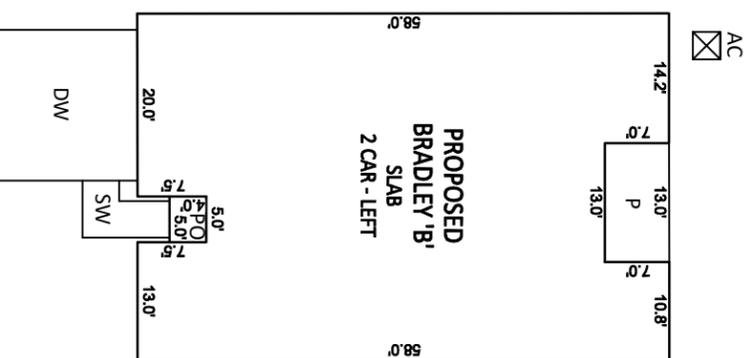


**LOT INFORMATION:**

PIN: 9681-50-8921.000  
 REFERENCE: DB, 4093, PGS. 784-789  
 TOTAL LOT AREA = 0.789 AC = 34,354 SF  
 HOUSE = 2,076 SF  
 PORCH = 20 SF  
 SIDEWALK = 47 SF  
 DRIVEWAY = 610 SF  
 PATIO = 91 SF  
 AC PAD = 9 SF  
 PROPOSED IMPERVIOUS = 2,853 SF  
 PERCENT IMPERVIOUS = 8.31%

**BUILDING SETBACKS**  
 FRONT - 35'  
 REAR - 25'  
 SIDE - 10'  
 CORNER SIDE - 20'



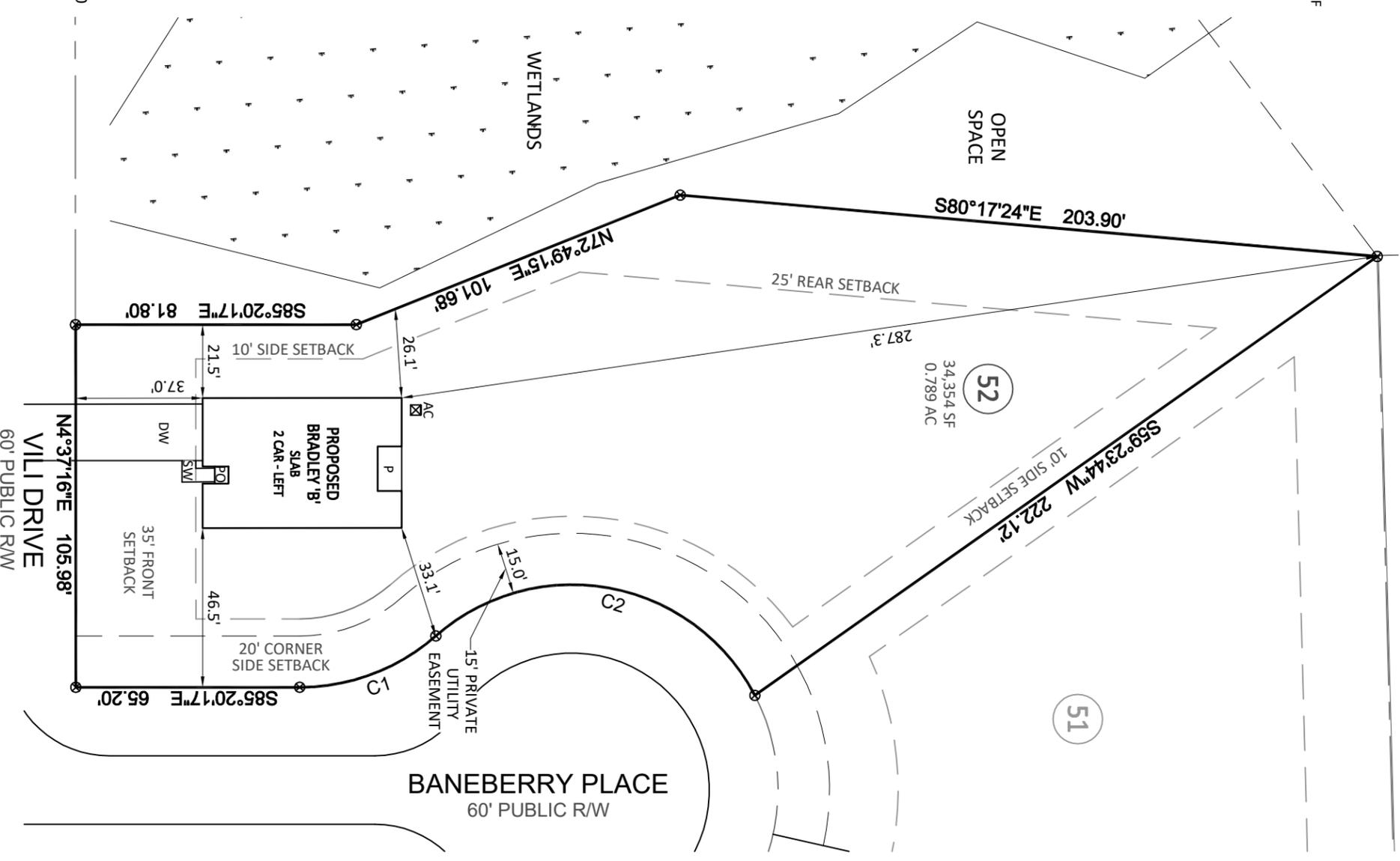
INSET SCALE: 1"=20'

BK: 2024 PG:381

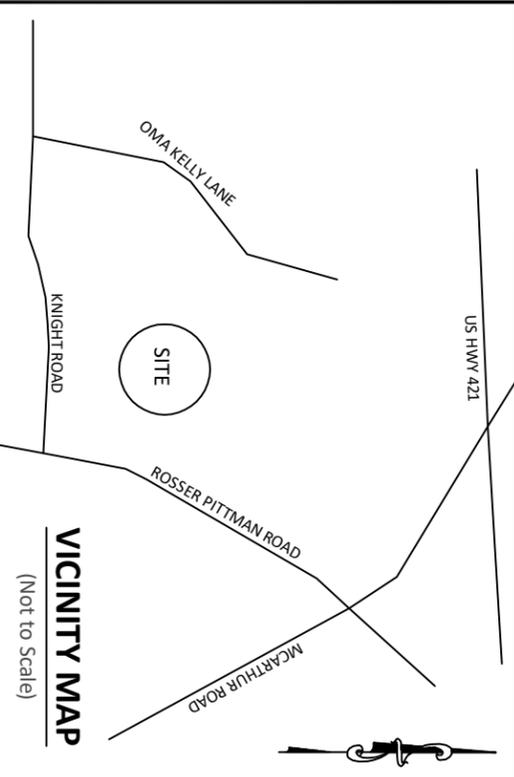
**NOTES:**

1. THIS SURVEY WAS PREPARED BY BATEMAN CIVIL SURVEY CO., UNDER THE SUPERVISION OF STEVEN P. CARSON, PLS.
2. THIS PLAN HAS BEEN PREPARED FOR LAYOUT AND PERMITTING PURPOSES ONLY.
3. PROPERTY LINES SHOWN WERE TAKEN FROM EXISTING FIELD EVIDENCE, EXISTING DEEDS AND PLATS OF PUBLIC RECORD, AND INFORMATION SUPPLIED TO THE SURVEYOR BY THE CLIENT.
4. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES AND ALL BEARINGS ARE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM UNLESS OTHERWISE SHOWN.
5. THIS MAP IS NOT FOR RECORDATION AND SHOULD BE REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS.
6. THE BASIS OF NORTH AND ALL EASEMENTS, RIGHTS-OF-WAYS, BUFFERS, SETBACKS AND ADJOINERS, ETC., REFERENCED IN TITLE BLOCK.
7. NO INVESTIGATION INTO THE EXISTENCE OF JURISDICTIONAL WETLANDS, FLOOD ZONES OR RIPARIAN BUFFERS PERFORMED BY THIS FIRM. ALL LINES SHOWN, IF ANY, ARE SCALED FROM THE RECORDED PLAT.
8. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
9. ZONING IS RA-20.
10. BUILDER/DEVELOPER: SMITH DOUGLAS HOMES  
3412 APEX PEAKWAY  
APEX, NC 27502

CURVE TABLE			
CURVE	RADIUS	LENGTH	CHORD DIRECTION
C-1	60.00'	43.36'	S 73°57'26" W
C-2	60.00'	108.91'	S 74°44'48" E



**Bateman Civil Survey Company**  
 Engineers • Surveyors • Planners  
 2524 Reliance Avenue, Apex, NC 27539 P: 919.577.1080 F: 919.577.1081  
 www.batemancivilsurvey.com info@batemancivilsurvey.com  
 NCBELS Firm No. C-2378



**LEGEND**

- PO = FRONT COVERED PORCH
- SP = SCREENED PORCH/PATIO
- CP = COVERED PORCH/PATIO
- S = STOOP
- SW = SIDEWALK
- DW = CONC DRIVEWAY
- P = CONC PATIO
- ⊗ = COMPUTED POINT
- X = MAG NAIL FOUND (IPF)
- ⊙ = IRON PIPE SET (IPS)
- = DRILL HOLE FOUND
- Ⓜ = WATER METER
- CO = CLEAN OUT
- AC = AIR CONDITIONER
- ⊕ = SEWER MANHOLE
- Ⓛ = ELECTRIC BOX
- Ⓛ = CABLE BOX
- Ⓛ = TELEPHONE PEDESTAL
- CI = CURB INLET
- IC = IRRIGATION CONTROLLER
- ⊗ = LIGHT POLE
- Ⓛ = UTILITY POLE
- Ⓛ = FIRE HYDRANT
- DI = DRAIN INLET
- WV = WATER VALVE
- Ⓛ = STREET SIGN
- YI = YARD INLET
- G = GAS METER
- EXT = EXTENSION

BUILDER TO VERIFY HOUSE LOCATION  
 DIMENSIONS AND REVIEW TOTAL  
 IMPERVIOUS NOTED ON THIS PLOT PLAN

**PRELIMINARY PLOT PLAN**  
 FOR  
**SMITH DOUGLAS HOMES**

**HARRINGTON PLACE PHASE 2 - LOT 52**  
 VILLI DRIVE, BROADWAY, NC  
 UPPER LITTLE RIVER TOWNSHIP, HARNETT COUNTY

DATE: 12/19/24 DRAWN BY: ALT CHECKED BY: SPC  
 REFERENCE: BK: 2024, PG:381 BGS# 230119 SCALE: 1" = 40'