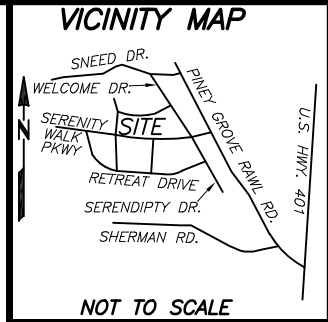


| CURVE TABLE |          |         |        |        |         |               |
|-------------|----------|---------|--------|--------|---------|---------------|
| CURVE       | DELTA    | RADIUS  | ARC    | CHORD  | TANGENT | CHORD BRG     |
| C1          | 3°32'53" | 205.00' | 12.69' | 12.69' | 6.35'   | N 62°48'34" E |

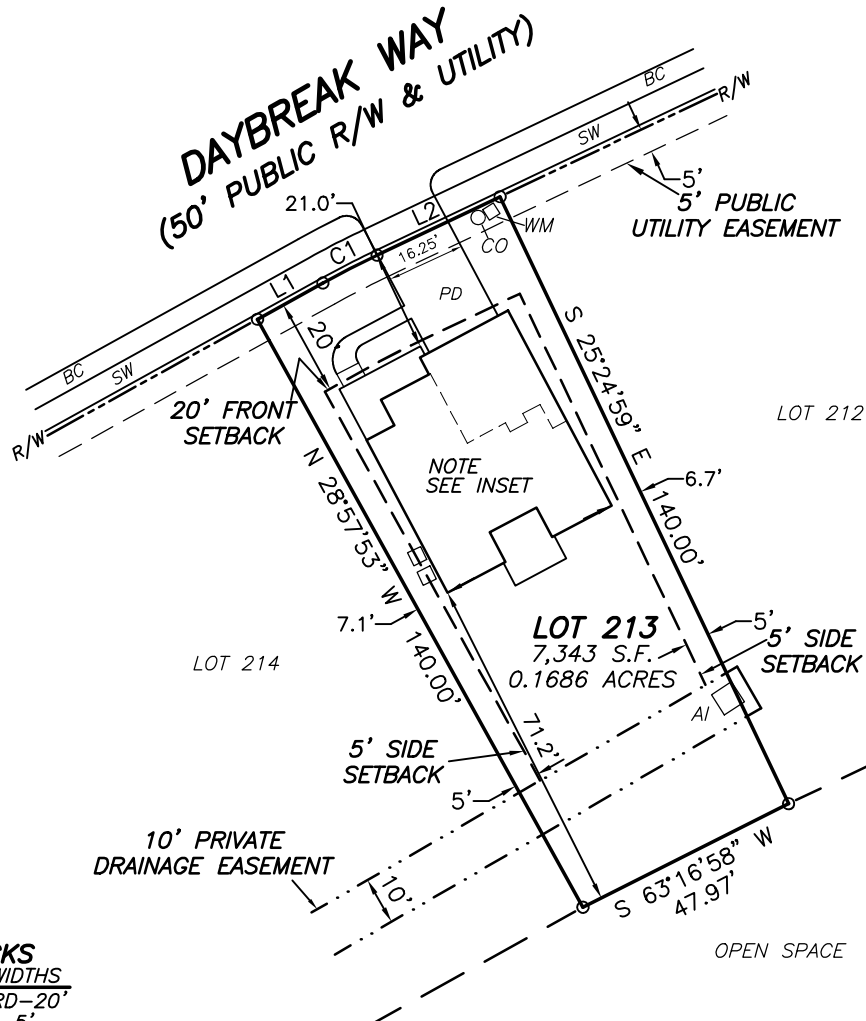
| LINE TABLE |               |          |
|------------|---------------|----------|
| LINE       | BEARING       | DISTANCE |
| L1         | N 61°02'07" E | 15.58'   |
| L2         | N 64°35'01" E | 28.39'   |

PROPOSED IMPERVIOUS SURFACES:  
 TOTAL LOT AREA=7,343 S.F.  
 HOUSE/PORCHES=1,895 S.F.  
 DRIVEWAYS/ETC.=465 S.F.  
 TOTAL IMPERVIOUS AREA=2,360 S.F.  
 MAX. IMPERVIOUS AREA=3,036 S.F.



- REFERENCES:  
 1. D.B. 4229 PG. 1542  
 PIN: 0645-93-2078.000  
 PID: 08065502 0032 53
- NOTICE OF DEVELOPMENT GUIDELINES:  
 2. D.B. 4149, PG. 210
- RESTRICTIVE COVENANTS:  
 3. D.B. 4109, PG. 612

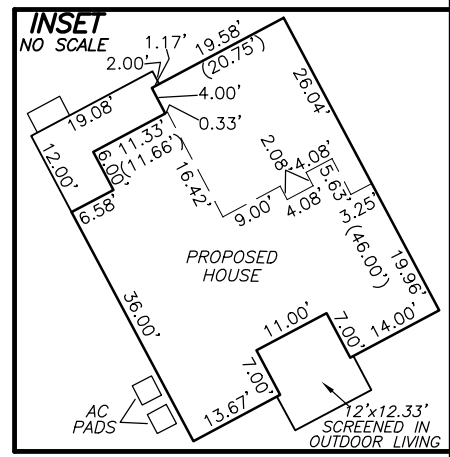
N.C. GRID NORTH NAD83 (2011)  
 P.B. 2023, PG.472-482



**SETBACKS**  
 >43' LOT WIDTHS  
 FRONT YARD-20'  
 SIDE YARD-5'  
 REAR YARD-20'  
 CORNER SIDE-12'

**LEGEND**  
 (BC)-BACK OF CURB  
 (SW)-SIDEWALK  
 (AI)-AREA INLET  
 (PD)-PROPOSED DRIVEWAY  
 (CO)-CLEANOUT  
 (WM)-WATER METER  
 (AC)-AIR CONDITIONER

- NOTES:  
 1. ALL EASEMENTS, RIGHTS OF WAY AND BOUNDARY INFORMATION TAKEN FROM P.B. 2023, PG. 472-482 UNLESS OTHERWISE NOTED.  
 2. PROPERTY IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD. NO TITLE EXAMINATION HAS BEEN DONE BY ROBINSON & PLANTE, P.C.



**PRELIMINARY PLAT- NOT FOR RECORDATION, CONVEYANCE, OR SALE**

**LOT 213 SERENITY SUBDIVISION  
 PHASE 2E  
 41 DAYBREAK WAY  
 HARNETT COUNTY  
 FUQUAY-VARINA, N.C. 27526**

**SURVEY FOR  
 DREES HOMES**



REFERENCE: PLAT BOOK 2023 PAGE 472-482.

FILE: STYLOT213PP

I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION DESCRIPTION RECORDED IN REFERENCES AS SHOWN ; THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM INFORMATION IN \_\_\_\_\_; THAT THE RATIO OF PRECISION IS 1:10,000; AND THAT THIS MAP MEET THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.16000).  
 THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.

MEADOW II  
 ELEV A  
 SLAB ON GRADE  
 SCREENED IN OUTDOOR LIVING  
 GARAGE LEFT FRONT

**ROBINSON & PLANTE PC**  
 LAND SURVEYING  
 C-2687  
 970 TRINITY ROAD  
 RALEIGH, N.C. 27607  
 PHONE (919) 859-6030  
 FAX (919) 859-6032

PROFESSIONAL LAND SURVEYOR L-4433

DATE: 12-18-24 SCALE: 1"=40'