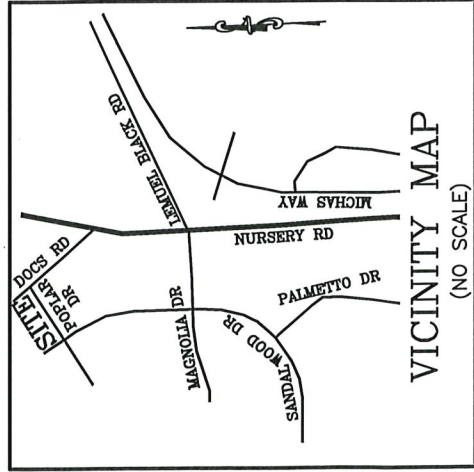




LEGEND			
	DENOTES IRON PIPE OR BREAK IN LINE		
	DENOTES CONTROL CORNER		
BG	BELOW GROUND	REC	RECORDED
AG	ABOVE GROUND	MEAS	MEASURED
EPK	EXISTING PK NAIL		
EIR	EXISTING IRON REBAR		
SIR	SET REBAR		
NOTE - 1/2" IRON REBAR SET FLUSH W/ THE GROUND AT ALL PROPERTY CORNERS UNLESS OTHERWISE NOTED.			

(127)

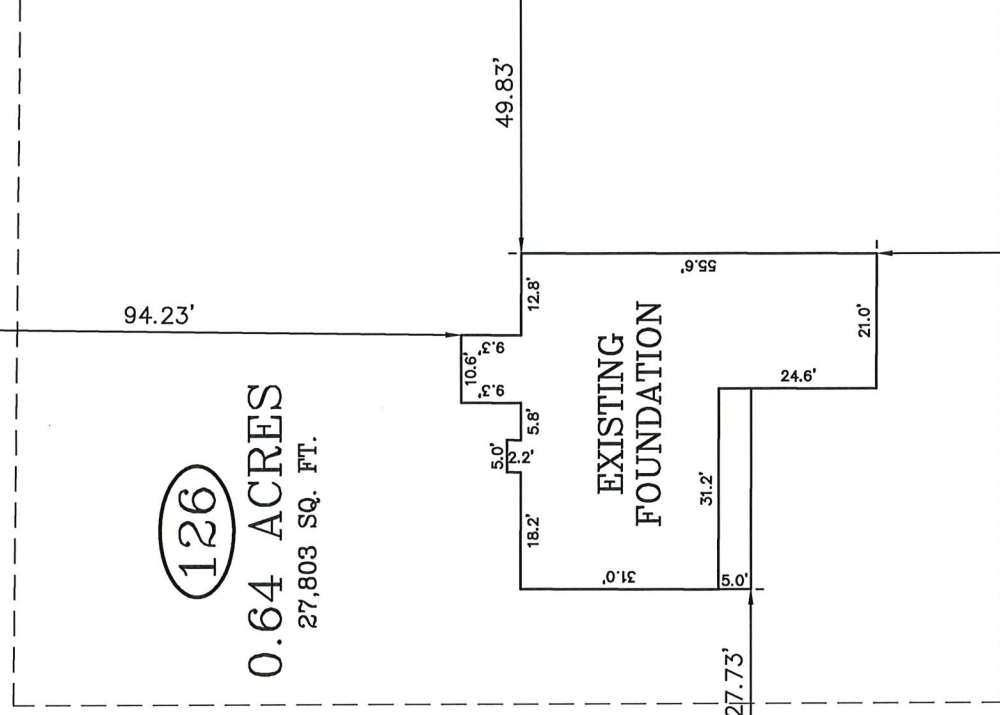
ROLLING SPRINGS
SECTION 7
MB 23, SL 14

N38°10'00"W 214.68' (REC)
N38°10'35"W 214.72' (MEAS)

(97)

ROLLING
SPRINGS
SECTION 7
MB 23, SL 14

S38°10'00"E 212.97' (REC)
S38°10'00"E 212.83' (MEAS)



15' UTILITY EASEMENT
(P.B. 2022, PG. 298)

EIR

S51°47'20"W 308.21'
(TIE LINE)

EPK
(CONTROL)

(CONTROL)

POPLAR DRIVE

60 FT. PUBLIC R/W

EPK
(CONTROL)

S22°41'16"E
28.11'

(TIE LINE)

FOUNDATION SURVEY

SURVEY FOR: WELLONS REALTY

ADDRESS: 46 POPLAR DRIVE

CITY OF: SPRING LAKE, NC

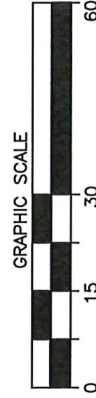
COUNTY OF: HARNETT

TOWNSHIP OF: ANDERSON CREEK

DATE: APRIL 14TH, 2025

SCALE: 1" = 30'

REFERENCE: LOT 126
ROLLING SPRINGS
SECTION 7
MB 23, SL 14



Larry King & Associates, R.L.S., P.A.

P.O. Box 53787

1333 Morganton Road, Suite 201

Fayetteville, NC 28305

Phone: (910) 483-4300

Fax: (910) 483-4052

www.LKandA.com

NC Firm License C-0887

"I certify that this map was drawn under my supervision from an actual survey made under my supervision (deed description recorded in MB 23, SL 14 or other reference source as shown); that the boundaries not surveyed are indicated as drawn from information in Book and page as referenced above that the ratio of precision or positional accuracy is > 1:10,000; and that this map meets the requirements of The Standards of Practice for Land Surveying in North Carolina (21 NCAC 56.1600)."

W. Larry King
W. Larry King, Professional Land Surveyor L-1339