



### Square Footage

<b>Living Areas</b>	
First Floor	1146 SF
Second Floor	1422 SF
	2568 SF
<b>Unfinished Areas</b>	
Front Porch	149 SF
Garage	445 SF
Outdoor Living	141 SF
	735 SF

Square Footage total may vary by +1 SF due to automated rounding of first and second floor area

### Redraws

Plan Review: XX/XX/XX  
 Xxxx

Plan Review: XX/XX/XX  
 Xxxx

- Building Height: As Required
- Brick Calculations: Sheet X.XX
- Fenestration Calculations:  
 Total Wall Square Footage: \_\_\_\_\_  
 Total Window Square Footage: \_\_\_\_\_  
 Total Fenestration %: \_\_\_\_\_

### Division: Raleigh

Building Code: 2018 North Carolina Residential Building Code

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Space for Architect Seal

RESIDENCE FOR:  
**NEWTON**  
 41 DAYBREAK WAY  
 SERENITY - 50'

Job Number: **STY5-0213-00** Drawing Date: **12.6.24** Coord Name: **GREG P.** Coord Phone: **859.578.4355**

House Name: \_\_\_\_\_ Drawing Scale: 1/8" = 1'0" Contract Drawn By: **IDB**

Series: **CLASSIC**

Plan No.: \_\_\_\_\_



8821 Six Forks Road, Suite 500, Raleigh, NC 27615  
 Phone: [919] 844-9288

Sheet Information

# 0C.1

Cover Sheet  
 Elevation "A"

Architecture Plan Review:  No Comments  See Comments

Items drawn on any drawings and not written in the contract selections **WILL NOT** be included in the site specific drawings.

Customer Plan Review Signature

I understand that my new Drees home will be built in general conformance to the plans, specifications, selections and the Purchase Agreement, all of which I have reviewed and approved. This set of plans may not reflect the elevations or options for my house. Drees draws the standard plans complete with the most common options. The subcontractor's sets will show only the options I selected in my selection sheets. I have reviewed the plot plan for my house and understand that there may be some field adjustments as to the exact location of the house on the lot. I further understand that my home will not be built exactly like any other Drees home or Model and that some minor variations from my plans and specifications may occur since every home that is built has it's own set of unique construction problems that must be dealt with as the home is being built.  
 Customer: \_\_\_\_\_ Date: \_\_\_\_\_  
 Customer: \_\_\_\_\_ Date: \_\_\_\_\_

Customer Request:	Design Solution:	Reason For Modification:	Comments:
1. XXX	1. XXX	1. XXX	1. XXX
2. XXX	2. XXX	2. XXX	2. XXX
3. XXX	3. XXX	3. XXX	3. XXX
4. XXX	4. XXX	4. XXX	4. XXX

# GENERAL NOTES - RALEIGH

## FOUNDATION NOTES

### CRAWL SPACES:

- SLOPE CONCRETE SLAB 4" MINIMUM TOWARDS GARAGE DOOR
- EXTERIOR FLATWORK/GARAGES SHALL HAVE A MINIMUM CONCRETE STRENGTH OF 4,500 PSI
- FOOTINGS TO A MINIMUM CONCRETE STRENGTH OF 2500 PSI, UNLESS OTHERWISE NOTED
- ASSUMED ALLOWABLE SOIL BEARING PRESSURE: 2,000 p.s.f.
- WATERPROOF FOUNDATION WITH BITUMINOUS SPRAY.
- WALL TIES EMBEDDED IN THE HORIZONTAL MORTAR JOINT SHALL BE 16" ON CENTER. TIES IN ALTERNATE COURSES SHALL BE STAGGERED. THE MAXIMUM VERTICAL DISTANCE BETWEEN TIES SHALL NOT EXCEED 16" AND THE MAXIMUM HORIZONTAL DISTANCE SHALL NOT EXCEED 16" ADDITIONAL TIES SHALL BE PROVIDED AT ALL OPENINGS, AND WITHIN 12" OF THE OPENING.
- CORE FILL ENTIRE BLOCK WALL WHEN THE WALL IS 4'-0" TALL OR HIGHER. INSTALL #4 REBAR IN EACH HOLLOW AREA OF EACH BLOCK FROM FOOTING TO TOP OF WALL, ON THE ENTIRE WALL PRIOR TO CORE FILLING IT.
- TOP COURSE OF BLOCK ON ALL WALLS WILL BE FILLED SOLID WITH MORTAR PLACING THE FOUNDATION STRAPS OR BOLTS IN THE MORTAR 6'-0" ON CENTER, AND 12" FROM EACH CORNER.
- 12"x16" PIERS: HOLLOW MASONRY UP TO 48" HIGH, SOLID MASONRY UP TO 9'0" HIGH
- 16"x16" PIERS: HOLLOW MASONRY UP TO 64" HIGH, SOLID MASONRY UP TO 12'0" HIGH
- BLOCK PIERS SHOULD BE PLACED DIRECTLY ON CONCRETE FOOTINGS PER PLAN. THEY SHOULD BE PLUMBED AND SQUARE WITHIN 1/4".
- SILL PLATES TO BE A MINIMUM OF 2x4 NOMINAL LUMBER.

## FRAMING NOTES

### DESIGN LOADS:

FLOORS:	40 psf LIVE LOAD + 10 psf DEAD LOAD = 50 psf	GARAGE FLOOR: 50 psf LIVE LOAD	SEISMIC: "A" & "B"
ROOF:	18 psf LIVE LOAD + 17psf DEAD LOAD = 35 psf	WIND SPEED: 120 MPH	
DESIGN DEFLECTION LIMITS (BASED ON LIVE LOAD, EXCEPT MASONRY):			
	RAFTERS GREATER THAN 3:12	L/180	CEILING
	MASONRY VENEER	L/600	
	NOMINAL LUMBER FLOORS:	L/360	
	MANUFACTURED WOOD FLOORS:	DESIGNED TO MINIMUM PRO RATING OF 35 (OR EQUIVALENT), NO MORE THAN 8 POINT DIFFERENCE BETWEEN ADJACENT SPANS.	
		L/480 FOR SPANS UP TO 16'-0" AND NO GREATER THAN 1/2" DEFLECTION	
		L/600 FOR SPANS OVER 16'-0" IF SIMPLE SPAN AND NO GREATER THAN 1/2" DEFLECTION	
		L/840 FOR SPANS OVER 16'-0" IF CONTINUOUS SPAN. AND NO GREATER THAN 1/2" DEFLECTION	

- JOIST SPACING: 19.2' o.c. MAXIMUM SPACING
- DOUBLE EVERY OTHER FLOOR JOIST UNDER KITCHEN ISLANDS
- INSTALL UNCOUPLING MEMBRANE IN TILE FLOOR AREAS IF 19.2' o.c. FLOOR JOIST SPACING
- GLUE AND MECHANICALLY FASTEN [SCREWS] WOOD FLOOR IF 19.2' o.c. FLOOR JOIST SPACING
- MANUFACTURED WOOD PRODUCTS (INCLUDING, BUT NOT LIMITED TO, STRUCTURAL WOOD BEAMS AND I-JOISTS) SHALL BE FABRICATED, HANDLED, AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- JOISTS ARE NOT TO BE PLACED DIRECTLY OVER INTERIOR PARALLEL WALLS. (TO PREVENT UNEVEN FLOOR DEFLECTION FROM OCCURRING)
- ALL WOOD BEAMS/HEADERS: 2x6's TO BE SPF STUD GRADE OR BETTER/ 2x8 OR LARGER TO BE SYP #2 [ PER NDS 2012 ] OR BETTER, U.O.N.
- ALL HEADERS SHALL BE SUPPORTED BY (1) 2x JACK STUD AND (1) 2x KING STUD MINIMUM. THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACKS REQUIRED, U.N.O. AT FLUSH OR DROPPED BEAMS, THE NUMBER OF STUDS SPECIFIED INDICATES THE TOTAL NUMBER OF STUDS REQUIRED TO SUPPORT THE BEAM.
- EXTERIOR WALLS TO BE 2x4 SPF STUD GRADE AT 16" o.c. UNLESS OTHERWISE NOTED (10'4-1/2" MAXIMUM WALL HEIGHT)
- ALL INTERIOR BEARING WALLS AND WALLS AT BASEMENT & FIRST FLOOR STAIRWELLS, KITCHEN, BATH, & GARAGE TO BE 2x4 SPF STUD GRADE @ 16" o.c.;
- ALL OTHER NON-BEARING INTERIOR WALLS TO BE 2x4 SPF STUD GRADE @ 24" o.c. U.O.N.
- ALL WALLS TO BE 3 1/2" UNLESS OTHERWISE NOTED.
- PROVIDE SOLID BEARING TO FOUNDATION OR BEAM BELOW FOR ALL BEAMS, HEADERS & GIRDER TRUSSES. PROVIDE BLOCKING BETWEEN JOISTS AS REQUIRED.
- SEE SELECTION SHEET FOR SIZE AND STYLE OF FIREPLACE. SEE FIREPLACE ELEVATION DETAIL FOR ADDITIONAL FRAMING REQUIREMENTS, IF ANY.
- CHECK SELECTION SHEETS FOR FLOOR COVERING AT TOP AND BOTTOM OF STAIR RISERS AND ADJUST RISERS AS REQ'D.
- PROVIDE BLOCKING AT ALL HANDRAIL TERMINATION AND BRACKET LOCATIONS.
- 20-MINUTE FIRE RATED DOOR BETWEEN GARAGE AND LIVING AREA.
- EXTERIOR WALL TO BE 2x4 SPF STUD G AT 16" o.c. UNLESS OTHERWISE NOTED (10'-0" MAXIMUM UNBRACED WALL HEIGHT).
- ALL EXTERIOR WALLS AND INTERIOR BEARING WALLS, FRAMED HIGHER THAN THE STANDARD PLATE HEIGHT, SHALL BE FRAMED WITH CONTINUOUS FULL HEIGHT STUDS TO THE HIGHEST CEILING (I.E. NO INTERMEDIATE BREAKS) TO PREVENT LATERAL HINGE CONDITIONS.
- IN THE GARAGE, PROVIDE 1/2" GYP. BOARD AT ALL WALLS COMMON TO LIVING SPACE AND ALL STRUCTURAL MEMBERS SUPPORTING FLOOR/CEILING ASSEMBLY. GARAGE CEILING TO BE 1/2" SAG RESISTANT GYP. BOARD WHEN THERE ARE NO HABITABLE SPACES ABOVE, OR 5/8" TYPE X GYP. BOARD WHEN HABITABLE SPACES ARE ABOVE.
- ALL EMERGENCY ESCAPE & RESCUE OPENINGS TO BE A MAXIMUM OF 44" OFF OF FINISHED FLOOR AND HAVE MINIMUM OPENING DIMENSIONS OF 24" IN HEIGHT, 20" IN WIDTH, & HAVE A MINIMUM OPENING AREA OF 5.7 S.F.
- ALL DOORS TO BE 6'-8" TALL UNLESS OTHERWISE NOTED.
- ALL GLASS IN INTERIOR AND EXTERIOR DOORS TO BE TEMPERED (INCLUDING SIDELITES AND TRANSOMS)
- ALL LUMBER CONTACTING CONCRETE TO BE PRESSURE TREATED.
- ALL FASTENERS, HANGERS, AND OTHER CONNECTORS TO BE USED WITH PRESSURE TREATED WOOD ARE TO HAVE ZMAX COATING (OR EQUIVALENT) HOT-DIPPED GALVANIZED OR STAINLESS STEEL.
- AT STAIR HANDRAIL, ON ONE SIDE ONLY, SHALL BE CONTINUOUS FOR THE ENTIRE LENGTH OF THE STAIRWAY, AND ENDS SHALL BE RETURNED TO A WALL OR POST. THE HANDRAIL MAY BE INTERRUPTED AT A NEWEL POST AT A TURN.
- ALL HANDRAIL GRIP PORTIONS SHALL NOT EXCEED 2-1/4" IN CROSS SECTIONAL DIMENSION.
- HANDRAILS SHALL BE INSTALLED ON ALL STAIRS WITH 4 OR MORE RISERS, HANDRAIL HEIGHTS SHALL BE A MINIMUM OF 34" AND A MAXIMUM OF 38".
- ALL STAIRS TO BE CONSTRUCTED SO AS NOT TO ALLOW A 4" SPHERE TO PASS THROUGH THE RISER.
- GUARDRAILS MUST BE A MINIMUM OF 36" HIGH. GUARDRAILS AT THE OPEN SIDES OF STAIRS MUST BE A MINIMUM OF 34" HIGH MEASURED VERTICALLY FROM THE NOSING AT THE TREADS. THE HORIZONTAL SPACING OF THE VERTICAL BALUSTERS SHALL BE 4" O.C.
- GUARDRAIL DESIGN TO RESIST A MINIMUM OF 200 LBS LATERAL FORCE

### BASEMENTS:

- SLOPE CONCRETE SLAB 4" MINIMUM TOWARDS GARAGE DOOR
- EXTERIOR FLATWORK/GARAGES SHALL HAVE A MINIMUM CONCRETE STRENGTH OF 4,500 PSI
- FOOTINGS TO A MINIMUM CONCRETE STRENGTH OF 2500 PSI, UNLESS OTHERWISE NOTED- ALL FOUNDATION WALLS TO BE CAST IN PLACE CONCRETE 3000 PSI MIN. UNLESS OTHERWISE NOTED.
- BASEMENT WINDOW LOCATIONS MAY VARY FROM DRAWING DUE TO LOT CONDITIONS.
- BACKFILL ADJACENT TO FOUNDATION WALLS SHALL NOT BE PLACED UNTIL THE WALL HAS SUFFICIENT STRENGTH AND HAS BEEN ANCHORED TO THE FLOOR OR HAS BEEN SUFFICIENTLY BRACED TO PREVENT DAMAGE BY THE BACKFILL.
- ASSUMED ALLOWABLE SOIL BEARING PRESSURE: 2,000 p.s.f.
- WATERPROOF FOUNDATION WITH BITUMINOUS SPRAY.
- VERTICAL CONTROL JOINTS IN BASEMENT FOUNDATION WALLS - STANDARD LOCATION GUIDELINES:
  - 1) PLACE A CONTROL JOINT IN ALL UNBRACED WALLS OVER 30' IN LENGTH. (NOTE: "T" WALLS AND CORNERS COUNT AS A BRACE).
  - 2) WINDOWS THAT ARE LARGER THAN THE STANDARD BASEMENT WINDOW REQUIRE A CONTROL JOINT.
  - 3) CONTROL JOINTS ARE NOT REQUIRED AT EVERY WINDOW THAT IS STANDARD SIZE.
  - 4) IF THERE IS A STANDARD WINDOW LOCATED IN A WALL SEGMENT THAT REQUIRES A CONTROL JOINT, THEN THE CONTROL JOINT SHOULD BE PLACED ON THE SIDE OF THE WINDOW THAT IS ADJACENT TO THE LONG SIDE OF THE WALL. IF THERE IS MORE THAN ONE WINDOW IN A WALL THEN ONLY ONE WINDOW SHOULD HAVE A CONTROL JOINT.
  - 5) DOORS DO NOT GET CONTROL JOINTS.
  - 6) CONTROL JOINTS SHOULD NOT BE LOCATED WITHIN 3' OF A BEAM POCKET.
  - 7) CONTROL JOINTS ARE REQUIRED AT THE FIRST AND LAST STEP DOWN AT STEPPED BASEMENT FOUNDATION WALLS.
- INTERIOR FLATWORK SHALL HAVE A MINIMUM CONCRETE STRENGTH OF 3,000 PSI.
- ALL VERTICAL STEEL AND ALL STEEL IN STRUCTURAL SLABS TO BE GRADE 60. ALL HORIZONTAL STEEL IN FOUNDATION WALLS AND FOOTERS TO BE GRADE 40 STEEL.

### SLAB ON GRADE:

- ALL CONCRETE SLABS ON GRADE SHALL BE THE THICKNESS AS INDICATED ON THE DETAILS OVER MINIMUM 6 MIL. POLYETHYLENE (VISQUEEN) VAPOR BARRIER. SLABS SHALL BE REINFORCED WITH 6x6 W1.4 WWF LAPPED 8" AT EDGES AND ENDS IN CONFORMANCE WITH ASTM-A 185. OR FIBERMESH REINFORCEMENT SHALL BE USED WITH A MINIMUM FIBER LENGTH OF 1/2" TO 2 1/4" COMPLYING WITH ASTM C 1116. THE DOSAGE AMOUNT SHALL BE 0.75 TO 3.0 POUNDS PER CUBIC YARD IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- SLABS ON GRADE SHALL BEAR ON STRUCTURAL FILL WHICH SHALL BE CLEAN SAND FREE OF DEBRIS AND OTHER DELETERIOUS MATERIAL. STRUCTURAL FILL SHALL BE COMPACTED TO A DENSITY OF AT LEAST 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D1557). TERMITE PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS. IF SOIL TREATMENT IS USED, THE TREATMENT SHALL BE DONE AFTER ALL EXCAVATION, BACKFILLING, AND COMPACTION IS COMPLETED.
- FOOTINGS MAY BEAR UPON UNDISTURBED SOIL OR UPON STRUCTURAL FILL. STRUCTURAL FILL SHALL BE COMPACTED TO A DENSITY OF AT LEAST 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D1557) FOR A DEPTH OF AT LEAST TWO FEET (2'-0") BELOW THE BOTTOM OF THE FOOTING.
- THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT:
  - 3" CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH
  - 2" CONCRETE EXPOSED TO EARTH AND WEATHER
  - 1 1/2" CONCRETE NOT EXPOSED TO EARTH OR WEATHER
- SLOPE CONCRETE SLAB 4" MINIMUM TOWARDS GARAGE DOOR
- EXTERIOR FLATWORK/GARAGES SHALL HAVE A MINIMUM CONCRETE STRENGTH OF 4,500 PSI
- ASSUMED ALLOWABLE SOIL BEARING PRESSURE: 2,000 p.s.f.
- INTERIOR FLATWORK SHALL HAVE A MINIMUM CONCRETE STRENGTH OF 3,000 PSI.
- ALL STEEL IN STRUCTURAL SLABS TO BE GRADE 60. ALL HORIZONTAL STEEL IN FOUNDATION WALLS AND FOOTERS TO BE GRADE 40 STEEL.

## MECHANICAL/ELECTRICAL NOTES

- ANY GAS APPLIANCES MUST BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- HOLD THE CENTERLINE OF ALL EXTERIOR LIGHT FIXTURES AT 5'-8" OFF BOTTOM OF DOOR OPENING.
- ALL KITCHEN CABINET DIMENSIONS ARE CABINET TO CABINET.
- CABINET STYLES MAY VARY FROM INTERIOR ELEVATIONS DEPENDING ON STYLE, MANUFACTURER, ETC. FOR CABINET DETAILS SEE SHOP DRAWINGS.
- CABINET SIZES MAY VARY WITH FULL-OVERLAY CABINETS.
- GROUND FAULT INTERRUPTER (GFCI) OUTLETS TO BE INSTALLED PER NEC 2017, SECT. 210.8
- PROVIDE HOSE BIBS PER DIVISION SPEC. SHEET. EXACT LOCATION TO BE FIELD DETERMINED UNLESS OTHERWISE NOTED ON THE PLANS.
- MIN. 50 C.F.M. FOR ALL EXHAUST FANS IN BATHROOMS

### INSULATION DETAILS

EXTERIOR STUD WALL CAVITY:	(2x4)	R-15
(2x6)	R-19	
FLOOR JOIST CAVITY AT STANDARD PERIMETER:	R-19	
FLOOR JOIST CAVITY AT CANTILEVER:		R-19
OVER GARAGE: (OVER HORIZONTAL SPACE)		R-38 BLOWN
(SLOPED AND VERTICAL SPACE)	R-38 BATT	

## ELEVATION NOTES

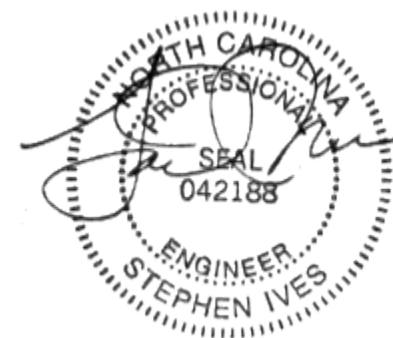
- WINDOW STYLE AND MULLIONS MAY VARY FROM ELEVATION DEPENDING UPON MANUFACTURER, STYLE, PATTERN, TYPE, ETC.
- USE SECONDARY HEAT BARRIER ON ALL DIRECT VENT FIREPLACES 7" OR LESS ABOVE A WALKWAY.
- GRADE AWAY FROM FOUNDATION WALLS SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10'.
- PROVIDE TYVEK OR EQUIVALENT HOUSE WRAP BEHIND BRICK AND STONE VENEER OVER WOOD SHEATHING.
- PROVIDE BRICK WEEP HOLES AT 24" O.C. WITH BRICK VENEER AND MORTAR NET BEHIND AND THROUGH WEEP HOLES.
- PROVIDE FLASHING AND WEEP HOLES ABOVE ALL BRICK ANGLE IRONS, BELOW ALL BRICK SILLS AND ABOVE SILL PLATE SEALERS.
- EXTERIOR STEPS TO HAVE A MAXIMUM 8" RISER. WHEN VERTICAL RISE EXCEEDS 30" OR FOUR OR MORE CONTINUOUS RISERS, A HANDRAIL IS REQUIRED.

## ROOF PLAN NOTES

- ALL OVERHANGS TO HAVE (2) SOFFIT VENTS PER EACH 8' SOFFIT SECTION.
- PROVIDE BAFFLES AT EXTERIOR TRUSS BEARING FOR VENTILATION.
- PROVIDE 15# FELT PAPER UNDER SHINGLES.

Space for Architect Seal

**FOR STRUCTURE ONLY**



2025-01-10

RESIDENCE FOR:  
**NEWTON**  
41 DAYBREAK WAY  
SERENITY - 50'

Job Number: <b>STY5-0213-00</b>	Drawing Date: <b>12.6.24</b>	Coord Name: <b>GREG P.</b>	Coord Phone: <b>859.578.4355</b>
House Name: <b>the MEADOW II</b>		Drawing Scale: 1/8" = 1'0"	
Contract Drawn By: <b>IDB</b>		Series: <b>CLASSIC</b>	
Born on Date: 06/29/2021		CDs Drawn By: SSP	

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Phone: (919) 844-9288

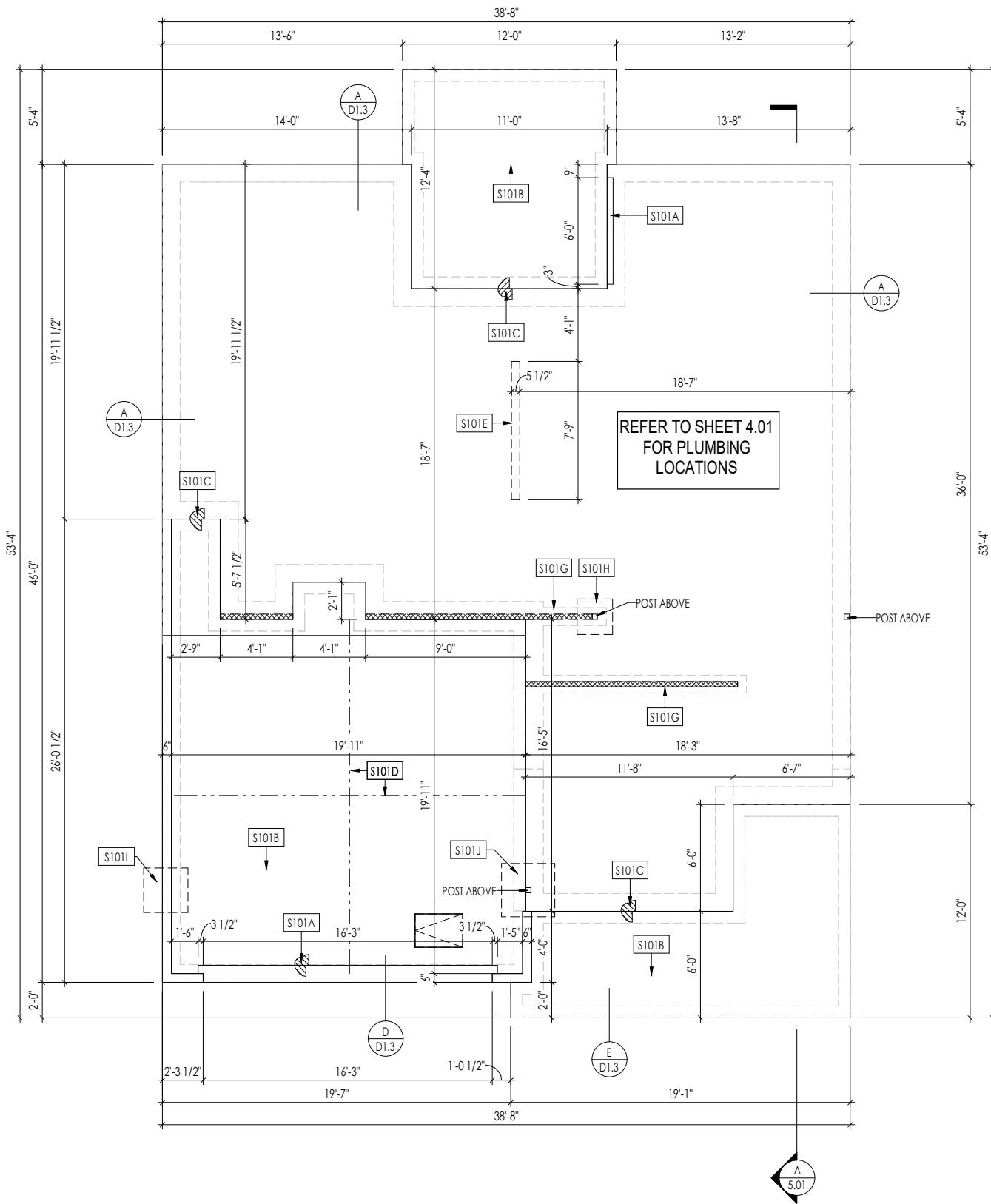
Sheet Information

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General Notes  
Elevation "A"

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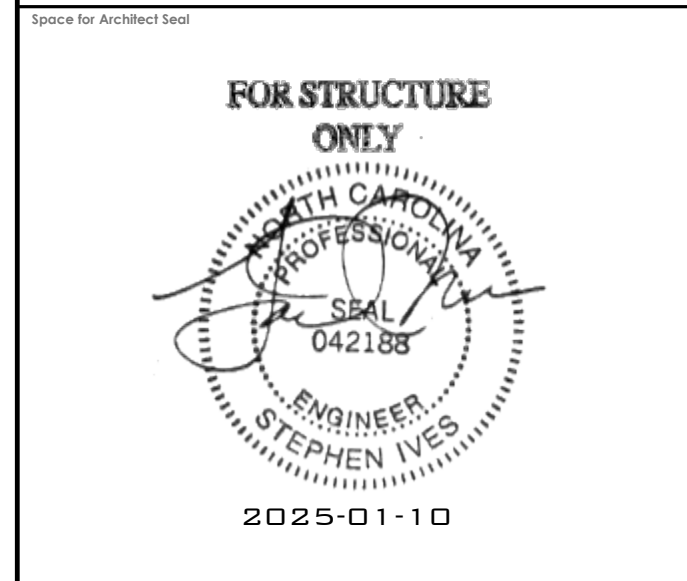


**General Notes:**

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.

**Key Notes:**

S101A	3/4" WEATHER LIP (1-1/2" @ SLIDING GLASS DOOR)
S101B	SLOPE SLAB 1/8" PER FOOT
S101C	DROP SLAB 3-1/2"
S101D	SLAB CONTROL JOINT
S101E	PROVIDE CONDUIT FOR ELECTRIC TO KITCHEN ISLAND
S101G	8"x16" THICKENED PLAIN CONCRETE FOOTING UNDER BEARING WALL ABOVE
S101H	24"x24"x8" ENLARGED CONCRETE FOOTING UNDER POST ABOVE
S101I	30"x30"x8" ENLARGED CONCRETE FOOTING UNDER POST ABOVE
S101J	36"x36"x12" PLAIN CONCRETE FOOTING UNDER POST ABOVE



RESIDENCE FOR:  
**NEWTON**  
 41 DAYBREAK WAY  
 SERENITY - 50'

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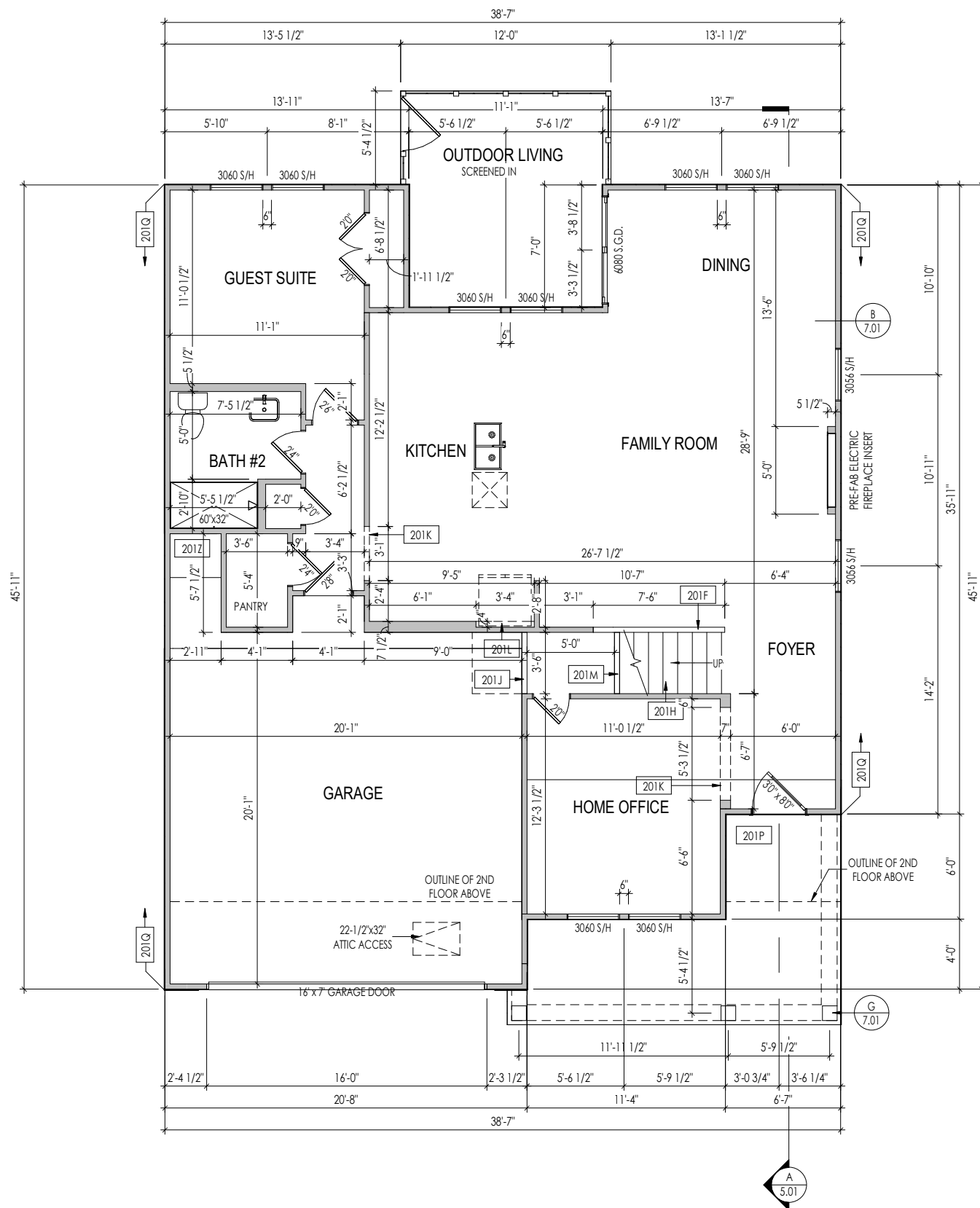
Sheet Information

**1.01S**  
 Foundation Plan (Slab)  
 Elevation "A"

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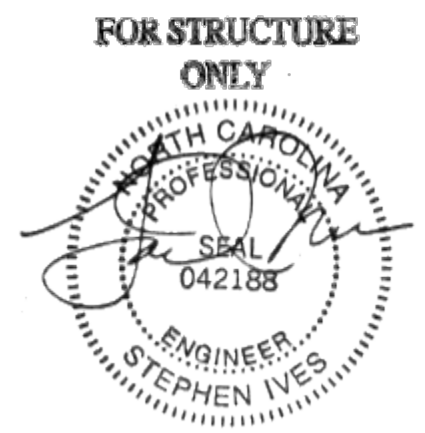
PROVIDE 8' TALL DOORS  
THROUGHOUT FIRST FLOOR,  
U.N.O.



- General Notes:**
1. REFER TO SHEET 0N.1 FOR GENERAL NOTES.
  2. ALL FIRST FLOOR CEILINGS TO BE 10'-1\"/>

- Key Notes:**
- 201F SLOPE WALL EVEN WITH TOP OF STAIR STRINGER, RAILING ABOVE
  - 201H SEE DETAIL F/7.01 FOR STAIR FRAMING DETAILS
  - 201J +/-7'-1 1/2\"/>

Space for Architect Seal



2025-01-10

RESIDENCE FOR:  
**NEWTON**  
41 DAYBREAK WAY  
SERENITY - 50'

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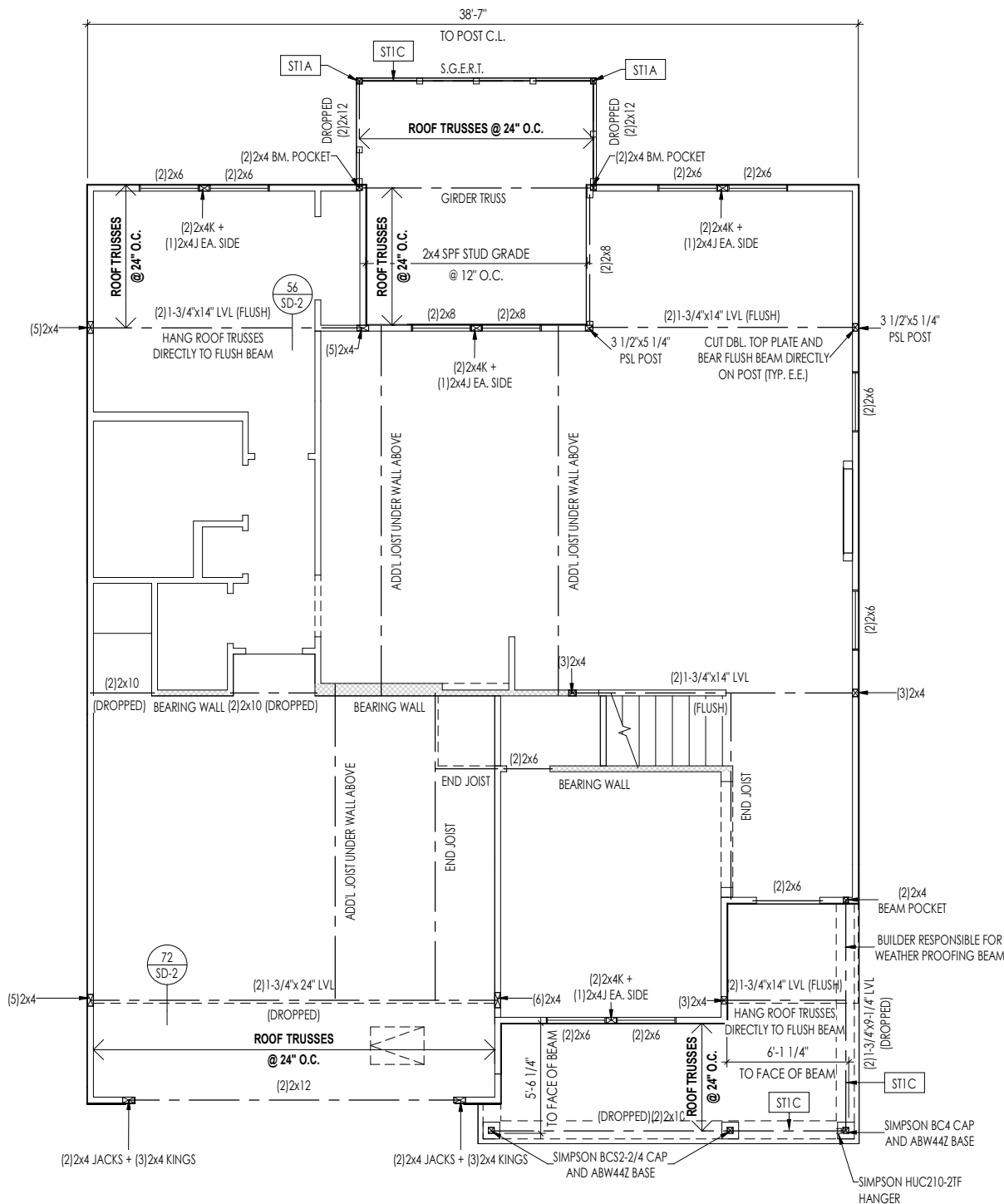


**2.01F**  
First Floor Framing Plan  
Elevation "A"

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Phone: [919] 844-9288

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**LATERAL/WALL BRACING & WALL SHEATHING SPECIFICATIONS**

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM:  
**120 MPH WIND IN 2018 NCSBC MAP**  
 (120 MPH WIND SPEED IN ASCE 7-10 WIND MAP, PER IRC R301.2.1.1) EXP. B & SEISMIC CAT. A/B.

**EXT. WALL SHEATHING SPECIFICATION**

7/16" OSB OR 15/32" PLYWOOD: FASTEN SHEATHING w/ 2-3/8"x0.113 NAILS @ 6" O.C. AT EDGES & @ 12" O.C. IN THE PANEL FIELD. (TYP. U.N.O.)  
 ALL SHEATHING PANELS SHALL BE ORIENTED AND INSTALLED FULL HEIGHT OF SHEAR WALL OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES & EDGE FASTENING.  
 ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED AND ARE CONSIDERED SHEAR WALLS.  
 \* 16 GA STAPLES; ALT. STAPLE CONNECTION SPEC: 1" CROWN @ 3" O.C. AT EDGES & @ 6" O.C. IN FIELD.

**3" O.C. EDGE NAILING**

AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING w/ NO STAPLE ALTERNATIVE NAILS @ 3" O.C. 2-3/8"x0.113. ALL SHEATHING PANELS SHALL BE AVAILABLE AT THIS SPEC BE ORIENTED AND INSTALLED FULL HEIGHT OF SHEAR WALL OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. EDGE FASTENING.

**NOTES**

SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING. IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN, IT WILL BE SPECIFICALLY NOTED ON PLAN.  
 DESIGN ASSUMES 16" O.C. MAX. STUD SPACING, U.N.O. ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.  
 PRE-MANUFACTURED PANELIZED WALLS: FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED w/ OSB OR PLYWOOD w/ 10d NAILS @ 4" O.C. (THRU ONE SIDE ONLY)

INDICATES EXTENT OF INT. OSB SHEARWALL AND/OR 3" O.C. EDGE NAILING  
 INDICATES HOLDDOWN  
 INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

**General Notes:**

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.

**Key Notes:**

ST1A 4x4 P.T. WOOD POST WITH SIMPSON ABW44Z POST BASE AND SIMPSON BCS2-2/4 CAP  
 ST1C FRAME TOP OF BEAM AT 9'-1" ABOVE FIRST FLOOR SUBFLOOR/SLAB

**CONNECTION SPECIFICATIONS (TYP. U.N.O.)**

NOTE: 10d NAIL = 3" x 0.131" GUN NAIL

JOIST TO SOLE PLATE	(3) 10d TOENAILS
SOLE PLATE TO JOIST/BLK'G.	10d NAILS @ 6" o.c.
STUD TO SOLE PLATE	(3) 10d TOENAILS
TOP OR SOLE PLATE TO STUD	(3) 10d NAILS
RIM TO TOP PLATE	10d TOENAILS @ 6" o.c.
BLK'G. BTWN. JOISTS TO TOP PL.	(3) 10d TOENAILS
RAFTER/TRUSS TO TOP PLATE	(3) 10d TOENAILS + (1) SIMPSON H2.5A
GAB. END TRUSS TO DBL. TOP PL.	10d TOENAILS @ 8" o.c.
R.T. w/ HEEL HT. 9 1/2" TO 12"	2x10 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ 10d TOENAILS @ 6" O.C.
R.T. w/ HEEL HT. 12" TO 16"	2x12 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ 10d TOENAILS @ 6" O.C.
R.T. w/ HEEL HT. UP TO 24"	LAP WALL SHTG. w/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN w/ 8d NAILS @ 6" O.C.
R.T. w/ HEEL HT. 24" TO 48"	LAP WALL SHTG. w/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN w/ 8d NAILS @ 6" O.C. PROVIDE 2x BLK @ EA. BAY AT TOP OF HEEL
DOUBLE STUD	10d NAILS @ 24" o.c.
DOUBLE TOP PLATE	10d NAILS @ 24" o.c.
DOUBLE TOP PLATE LAP SPLICE	(10) 10d NAILS IN LAPPED AREA
TOP PLATE LAP @ CORNERS & INTERSECTING WALLS	(2) 10d NAILS
WALL TO FOUNDATION	WALL SHTG. LAP w/ SILL PL. & FASTENED PER SHEAR WALL FASTENING SPEC.

Space for Architect Seal

**FOR STRUCTURE ONLY**

2025-01-10

RESIDENCE FOR:  
**NEWTON**  
 41 DAYBREAK WAY  
 SERENITY - 50'

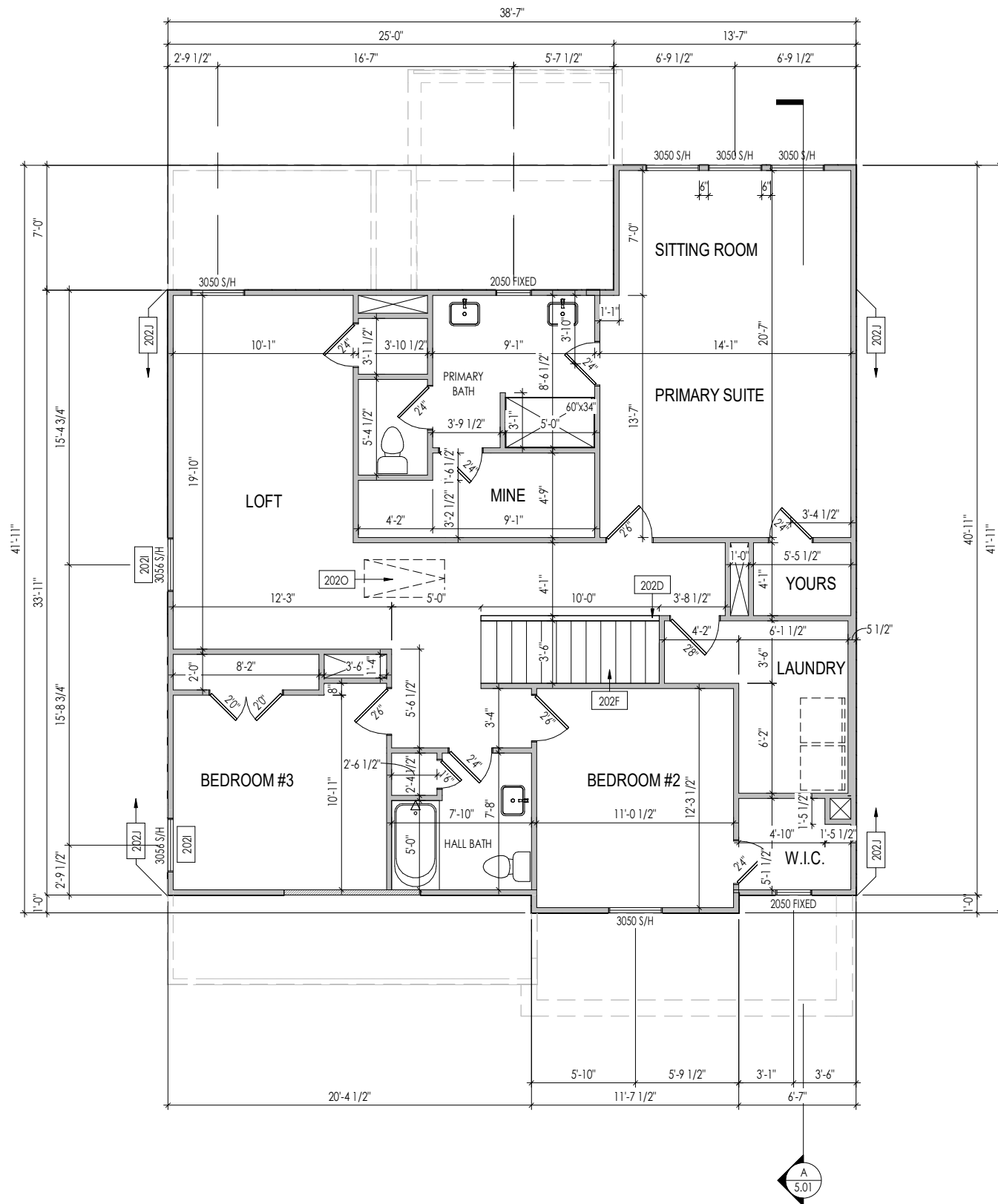
Job Number: <b>STY5-0213-00</b>	Drawing Date: <b>12.6.24</b>	Coord Name: <b>GREG P.</b>	Coord Phone: <b>859.578.4355</b>
House Name: <b>the MEADOW II</b>			Contract Drawn By: <b>IDB</b>
Born on Date: 06/29/2021			CDs Drawn By: SSP

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Sheet Information

**2.01S**  
 First Floor Structural Plan  
 Elevation "A"

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- General Notes:**
1. REFER TO SHEET 0N.1 FOR GENERAL NOTES.
  2. ALL SECOND FLOOR CEILINGS TO BE 9'-1" ABOVE SUBFLOOR UNLESS OTHERWISE NOTED.
  3. FRAME TOP OF ALL WINDOWS AT 1'-0 1/4" BELOW TOP OF PLATE UNLESS OTHERWISE NOTED.
  4. ALL DROPPED, INTERIOR HEADERS (FALSE AND BEARING) ARE DROPPED 1'-0" FROM CEILING.
  5. REFER TO SELECTION SHEETS FOR FLOORING MATERIAL PRIOR TO CONSTRUCTING STAIRS TO DETERMINE RISER HEIGHTS.
  6. REFER TO SHEET 2.02S FOR STRUCTURAL INFORMATION.
- Key Notes:**
- |      |   |
|------|---|
| 202D | 36" HIGH WALL   |
| 202F | SEE DETAIL F/7.01 FOR STAIR FRAMING DETAILS                         |
| 202I | FRAME TOP OF WINDOWS AT 0'-6 1/2" BELOW TOP OF PLATE                |
| 202J | PROVIDE 1/2" FIRE RATED PLYWOOD ON SIDE ELEVATIONS                  |
| 202O | PULL DOWN ATTIC ACCESS STAIRS (25-1/2' x 54') WITH LIGHT AND OUTLET |

Space for Architect Seal

**FOR STRUCTURE ONLY**

**ENGINEER**  
**STEPHEN IVES**

2025-01-10

RESIDENCE FOR:  
**NEWTON**  
41 DAYBREAK WAY  
SERENITY - 50'

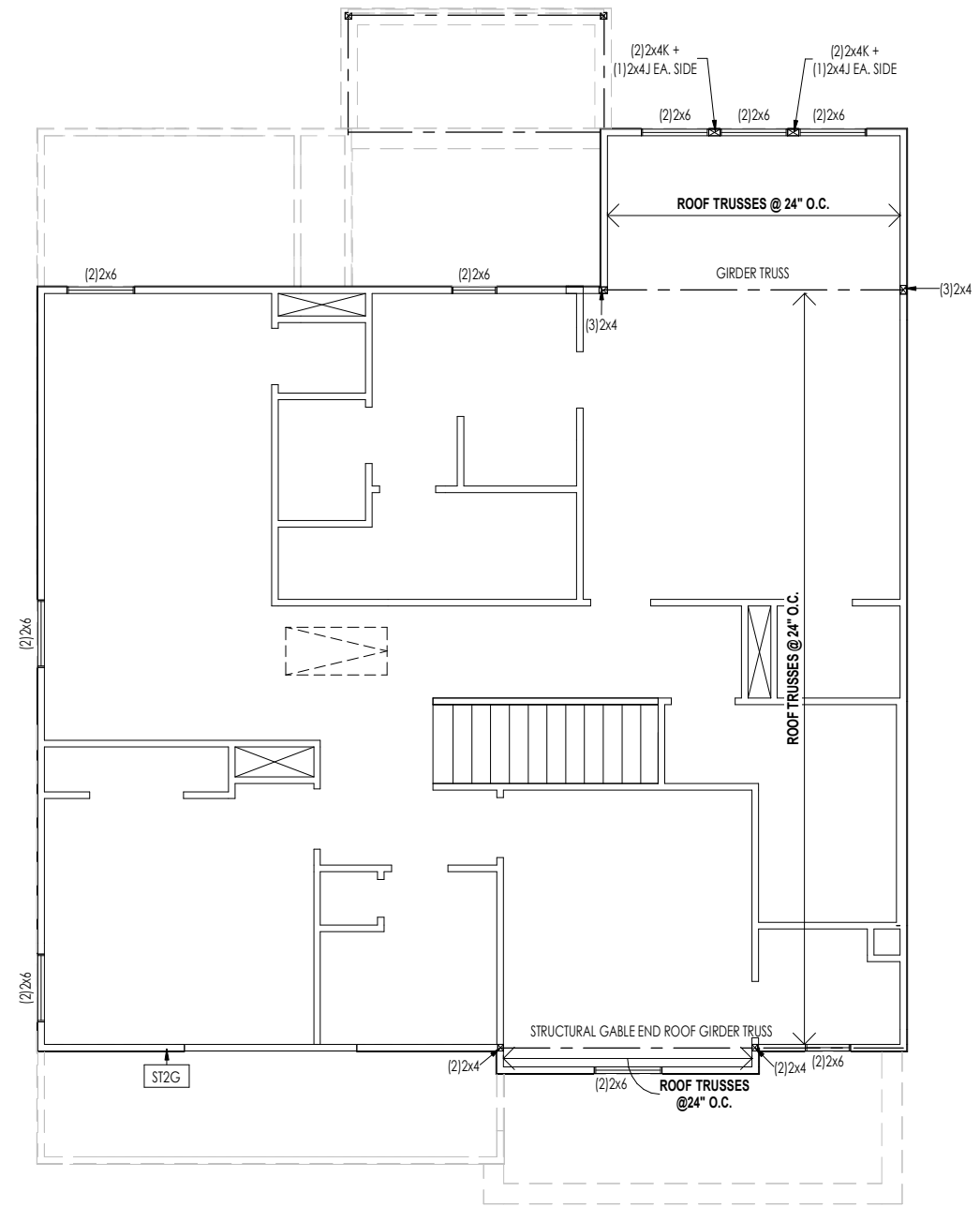
Job Number: <b>STY5-0213-00</b>	Drawing Date: <b>12.6.24</b>	Coord Name: <b>GREG P.</b>	Coord Phone: <b>859.578.4355</b>
House Name: <b>the MEADOW II</b>			Contract Drawn By: <b>IDB</b>
Born on Date: 06/29/2021			CDs Drawn By: SSP

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**2.02F**  
Second Floor Framing Plan  
Elevation "A"

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**LATERAL/WALL BRACING & WALL SHEATHING SPECIFICATIONS**

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM:  
**120 MPH WIND IN 2018 NCSBC MAP**  
 (120 MPH WIND SPEED IN ASCE 7-10 WIND MAP, PER IRC R301.2.1.1) EXP. B & SEISMIC CAT. A/B.

**EXT. WALL SHEATHING SPECIFICATION**  
 7/16" OSB OR 15/32" PLYWOOD: FASTEN SHEATHING w/ 2-3/8"x 0.113 NAILS @ 6" O.C. AT EDGES & @ 12" O.C. IN THE PANEL FIELD. (TYP. U.N.O.)  
 ALL SHEATHING PANELS SHALL BE ORIENTED AND INSTALLED FULL HEIGHT OF SHEAR WALL OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES & EDGE FASTENING.  
 ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED AND ARE CONSIDERED SHEAR WALLS.  
 \* 16 GA STAPLES; ALT. STAPLE CONNECTION SPEC: 1" CROWN @ 3" O.C. AT EDGES & @ 6" O.C. IN FIELD.

**3" O.C. EDGE NAILING**  
 AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING w/ NO STAPLE ALTERNATIVE NAILS @ 3" O.C. 2-3/8"x 0.113. ALL SHEATHING PANELS SHALL BE ORIENTED AND INSTALLED FULL HEIGHT OF SHEAR WALL OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. EDGE FASTENING.

**NOTES**  
 SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING. IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN, IT WILL BE SPECIFICALLY NOTED ON PLAN.  
 DESIGN ASSUMES 16" O.C. MAX. STUD SPACING, U.N.O. ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.  
 PRE-MANUFACTURED PANELIZED WALLS: FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED w/ OSB OR PLYWOOD w/ 10d NAILS @ 4" O.C. (THRU ONE SIDE ONLY)

INDICATES EXTENT OF INT. OSB SHEARWALL AND/OR 3" O.C. EDGE NAILING  
 INDICATES HOLDOWN  
 INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

MMR STD. - SEPT. 2018

**General Notes:**

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.

**Key Notes:**

ST2G PROVIDE CONT. SHTG. BEHIND LOW ROOF TRUSSES DOWN TO SECOND FLOOR SOLE PLATE (TYP.)

**CONNECTION SPECIFICATIONS (TYP. U.N.O.)**

NOTE: 10d NAIL = 3" x 0.131" GUN NAIL

JOIST TO SOLE PLATE	(3) 10d TOENAILS
SOLE PLATE TO JOIST/BLK'G.	10d NAILS @ 6" o.c.
STUD TO SOLE PLATE	(3) 10d TOENAILS
TOP OR SOLE PLATE TO STUD	(3) 10d NAILS
RIM TO TOP PLATE	10d TOENAILS @ 6" o.c.
BLK'G. BTWN. JOISTS TO TOP PL.	(3) 10d TOENAILS
RAFTER/TRUSS TO TOP PLATE	(3) 10d TOENAILS + (1) SIMPSON H2.5A
GAB. END TRUSS TO DBL. TOP PL.	10d TOENAILS @ 8" o.c.
R.T. w/ HEEL HT. 9 1/2" TO 12"	2x10 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ 10d TOENAILS @ 6" O.C.
R.T. w/ HEEL HT. 12" TO 16"	2x12 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ 10d TOENAILS @ 6" O.C.
R.T. w/ HEEL HT. UP TO 24"	LAP WALL SHTG. w/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN w/ 8d NAILS @ 6" O.C.
R.T. w/ HEEL HT. 24" TO 48"	LAP WALL SHTG. w/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN w/ 8d NAILS @ 6" O.C. PROVIDE 2x BLK @ EA. BAY AT TOP OF HEEL
DOUBLE STUD	10d NAILS @ 24" o.c.
DOUBLE TOP PLATE	10d NAILS @ 24" o.c.
DOUBLE TOP PLATE LAP SPLICE	(10) 10d NAILS IN LAPPED AREA
TOP PLATE LAP @ CORNERS & INTERSECTING WALLS	(2) 10d NAILS
WALL TO FOUNDATION	WALL SHTG. LAP w/ SILL PL. & FASTENED PER SHEAR WALL FASTENING SPEC.

Space for Architect Seal

**FOR STRUCTURE ONLY**

2025-01-10

RESIDENCE FOR:  
**NEWTON**  
 41 DAYBREAK WAY  
 SERENITY - 50'

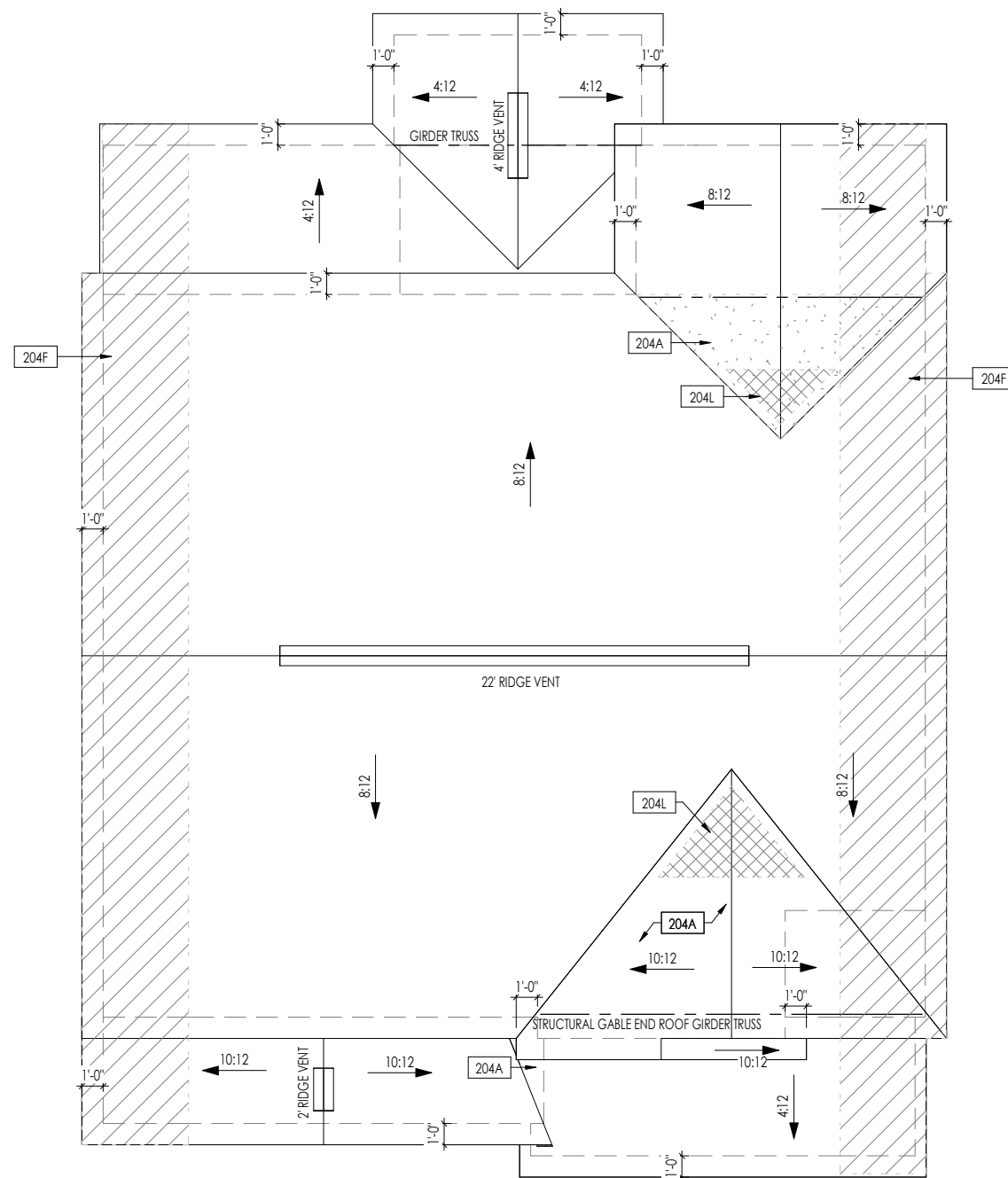
Job Number: <b>STY5-0213-00</b>	Drawing Date: <b>12.6.24</b>	Coord Name: <b>GREG P.</b>	Coord Phone: <b>859.578.4355</b>
House Name: <b>the MEADOW II</b>		Drawing Scale: 1/8" = 1'0"	Contract Drawn By: <b>IDB</b>
Born on Date: 06/29/2021		CDs Drawn By: SSP	Series: <b>CLASSIC</b>
Plan No.:		Plan No.:	

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Sheet Information

**2.02S**  
 Second Floor Structural Plan  
 Elevation "A"

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HEEL CUT STANDARDS		
	OVERHANG	
	1'-0"	2'-0"
4:12	3-3/4"	7-3/4"
5:12	4-3/4"	9-3/4"
6:12	5-3/4"	11-3/4"
7:12	6-3/4"	13-3/4"
8:12	7-3/4"	N/A
9:12	8-3/4"	N/A
10:12	9-3/4"	N/A
12:12	11-3/4"	N/A
14:12	13-3/4"	N/A

**General Notes:**  
 1. REFER TO SHEET ON.1 FOR GENERAL NOTES.

**Key Notes:**  
 204A VALLEY TRUSS OVER FRAMING @ 24" O.C.  
 204F 4'-0" (MIN.) OF FIRE RETARDANT TREATED ROOF SHEATHING. NO PENETRATION ALLOWED WITHIN 4' OF EXTERIOR WALL - SEE DETAIL A/7.03 FOR FIRE BLOCKING AT SOFFIT  
 204L NO ROOF DECKING UNDER OVERFRAMING IN THIS AREA TO ALLOW FOR PROPER ATTIC VENTILATION

**CONNECTION SPECIFICATIONS (TYP. U.N.O.)**

NOTE: 10d NAIL = 3" x 0.131" GUN NAIL

JOIST TO SOLE PLATE	(3) 10d TOENAILS
SOLE PLATE TO JOIST/BLK'G.	10d NAILS @ 6" o.c.
STUD TO SOLE PLATE	(3) 10d TOENAILS
TOP OR SOLE PLATE TO STUD	(3) 10d NAILS
RIM TO TOP PLATE	10d TOENAILS @ 6" o.c.
BLK'G. BTWN. JOISTS TO TOP PL.	(3) 10d TOENAILS
RAFTER/TRUSS TO TOP PLATE	(3) 10d TOENAILS + (1) SIMPSON H2.5A
GAB. END TRUSS TO DBL. TOP PL.	10d TOENAILS @ 8" o.c.
R.T. w/ HEEL HT. 9 1/2" TO 12"	2x10 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ 10d TOENAILS @ 6" O.C.
R.T. w/ HEEL HT. 12" TO 16"	2x12 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ 10d TOENAILS @ 6" O.C.
R.T. w/ HEEL HT. UP TO 24"	LAP WALL SHTG. w/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN w/ 8d NAILS @ 6" O.C.
R.T. w/ HEEL HT. 24" TO 48"	LAP WALL SHTG. w/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN w/ 8d NAILS @ 6" O.C. PROVIDE 2x BLK @ EA. BAY AT TOP OF HEEL
DOUBLE STUD	10d NAILS @ 24" o.c.
DOUBLE TOP PLATE	10d NAILS @ 24" o.c.
DOUBLE TOP PLATE LAP SPLICE	(10) 10d NAILS IN LAPPED AREA
TOP PLATE LAP @ CORNERS & INTERSECTING WALLS	(2) 10d NAILS
WALL TO FOUNDATION	WALL SHTG. LAP w/ SILL PL. & FASTENED PER SHEAR WALL FASTENING SPEC.

Space for Architect Seal

**FOR STRUCTURE ONLY**

2025-01-10

RESIDENCE FOR:  
**NEWTON**  
 41 DAYBREAK WAY  
 SERENITY - 50'

Job Number: <b>STY5-0213-00</b>	Drawing Date: <b>12.6.24</b>	Coord Name: <b>GREG P.</b>	Coord Phone: <b>859.578.4355</b>
House Name: <b>the MEADOW II</b>			Contract Drawn By: <b>IDB</b>
Born on Date: 06/29/2021			CDs Drawn By: SSP
Series: <b>CLASSIC</b>			Plan No.:

ROOF VENTILATION			
CITY/SERIES:	RALEIGH		
	MAIN HOUSE	ODR LVG	GARAGE
TOTAL ATTIC AREA:	1,587	240	105
REQUIRED NET FREE VENTILATION (ATTIC AREA/300):	5.29	0.80	0.35
ACTUAL NET FREE VENTILATION (UPPER + LOWER):	5.76	1.08	0.54
DOWNSPOUT CALCULATION			
	MAIN HOUSE	ODR LVG	GARAGE
TOTAL DRAINABLE ROOF AREA:	2063.1	312	136.5
MINIMUM # OF DOWNSPOUTS:	4	1	1

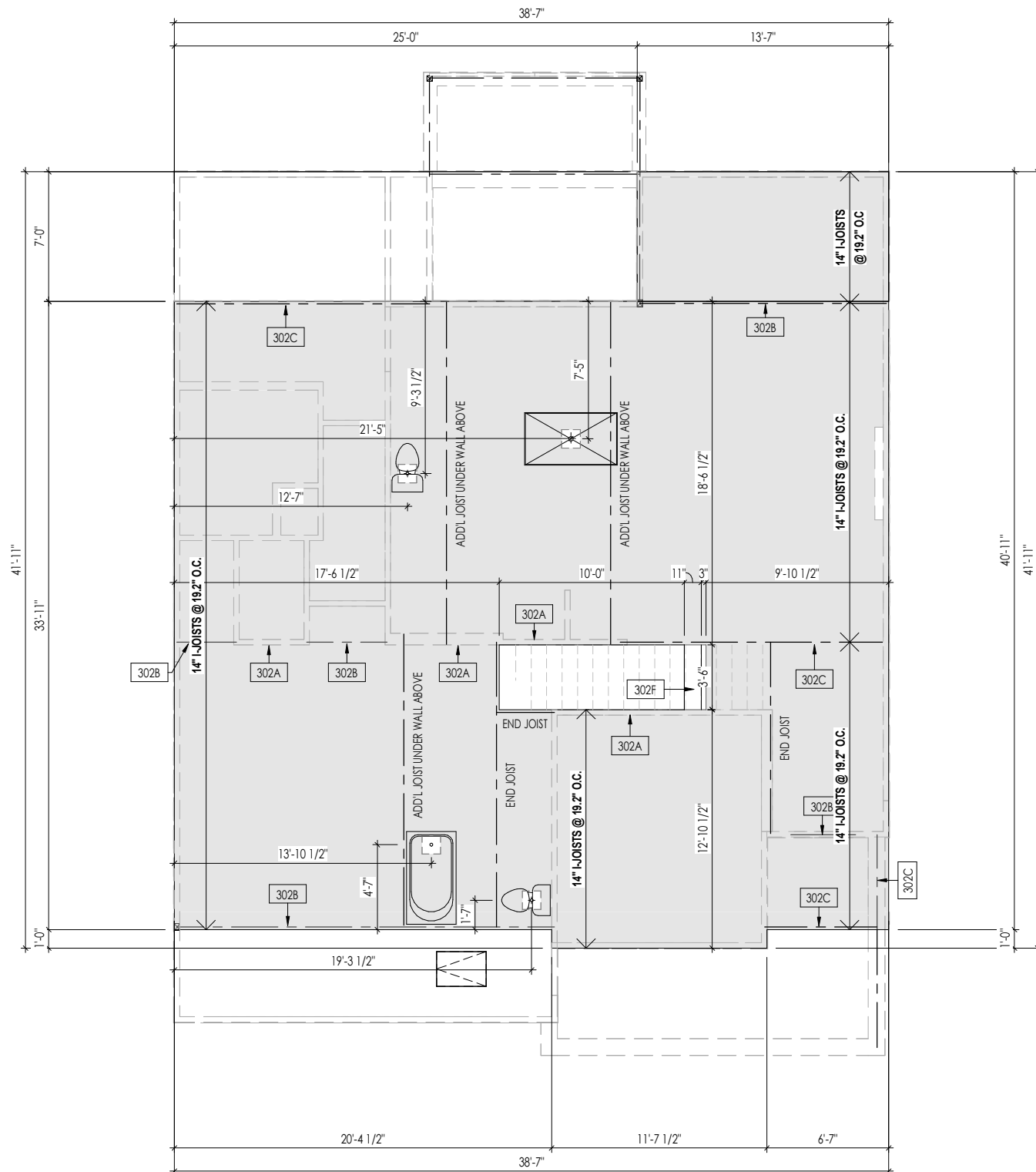
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Sheet Information

**2.04**  
 Roof Plan  
 Elevation "A"

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**General Notes:**

1. REFER TO SHEET 0N.1 FOR GENERAL NOTES.
2. FLOOR JOISTS TO BE 14" TJI 5000 SERIES, OR EQUAL, @ 19.2" O.C. UNLESS OTHERWISE NOTED.
3. JOISTS ARE NOT TO BE PLACED DIRECTLY OVER INTERIOR PARALLEL WALL. (TO PREVENT UNEVEN FLOOR DEFLECTION FROM OCCURRING)
4. ADD'L JOISTS MAY BE LOCATED UP TO 2" AWAY FROM THE PARTITION WALL ABOVE IN CASES WHERE MECHANICAL PENETRATIONS

**Key Notes:**

302A	BEARING WALL BELOW
302B	BEAM BELOW - SEE SHEET 2.01S FOR MORE INFO
302C	FLUSH BEAM - SEE SHEET 2.01S FOR MORE INFO
302F	2)2x8 (TOP FLUSH) NEXT TO 2x12 FLAT FRAME FOR STAIR HEADROOM - SEE DETAIL E/7.01

Space for Architect Seal

**FOR STRUCTURE ONLY**

2025-01-10

RESIDENCE FOR:  
**NEWTON**  
41 DAYBREAK WAY  
SERENITY - 50'

Job Number: <b>STY5-0213-00</b>	Drawing Date: <b>12.6.24</b>	Coord Name: <b>GREG P.</b>	Coord Phone: <b>859.578.4355</b>
House Name: <b>the MEADOW II</b>			Contract Drawn By: <b>IDB</b>
Born on Date: 06/29/2021			CDs Drawn By: SSP
Series: <b>CLASSIC</b>			Plan No.:

**Drees HOMES**  
SM

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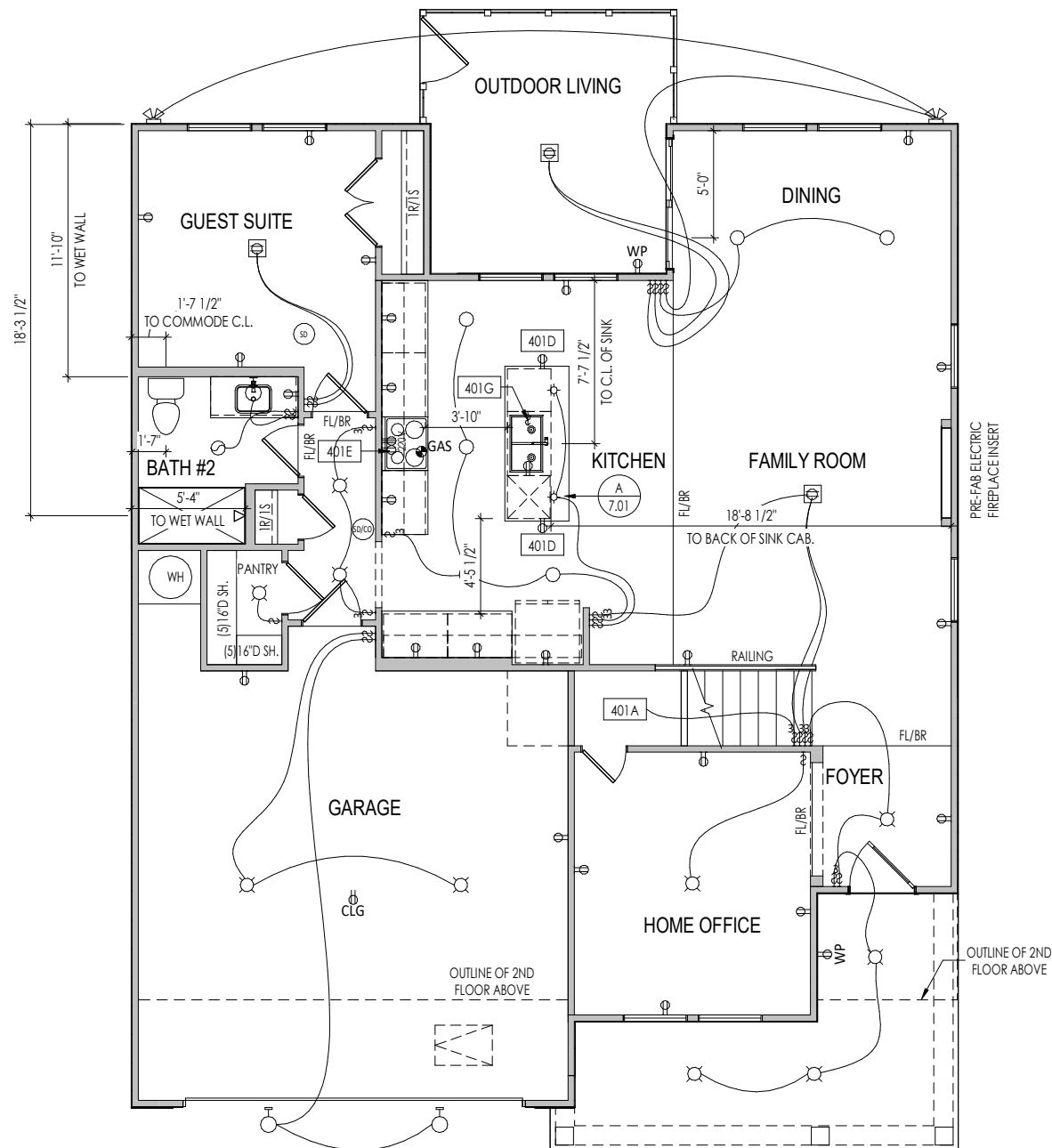
**3.02**

Second Floor Subfloor Plan  
Elevation "A"

Sheet Information

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**General Notes:**

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.

**Key Notes:**

401A	TO SWITCH OR LIGHT ABOVE
401D	HOLD OUTLET HIGH ON ISLAND
401E	OUTLET FOR RANGE HOOD/MICROWAVE HELD HIGH
401G	PUSH BUTTON FOR GARBAGE DISPOSAL OR SWITCH LOCATED IN SINK CABINET - REFER TO SELECTIONS


**MECHANICAL LEGEND**

⊖ WALL OUTLET	⊙ CLG. MOUNTED LIGHT FIXT.	⊕ HOSE BIB
⊖ WEATHERPROOF GFCI OUTLET	⊙ SURFACE MOUNT DISC LIGHT OR RECESSED CEILING LIGHT, PER SPECS.	⊖ SHOWER HEAD
⊖ 220 VOLT OUTLET	⊖ WALL MOUNTED LIGHT FIXT.	⊕ GAS GAS HOOK UP
⊖ GFCI OUTLET	⊖ DOUBLE SPOTLIGHT FIXT.	⊖ FLOOR DRAIN
⊖ FLOOR OUTLET	⊖ DIRECTIONAL CAN LIGHT	⊖ SMOKE DETECTOR
⊖ COUNTER POP-UP OUTLET	⊖ PIN LIGHT	⊖ SMOKE DETECTOR/CO DETECTOR COMBINATION
⊖ SINGLE POLE SWITCH	⊖ WALL SCONCE @ 5'-6" A.F.F.	⊖ EXHAUST FAN AND LIGHT COMBINATION
⊖ 3-WAY SWITCH	⊖ FLUORESCENT LIGHT	⊖ CLG. MTD. EXHAUST FAN
⊖ 4-WAY SWITCH	⊖ UNDER CABINET LIGHTING	⊖ DATA JACK
⊖ STAIR LIGHT		⊖ CABLE TELEVISION JACK
⊖ BLOCK, MOUNT, & SWITCH FOR FUTURE FAN/LIGHT COMBINATION (CENTER, UNLESS OTHERWISE NOTED)		

Space for Architect Seal

**RESIDENCE FOR:  
NEWTON  
41 DAYBREAK WAY  
SERENITY - 50'**

Job Number: <b>STY5-0213-00</b>	Drawing Date: <b>12.6.24</b>	Coord Name: <b>GREG P.</b>	Coord Phone: <b>859.578.4355</b>
House Name: <b>the MEADOW II</b>			Contract Drawn By: <b>IDB</b>
Born on Date: 06/29/2021			Series: <b>CLASSIC</b>
CDs Drawn By: SSP			Plan No.:



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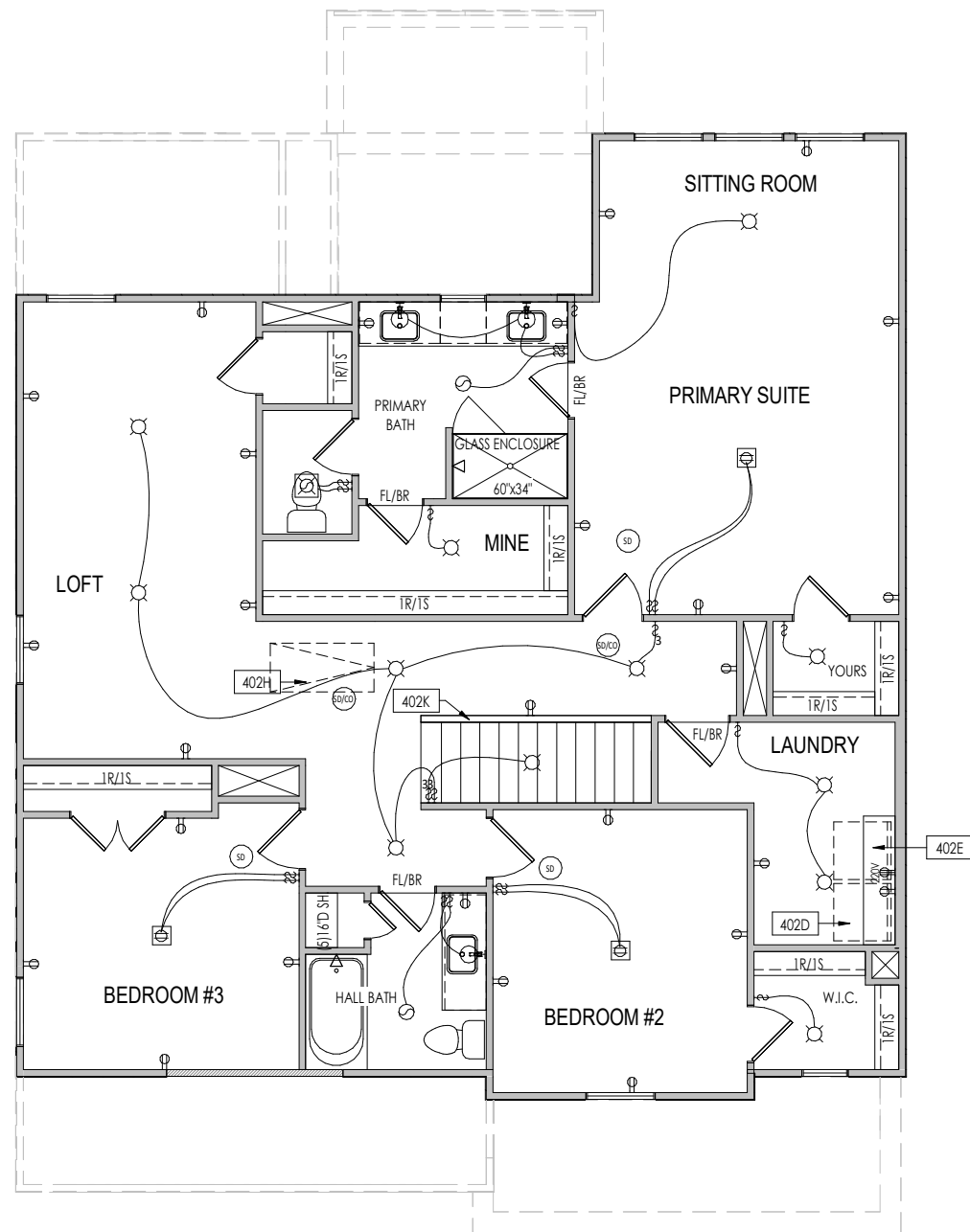
**4.01**

**First Floor Mechanical Plan  
Elevation "A"**

Sheet Information

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<b>General Notes:</b>		
1. REFER TO SHEET ON.1 FOR GENERAL NOTES.		
<b>Key Notes:</b>		
402D	LOCATE WASHER TO LEFT OF DRYER	
402E	16" DEEP x 5'-6" LONG SHELF HELD AT 5'-7" A.F.F.	
402H	PULL DOWN ATTIC ACCESS STAIRS W/ LIGHT AND OUTLET	
402K	HALF WALL WITH WOOD CAP	
<b>MECHANICAL LEGEND</b>		
<ul style="list-style-type: none"> <li>⊖ WALL OUTLET</li> <li>⊖ WEATHERPROOF GFCI OUTLET</li> <li>⊖ 220 VOLT OUTLET</li> <li>⊖ GFCI OUTLET</li> <li>⊖ FLOOR OUTLET</li> <li>⊖ COUNTER POP-UP OUTLET</li> <li>↔ SINGLE POLE SWITCH</li> <li>↔ 3-WAY SWITCH</li> <li>↔ 4-WAY SWITCH</li> <li>⬆ STAIR LIGHT</li> <li>⊖ BLOCK, MOUNT, &amp; SWITCH FOR FUTURE FAN/LIGHT COMBINATION (CENTER, UNLESS OTHERWISE NOTED)</li> </ul>	<ul style="list-style-type: none"> <li>⊖ CLG. MOUNTED LIGHT FIXT.</li> <li>⊖ SURFACE MOUNT DISC LIGHT OR RECESSED CEILING LIGHT, PER SPECS.</li> <li>⊖ WALL MOUNTED LIGHT FIXT.</li> <li>⊖ DOUBLE SPOTLIGHT FIXT.</li> <li>⊖ DIRECTIONAL CAN LIGHT</li> <li>⊖ PIN LIGHT</li> <li>⊖ WALL SCONCE @ 5'-6" A.F.F.</li> <li>⊖ FLUORESCENT LIGHT</li> <li>⊖ UNDER CABINET LIGHTING</li> </ul>	<ul style="list-style-type: none"> <li>⊖ HOSE BIB</li> <li>⊖ SHOWER HEAD</li> <li>⊖ GAS HOOK UP</li> <li>⊖ FLOOR DRAIN</li> <li>⊖ SMOKE DETECTOR</li> <li>⊖ SMOKE DETECTOR/CO DETECTOR COMBINATION</li> <li>⊖ EXHAUST FAN AND LIGHT COMBINATION</li> <li>⊖ CLG. MTD. EXHAUST FAN</li> <li>⊖ DATA JACK</li> <li>⊖ CABLE TELEVISION JACK</li> </ul>

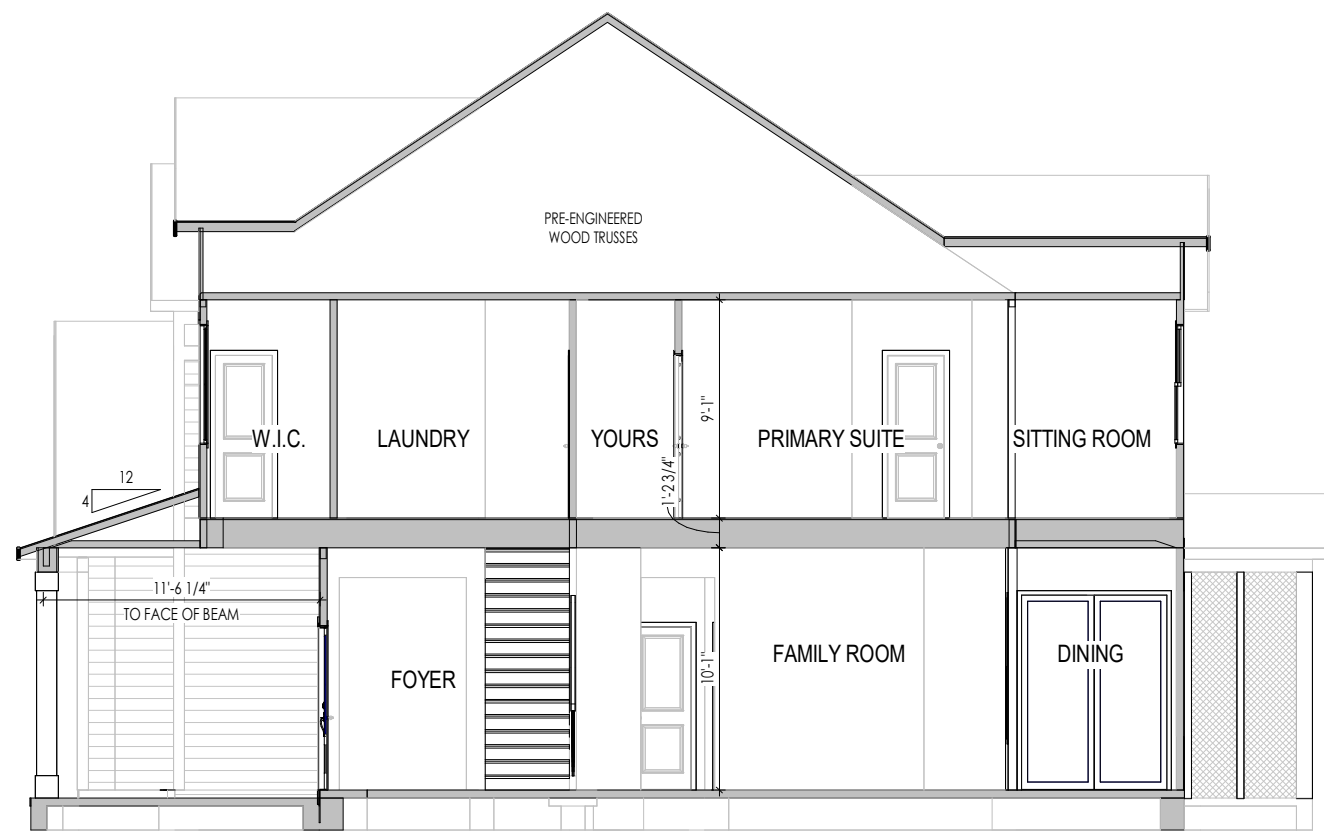
Space for Architect Seal

<b>RESIDENCE FOR:</b> <b>NEWTON</b> <b>41 DAYBREAK WAY</b> <b>SERENITY - 50'</b>			
Job Number: <b>STY5-0213-00</b>	Drawing Date: <b>12.6.24</b>	Coord Name: <b>GREG P.</b>	Coord Phone: <b>859.578.4355</b>
House Name: <b>the MEADOW II</b>		Drawing Scale: 1/8" = 1'0"	Contract Drawn By: <b>IDB</b>
Born on Date: 06/29/2021		CDs Drawn By: SSP	Series: <b>CLASSIC</b>
			Plan No.:

<p>Copyright © 2023 (2023) The Drees Company. All Rights Reserved. 8221 Six Forks Road, Suite 500, Raleigh, NC 27615 Phone: [919] 844-9288</p>	<b>4.02</b> Second Floor Mechanical Plan Elevation "A"
	Sheet Information

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**A**  
5.01 BUILDING SECTION THRU STAIRS  
1/8" = 1'-0"

**General Notes:**

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.

**Key Notes:**

Space for Architect Seal

RESIDENCE FOR:  
**NEWTON**  
41 DAYBREAK WAY  
SERENITY - 50'

Job Number: <b>STY5-0213-00</b>	Drawing Date: <b>12.6.24</b>	Coord Name: <b>GREG P.</b>	Coord Phone: <b>859.578.4355</b>
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Drawing Scale: 1/8" = 1'0"			Series: <b>CLASSIC</b>
Plan No.:			

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		<p> </p>

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<b>TYPICAL TRIM:</b>
<b>6" FASCIA</b> (ALL SIDES)
<b>8" FRIEZE</b> (FRONT ONLY, UNLESS OTHERWISE NOTED)

**General Notes:**

- REFER TO SHEET ON.1 FOR GENERAL NOTES.
- ROOFING MATERIAL PER SELECTIONS.
- CONTACT M&K ENGINEERING FOR HEADER SIZE/BRICK SUPPORT IF GRADE DROPS AND THE AMOUNT OF BRICK OVER GARAGE DOOR SHOWN ON CURRENT ELEVATION IS NO LONGER ACCURATE

**Key Notes:**

BRICK VENEER LINTEL SCHEDULE		
SPAN	STEEL ANGLE SIZE	HEIGHT OF VENEER ABOVE LINTEL
Up to 3'-6"	L3-1/2 x3-1/2 x1/4	20 FT. MAX
Up to 6'-0"	L5x 3- 1/2x 5/16 (LLV)	20 FT. MAX
Up to 8'-0"	L6x 3- 1/2x 3/8 (LLV)	20 FT. MAX
9'-0"	L7x 4x 3/8 (LLV)	12 FT. MAX
*16'-0"	L7x 4x 3/8 (LLV)	3 FT. MAX
*16'-0"	L8x 4x 1/2 (LLV)	4-1/2 FT. MAX

ALL LINTELS <=6' SHALL HAVE 4" MINIMUM BEARING AT EACH END.  
 ALL LINTELS >=6' SHALL HAVE 8" MINIMUM BEARING AT EACH END.  
 \* FASTENED TO HDR @ 1/3 SPAN POINTS THRU 1-1/2" LONG VERTICALLY SLOTTED HOLES IN LINTEL w/ 1/2" DIA. x 3-1/2" LONG LAG SCREWS. LOCATE LAG SCREWS @ MIDDLE OF SLOTTED HOLE & TIGHTEN SCREWS ENOUGH TO ALLOW MOVEMENT OF LINTEL.  
 \*\*\*ANY LINTEL CONDITION NOT SPECIFIED ABOVE SHALL BE DESIGNED

Space for Architect Seal



**ELEVATION "A"**

**RESIDENCE FOR:  
 NEWTON  
 41 DAYBREAK WAY  
 SERENITY - 50'**

Job Number: <b>STY5-0213-00</b>	Drawing Date: <b>12.6.24</b>	Coord Name: <b>GREG P.</b>	Coord Phone: <b>859.578.4355</b>
House Name: <b>the MEADOW II</b>			Contract Drawn By: <b>IDB</b>
Born on Date: 06/29/2021			CDs Drawn By: SSP
Series: <b>CLASSIC</b>			Plan No.:

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<b>TYPICAL TRIM:</b>
<b>6" FASCIA</b> (ALL SIDES)
<b>8" FRIEZE</b> (FRONT ONLY, UNLESS OTHERWISE NOTED)

General Notes:

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.
2. ROOFING MATERIAL PER SELECTIONS.
3. REFER TO LINTEL SCHEDULE AS NEEDED ON SHEET 6.01.

Key Notes:

Space for Architect Seal



RESIDENCE FOR:  
**NEWTON**  
41 DAYBREAK WAY  
SERENITY - 50'

Job Number: <b>STY5-0213-00</b>	Drawing Date: <b>12.6.24</b>	Coord Name: <b>GREG P.</b>	Coord Phone: <b>859.578.4355</b>
House Name: <b>the MEADOW II</b>		Drawing Scale: 1/8" = 1'0"	
Contract Drawn By: <b>IDB</b>		Series: <b>CLASSIC</b>	
Born on Date: 06/29/2021		CDs Drawn By: SSP	

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<b>TYPICAL TRIM:</b>
<b>6" FASCIA</b> (ALL SIDES)
<b>8" FRIEZE</b> (FRONT ONLY, UNLESS OTHERWISE NOTED)

General Notes:

- REFER TO SHEET ON.1 FOR GENERAL NOTES.
- ROOFING MATERIAL PER SELECTIONS.
- REFER TO LINTEL SCHEDULE AS NEEDED ON SHEET 6.01.

Key Notes:



Space for Architect Seal

RESIDENCE FOR:  
**NEWTON**  
41 DAYBREAK WAY  
SERENITY - 50'

Job Number: <b>STY5-0213-00</b>	Drawing Date: <b>12.6.24</b>	Coord Name: <b>GREG P.</b>	Coord Phone: <b>859.578.4355</b>
House Name: <b>the MEADOW II</b>		Drawing Scale: 1/8" = 1'0"	
Contract Drawn By: <b>IDB</b>		Series: <b>CLASSIC</b>	
Born on Date: 06/29/2021		CDs Drawn By: SSP	

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<b>TYPICAL TRIM:</b>
<b>6" FASCIA</b> (ALL SIDES)
<b>8" FRIEZE</b> (FRONT ONLY, UNLESS OTHERWISE NOTED)

General Notes:

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.
2. ROOFING MATERIAL PER SELECTIONS.
3. REFER TO LINTEL SCHEDULE AS NEEDED ON SHEET 6.01.

Key Notes:



Space for Architect Seal

RESIDENCE FOR:  
**NEWTON**  
41 DAYBREAK WAY  
SERENITY - 50'

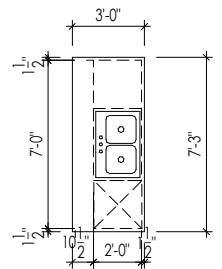
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House Name: <b>the MEADOW II</b>		Drawing Scale: 1/8" = 1'0"	
		Contract Drawn By: <b>IDB</b>	
		Series: <b>CLASSIC</b>	
Born on Date: 06/29/2021		CDs Drawn By: SSP	

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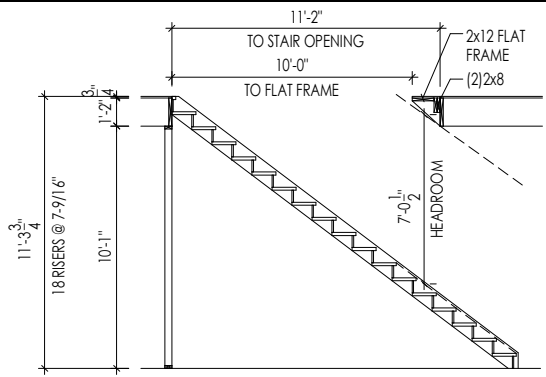
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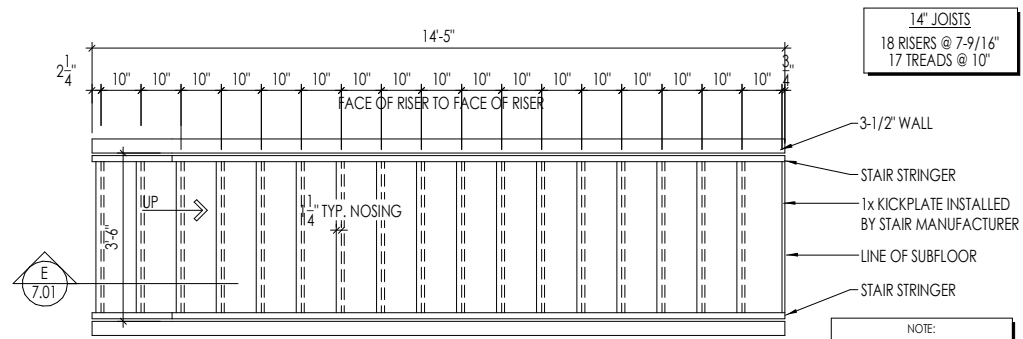




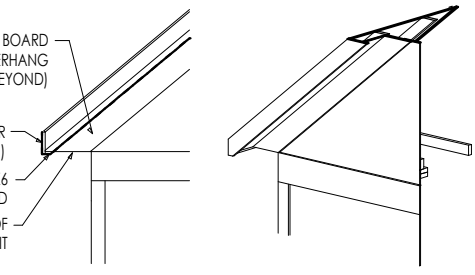
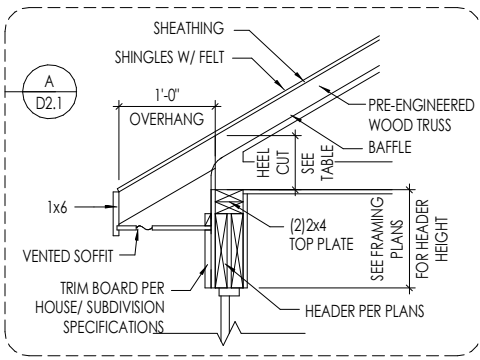
**A**  
7.01  
**KITCHEN ISLAND**  
SCALE: 1/8" = 1'-0"



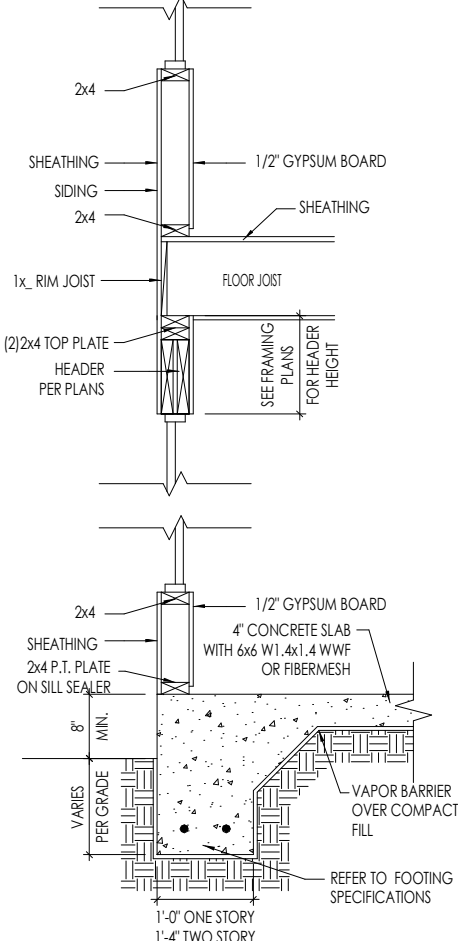
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7.01  
**STAIR SECTION**  
SCALE: 1/8" = 1'-0"



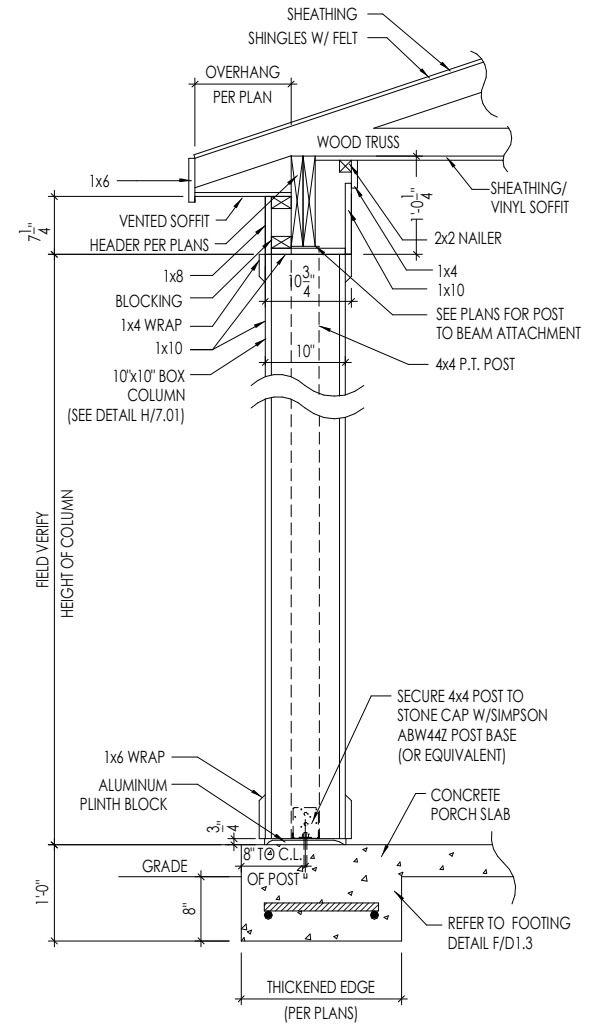
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7.01  
**STAIR FRAMING DETAILS**  
SCALE: 1/4" = 1'-0"



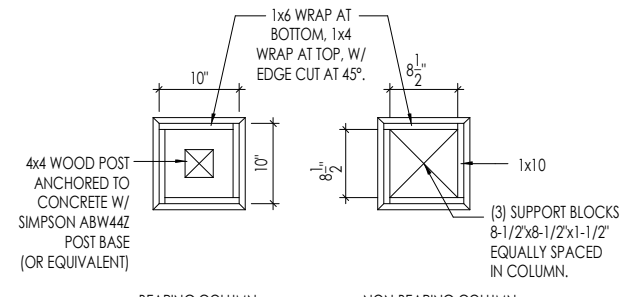
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7.01  
**RAFTER TAIL DETAIL**  
SCALE: 1/4" = 1'-0"



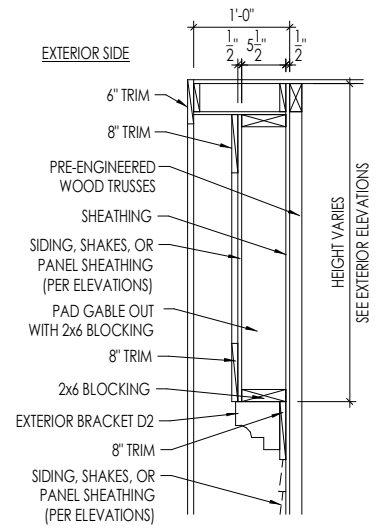
**B**  
7.01  
**TYPICAL WALL SECTIONS**  
SCALE: 1/2" = 1'-0"



**G**  
7.01  
**FRONT PORCH COLUMN**  
SCALE: 1/2" = 1'-0"



**H**  
7.01  
**10" BOX COLUMN DETAIL**  
SCALE: 1/2" = 1'-0"



**J**  
7.01  
**GABLE PAD-OUT DETAIL**  
SCALE: 1/2" = 1'-0"

Space for Architect Seal

**FOR STRUCTURE ONLY**

**STEPHEN IVES**  
ENGINEER  
042188

2025-01-10

RESIDENCE FOR:  
**NEWTON**  
41 DAYBREAK WAY  
SERENITY - 50'

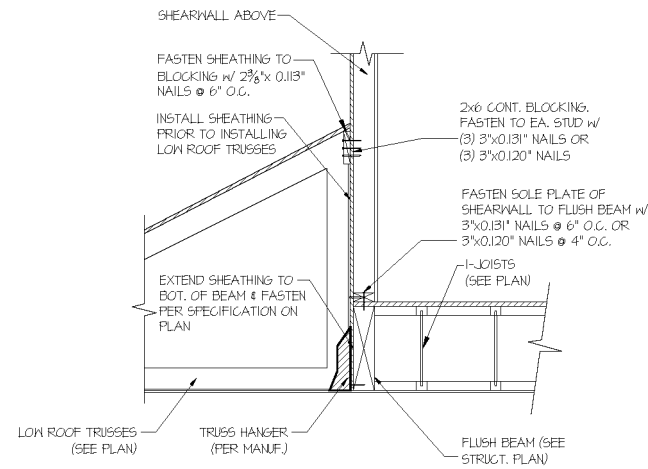
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House Name: <b>the MEADOW II</b>		Contract Drawn By: <b>IDB</b>	
Born on Date: 06/29/2021		CDs Drawn By: SSP	

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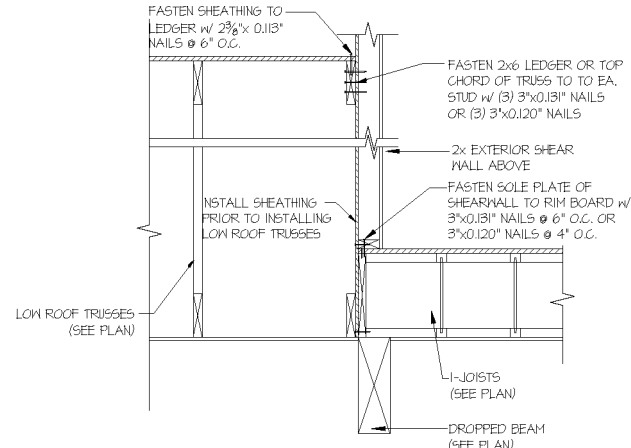
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Sheet Information

**7.01**  
House Specific Details  
Elevation "A"



**56** SHEAR TRANSFER DETAIL @  
EXTERIOR SHEARWALL ABOVE  
SCALE: 3/4"=1'-0"



**72** TYPICAL SHEAR TRANSFER DETAIL  
BETWEEN FLOORS @ INTERIOR WALL  
SCALE: 3/4"=1'-0"

seal:  
  
 copyright: MULHERN & KULP  
 Structural Engineering, Inc.

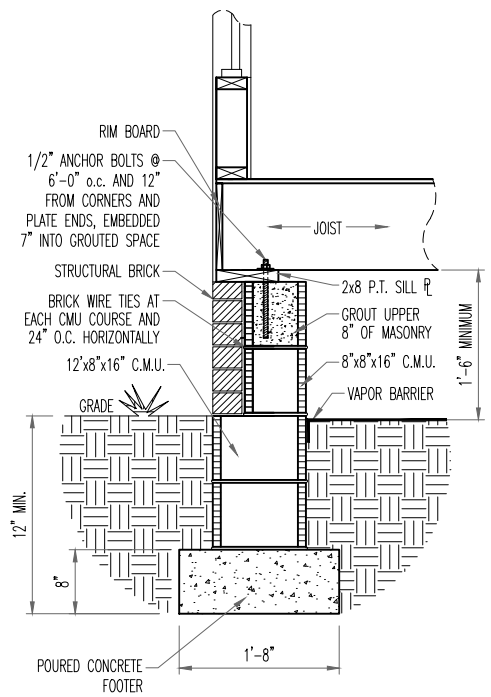
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 drawn by: CNV  
 issue date: 08-12-22  
 REVISIONS:  
 date: initial:

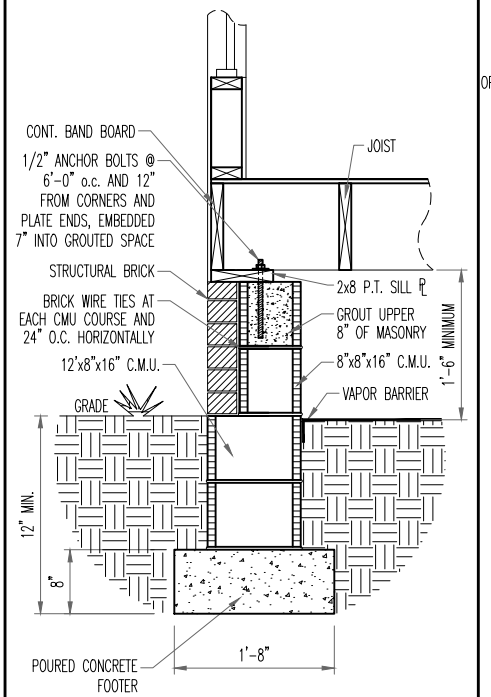
**MULHERN+KULP**  
 RESIDENTIAL STRUCTURAL ENGINEERING  
 3655 Sandcastle Parkway, Suite 105 • Alpharetta, GA 30022  
 p 770-771-0274 • mulhernkulp.com

LATERAL DETAILS  
 MEADOW MODEL  
 RHIL

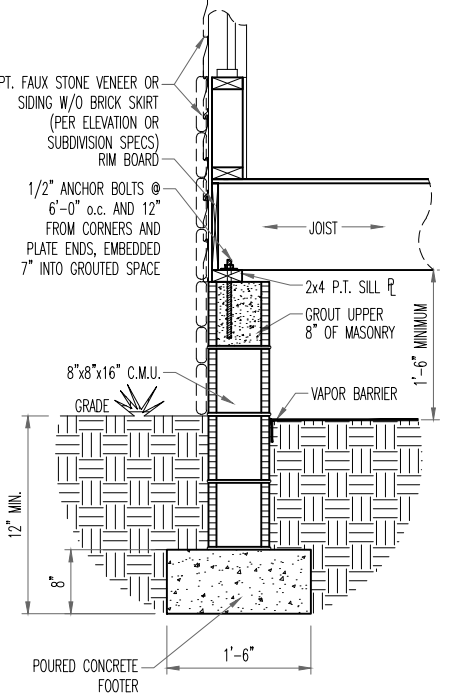
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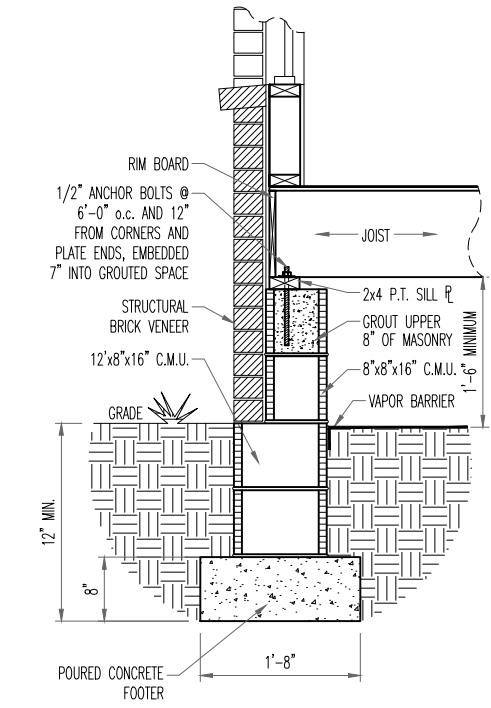
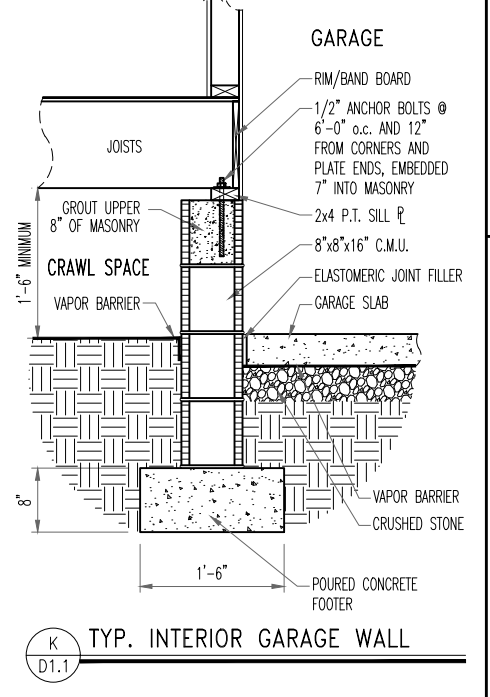
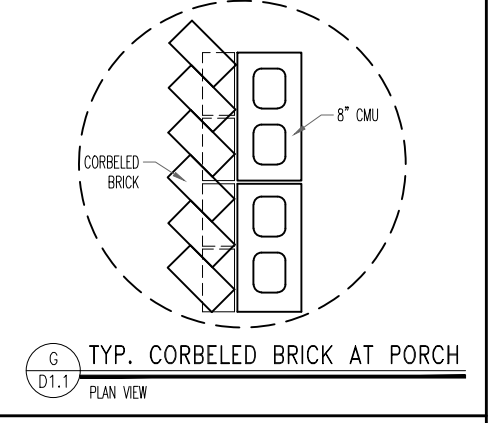
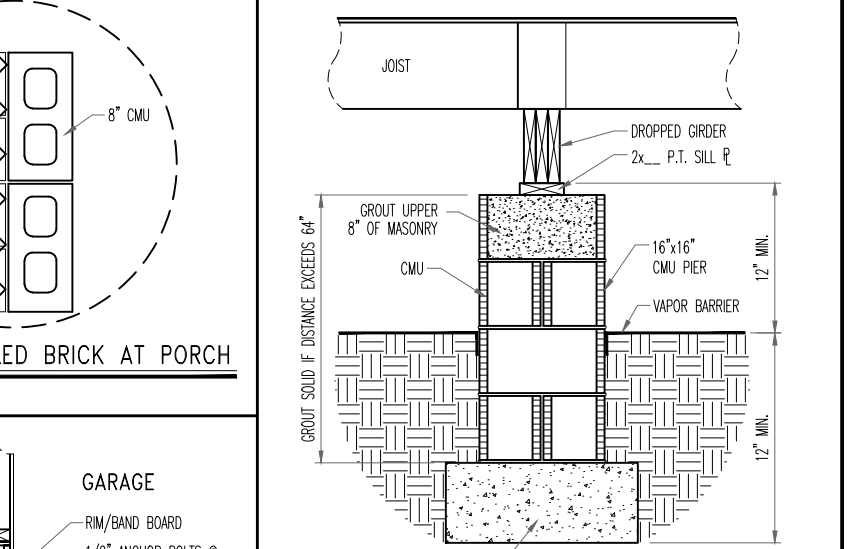
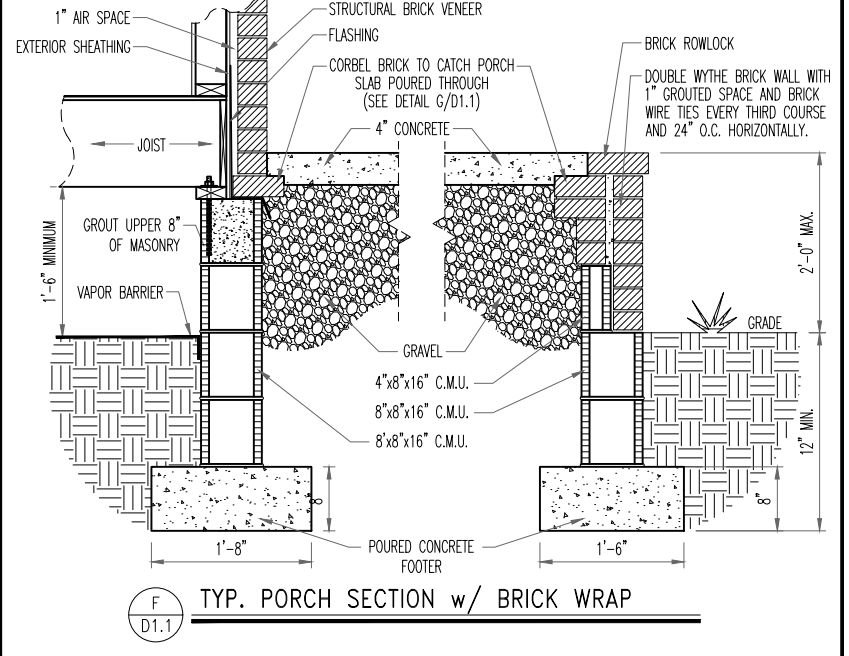
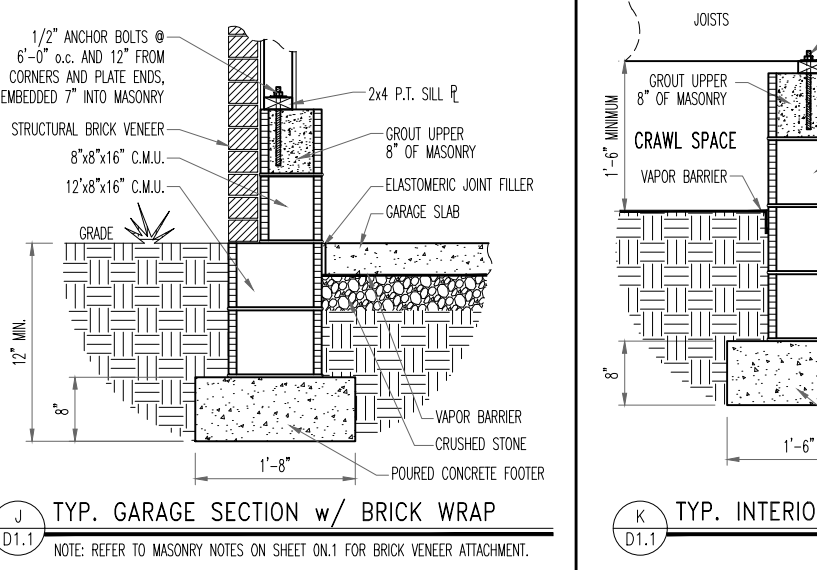
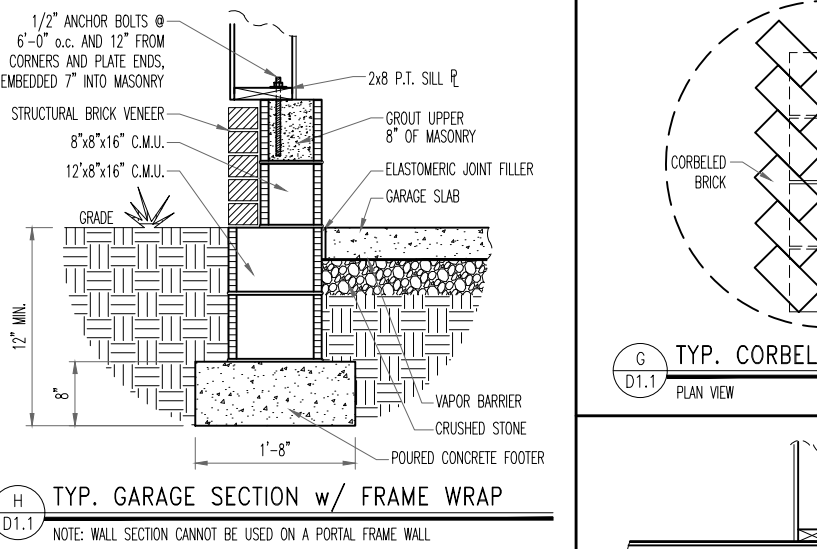
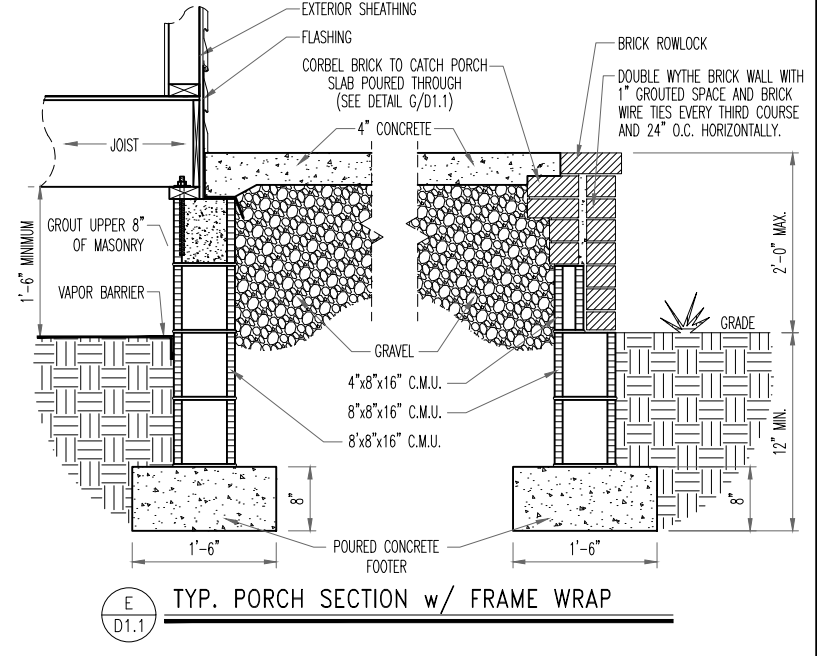
**A**  
D1.1  
TYP. FRAME WRAP FOOTER w/  
PERPENDICULAR FLOOR JOISTS



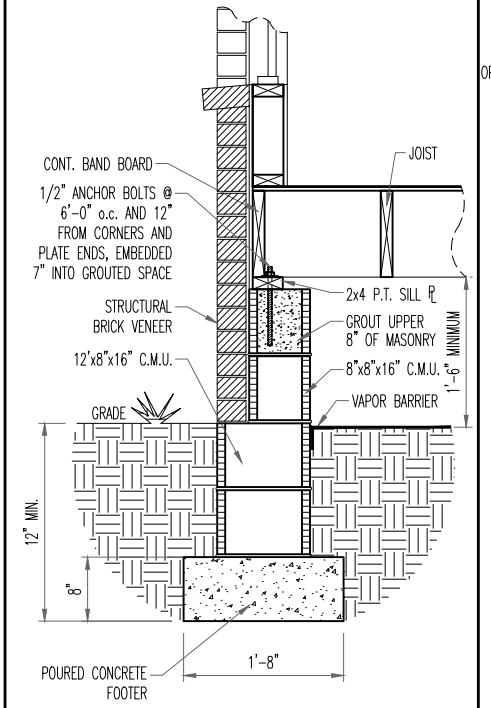
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D1.1  
TYP. FRAME WRAP FOOTER w/  
PARALLEL FLOOR JOISTS



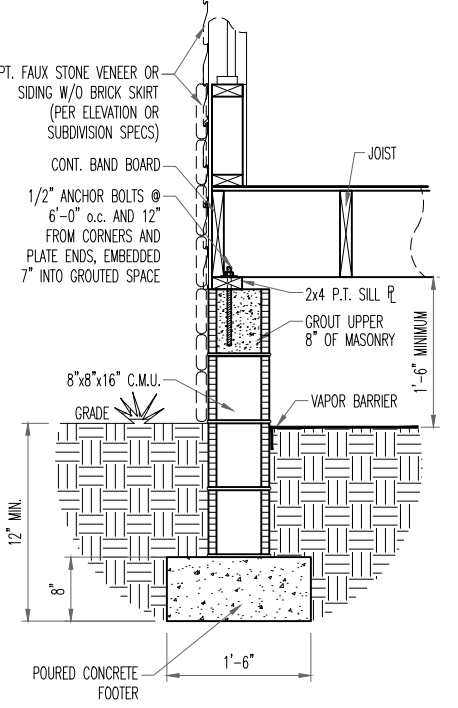
**M**  
D1.1  
TYP. FAUX STONE FOOTER OR  
SIDING W/O BRICK SKIRT  
w/PERPENDICULAR FLOOR JOISTS



**C**  
D1.1  
TYP. BRICK WRAP FOOTER w/  
PERPENDICULAR FLOOR JOISTS  
NOTE: REFER TO MASONRY NOTES ON SHEET  
ON.1 FOR BRICK VENEER ATTACHMENT.



**D**  
D1.1  
TYP. BRICK WRAP FOOTER w/  
PARALLEL FLOOR JOISTS  
NOTE: REFER TO MASONRY NOTES ON SHEET  
ON.1 FOR BRICK VENEER ATTACHMENT.



**N**  
D1.1  
TYP. FAUX STONE FOOTER OR  
SIDING W/O BRICK SKIRT w/  
PARALLEL FLOOR JOISTS

**J**  
D1.1  
TYP. GARAGE SECTION w/ BRICK WRAP  
NOTE: REFER TO MASONRY NOTES ON SHEET ON.1 FOR BRICK VENEER ATTACHMENT.

**L**  
D1.1  
TYP. INTERIOR PIER  
NOTE: BRICK COURSES MAY BE  
ADDED AS NEEDED TO MEET  
ELEVATION REQUIREMENTS.

**FOR STRUCTURE ONLY**

STEPHEN IVES  
ENGINEER  
2025-01-10

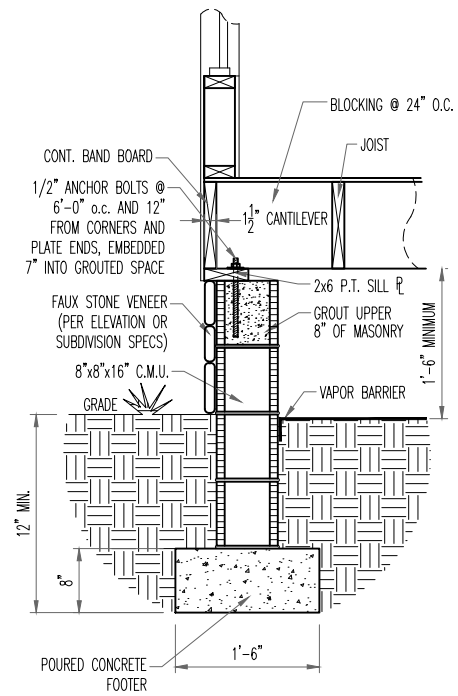


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**STD. DETAIL SHEET**  
REGION:  
**RALEIGH**

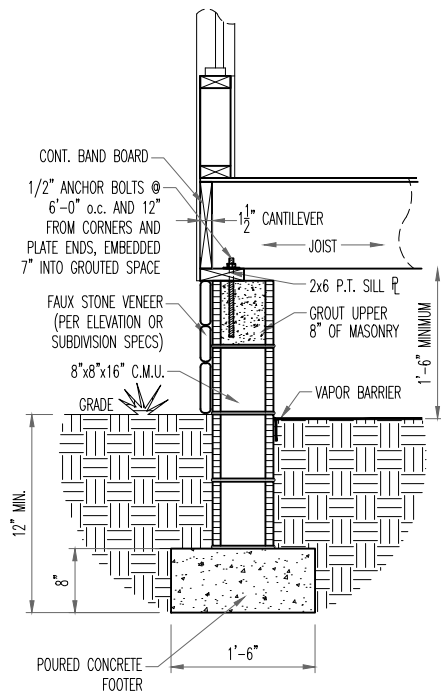
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Chk. By:	ARC		
Std. Date:	08/19/09		
Date of			

Sheet No.  
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RALEIGH - D-SHEETS.dwg Sep 24, 2015 - 12:12pm



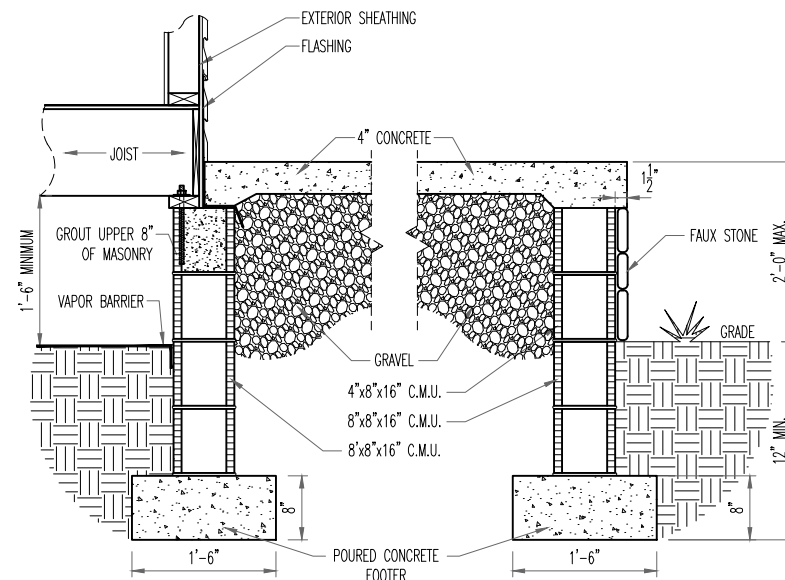
TYP. FAUX STONE SKIRT FOOTER w/  
PARALLEL FLOOR JOISTS

A  
D1.2



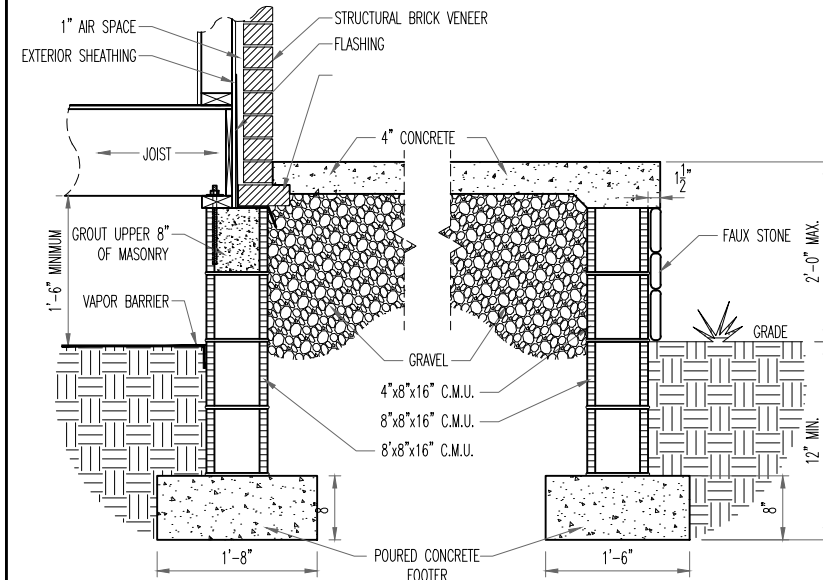
TYP. FAUX STONE SKIRT FOOTER w/  
PERPENDICULAR FLOOR JOISTS

B  
D1.2



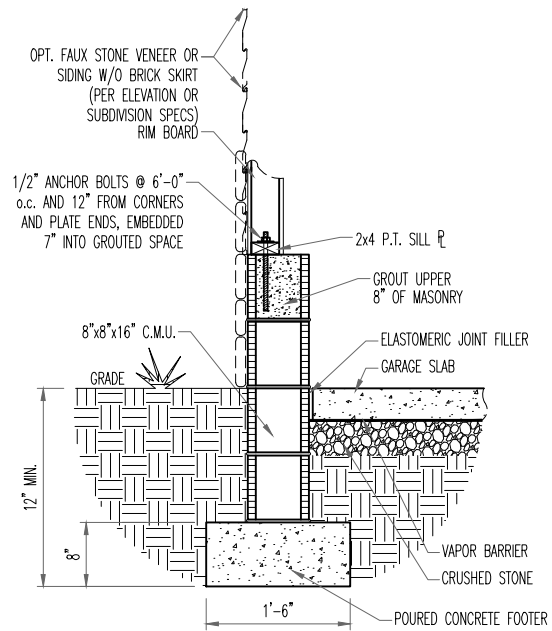
TYP. FAUX STONE SKIRT  
TYP. PORCH SECTION w/ FRAME WRAP

C  
D1.2



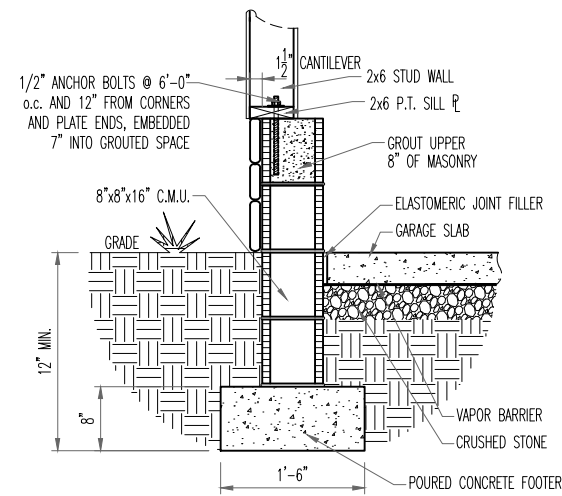
TYP. FAUX STONE SKIRT  
TYP. PORCH SECTION w/ BRICK WRAP

D  
D1.2



TYP. FAUX STONE FOOTER OR SIDING w/o  
BRICK SKIRT  
TYP. GARAGE SECTION w/ FRAME WRAP

E  
D1.2

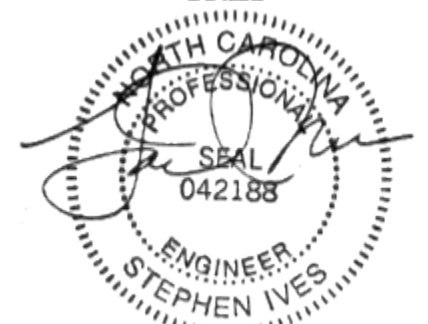


TYP. FAUX STONE SKIRT  
TYP. GARAGE SECTION w/ FRAME WRAP

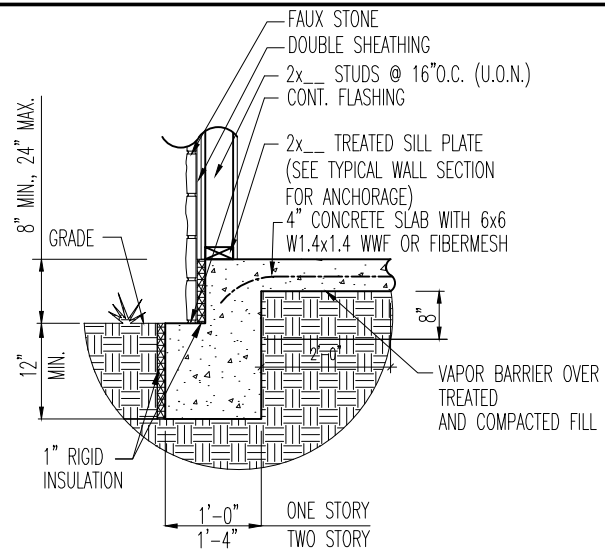
F  
D1.2

NOTE: WALL SECTION CANNOT BE USED ON A PORTAL FRAME WALL

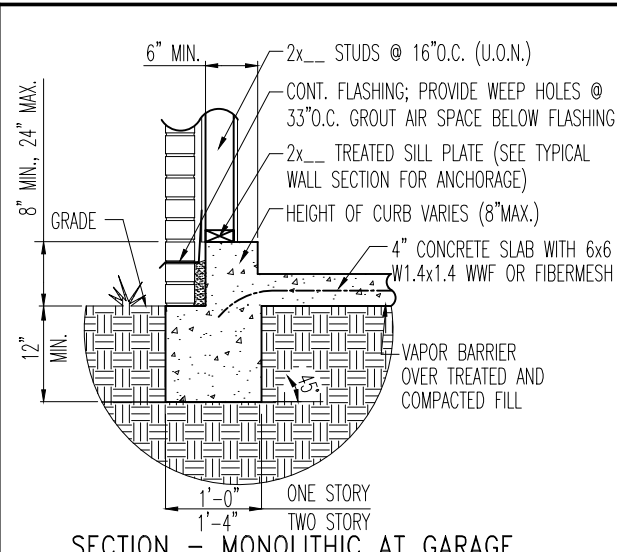
FOR STRUCTURE  
ONLY



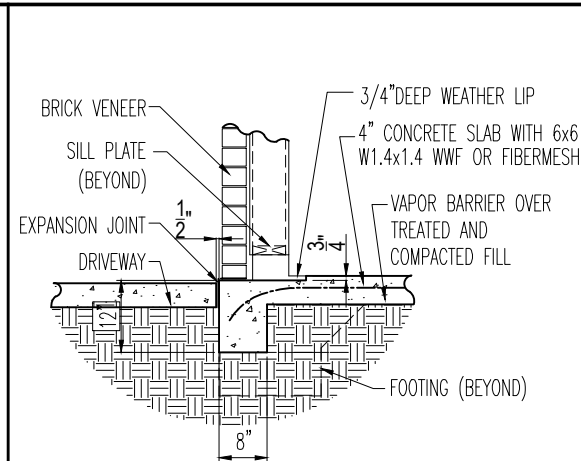
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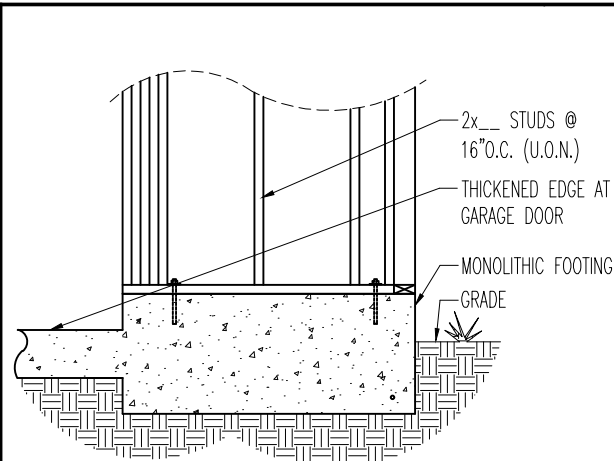
**U SECTION - MONOLITHIC WITH FAUX STONE**  
 D1.4 SCALE: 1/2" = 1'-0"



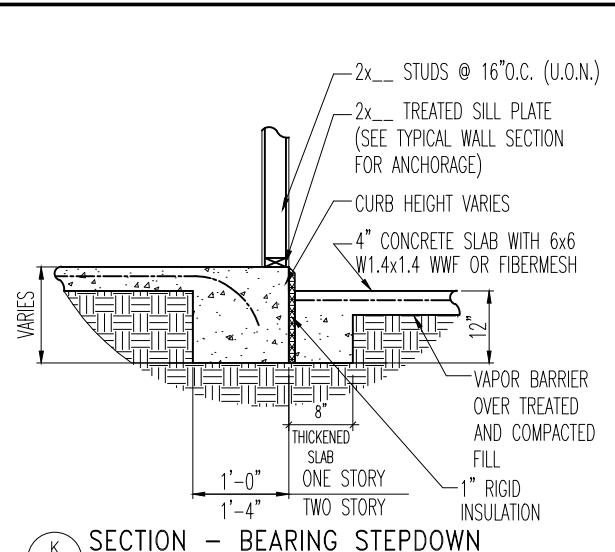
**C SECTION - MONOLITHIC AT GARAGE WITH FULL BRICK**  
 D1.3 SCALE: 1/2" = 1'-0"



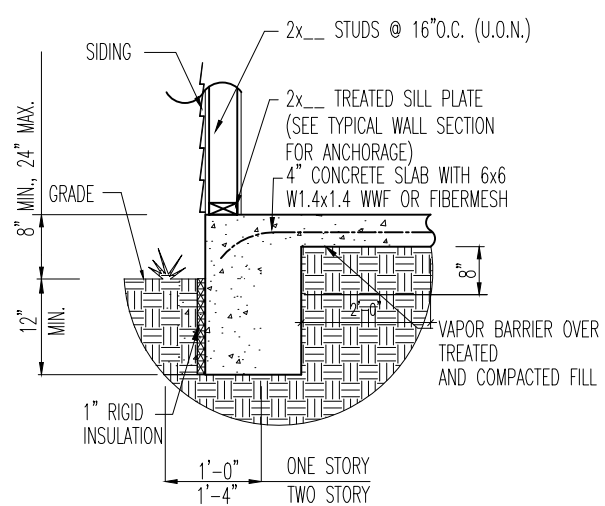
**R SECTION - TYPICAL GARAGE SLAB & FOOTER AT DRIVEWAY W/ BRICK**  
 D1.3 SCALE: 1/2" = 1'-0"



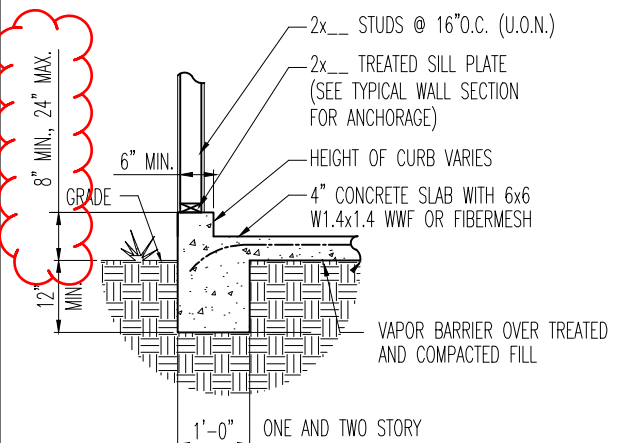
**G DETAIL - STHD14 INSTALLATION (MONOLITHIC)**  
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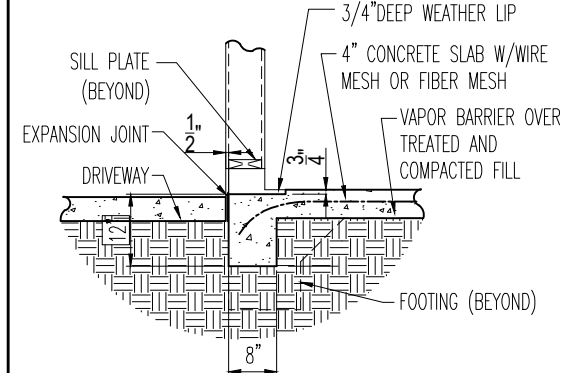
**K SECTION - BEARING STEPDOWN**  
 D1.3 SCALE: 1/2" = 1'-0"



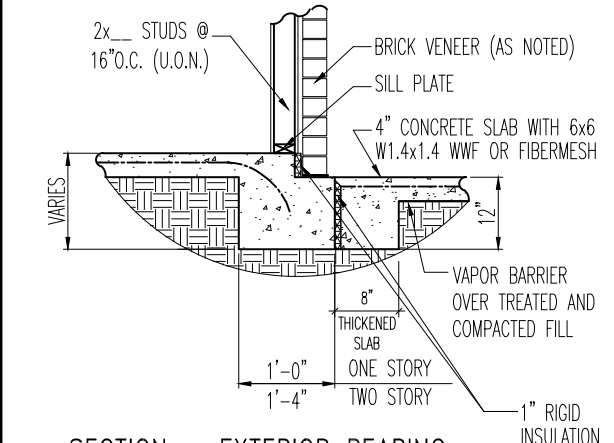
**B SECTION - MONOLITHIC WITH SIDING**  
 D1.3 SCALE: 1/2" = 1'-0"



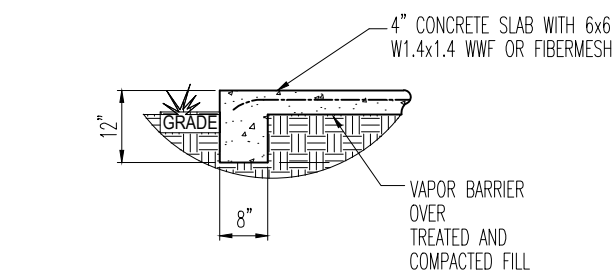
**E SECTION - MONOLITHIC AT GARAGE**  
 D1.3 SCALE: 1/2" = 1'-0"



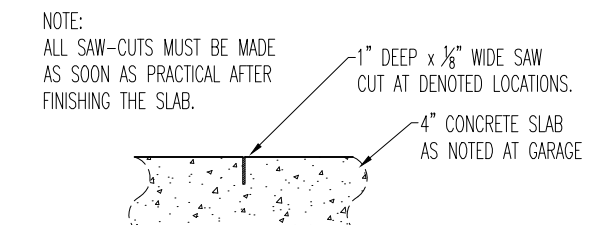
**S SECTION - TYPICAL GARAGE SLAB & FOOTER AT DRIVEWAY W/ FRAME**  
 D1.3 SCALE: 1/2" = 1'-0"



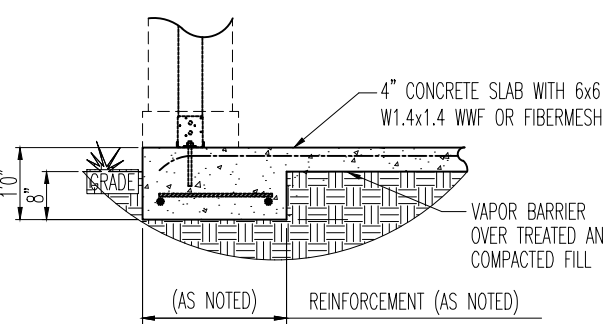
**H SECTION - EXTERIOR BEARING STEPDOWN AT PORCH**  
 D1.3 SCALE: 1/2" = 1'-0"



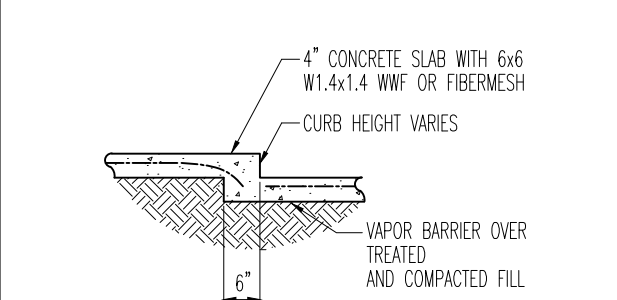
**L SECTION - THICKENED EDGE**  
 D1.3 SCALE: 1/2" = 1'-0"



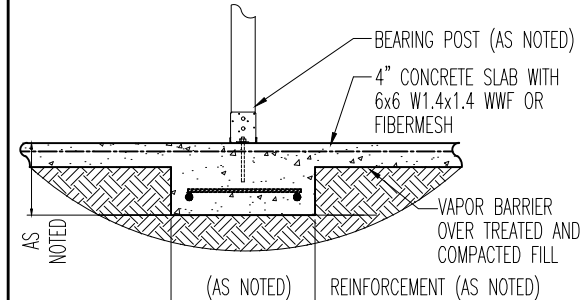
**M SECTION - TYPICAL SAW-CUT CONTROL JOINT AT GARAGE**  
 D1.3 SCALE: NTS



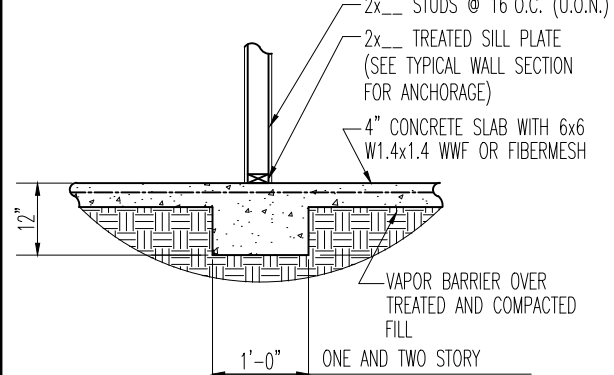
**F SECTION - PAD FOOTING AT PORCH THICKENED EDGE**  
 D1.3 SCALE: 1/2" = 1'-0"



**P SECTION - NON-BEARING STEPDOWN**  
 D1.3 SCALE: 1/2" = 1'-0"



**N SECTION - INTERIOR BEARING PAD FTG.**  
 D1.3 SCALE: 1/2" = 1'-0"



**J SECTION - INTERIOR BEARING**  
 D1.3 SCALE: 1/2" = 1'-0"



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 10/05/2022 12:18:46 PM



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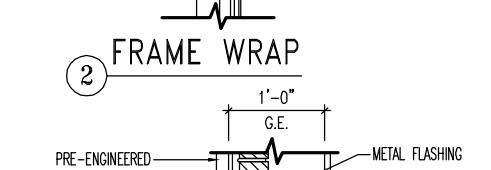
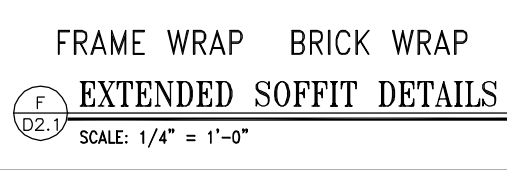
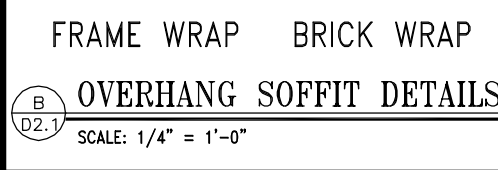
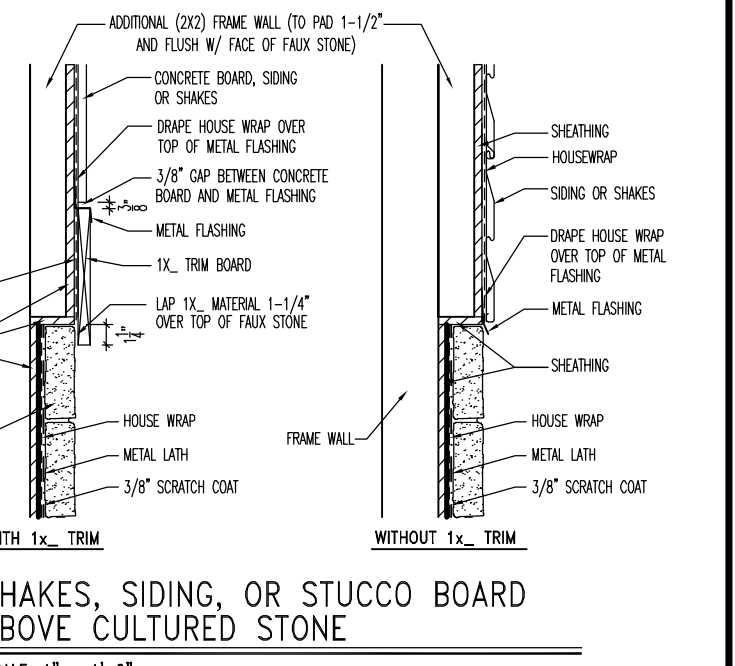
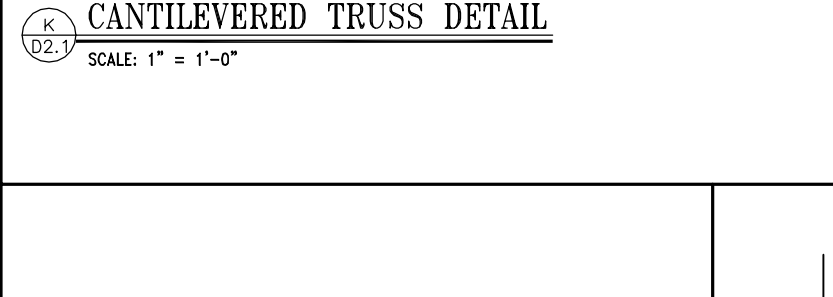
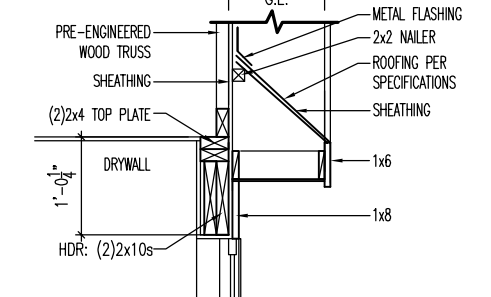
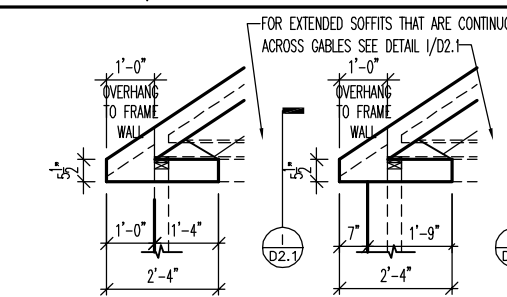
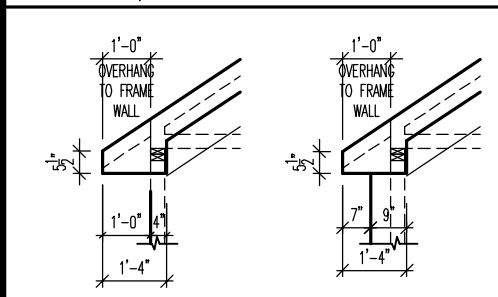
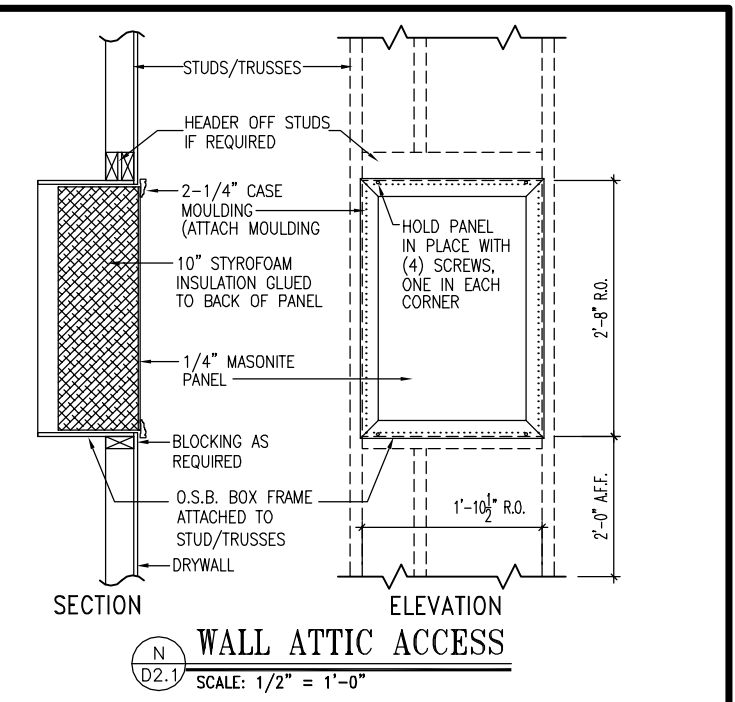
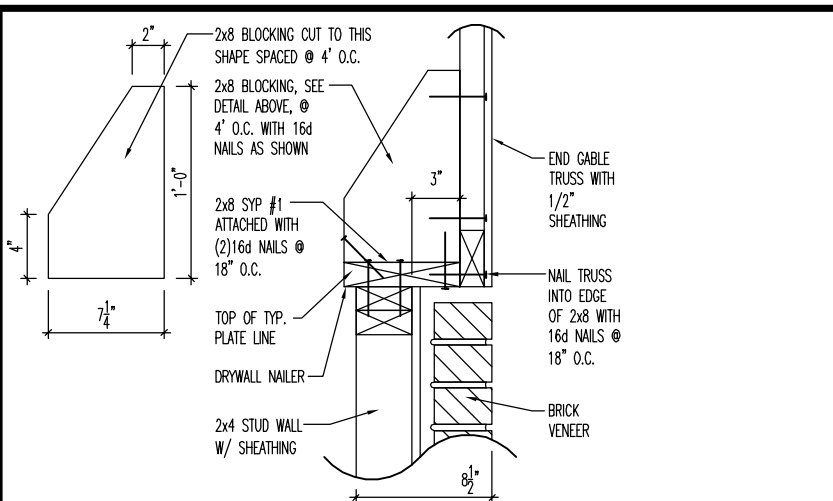
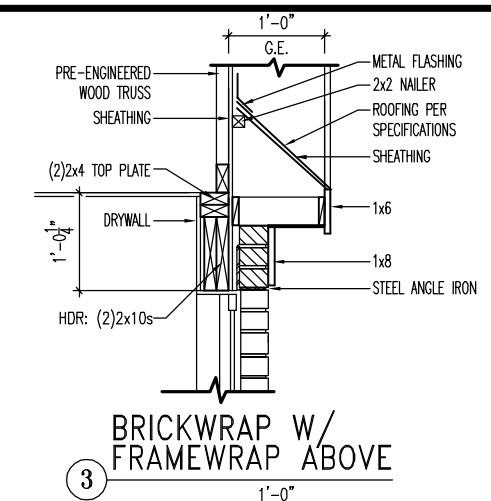
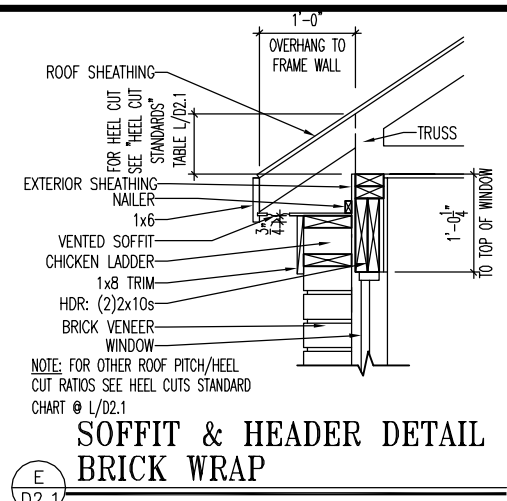
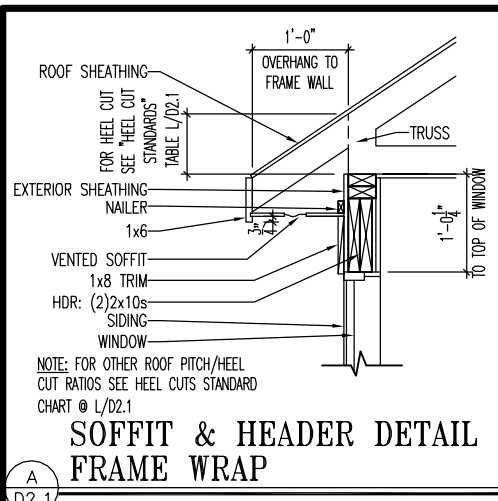
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 REGION: RALEIGH

Std. By: ALL  
 Chk. By: ARC  
 Std. Date: 08/19/09  
 Date of:

Sheet Description:  
 SLAB ON GRADE DETAILS

RALEIGH - D-SHEETS.dwg Jun 17, 2021 - 8:23am

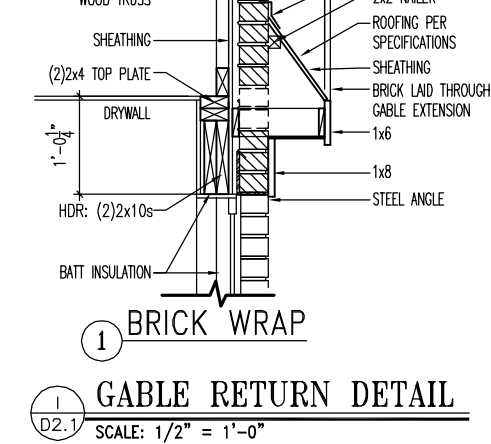
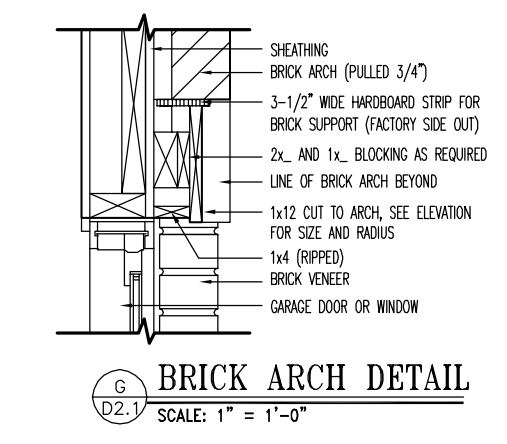
Sheet No.  
 D1.3



**HEEL CUT STANDARDS**

ROOF PITCH	HEEL CUT
4/12	3-3/4"
5/12	4-3/4"
6/12	5-3/4"
7/12	6-3/4"
8/12	7-3/4"
9/12	8-3/4"
10/12	9-3/4"
12/12	11-3/4"
14/12	1'1-3/4"

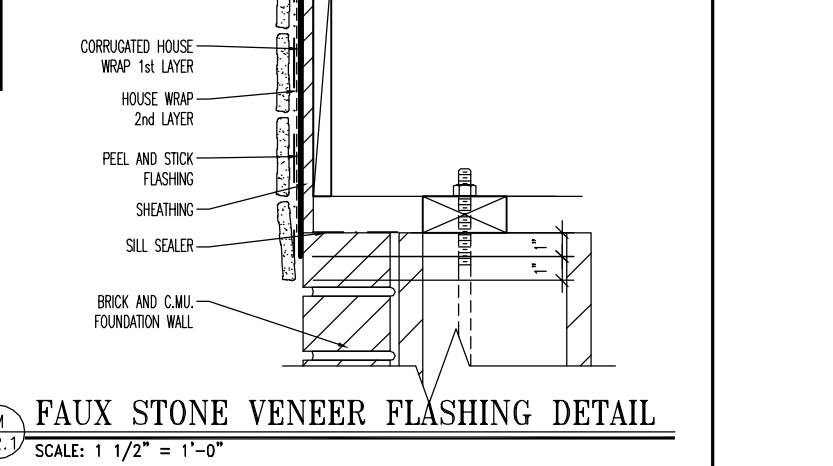
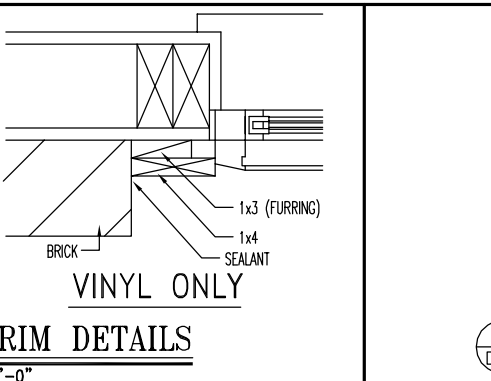
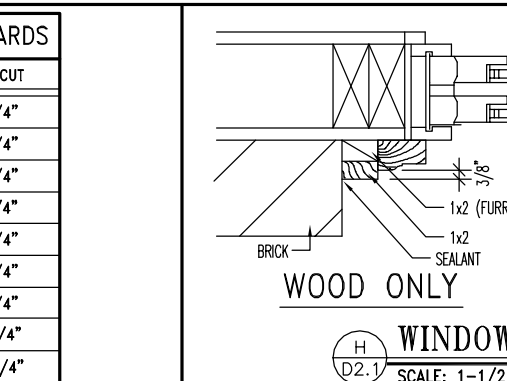
L  
D2.1



**HEEL CUT STANDARDS**

ROOF PITCH	HEEL CUT
4/12	3-3/4"
5/12	4-3/4"
6/12	5-3/4"
7/12	6-3/4"
8/12	7-3/4"
9/12	8-3/4"
10/12	9-3/4"
12/12	11-3/4"
14/12	1'1-3/4"

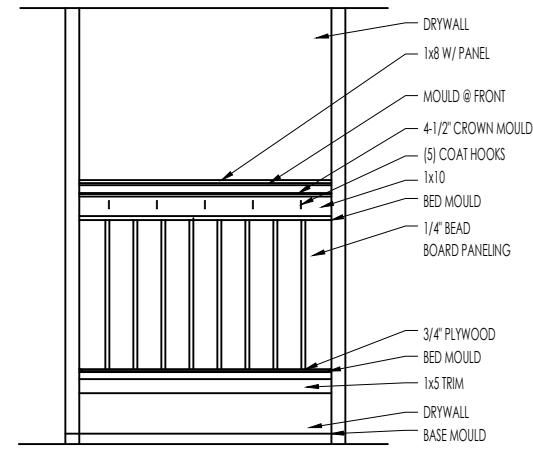
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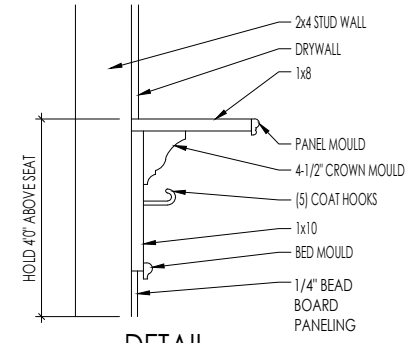
**FOR STRUCTURE ONLY**

SEAL  
042188  
ENGINEER  
STEPHEN IVES

2025-01-10

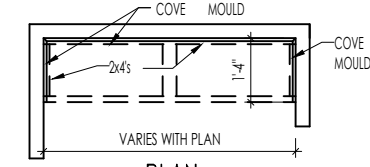


ELEVATION

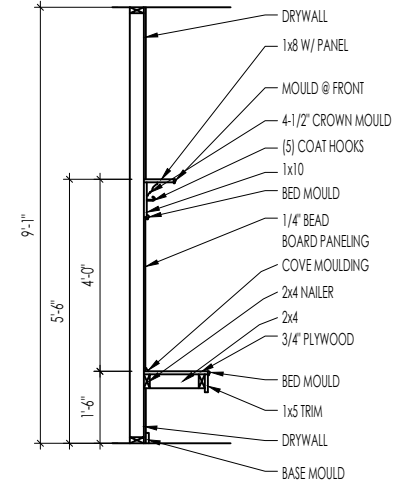


DETAIL

SCALE: 1/2" = 1'-0"



PLAN



SECTION

F  
D2.2

BENCH SEAT DETAILS

SCALE: AS NOTED

STANDARD FRAMING DETAILS  
RALEIGH DIVISION  
SCALE: AS NOTED



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DRAWN BY: ARCH

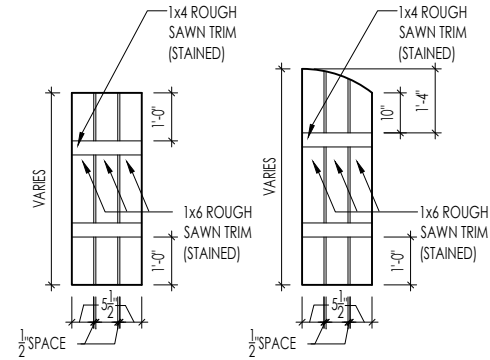
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LAST REVISION:

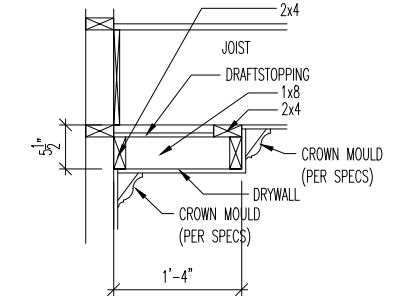
Jan 10, 2023 - 1:47pm

SHEET NO.

D2.2



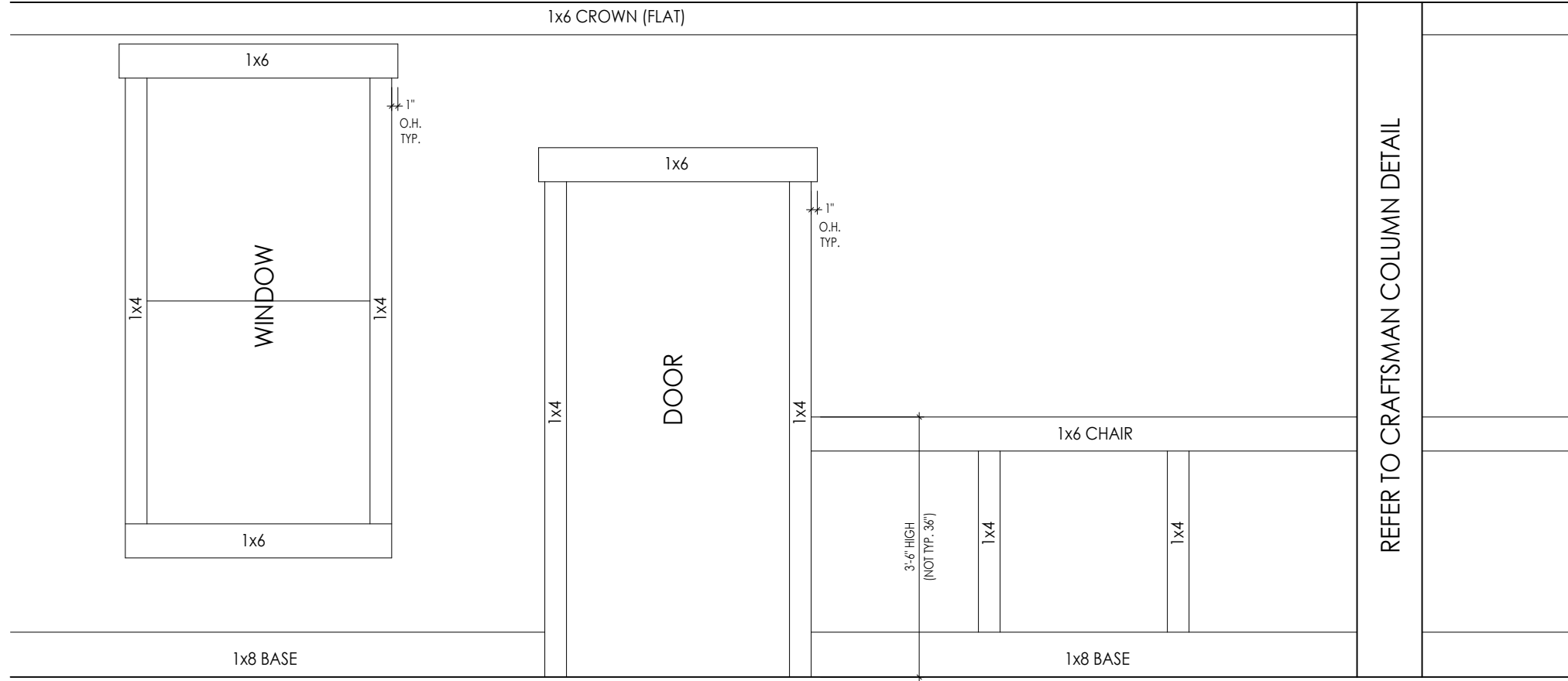
**M**  
D2.4 **SLAT SHUTTER DETAIL**  
SCALE: 1/4" = 1'-0"



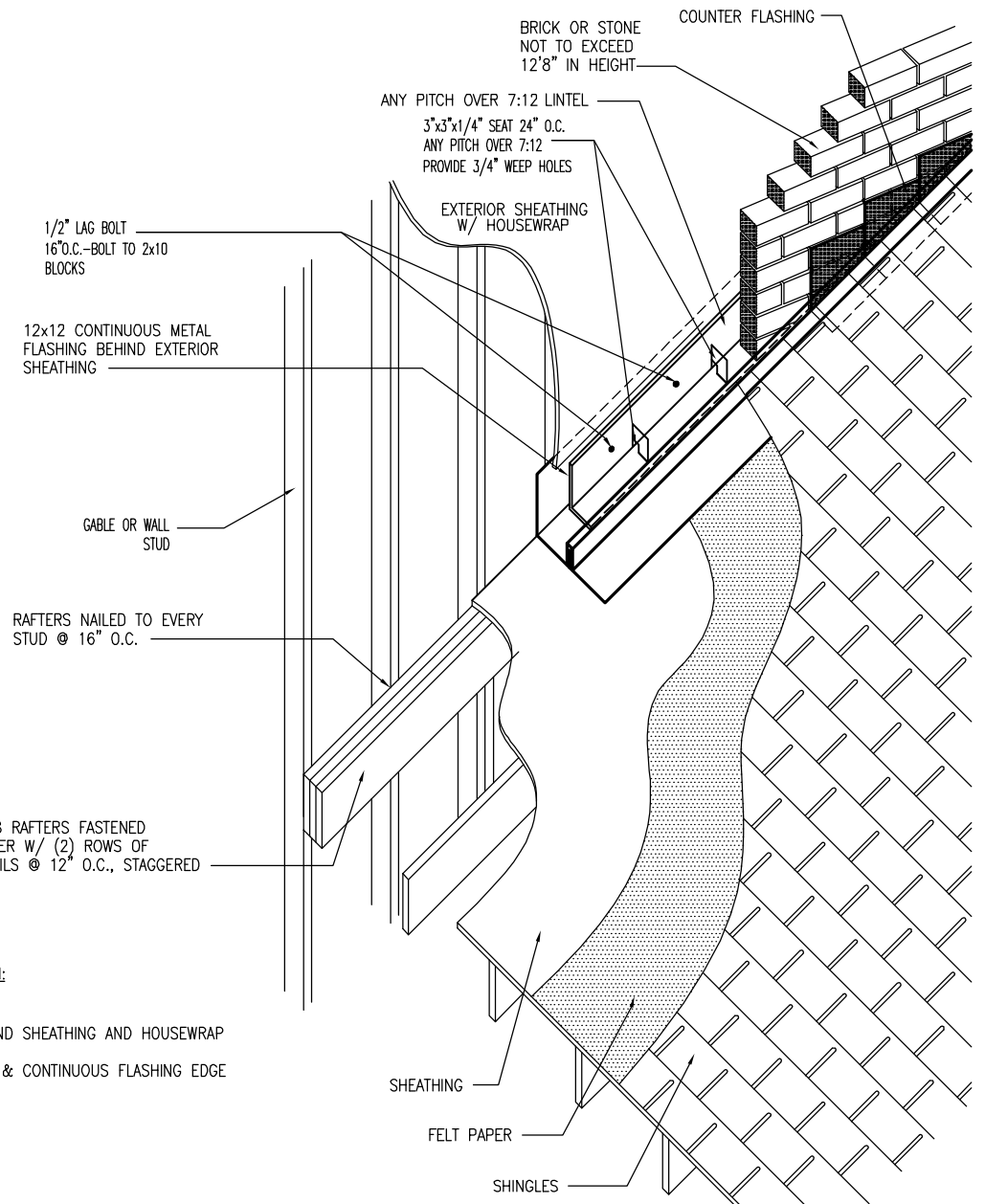
**H**  
D2.4 **SINGLE TRAY CEILING DETAIL**  
SCALE: 1/2" = 1'-0"

STANDARD FRAMING DETAILS  
RALEIGH DIVISION  
SCALE: AS NOTED



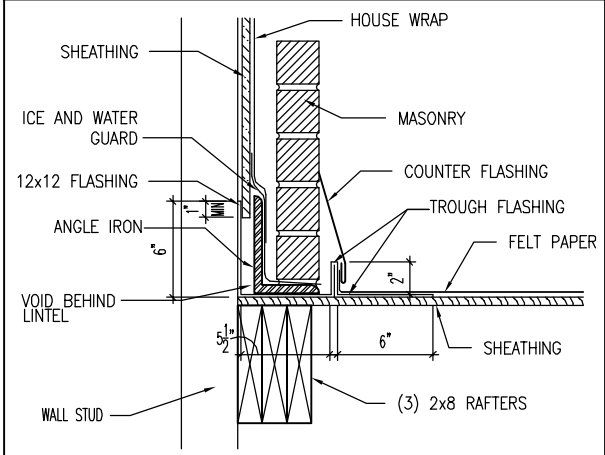


**A**  
**D2.5** CRAFTSMAN STYLE INTERIOR TRIM PACKAGE - ELEVATION  
 SCALE: 1/2" = 1'-0"

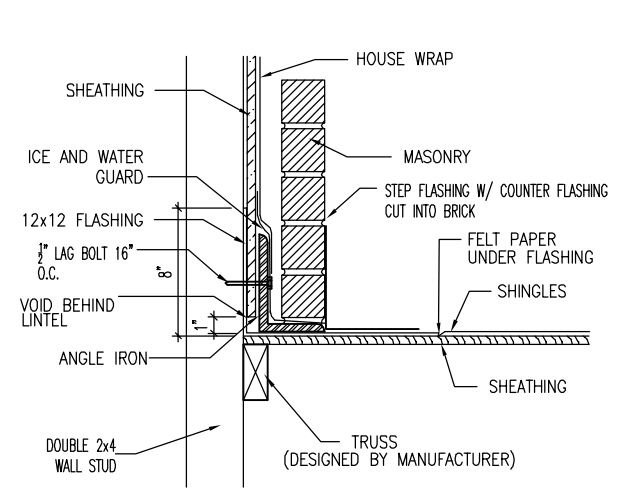


- SEQUENCE OF INSTALLATION:**
1. ROOF SHEATHING
  2. FELT PAPER
  3. 12"x12" FLASHING BEHIND SHEATHING AND HOUSEWRAP
  4. ANGLE IRON
  5. CAULK ALL NAIL HOLES & CONTINUOUS FLASHING EDGE
  6. BRICK
  7. STEP FLASHING
  8. SHINGLES
  9. COUNTER FLASHING

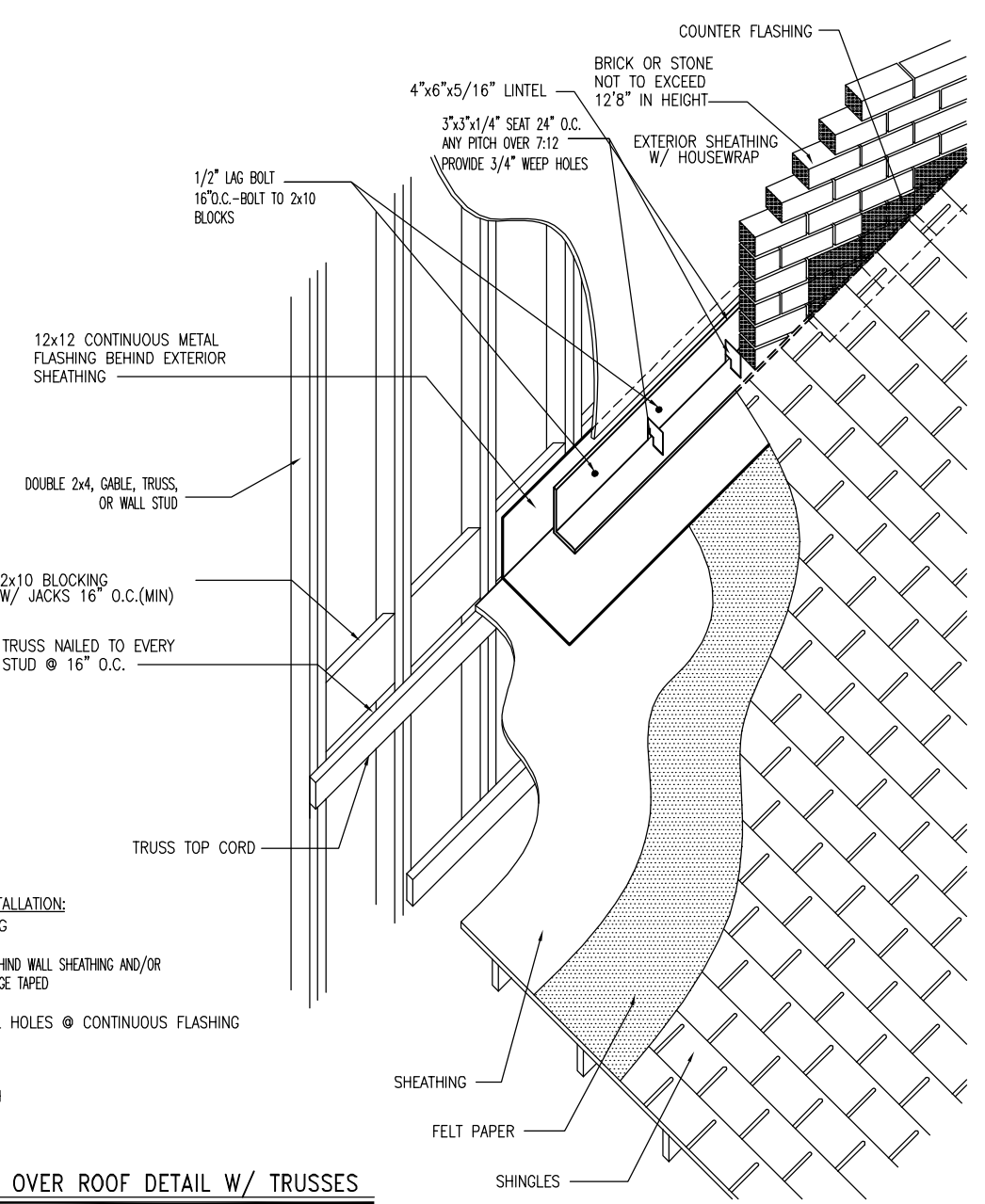
**A**  
D2.7  
**MASONRY OVER ROOF DETAIL W/ COMMON FRAMING**  
SCALE: 1/2" = 1'-0"



**C**  
D2.7  
**ROOF FLASHING @ BRICK WALL**  
SCALE: 1" = 1'-0"

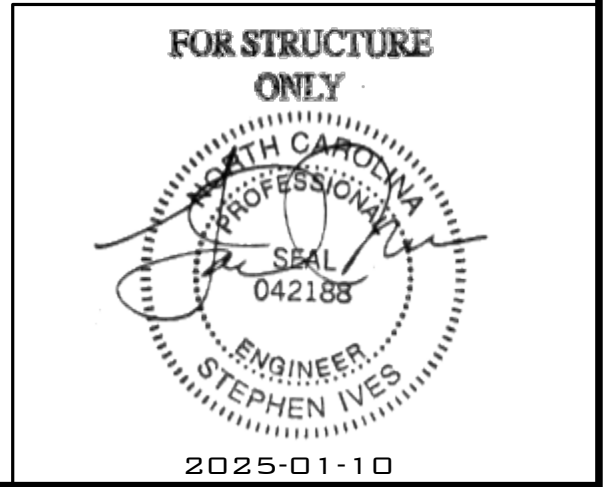


**D**  
D2.7  
**ROOF FLASHING @ BRICK WALL**  
SCALE: 1" = 1'-0"



- SEQUENCE OF INSTALLATION:**
1. ROOF SHEATHING
  2. FELT PAPER
  3. 12"x12" FLASHING BEHIND WALL SHEATHING AND/OR HOUSEWRAP; TOP EDGE TAPED
  4. ANGLE IRON
  5. CAULK ALL NAIL HOLES @ CONTINUOUS FLASHING
  6. BRICK
  7. STEP FLASHING
  8. SHINGLES
  9. COUNTER FLASH

**B**  
D2.7  
**MASONRY OVER ROOF DETAIL W/ TRUSSES**  
SCALE: 1/2" = 1'-0"



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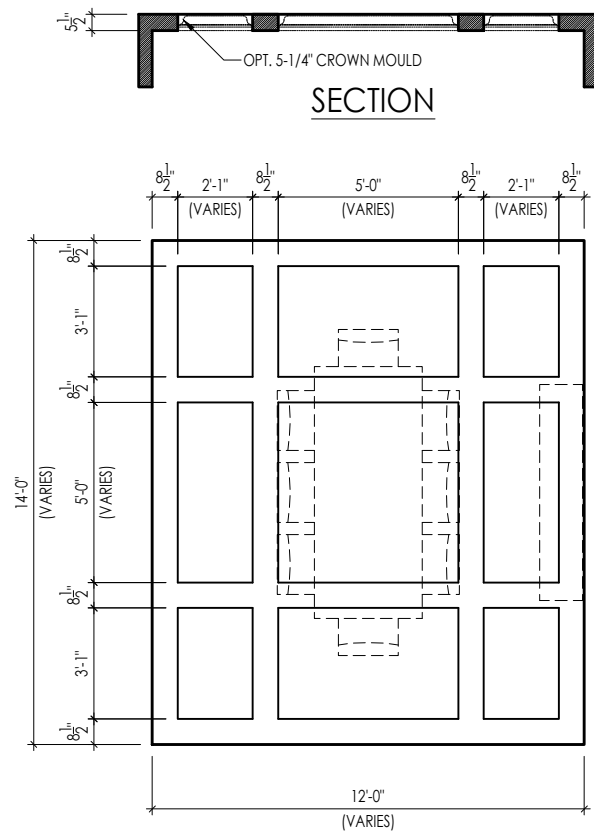
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REGION: **RALEIGH**

Std. By:	DWW
Chk. By:	ARC
Std. Date:	1.9.07
Date of Last Rev:	09/27/06 BRG

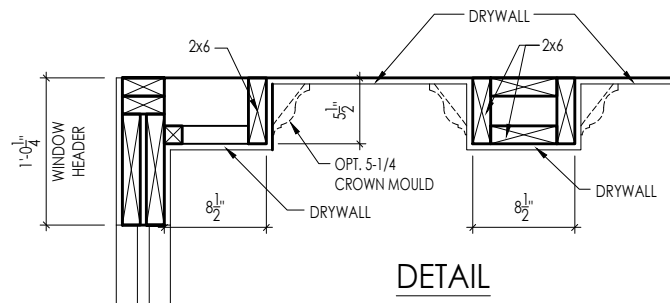
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**BRICK OVER ROOF DETAILS**

**DETAILS MAY NOT APPLY TO CONTRACT**  
RALIEGH - D-SHEETS.dwg Jul 05, 2013 - 4:13pm

Sheet No.  
**D2.7**



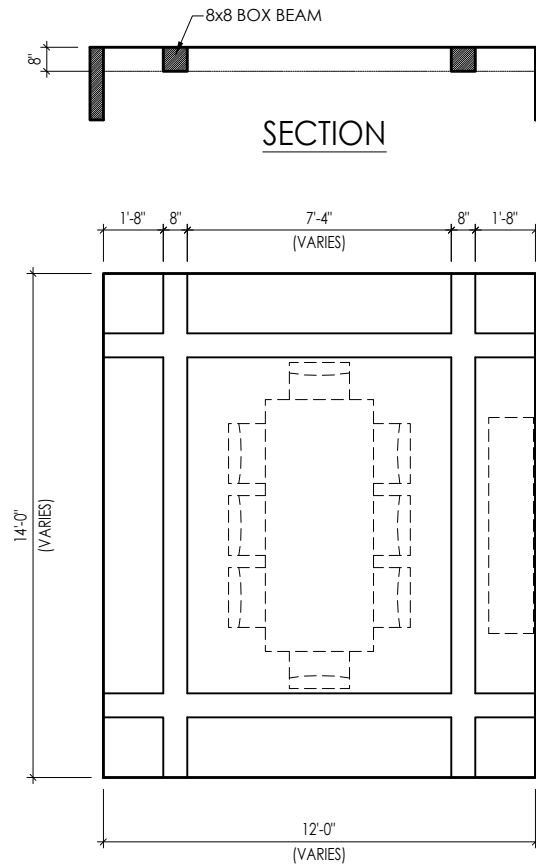
TYPICAL PLAN



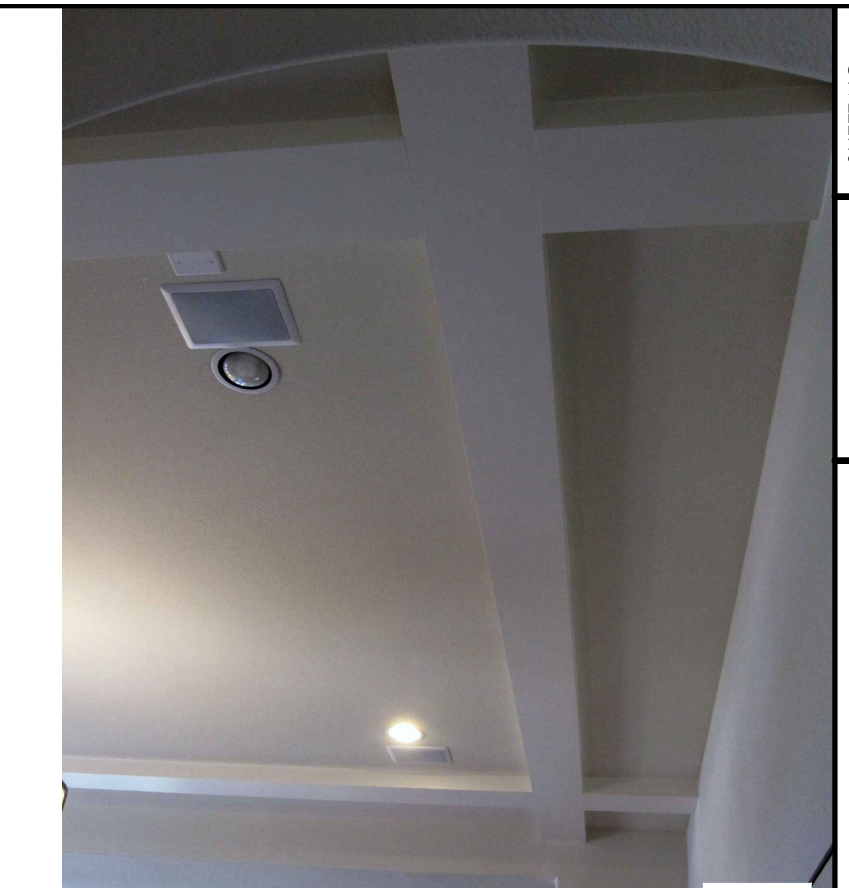
DETAIL

Note: Ceiling treatment details will tray down into space on enclosed rooms located on the 1st floor. On enclosed rooms on the 2nd floor, the ceiling treatment will tray up into the roof truss system. On 2-story spaces, the ceiling treatment will tray down into the space and require an appropriate sized header to capture the ceiling detail return.

01

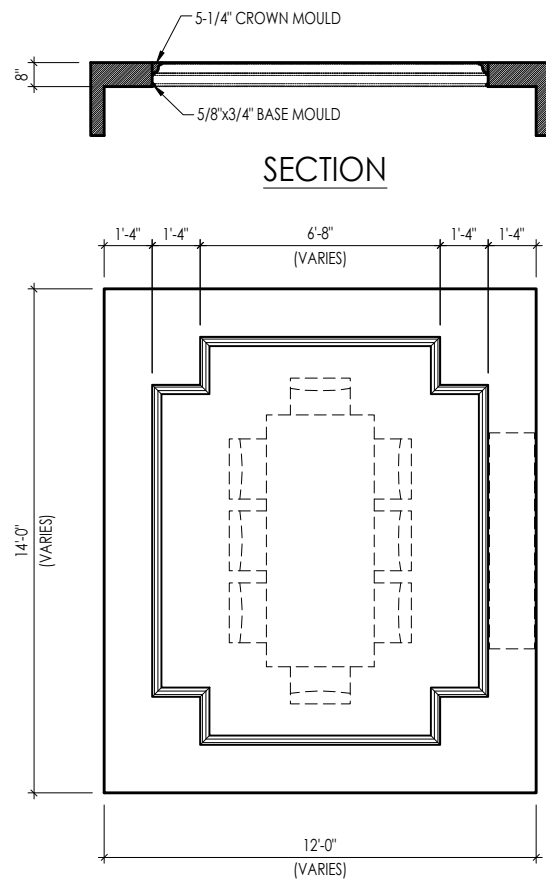


TYPICAL PLAN

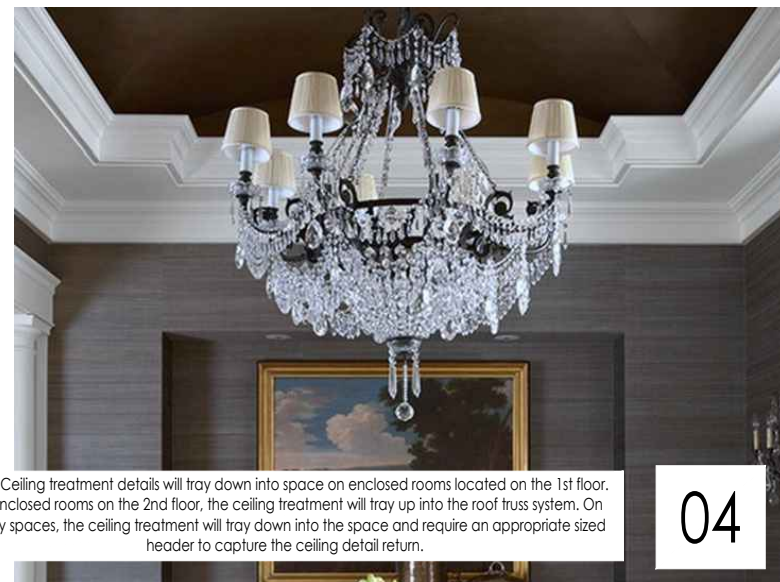


Note: Ceiling treatment details will tray down into space on enclosed rooms located on the 1st floor. On enclosed rooms on the 2nd floor, the ceiling treatment will tray up into the roof truss system. On 2-story spaces, the ceiling treatment will tray down into the space and require an appropriate sized header to capture the ceiling detail return.

05

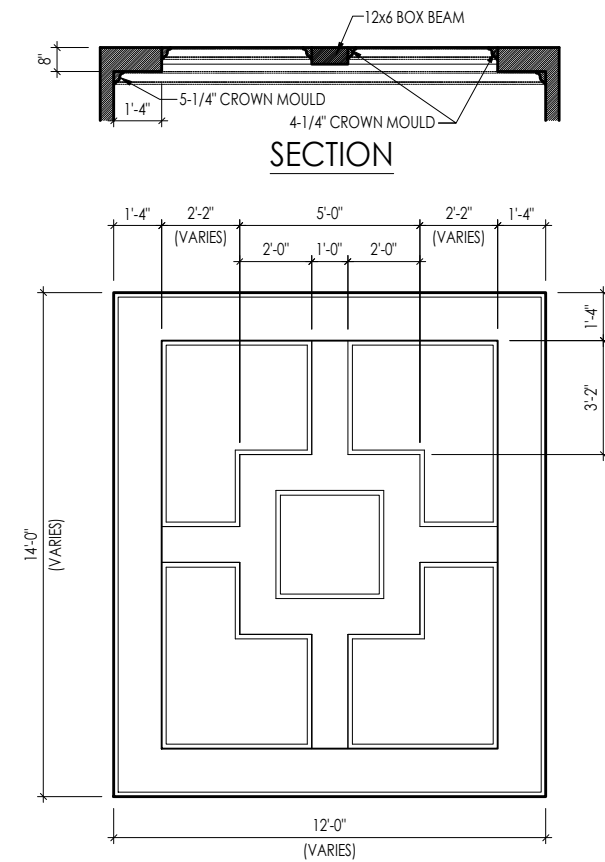


TYPICAL PLAN

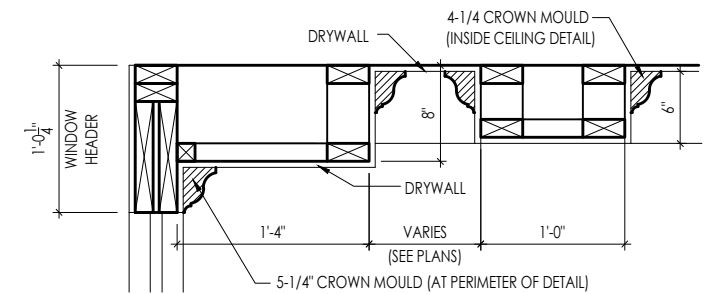


Note: Ceiling treatment details will tray down into space on enclosed rooms located on the 1st floor. On enclosed rooms on the 2nd floor, the ceiling treatment will tray up into the roof truss system. On 2-story spaces, the ceiling treatment will tray down into the space and require an appropriate sized header to capture the ceiling detail return.

04



TYPICAL PLAN



DETAIL

Note: Ceiling treatment details will tray down into space on enclosed rooms located on the 1st floor. On enclosed rooms on the 2nd floor, the ceiling treatment will tray up into the roof truss system. On 2-story spaces, the ceiling treatment will tray down into the space and require an appropriate sized header to capture the ceiling detail return.

15

CEILING TREATMENTS

SCALE: AS NOTED



SHEET NO.

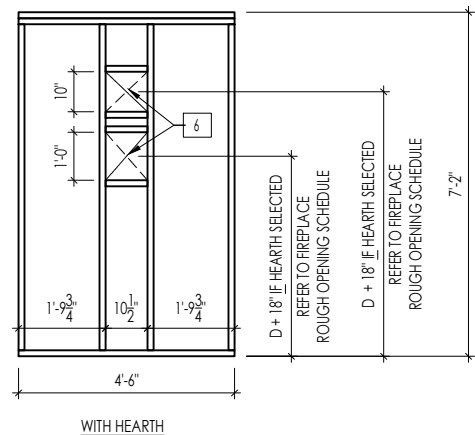
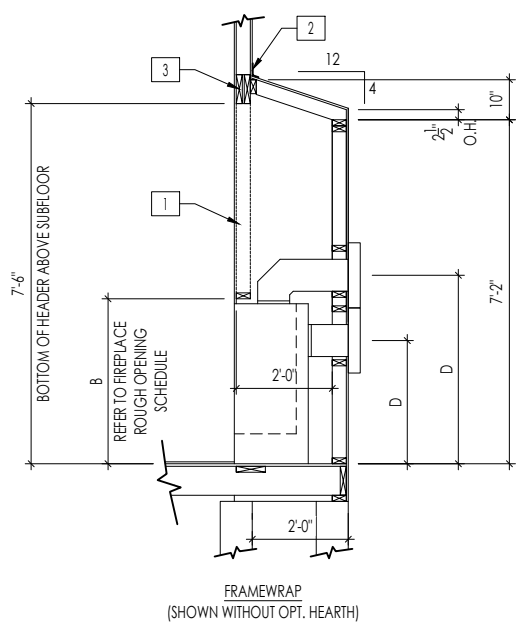
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DRAWN BY: BLC

DATE OF DETAIL: 01/27/15

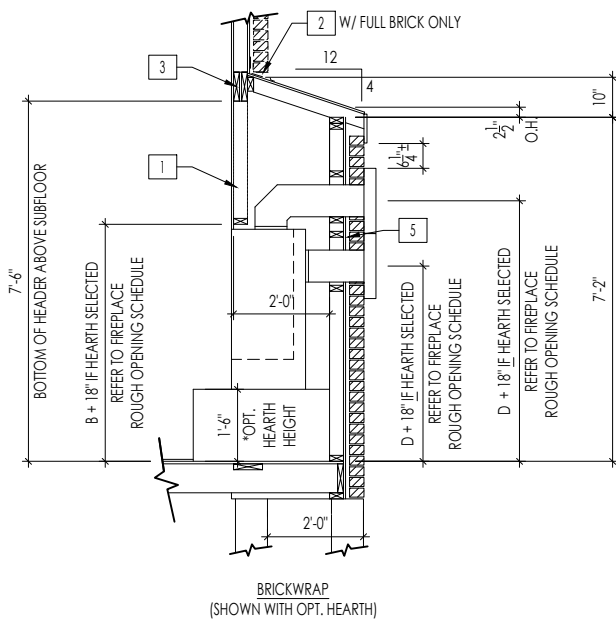
LAST REVISION:

Jan 10, 2023 - 1:42pm



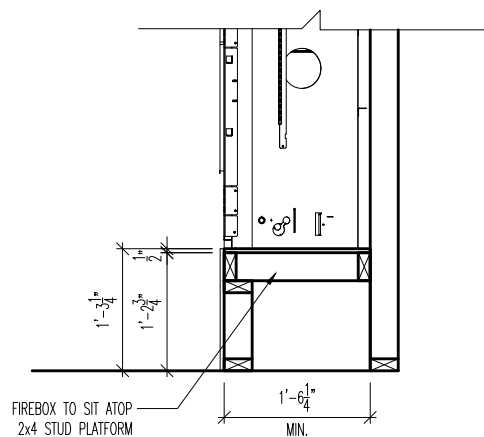
DIRECT VENT REAR WALL FRAMING

SCALE: 1/4" = 1'-0"



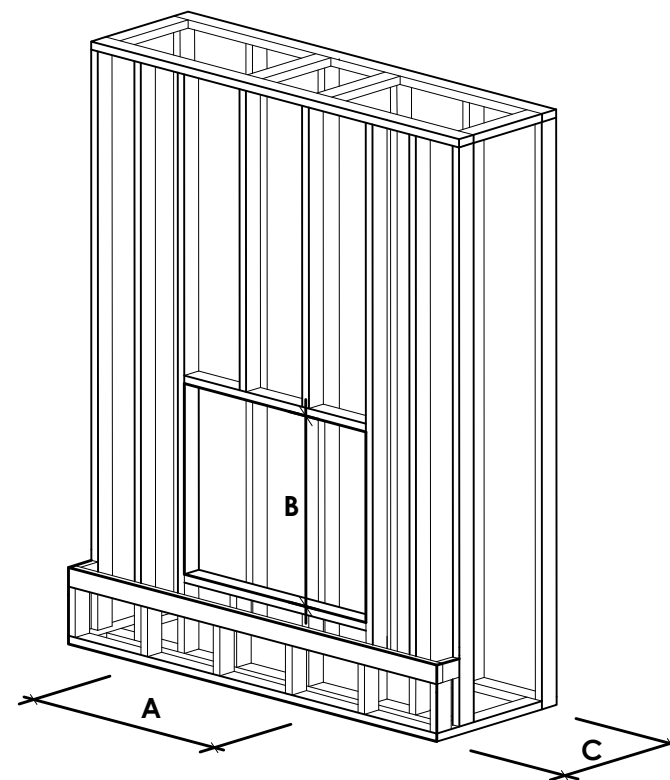
FIREPLACE DOGHOUSE SECTIONS

SCALE: 1/4" = 1'-0"



RAVE FIREPLACE PLATFORM DETAIL

SCALE: 1/2" = 1'-0"



NOTE:  
PROVIDE OSB SHEATHING WHEN  
STONE VENEER SELECTED

FIREPLACE ROUGH OPENING SCHEDULE

FIREPLACE MANUFACTURER	MODEL	A (FIREBOX REQUIRED WIDTH)	B (FIREBOX REQUIRED HEIGHT) *ADD 18" W/ OPT. HEARTH	C (FIREBOX REQUIRED DEPTH - INTERIOR REAR WALL TO FRONT EXTERIOR WALL)	D (VENT CENTERLINE HEIGHT) *ADD 18" W/ OPT. HEARTH
HEAT & GLO	SLIMLINE SL-7	42"	38-1/4"	16-1/4"	TOP 40" SIDE 26-7/8"
	COSMO 42	49"	32-3/4"	17-3/4"	TOP ONLY 47-1/16"
	NOVUS 33	39"	34-7/8"	19-5/8"	TOP 40" SIDE 23-1/2"
HEARTH & HOME	COURTYARD 36	43-3/8"	44-1/8"	18-3/8"	SEE MANUFACTURER'S SPECS
	COURTYARD 42	48-1/2"	34-1/4"	20-1/4"	SEE MANUFACTURER'S SPECS
	LANAI *(NOT IN CINCY/NKY)	57-3/4"	39-1/2"	17-5/8"	SEE MANUFACTURER'S SPECS
	RAVE	49"	32-3/4" *RAISED 15-1/4"	18-1/4"	TOP ONLY 46-1/2"

all dimensions are in inches

General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.
- VERIFY FIREPLACE MODEL AND HEARTH SELECTION WITH CUSTOMER'S SELECTIONS.

Key Notes

- FUTURE FRAMING FOR F.P. OPENING AFTER INSULATION HAS BEEN INSTALLED IN EXT. WALLS
- FLASHING
- HEADER PER PLAN
- 1" AIRSPACE
- BOX OUT FOR FLUE (REFER TO SELECTIONS FOR FIREPLACE AND OPENING HEIGHT)