

DESIGN CRITERIA:
WIND SPEED: 120 MPH
SEISMIC DESIGN: B
SNOW LOAD: 20 PSF
CONCRETE BEARING CAPACITY: 3000 PSI

LIVING AREA: 2,299 S.F.
GARAGE: 423 S.F.
COVERED FRONT PORCH: 130 S.F.
TOTAL AREA UNDER ROOF: 2,852 S.F.
STOOP: 18 S.F.
TOTAL AREA: 2,870 S.F.



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THE WHITETREE, P. RESIDENCE

FOR PERMIT

AUGUST 25, 2025

MITCHELL HOMES, INC.
14300 SOMMERVILLE COURT MIDLOTHIAN, VA 23113
PHONE: 804-378-5211 FAX: 804-378-0811
www.MITCHELLHOMESINC.com

ALL WORK SHALL CONFORM WITH ALL GOVERNING LAWS,
CODES AND ORDINANCES INCLUDING, BUT NOT LIMITED
TO, THE NORTH CAROLINA RESIDENTIAL CODE (2018).

DESIGN CRITERIA:

1. "NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION" BY NATIONAL FOREST PRODUCTS ASSOCIATION (NFPA).
2. "SPECIFICATIONS FOR THE DESIGN FABRICATION AND ERECTION OF STRUCTURAL STEEL BUILDINGS" BY AMERICAN INST. OF STEEL CONSTRUCTION (AISC).
3. "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" BY AMERICAN CONCRETE INSTITUTE (ACI).
4. "SPECIFICATIONS FOR CONCRETE MASONRY CONSTRUCTION" BY AMERICAN CONCRETE INSTITUTE (ACI).

FLOOR LIVE LOAD: 40 PSF
FLOOR DEAD LOAD: 10 PSF

GARAGE LIVE LOAD: 50 PSF
GARAGE DEAD LOAD: 50 PSF

DECK LIVE LOAD: 40 PSF
DECK DEAD LOAD: 20 PSF

SNOW LOAD: 20 PSF

WIND SPEED: 120 MPH

SEISMIC DESIGN: B

ALLOWABLE DEFLECTION PER TABLE R301.7

GENERAL NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2018 IRC ONE AND TWO FAMILY DWELLING CODE AS PREPARED BY THE INTERNATIONAL COUNCIL OF BUILDING OFFICIALS, AND ALL LOCAL BUILDING CODES.
2. CONTRACTOR SHALL COMPLY WITH THE CONTENT OF THE SPECIFICATIONS FOR THIS HOUSE. THESE PLANS ARE NOT TO BE SCALED FOR CONSTRUCTION PURPOSES. ALL DIMENSIONS SUPERCEDE ANY SCALED REFERENCE. ANY DIMENSIONAL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER.
3. CONTRACTOR TO VERIFY ALL DIMENSIONS.
4. THE CONTRACTOR SHALL COORDINATE THE ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS, AND VERIFY THE REQUIREMENTS OF THE OTHER TRADES AS TO SLEEVES, CHASES, HANGERS, INSERTS, ANCHORS, HOLES, ETC.
5. FINAL CONNECTION OF ALL WATER AND SEWER TO THE RESIDENCE IS THE RESPONSIBILITY OF THE CUSTOMER. PLEASE COORDINATE IN ADVANCE ALL FEES, APPLICATIONS, AND AUTHORITIES INVOLVED IN THE CONNECTION OF WATER & SEWER.

FOUNDATION NOTES:

1. ALL FOOTINGS, INCLUDING SLAB ON GRADE, SHALL BEAR ON UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL WITH AN ALLOWABLE BEARING CAPACITY OF 1750 PSF, MIN.
2. ALL FOUNDATION CONCRETE SHALL OBTAIN A 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI. ALL SLAB ON GRADE CONCRETE AND CONCRETE EXPOSED TO WEATHER SHALL OBTAIN A 28-DAY COMPRESSIVE STRENGTH OF 3500 PSI AND BE AIR ENTRAINED.
3. ALL REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ASTM A615, GRADE 60.
4. CONCRETE PROTECTION FOR REINFORCING AS WELL AS PLACING AND FABRICATION OF REINFORCING SHALL BE IN ACCORDANCE WITH THE "AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS" (ACI 318).
5. EARTH FORMED FOOTINGS SHALL CONFORM TO THE SHAPE, LINES, AND DIMENSIONS AS SHOWN ON THE FOUNDATION PLAN. ALL WATER SHALL BE REMOVED PRIOR TO PLACING CONCRETE. FOOTING NOT TO BE PLACED ON FROZEN GROUND.
6. BEFORE PLACING CONCRETE, ALL EMBEDDED ITEMS SHALL BE PROPERLY LOCATED, ACCURATELY POSITIONED AND MAINTAINED SECURELY IN PLACE.
7. FOUNDATION FOOTING DEPTH MAY VARY ACCORDING TO LOCAL CODES AND FROST CONDITIONS.
8. DAMPPROOFING AND WATERPROOFING SHALL BE INSTALLED PER MANUF. SPECIFICATIONS AND LOCAL CODE REQUIREMENTS.
9. PROVIDE 1/2" DOUBLE GALV. FOUNDATION ANCHOR BOLTS AT 6' O.C. MAX. 1'-0" FROM CORNERS. SECURE TO SILL PLATE OR BOTTOM PLATE WITH 1/2" WASHER & NUT. NO LESS THAN 2 ANCHORS PER SECTION.
10. SLABS SHALL HAVE CONTROL JOINTS IN PLACE WITHIN 48 HOURS AFTER POUR.
11. CONT. FOOTINGS @ FOUNDATIONS W/ BRICK & 8" BLOCK SHALL BE 20" WIDE X 10" THICK, U.N.O.
12. CONT. FOOTINGS @ FOUNDATIONS W/ 8" PARGED BLOCK SHALL BE 16" WIDE X 10" THICK, U.N.O.
13. ALL CONTINUOUS REINFORCING SHALL LAP 48 BAR DIAMETERS UNLESS OTHERWISE NOTED ON THE DRAWINGS.
14. FOUNDATION DRAINS SHALL BE LOCATED PER LOCAL CODES.

FRAMING NOTES:

1. JOISTS SPANS WERE DETERMINED ON THE BASIS OF THE ALLOWABLE STRESSES PER 2018 IRC.
2. PROVIDE DOUBLE JOISTS BELOW ALL PARALLEL PARTITIONS, AND ABOVE AND AROUND ALL OPENINGS NOT INDICATED ON DRAWINGS.
3. PROVIDE SOLID BLOCKING BETWEEN FLOOR JOISTS UNDER WALLS THAT ARE PERPENDICULAR TO THE FLOOR JOISTS.
4. SHEATH ALL EXTERIOR WALLS WITH NOMINAL 1/2" STRUCTURAL GRADE PLYWOOD, NOMINAL 7/16" OSB.
5. PROVIDE MIN. DOUBLE JAMB FOR ALL BEAMS, U.N.O.
6. PROVIDE MIN. TRIPLE JACK FOR ALL GIRDER TRUSSES, U.N.O.
7. PROVIDE SOLID BLOCKING BELOW ALL COLUMNS TO TRANSFER LOAD DIRECTLY TO FRAMING AND OR FOUNDATION.
8. BALLOON FRAME ALL END WALLS WITH CATHEDRAL CEILINGS, U.N.O.
9. ALL FLUSH FRAMED LVL OR PSL BEAM TO BEAM CONNECTIONS TO BE FASTENED WITH BEAM HANGERS, DESIGNED AND PROVIDED BY LVL OR PSL MANUFACTURER, UNLESS A SPECIFIC HANGER CONNECTOR IS CALLED FOR.
10. JOIST HANGERS ARE TO BE A MIN. OF 16 GAUGE, SIZE, AND PROFILE TO SUIT APPLICATION, U.N.O., PROVIDE HANGERS FOR ALL FLUSH FRAMED JOISTS.
11. JOIST HANGERS, HURRICANE CLIPS, POST BASED, POST CAPS, AND OTHER FRAMING SPECIALTIES ARE TO BE AS MANUFACTURED BY USP AND ARE TO BE USED ONLY IN STRICT ACCORDANCE WITH MANUFACTURERS WRITTEN SPECIFICATIONS.
12. USE "H" CLIPS FOR ALL UNSUPPORTED ROOF SHEATHING BUTT JOISTS.
13. WOOD EXPOSED THE ENVIRONMENT, ATTACHED DIRECTLY TO CONCRETE OR DESIGNATED AS "TREATED" SHALL BE #2 SOUTHERN YELLOW PINE OR BETTER AND TREATED IN ACCORDANCE WITH THE AMERICAN WOOD PRESERVERS ASSOCIATION (AWPA) STANDARD C2. FASTENERS FOR PRESSURE TREATED WOOD TO BE GALVANIZED.
14. ENGINEERED JOISTS/ TRUSSES SHALL BE MANUFACTURED AND INSTALLED PER MANUF. WRITTEN SPECIFICATIONS.
15. ALL EXTERIOR AND INTERIOR WALLS TO BE CONSTRUCTED OF 2X4 STUDS @ 16" O.C., U.N.O.
16. ALL OSB SUBFLOOR TO BE GLUED AND NAILED W/ 8d NAILS. ALL OSB SHEATHING TO BE NAILED W/ 8d NAILS.
17. ICE & WATER SHIELD INSTALLED 8"-12" IN FIELD, 4"-6" EDGE ABOVE LIVING SPACE. ADD DOUBLE LAYER ON ANY ROOF UNDER 4/12.
18. ALL RAFTERS, GIRDERS, JOISTS, AND HEADERS TO BE #2 SOUTHERN YELLOW PINE OR BETTER, U.N.O.
19. 2-STORY HOMES TO HAVE 1" "SHEETROCK WINDOW" FOR STOCKING. ONE DRYWALL WINDOW ON EACH FLOOR. LOCATION TO BE DETERMINED IN FIELD. ALL WINDOWS TO BE DOUBLE-HUNG U.N.O.
20. CEILINGS IN ATTACHED GARAGES SHALL BE 5/8" TYPE "X" WHEN THERE IS A CONDITIONED SPACE ABOVE.
21. ALL ROOFS WITH SLOPES LESS THAN 4/12 TO HAVE DOUBLE ICE SHIELD UNDERLAYMENT.
22. ALL INTERIOR PRE-HUNG DOORS TO HAVE ROUGH OPENING WIDTH OF 1-1/2" GREATER THAN DOOR FRAME SIZE.

EXISTING CONDITIONS:

1. CONTRACTOR TO VERIFY FIELD CONDITIONS AND PLANS PRIOR TO START OF WORK. CONTACT COSTRUCTION SUPERVISOR IMMEDIATELY WITH ANY CONFLICTS BETWEEN THESE PLANS AND EXISTING FIELD CONDITIONS.
2. GRADING LINE ON PLANS IS NOT AN ACCURATE REPRESENTATION OF THE EXTSITING LOT. GRADE TO BE VERIFIED IN FIELD. HOUSE MAY CHANGE DUE TO EXISTING CONDITIONS.

HVAC NOTES:

1. HVAC CONTRACTOR IS RESPONSIBLE FOR ACCURATELY SIZING EQUIPMENT, SUPPLY VENTS & RETURN(S) BASED ON (1) TON PER 650 HEATED SQUARE FEET.
2. HVAC CONTRACTOR SHALL NOT BLOCK ATTIC ACCESS WITH SUPPLY OR RETURN DUCTWORK.
3. HVAC SHOULD FOLLOW SIGNED PLANS.

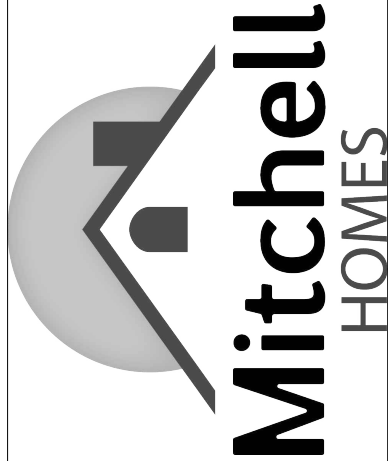
PORCH NOTES:

1. ALL DECKING AND STEPS TO BE PRESSURE TREATED #2 SOUTHERN YELLOW PINE OR BETTER AND TREATED IN ACCORDANCE WITH THE AMERICAN WOOD PRESERVERS ASSOCIATION (AWPA) STANDARD C2.
2. WHERE DECKS FASTEN TO HOUSE FRAMING, PROVIDE A CONTINUOUS TREATED LEDGER THRU BOLTED TO FLOOR STRUCTURE PER IRC 2018 R507.
3. FASTENERS FOR PRESSURE TREATED LUMBER TO BE GALVANIZED.
4. # OF STEPS DEPENDENT ON GRADE. 3 STEPS INCLUDED, SEE CONTRACT FOR ADDITIONAL FOUNDATION CHARGES.
5. RAILS AND BALUSTERS ARE NOT INCLUDED IN THE CONTRACT PRICE UNLESS SOLD AS AN UPGRADE. IF REQUIRED BY CODE, THEN THEY WILL BE CHARGED ON A SEPARATE ADDENDUM WITH EXTRA FOUNDATION.

ELECTRICAL NOTES:

1. ELECTRICAL CONTRACTOR TO DESIGN & INSTALL COMPLETE ELECTRICAL SYSTEM IN ACCORDANCE W/ THE LATEST VERSION OF THE NATIONAL ELECTRICAL CODE, ALL LOCAL ELECTRICAL CODES, AND THE LOCAL UTILITY COMPANY'S REQUIREMENTS.
2. ALL WORK SHALL BE EXECUTED IN A NEAT AND WORKMANLIKE MANNER. JUNCTION BOXES SHALL BE SECURELY FASTENED, SET TRUE AND PLUMB, AND FLUSH WITH FINISHED SURFACE WHEN WIRING METHOD IS CONCEALED.
3. SIZE AND PROVIDE ADDITIONAL CIRCUITRY BASED ON DEMAND OF SCHEDULED FIXTURES AND EQUIPMENT. INCLUDE A REASONABLE ALLOWANCE FOR SPACE CIRCUITS AND FUTURE EXPANSION.
4. THE ELECTRICAL CONTRACTOR SHALL VERIFY LOCATION, HEIGHT, OUTLET AND SWITCH ARRANGEMENTS, AND EQUIPMENT PRIOR TO ROUGH-IN.
5. THE ELECTRICAL CONTRACTOR SHALL FURNISH ALL WIRING MATERIALS AND MAKE ALL FINAL ELECTRICAL CONNECTIONS FOR ALL PERMANENTLY INSTALLED.
6. ALL FLUSH SWITCHED SHALL BE MOUNTED 46" TO CENTER ABOVE FINISHED FLOOR U.N.O. RECEPTACLE OUTLETS SHALL BE MOUNTED 12" TO CENTER ABOVE FINISHED FLOOR U.N.O.
7. FURNISH AND INSTALL WHERE INDICATED, GROUND-FAULT CIRCUIT INTERRUPTER RECEPTACLES (GFI) TO PROVIDE GROUND-FAULT CIRCUIT PROTECTION AS REQUIRED BY THE CURRENT NATIONAL ELECTRICAL CODE.
8. INSTALL LAMPS FOR ALL FIXTURES, 50% ENERGY EFFICIENT.
9. PROVIDE AND INSTALL EXHAUST FANS IN ALL BATHROOMS; VENT TO EXTERIOR (REAR OR SIDE). EXHAUST FANS TO BE MOISTURE RATED.
10. SEAL ALL PENETRATIONS MADE THROUGH FOUNDATIONS, WALLS, AND ROOFS.
11. ALL SMOKE DETECTORS TO BE INSTALLED AS REQUIRED BY INTERNATIONAL RESIDENTIAL CODE AND ARE TO BE INTERCONNECTED FOR ALARM AT EACH STATION, SUCH THAT ALARM AT ANY ONE STATION WILL RESULT IN ALARM AT ALL STATIONS. SMOKE DETECTORS WILL BE HARDWIRED WITH BATTERY BACKUP.
12. PROVIDE AT LEAST (2) EXTERIOR WEATHERPROOF RECEPTACLES AS NOTED ON PLANS.
13. PROVIDE AT LEAST (1) EXTERIOR WEATHERPROOF RECEPTACLE WITHIN 25' OF HVAC EQUIPMENT LOCATED IN ATTICS OR CRAWLSPACES FOR SERVICING EQUIPMENT.
14. PROVIDE LIGHT FIXTURES AT ALL STAIR LANDINGS W/ SWITCHES AT EACH LEVEL SEPARATED BY 6 STEPS OR MORE.
15. SWITCHES AND RECEPTACLES TO BE WHITE AND OF STANDARD GRADE WITH PLASTIC COVER PLATES UNLESS NOTED OTHERWISE.

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DESCRIPTION

REV. DATE

#

THE WHITETREE, P. RESIDENCE

GENERAL NOTES

HARNETT, NC

CONTACT: permits@mitchellhomesinc.com

THE WINCHESTER
PLAN: F -
FARMHOUSE
EXTERIOR:

DATE: AUG. 25, 2025

DRAWN BY: TLC

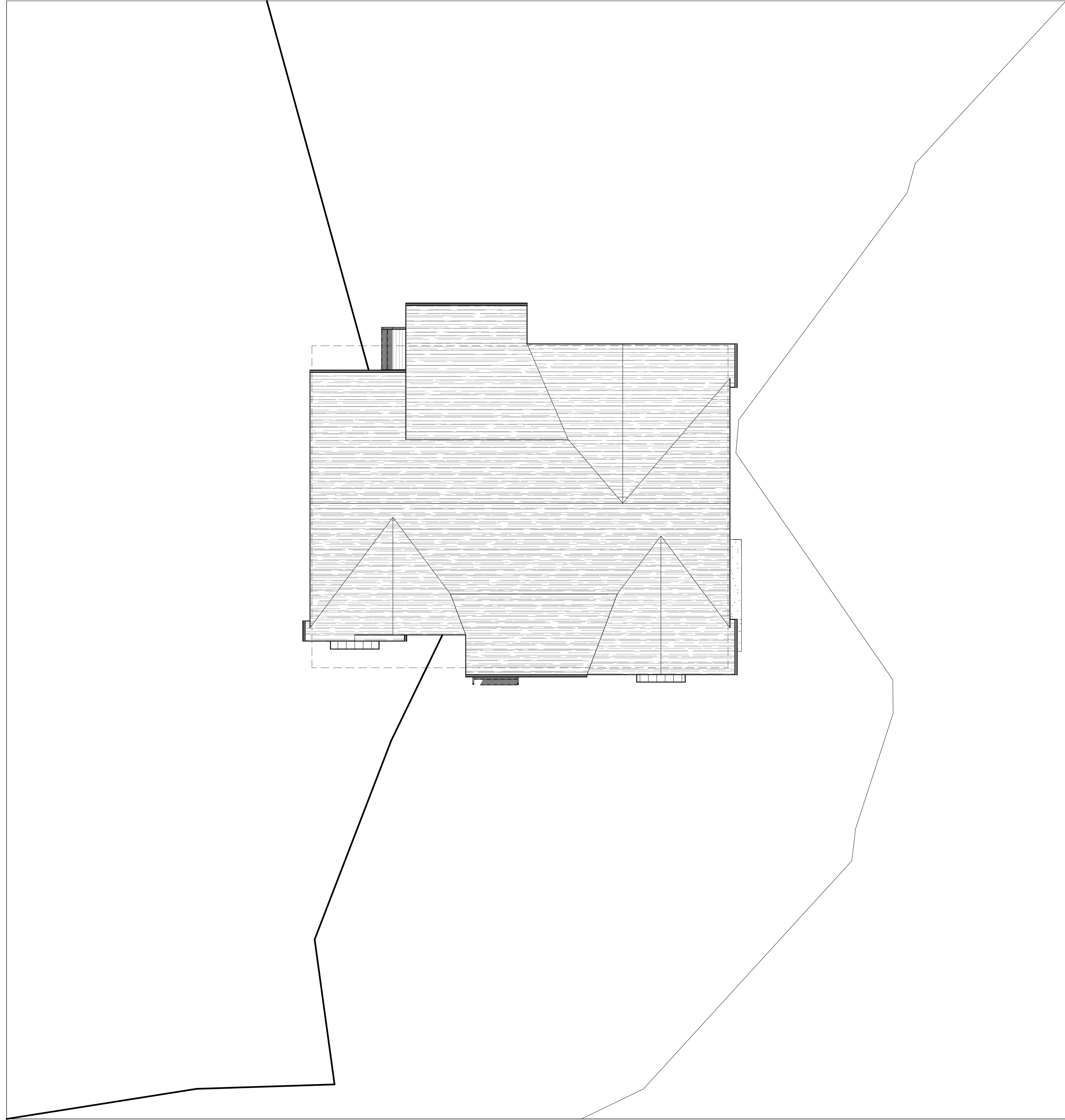
JOB #: 50000198

SCALE: As indicated

A1.1

NOTES:

1. PLEASE SEE LOT GRADING PLAN BY SURVEYOR FOR SITE DETAIL. THIS IS FOR HOUSE LOCATION REFERENCE ONLY.



1 SITE PLAN
1" = 10'-0"

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#

REV. DATE

DESCRIPTION

THE WHITETREE, P. RESIDENCE

SITE PLAN
HARNETT, NC
CONTACT: permits@mitchellhomesinc.com

THE WINCHESTER
PLAN: F -
FARMHOUSE
EXTERIOR:

DATE: AUG. 25, 2025
DRAWN BY: TLC
JOB #: 50000198
SCALE: 1" = 10'-0"

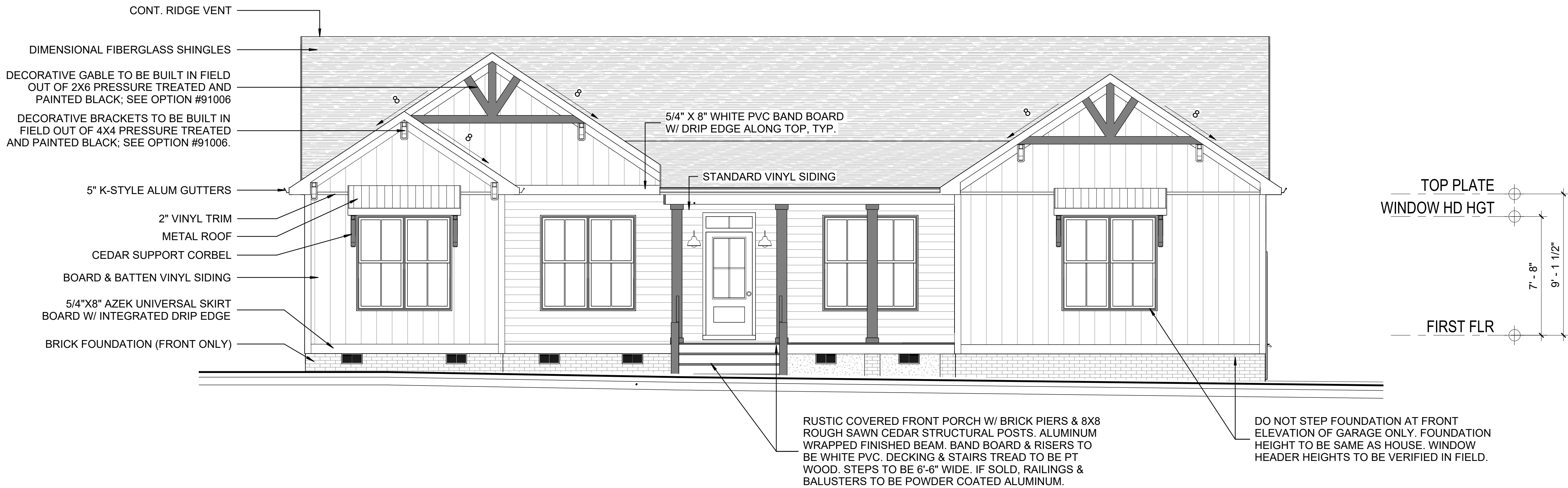
C1.0

ELEVATION NOTES:

1. # OF STEPS DEPENDENT ON GRADE. 3 STEPS INCLUDED. SEE CONTRACT FOR ADDITIONAL FOUNDATION CHARGES.
2. GRADING LINE ON PLANS IS NOT AN ACCURATE REPRESENTATION OF THE EXISTING LOT. GRADE TO BE VERIFIED IN FIELD. HOUSE MAY CHANGE DUE TO EXISTING CONDITIONS.
3. ALL BRACKETS, ETC. MOUNTED ONTO THE EXTERIOR SHALL BE ATTACHED BY MOUNTING BLOCKS OR PVC.
4. ALL FASCIA AND RAKE BOARD TO BE 2X6, WRAPPED ALUMIN., AND INSTALLED BY FRAMERS.
5. FRAMER TO PROPERLY FLASH AND INSTALL BAND/ LEDGER BOARD FOR ALL DECKS/ STOOPS.
6. RAILS AND BALUSTERS ARE NOT INCLUDED IN THE CONTRACT PRICE UNLESS SOLD AS AN UPGRADE. IF REQUIRED BY CODE, THEN THEY WILL BE CHARGED ON A SEPARATE ADDENDUM WITH EXTRA FOUNDATION.
7. ALL EXTERIOR VENTS TO MATCH.
8. EXTERIOR COACH LIGHT LOCATIONS FOR ENTRY DOORS TO BE INSTALLED @ 83" A.F.F.
9. ****GEOTECH RECOMMENDATIONS**** EXISTING FILL AS ENCOUNTERED FOR THE FIRST 24" OF THE SURFACE MATERIALS. DUE TO FAT CLAY BELOW, ALL FOOTINGS TO BEAR ON VIRGIN SOILS 36" BELOW GRADE, ADDING (2) ADDITIONAL COURSES OF BLOCK TO THE ENTIRE FOUNDATION BELOW GRADE. ALL FOOTINGS TO BE 36" WIDE WITH (3) #5 REBARS. PLEASE NOTE: ADDITIONAL CHARGES IF DEEMED NECESSARY DUE TO SITE CONDITIONS WILL BE CHARGED PER THE TERMS OF THE CONSTRUCTION CONTRACT.
10. LEVEL 1 - INTERIOR TRIM PACKAGE TO INCLUDE 3 1/4" COLONIAL CASING ON ALL DOORS, WINDOWS, AND CASE OPENINGS, 4 1/4" BEADED BASEBOARD THROUGHOUT, AND 2 PANEL SQUARE TOP SMOOTH HOLLOW CORE INTERIOR DOORS. SEE OPTION #65015

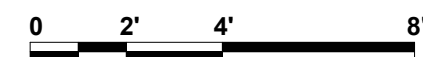


2 REAR ELEVATION
1/4" = 1'-0"

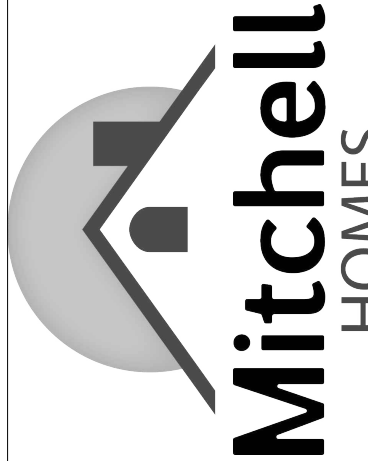


1 FRONT ELEVATION
1/4" = 1'-0"

LIVING AREA: 2,299 S.F.
GARAGE: 423 S.F.
COVERED FRONT PORCH: 130 S.F.
TOTAL AREA UNDER ROOF: 2,852 S.F.
STOOP: 18 S.F.
TOTAL AREA: 2,870 S.F.



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REV. DATE DESCRIPTION

THE WHITETREE, P. RESIDENCE
FRONT AND REAR ELEVATIONS
HARNETT, NC
CONTACT: permits@mitchellhomesinc.com

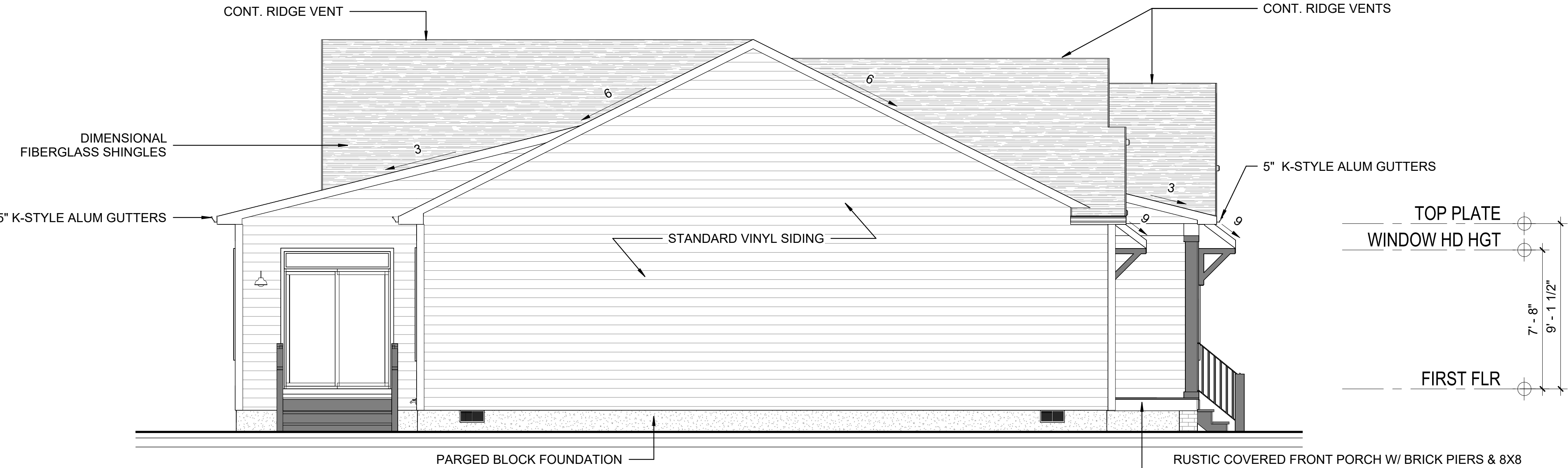
THE WINCHESTER
PLAN: F -
FARMHOUSE
EXTERIOR:

DATE: AUG. 25, 2025
DRAWN BY: TLC
JOB #: 50000198
SCALE: 1/4" = 1'-0"

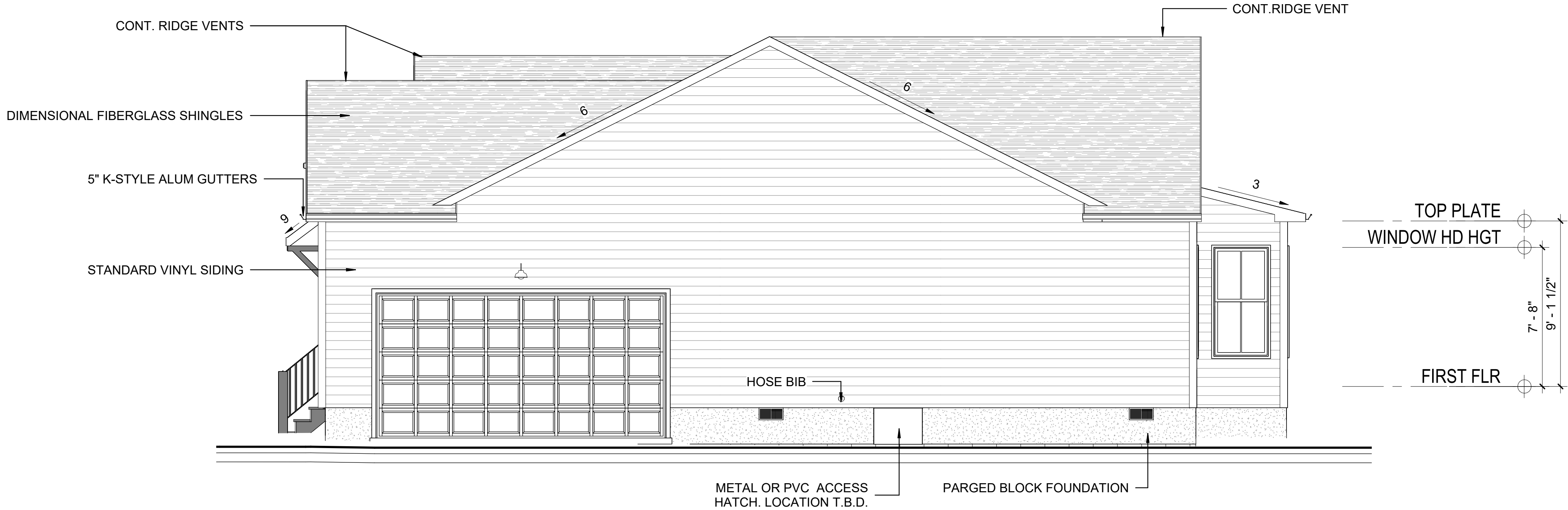
A2.1

ELEVATION NOTES:

1. # OF STEPS DEPENDENT ON GRADE, 3 STEPS INCLUDED, SEE CONTRACT FOR ADDITIONAL FOUNDATION CHARGES.
2. GRADING LINE ON PLANS IS NOT AN ACCURATE REPRESENTATION OF THE EXISTING LOT. GRADE TO BE VERIFIED IN FIELD. HOUSE MAY CHANGE DUE TO EXISTING CONDITIONS.
3. ALL BRACKETS, ETC. MOUNTED ONTO THE EXTERIOR SHALL BE ATTACHED BY MOUNTING BLOCKS OR PVC.
4. ALL FASCIA AND RAKE BOARD TO BE 2X6, WRAPPED ALUMIN., AND INSTALLED BY FRAMERS.
5. FRAMER TO PROPERLY FLASH AND INSTALL BAND/ LEDGER BOARD FOR ALL DECKS/ STOOPS.
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10. LEVEL 1 - INTERIOR TRIM PACKAGE TO INCLUDE 3 1/4" COLONIAL CASING ON ALL DOORS, WINDOWS, AND CASE OPENINGS, 4 1/4" BEADED BASEBOARD THROUGHOUT, AND 2 PANEL SQUARE TOP SMOOTH HOLLOW CORE INTERIOR DOORS. SEE OPTION #65015



2 LEFT ELEVATION
1/4" = 1'-0"

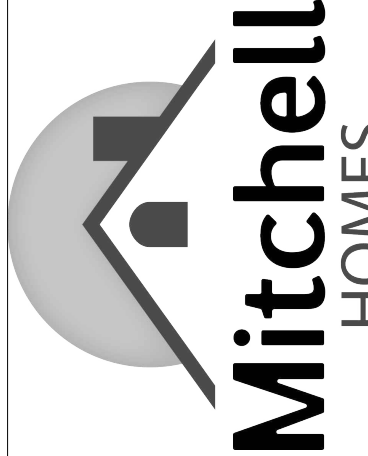


1 RIGHT ELEVATION
1/4" = 1'-0"

LIVING AREA: 2,299 S.F.
GARAGE: 423 S.F.
COVERED FRONT PORCH: 130 S.F.
TOTAL AREA UNDER ROOF: 2,852 S.F.
STOOP: 18 S.F.
TOTAL AREA: 2,870 S.F.



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DESCRIPTION

REV. DATE

#

THE WHITETREE, P. RESIDENCE
SIDE ELEVATIONS

HARNETT, NC
CONTACT: permits@mitchellhomesinc.com

THE WINCHESTER
PLAN: F -
FARMHOUSE
EXTERIOR:

DATE: AUG. 25, 2025
DRAWN BY: TLC
JOB #: 50000198
SCALE: 1/4" = 1'-0"

A2.2

FOUNDATION PLAN NOTES:

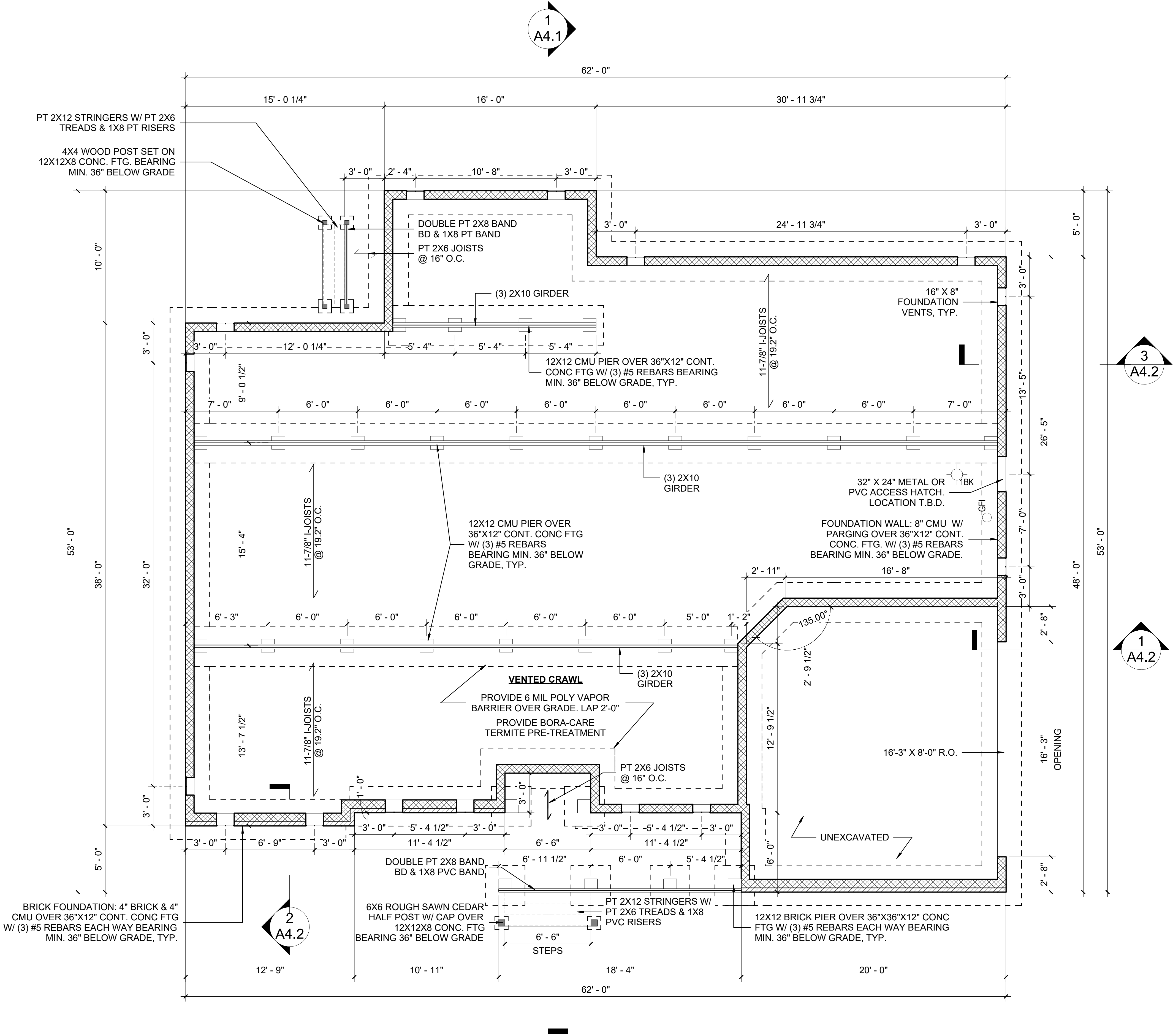
1. MITCHELL HOMES, INC. PROVIDES 4 COURSE FOUNDATION STANDARD. EXTRA FOUNDATION IS NOT INCLUDED. SEE CONTRACT FOR ADDITIONAL FOUNDATION CHARGES. *IF ADDITIONAL COURSES ARE SOLD ACCESS DOOR TO REMAIN STANDARD SIZE/ MATERIAL W/ (4) BRICK TIES UNLESS AN UPGRADED DOOR IS SOLD.
2. ANCHOR BOLTS TO BE SET BY MASON OR CONCRETE CONTRACTOR
3. STUB UP REBAR FOR GRADING; SEE SITE SUPERVISOR.
4. BORA-CARE TERMITE PRE-TREATMENT PROVIDED THROUGHOUT.
5. # OF STEPS DEPENDENT ON GRADE, 3 STEPS INCLUDED. SEE CONTRACT FOR ADDITIONAL FOUNDATION CHARGES.
6. INTERIOR GRADE TO BE NO MORE THAN 3" FROM EXTERIOR GRADE.
7. PROVIDE 6 MIL POLY VAPOR BARRIER OVER INSIDE GRADE.
8. FRAMER TO PROPERLY FLASH AND INSTALL BAND/ LEDGER BOARD FOR ALL DECKS/ STOOPS.
9. ****GEOTECH RECOMMENDATIONS**** EXISTING FILL AS ENCOUNTERED FOR THE FIRST 24" OF THE SURFACE MATERIALS. DUE TO FAT CLAY BELOW, ALL FOOTINGS TO BEAR ON VIRGIN SOILS 36" BELOW GRADE, ADDING (2) ADDITIONAL COURSES OF BLOCK TO THE ENTIRE FOUNDATION BELOW GRADE. ALL FOOTINGS TO BE 36" WIDE WITH (3) #5 REBARS. PLEASE NOTE: ADDITIONAL CHARGES IF DEEMED NECESSARY DUE TO SITE CONDITIONS WILL BE CHARGED PER THE TERMS OF THE CONSTRUCTION CONTRACT.
10. ALL REBARS TO HAVE MINIMUM 25" OVERLAP INCLUDING CORNERS AND STEPS.

FOUNDATION VENTILATION:

CRAWL SPACE: 2,299 S.F.
ACCESS DOOR: 768 S.IN. (NOT VENTED)
VENTS: 45 S.IN.
NEED APPROX: 15
TOTAL # OF VENTS: 15

FOUNDATION LEGEND

- 8" CMU
BRICK & BLOCK
FOOTING BELOW



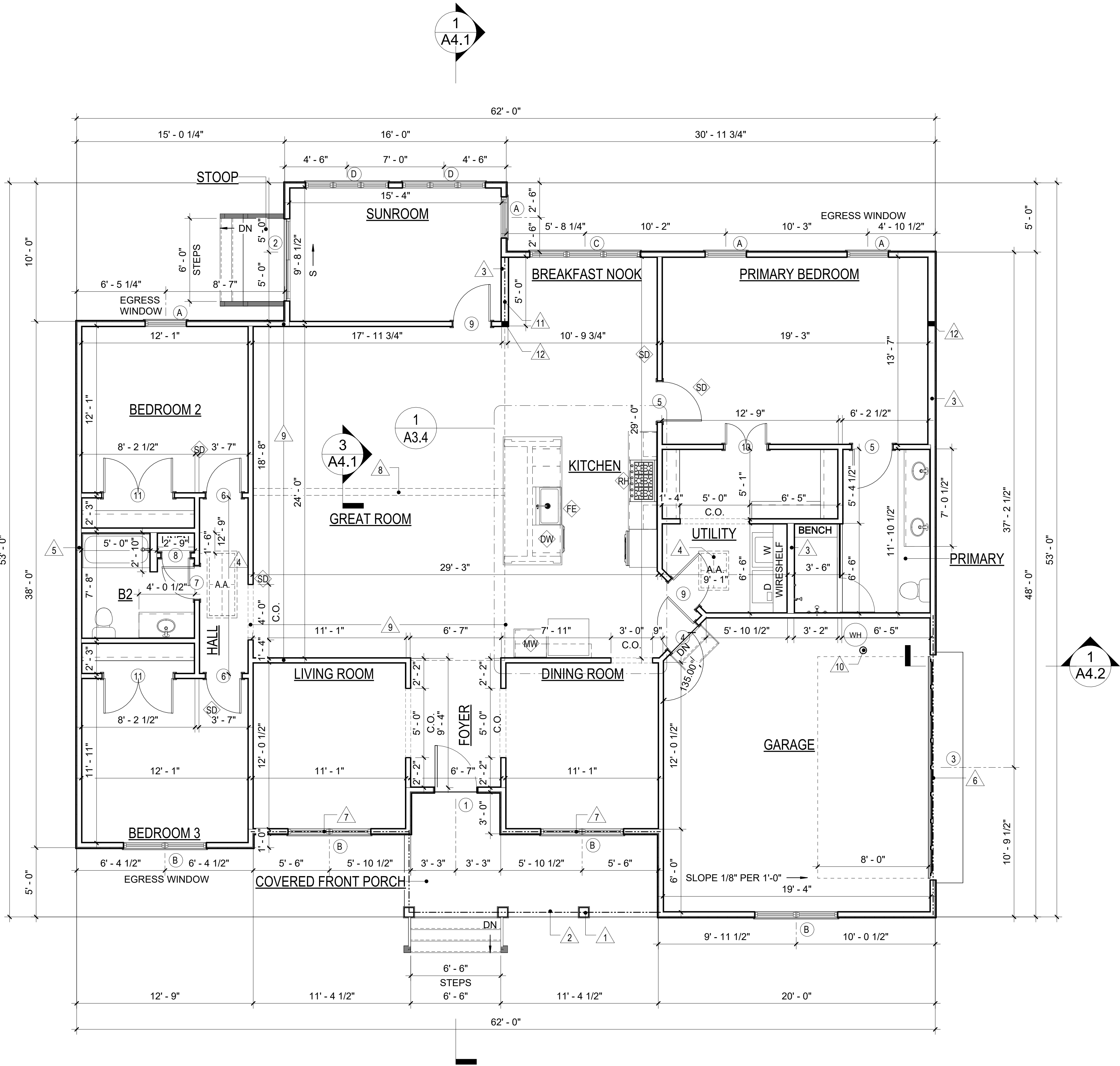
FRAMING PLAN NOTES	
NUMBER	NOTE
1	8X8 ROUGH SAWN CEDAR STRUCTURAL POSTS
2	10" ALUMINUM WRAPPED FINISHED BEAM; SEE DETAILS ON A4.1
3	2X6 FRAMED WALL
4	FRAMERS TO INSULATE AND WEATHERSTRIP HATCH TO CODE
5	FRAMER TO PROVIDE R 15 BATT INSULATION & AIR BARRIER TO CODE BEHIND TUB/SHOWER PRIOR TO INSTALLATION
6	(2) 14" LVL HDR
7	(2) 7 1/4" LVL HDR
8	FAUX BEAM ABOVE; SEE OPTION #00047 & #37013
9	CATHEDRAL EXTENTS
10	PARKING BOLLARD
11	(3) 11 7/8" LVL; FLUSH
12	5.5"x5.5" AFP COMBINATION 50 POWER COL. UNDER GIRDER TRUSS

FRAMING PLAN NOTES:

- 2X BLOCKING INSTALLED IN ALL KITCHEN CABINET AREAS AT 34", 54" AND 84" ABOVE FINISHED FLOOR.
- 2X BLOCKING ON ALL PORCH CEILINGS FOR VINYL INSTALLATION.
- ALLOW 4" MIN. FOR INTERIOR TRIM ON ALL DOORS AND WINDOW WHERE APPLICABLE. TRIM IS NOT TO BE CUT TO FIT.
- ALL DIMENSIONS ARE FROM OUTSIDE EDGE OF EXTERIOR WALL SHEATHING OR FACE OF STUD OR CENTERLINE OF WALL, U.N.O.
- ALL ACCESS DOORS TO BE INSULATED PER CODE.
- FRAMERS MUST PROPERLY FLASH AND INSTALL THE BAND/LEDGER BOARD FOR ALL EXTERIOR DECKS, STOOPS, AND PORCHES.
- TOP NOTCH 350 WEATHER RESISTANT SUBFLOOR .
- (2) 2X8 HEADER ON ALL SINGLE WINDOWS, (2) 2X10 HEADER ON ALL DOUBLE WINDOWS & EXTERIOR DOORS. (2) 2X12 HEADER ON ALL TRIPLE WINDOWS. U.N.O.
- RAILS AND BALUSTERS ARE NOT INCLUDED IN THE CONTRACT PRICE UNLESS SOLD AS AN UPGRADE. IF REQUIRED BY CODE, THEN THEY WILL BE CHARGED ON A SEPARATE ADDENDUM WITH EXTRA FOUNDATION.
- LEVEL 1 - INTERIOR TRIM PACKAGE TO INCLUDE 3 1/4" COLONIAL CASING ON ALL DOORS, WINDOWS, AND CASE OPENINGS, 4 1/4" BEADED BASEBOARD THROUGHOUT, AND 2 PANEL SQUARE TOP SMOOTH HOLLOW CORE INTERIOR DOORS. SEE OPTION #65015
- SMOKE DETECTORS TO BE HARDWIRED AND INTERCONNECTED, IN COMPLIANCE WITH R314.4 & R314.6

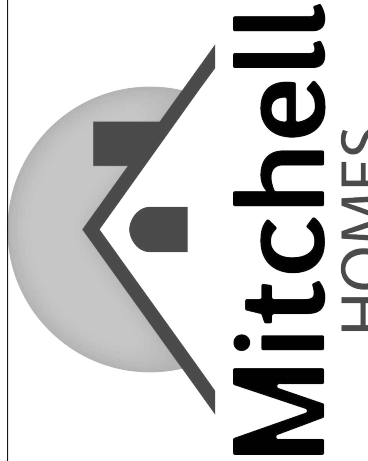
WINDOWS ELEVATION A						
MARK	SIZE	STYLE	GLAZING	U VALUE	DESCRIPTION	COUNT
A	30/60	INSUL	STANDARD	0.29	DOUBLE HUNG	4
B	30/60 TWIN	INSUL	STANDARD	0.29	DOUBLE HUNG	4
C	28/56 TRIPLE	INSUL	STANDARD	0.29	DOUBLE HUNG	1
D	20/60 TRIPLE	INSUL	STANDARD	0.29	DOUBLE HUNG	2

DOORS ELEVATION A					
MARK	SIZE	STYLE	DESCRIPTION	COUNT	USE
1	30/68	FBRGLSS	RAISED PANEL W/ 4 LITE 3/4 GLASS, TRANSOM & DEADBOLT	1	Exterior
2	50/68	STEEL	SLIDING DOOR W/ TRANSOM	1	Exterior
3	160/80	STEEL	OVERHEAD	1	Exterior
4	28/68 STEEL FIRE RATED	STEEL	FIRE RATED	1	Interior
5	210/68	COMP	2 PANEL DOOR	2	Interior
6	26/68	COMP	2 PANEL DOOR	2	Interior
7	24/68	COMP	2 PANEL DOOR	1	Interior
8	20/68	COMP	2 PANEL DOOR	1	Interior
9	28/68	COMP	2 PANEL DOOR	2	Interior
10	34/68	COMP	2 PANEL DBL DOOR	1	Interior
11	50/68	COMP	2 PANEL DBL DOOR	2	Interior



1 FRAMING PLAN
1/4" = 1'-0"

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DESCRIPTION

REV. DATE

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THE WHITETREE, P. RESIDENCE
FRAMING PLAN

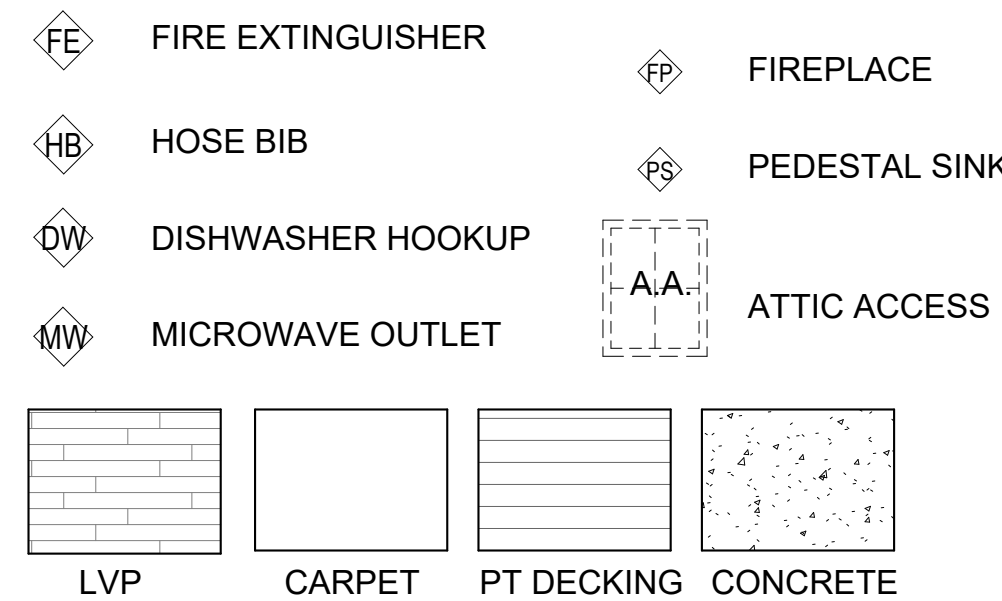
THE WINCHESTER
PLAN: F -
FARMHOUSE
EXTERIOR:

DATE: AUG. 25, 2025
DRAWN BY: TLC
JOB #: 50000198
SCALE: 1/4" = 1'-0"

A3.2

COMPONENTS		
TYPE	COUNT	COMMENTS
FIRE EXTINGUISHER	1	2-A: 10-B: C RATED; INSTALLED
HOSE BIB	2	

PLAN SYMBOL LEGEND



FINISH PLAN NOTES:

1. SEE ELEVATIONS FOR WINDOW AND DOOR GRID PATTERNS.
2. # OF STEPS DEPENDENT ON GRADE, 3 STEPS INCLUDED. SEE CONTRACT FOR ADDITIONAL FOUNDATION CHARGES.
3. RAILS AND BALUSTERS ARE NOT INCLUDED IN THE CONTRACT PRICE UNLESS SOLD AS AN UPGRADE. IF REQUIRED BY CODE, THEN THEY WILL BE CHARGED ON A SEPARATE ADDENDUM WITH EXTRA FOUNDATION.
4. 1-ZONE, 1-SYSTEM HVAC
5. 50 GALLON WATER HEATER.
6. WHOLE HOUSE WATER FILTRATION SYSTEM: 2-STAGE WHOLE - HOUSE WATER FILTER INCLUDE, LOCATED IN GARAGE
7. 22X54 PULL DOWN ATTIC STEPS W/ 160 SF OF LIGHT STORAGE AREA; SEE OPTION #00010
8. CUSTOMER SUPPLIED AND INSTALLED APPLIANCES: CUSTOMER ASSUMES ALL RESPONSIBILITY FOR PURCHASE, DELIVERY, AND INSTALLATION OF APPLIANCES. SEE OPTION#04999
9. CERAMIC TILE KITCHEN BACKSPLASH; SEE OPTION #12305
10. EVA CHROME SHOWER ONLY FAUCET; SEE OPTION #12637
11. CHROME HAND SHOWER W/ 3 FUNCTIONS TRANSFER AND EVA TRIM; SEE OPTION #13026
12. LEVEL 1 - INTERIOR TRIM PACKAGE TO INCLUDE 3 1/4" COLONIAL CASING ON ALL DOORS, WINDOWS, AND CASE OPENINGS, 4 1/4" BEADED BASEBOARD THROUGHOUT, AND 2 PANEL SQUARE TOP SMOOTH HOLLOW CORE INTERIOR DOORS. SEE OPTION #65015
13. LEVEL 3 - DELUXE KITCHEN CABINET PACKAGE - TO INCLUDE 42 INCH WALL CABINETS W/ CM8 FOR CROWN, & ROLL OUT TRAYS, QUARTZ COUNTERTOP, 2 TONE CABINETS, & 9FT ISLAND.; SEE OPTION #91015

LIVING AREA: 2,299 S.F.
GARAGE: 423 S.F.
COVERED FRONT PORCH: 130 S.F.
TOTAL AREA UNDER ROOF: 2,852 S.F.
STOOP: 18 S.F.
TOTAL AREA: 2,870 S.F.



1 FINISH PLAN



#	REV. DATE	DESCRIPTION
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THE WHITETREE, P. RESIDENCE

FINISH PLAN

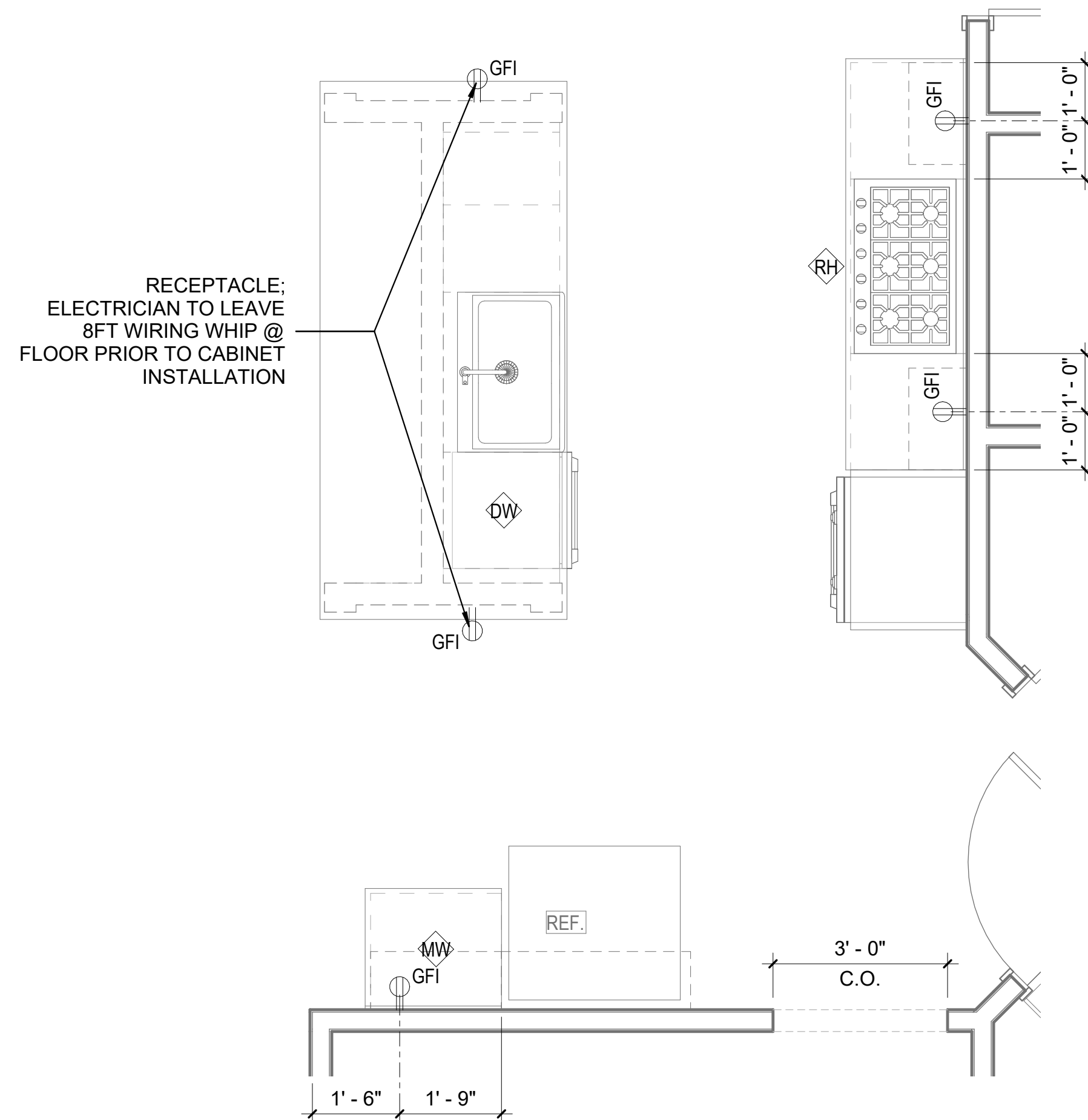
HARNETT, NC
CONTACT: permits@mitchellhomesinc.com

THE WINCHESTER
PLAN: F -
FARMHOUSE
EXTERIOR:

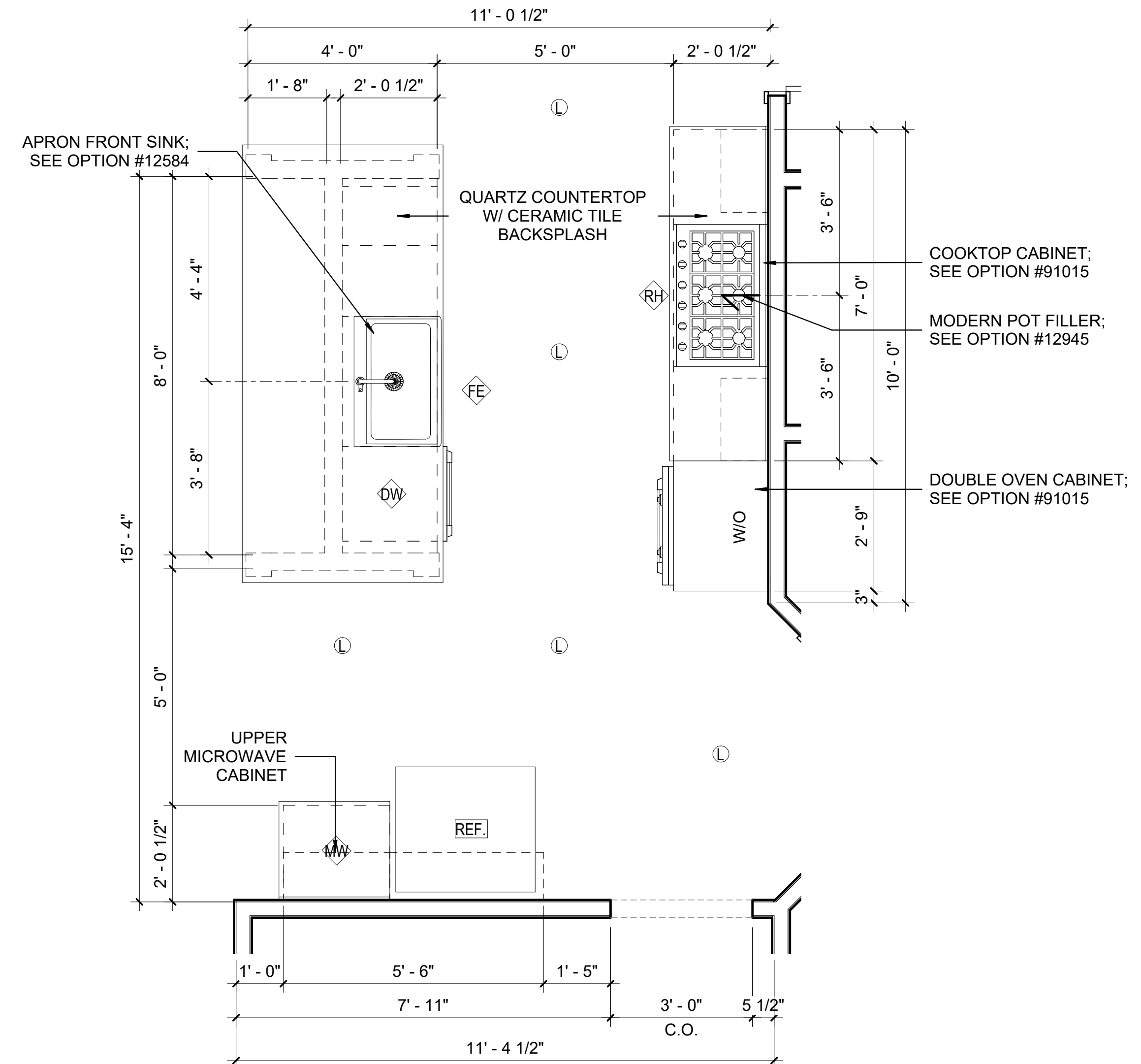
DATE: AUG. 25, 2025
DRAWN BY: TLC
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SCALE: 1/4" = 1'-0"

A3.3

7. CUSTOMER SUPPLIED AND INSTALLED APPLIANCES:
CUSTOMER ASSUMES ALL RESPONSIBILITY FOR PURCHASE,
DELIVERY, AND INSTALLATION OF APPLIANCES. SEE
OPTION#04999



2 ENLARGED KITCHEN RECEPTACLE PLAN



1 ENLARGED FLOOR PLAN

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1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466
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THE WHITTETREE, P. RESIDENCE

ENLARGED KITCHEN PLAN
HARNETT, NC

CONTACT: permits@mitchellhomesinc.com

THE WINCHESTER
PLAN: F -
BARNHOUSE
EXTERIOR:

DATE: AUG. 25, 2025

RAWN BY: TLC

OB #: 50000198

A3.4

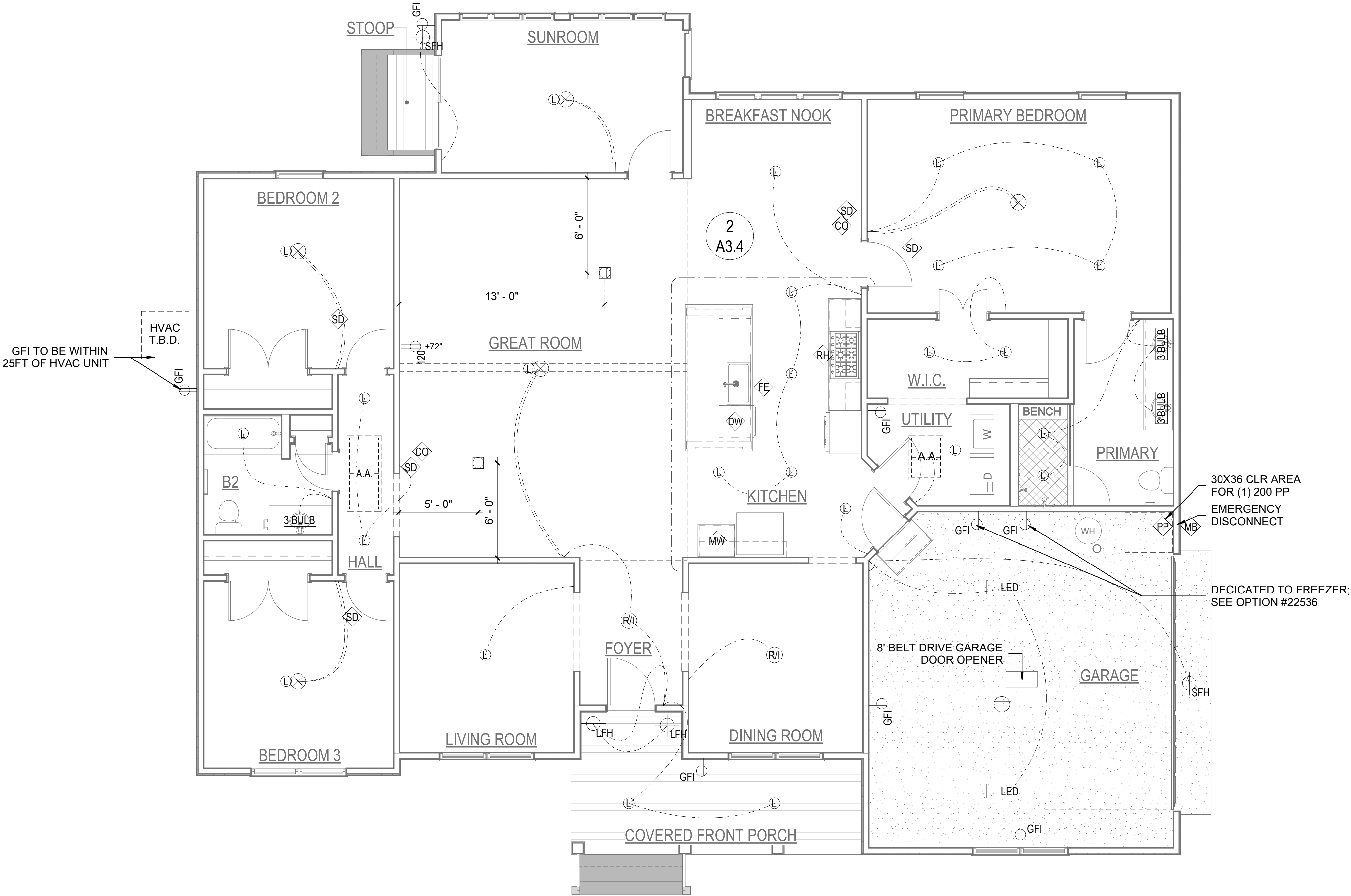
ELECTRICAL COMPONENTS - ELEVATION F		
TYPE	COUNT	COMMENTS
120 OUTLET @ 72" A.F.F.	1	(1) IN GREAT ROOM
CEILING FAN ROUGH-IN	5	TO INCLUDE OVERHEAD WIRING, MOUNTING BOX, AND (2) WALL SWITCHES ***FAN NOT INCLUDED***
CEILING LIGHT - 1 BULB KEYLESS	3	(1) IN CRAWL SPACE, (2) IN ATTIC AREA
CEILING RECEPTACLE	1	(1) STD IN GARAGE
CO DETECTOR	2	
DISHWASHER HOOKUP	1	
EXTERIOR GFI OUTLET	8	(3) STD EXTERIOR; (1) STD IN CRAWL SPACE; (4) IN GARAGE
FLOOR RECEPTACLE	2	7.5" DIA. LED
GFI CEILING OUTLET	1	(1) STD. IN ATTIC AREA WITHIN 6' OF HVAC UNIT
INTERIOR GFI OUTLET	6	INTERIOR; ABOVE KITCHEN COUNTERTOP REQ. BY CODE; (1) STD IN UTILITY
LARGE FARMHOUSE COACH LIGHT	2	
LED	25	7.5" DIA. LED
LED STRIP LIGHT	2	(2) STD IN GARAGE
METER BASE	1	
MICROWAVE OUTLET	1	
POWER PANEL	1	(1) 200 AMP PANEL
RANGE HOOD CONN. ROUGH IN ONLY	2	ROUGH-IN ONLY, INCLUDES LIGHT BOX W/ COVER & (1) WALL SWITCH, FIXTURE NOT INCLUDED
SCONCE - 3 BULB	3	
SMALL FARMHOUSE COACH LIGHT	2	
SMOKE DETECTOR	5	HARDWIRED & INTERCONNECTED

ELECTRICAL SYMBOL LEGEND

	SMOKE DETECTOR		SCONCE - 2 BULB
	CO DETECTOR		SCONCE - 3 BULB
	RANGE HOOD CONV.		LED LIGHT
	CABLE JACK		LED STRIP LIGHT
	DISHWASHER HOOKUP		EXTERIOR FRONT COACH
	MICROWAVE OUTLET		EXTERIOR REAR COACH
	EXHAUST FAN LIGHT		CEILING FAN ROUGH-IN
	GFI CEILING RECEPTACLE		CEILING LIGHT - 1 BULB KEYLESS
	120 OUTLET		WIRING
	EXTERIOR 110V OUTLET W/ GROUND FAULT INDICATOR		ROUGH IN ONLY
	METER BASE		
	POWER PANEL		

ELECTRICAL PLAN NOTES:

- 1-ZONE, 1 SYSTEM HVAC UNIT.
- (1) 200 AMP POWER PANEL
- EXTERIOR COACH LIGHT FOR ENTRY DOOR TO BE INSTALLED @ 83" A.F.F.



1 ELECTRICAL PLAN
1/4" = 1'-0"

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THE WHITETREE, P. RESIDENCE

ELECTRICAL PLAN

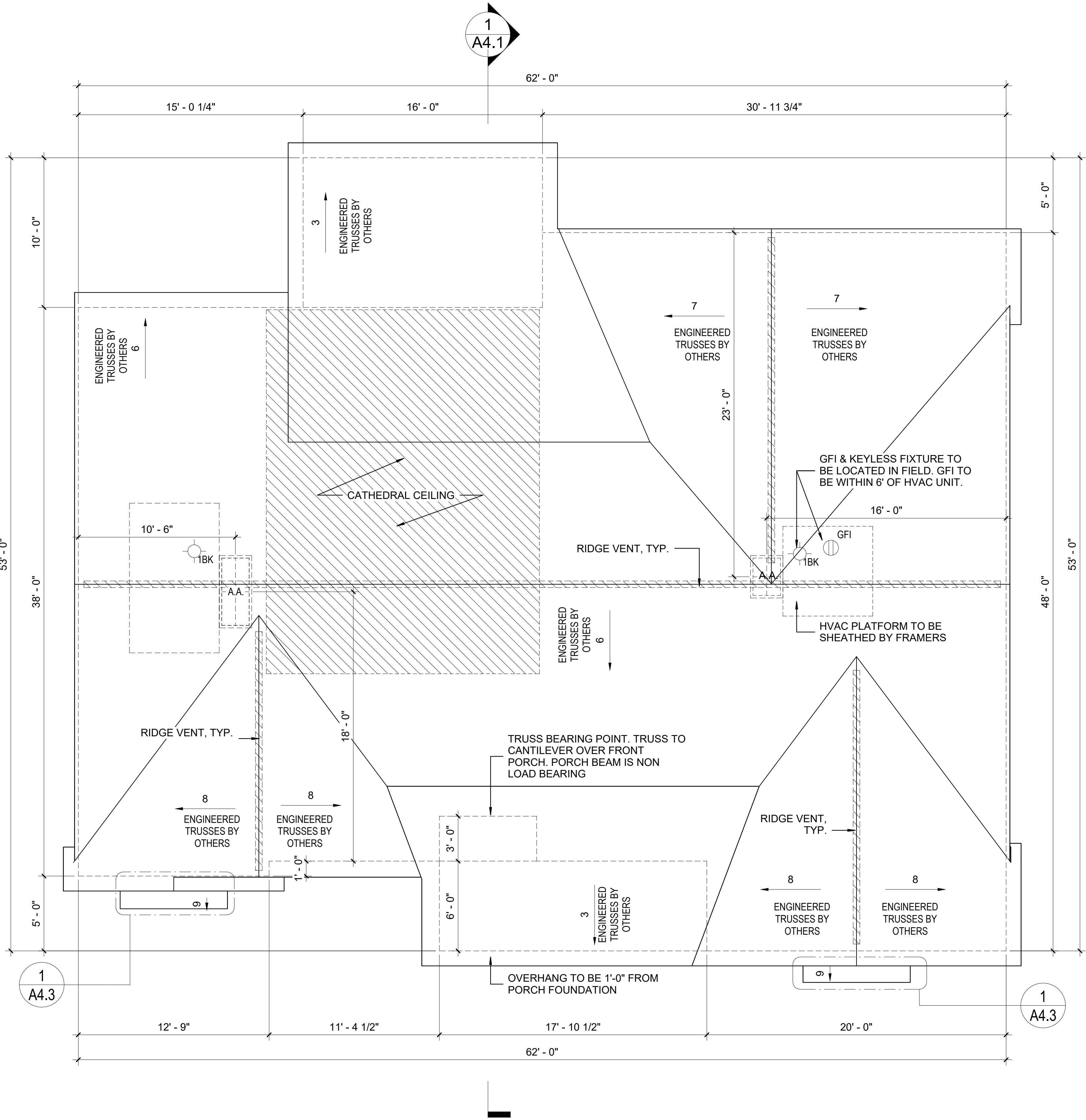
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CONTACT: permits@mitchellhomesinc.com

THE WINCHESTER
PLAN: F -
FARMHOUSE
EXTERIOR:

DATE: AUG. 25, 2025
DRAWN BY: TLC
JOB #: 50000198
SCALE: 1/4" = 1'-0"

A3.5

- ROOF PLAN NOTES:
1. HVAC TO BE LOCATED IN ATTIC.
 2. ROOFS WITH SLOPE LESS THAN 4/12 TO HAVE DOUBLE LAYER OF UNDERLAYMENT.
 3. 22X54 PULL DOWN ATTIC STEPS W/ 160 SF OF LIGHT STORAGE AREA; SEE OPTION #00010



- LEGEND
- LINE OF BEARING
 - 6 ROOF SLOPE & DIRECTION



1 ROOF PLAN
1/4" = 1'-0"



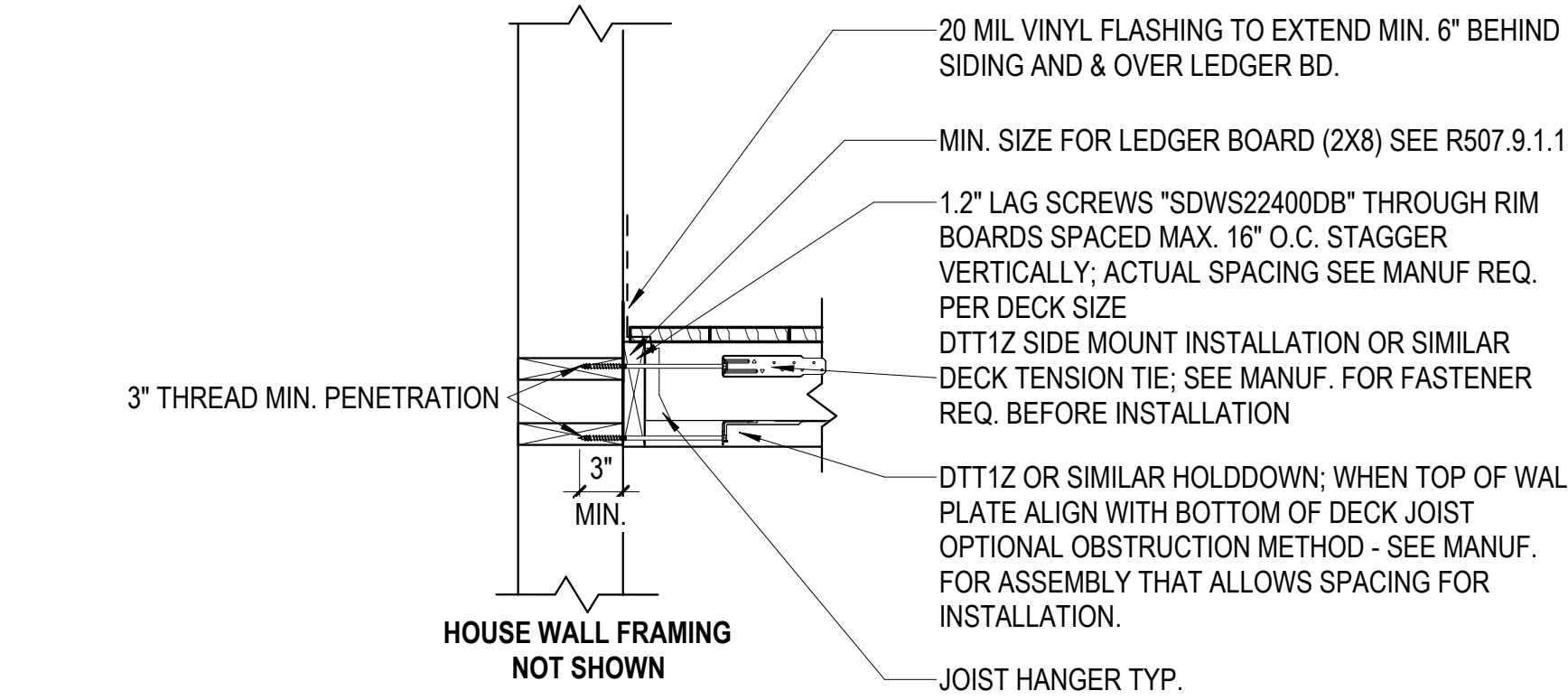
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THE WHITETREE, P. RESIDENCE
ROOF PLAN
HARNETT, NC
CONTACT: permits@mitchellhomesinc.com

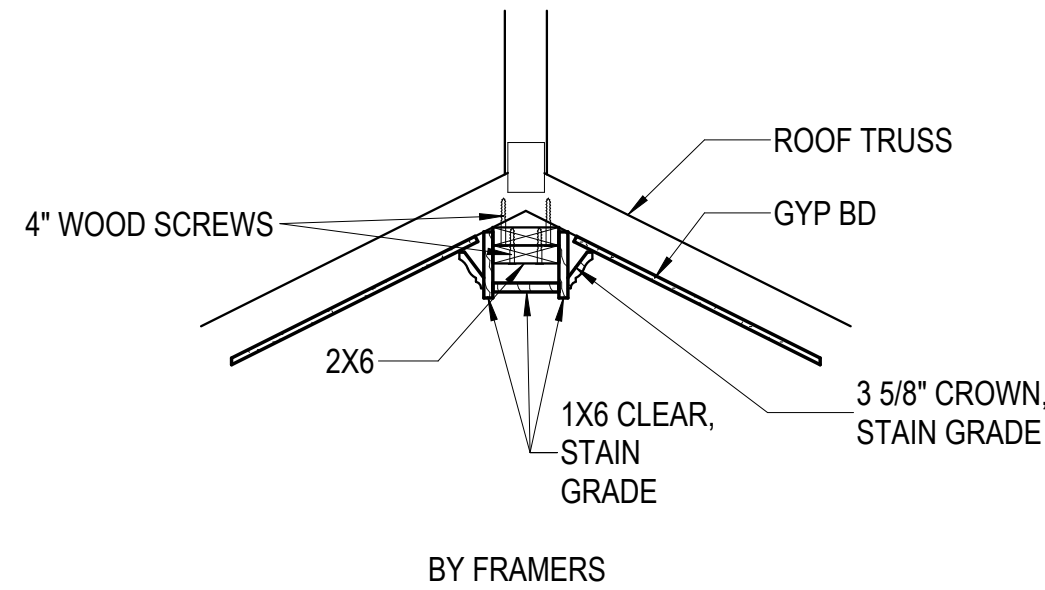
THE WINCHESTER
PLAN: F -
FARMHOUSE
EXTERIOR:
DATE: AUG. 25, 2025
DRAWN BY: TLC
JOB #: 50000198
SCALE: 1/4" = 1'-0"

A3.6

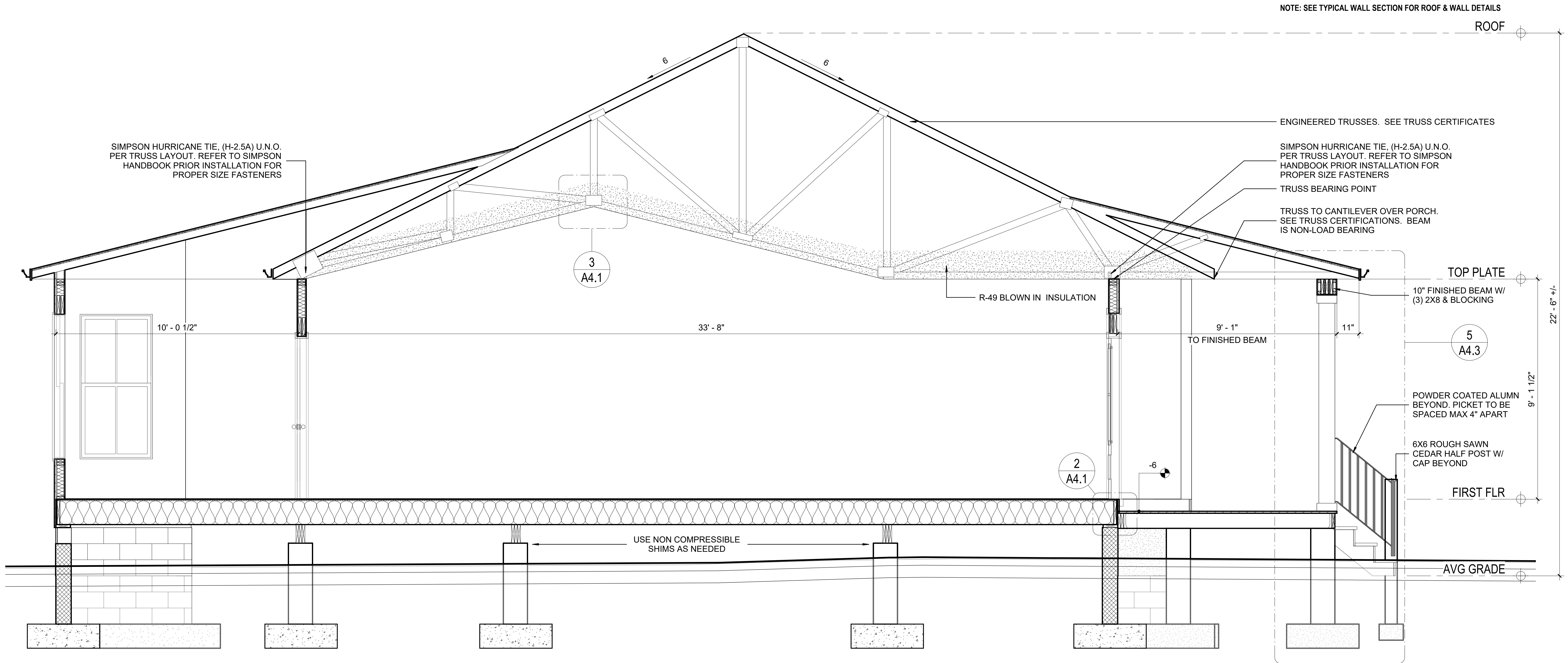
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2 DECK ATTACHMENT DETAIL
1" = 1'-0"



3 FAUX BEAM DETAIL
3/4" = 1'-0"



1 BUILDING SECTION
1/2" = 1'-0"



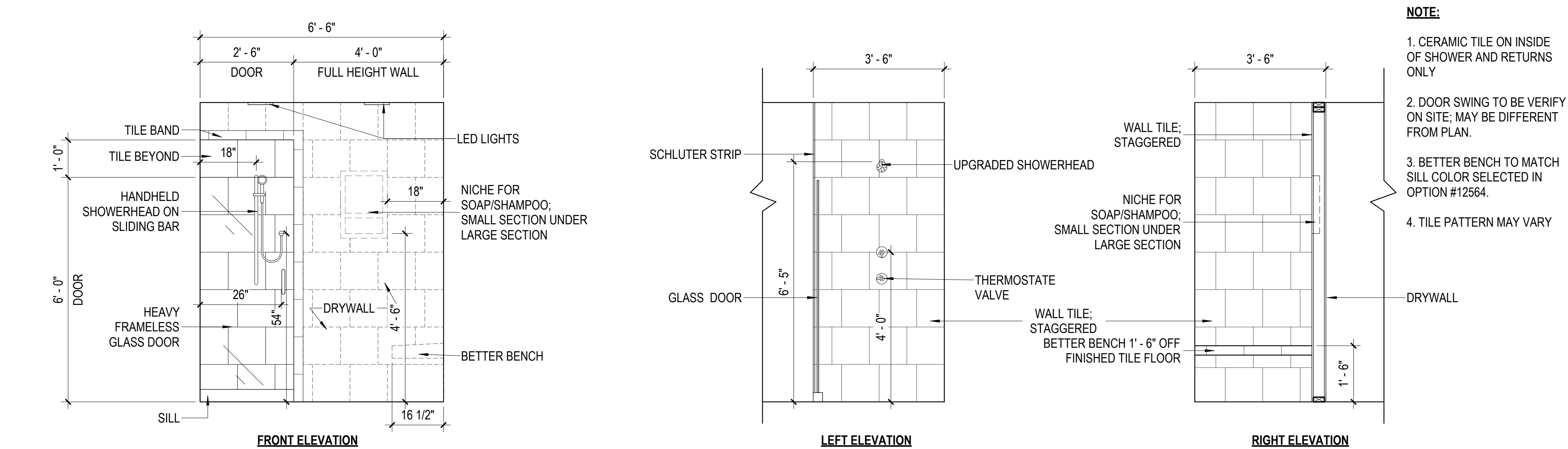
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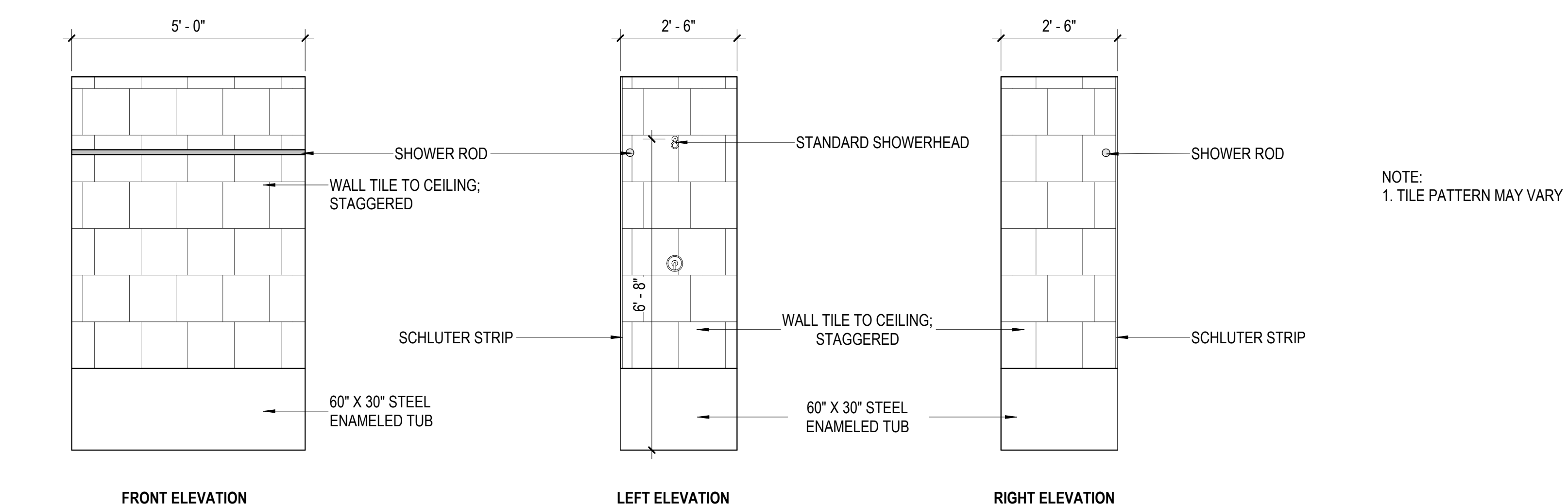
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DRAWN BY: TLC
JOB #: 50000198
SCALE: As indicated

A4.3





2 LUXURY SHOWER DETAILS
1/2" = 1'-0"



1 STANDARD TUB DETAIL
1/2" = 1'-0"

#	REV.	DATE	DESCRIPTION
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THE WHITETREE, P. RESIDENCE

BATH DETAILS

HARNETT, NC

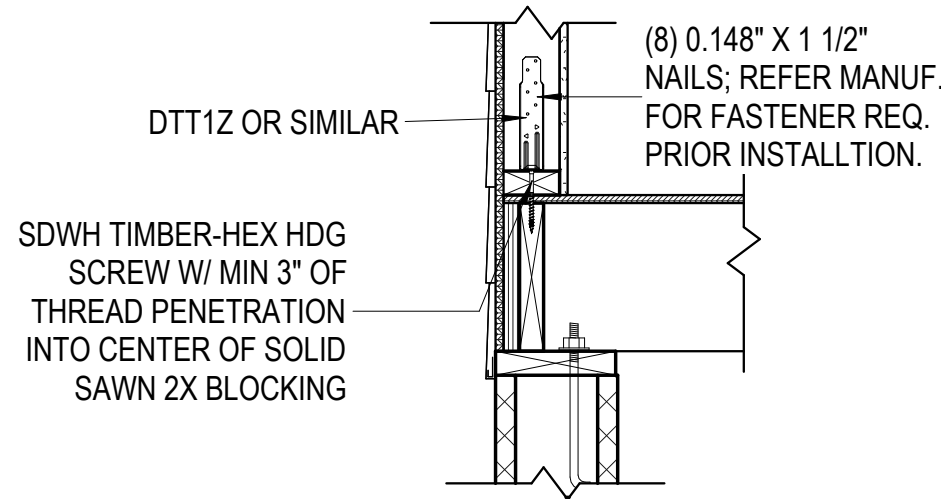
CONTACT: permits@mitchellhomesinc.com

THE WINCHESTER PLAN: F - FARMHOUSE EXTERIOR:
DATE: AUG. 25, 2025
DRAWN BY: TLC
JOB #: 50000198
SCALE: 1/2" = 1'-0"

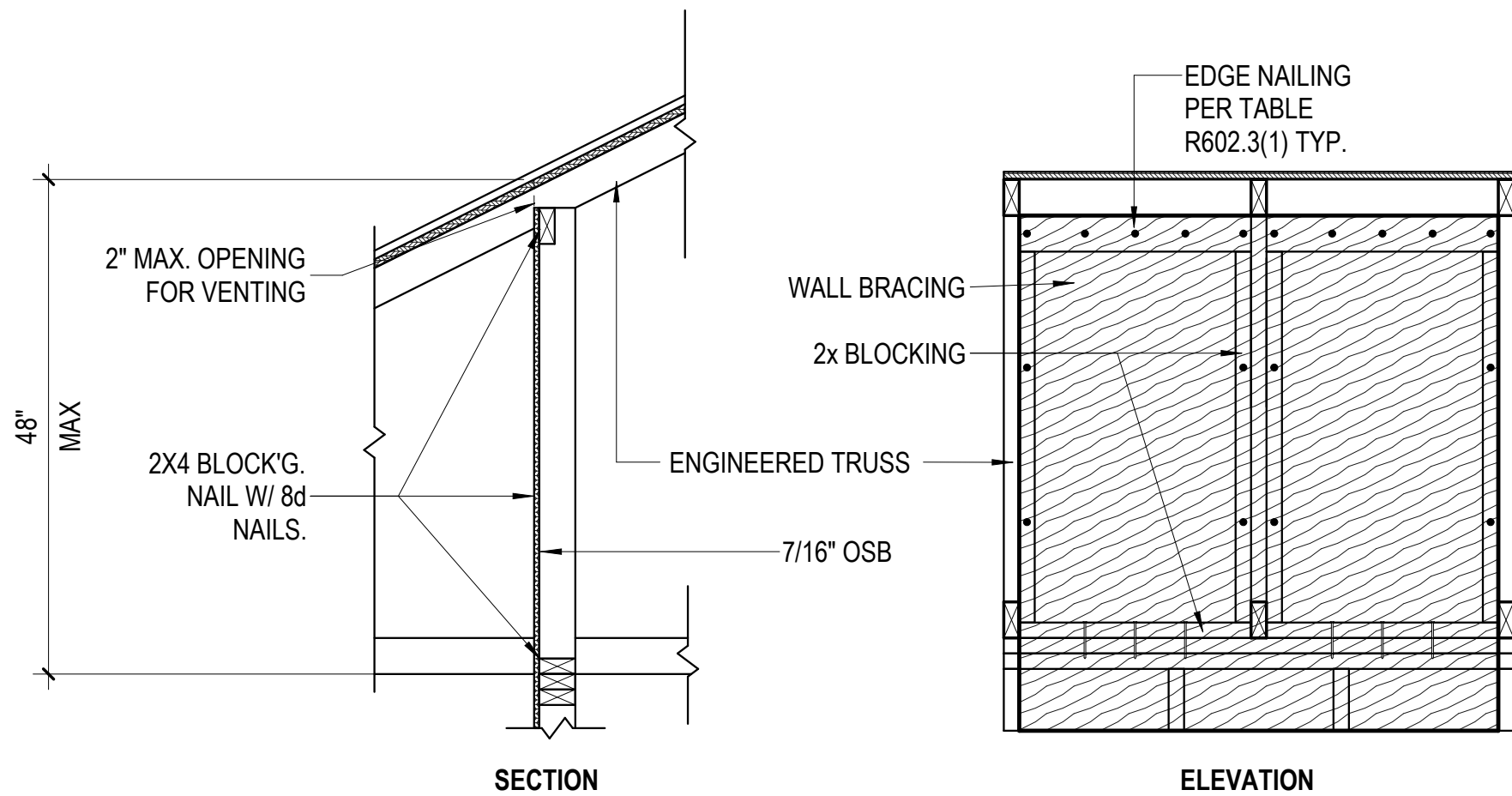
BRACE WALL NOTES:

1. WALL BRACING METHOD TO BE CONTINUOUS SHEATHING - WOOD STRUCTURAL PANEL (CS-WSP), U.N.O.
2. ALL PANELS TO BE 7/16" OSB SHEATHING OVER 2X4 STUDS & 16" O.C. WITH DOUBLE TOP PLATE & SINGLE BOTTOM PLATE TO TOP EDGE OF LOWER DOUBLE PLATE.
3. NAILING PATTERN AND FASTENERS SHALL CONFORM TO N.C.R.C. 2018 CODE.

SEE ATTACHED WIND CALCULATION SHEET.



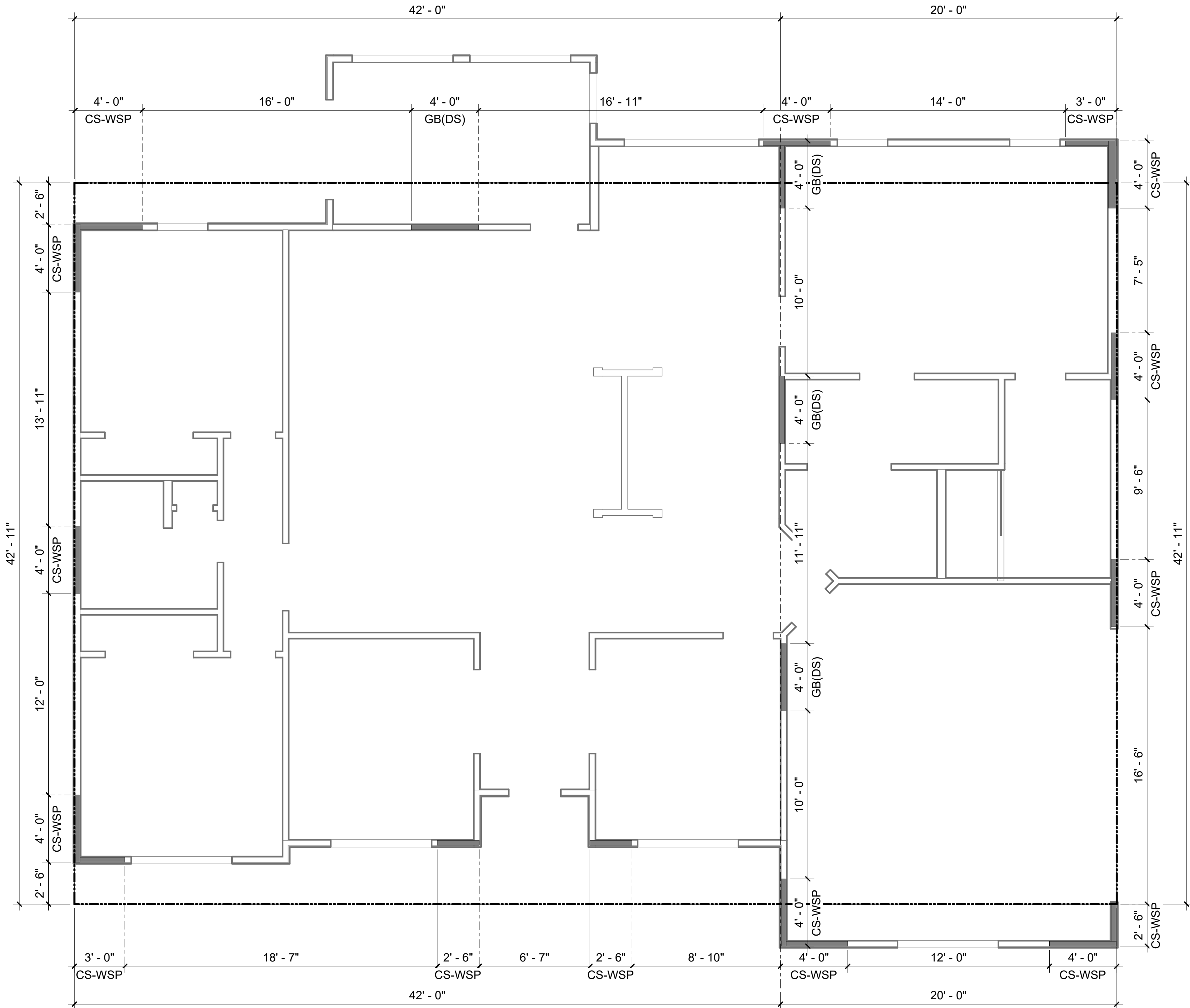
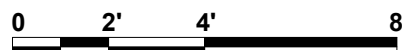
1 TYP. 800LB HOLD DOWN DETAIL
1" = 1'-0"



2 BLOCKING ABOVE BW PANEL
3/4" = 1'-0"

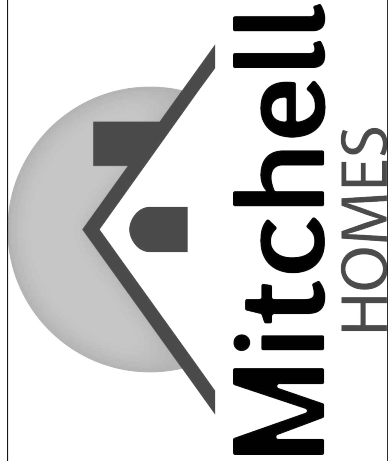
LEGEND

- BRACED WALL LINE
- BRACED WALL PANEL



3 BRACED WALL LAYOUT PLAN
1/4" = 1'-0"

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REV. DATE DESCRIPTION

THE WHITETREE, P. RESIDENCE

BRACE WALL LAYOUT

HARNETT, NC

CONTACT: permits@mitchellhomesinc.com

THE WINCHESTER
PLAN: F -
FARMHOUSE
EXTERIOR:

DATE: AUG. 25, 2025
DRAWN BY: TLC
JOB #: 50000198
SCALE: As indicated

A5.1