION INTO THE EXISTENCE OF JURISDICTIONAL WETLANDS, FLOODZONES OR RIPARIAN BUFFERS PERFORMED BY THIS FIRM. ALL LINES SHOWN, IF ANY, ARE SCALED FROM THE RECORDED PLAT.
- SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- ZONING: RA-30
- DEVELOPER/BUILDER: DAVIDSON HOMES
1903 NORTH HARRISON AVENUE
CARY, NC 27513

CURVE TABLE			
CURVE	RADIUS	LENGTH	CHORD
C45	300.00'	144.81'	556°31'30"W
			143.41'

