

				Square Footage		Division: Raleigh					
				Living Areas		Building Code: 2018 North Carolina Residential Building Code					
				1st Floor1503 SF		Index to the Drawings					
				2nd Floor939 SF							
				2443 SF							
				Unfinished Areas							
				Front Porch98 SF							
				Garage430 SF		Sheet No.		Sheet Name			
				Outdoor Living221 SF		0C.1		Cover Sheet			
				749 SF		0N.1		General Notes			
Square Footage total may vary by +1 SF due to automated rounding of first and second floor area		0P.1		Plot Plan							
Redraws		1.01		Foundation Slab							
Plan Review: XX/XX/XX		2.01F		First Floor Framing Plan							
Xxxx		2.01S		First Floor Structural Plan							
		2.02F		Second Floor Framing Plan							
Plan Review: XX/XX/XX		2.02S		Second Floor Structural Plan							
Xxxx		2.04		Roof Plan							
		3.02		Second Floor Subfloor Plan							
Plan Review: XX/XX/XX		4.01		First Floor Mechanical Plan							
Xxxx		4.02		Second Floor Mechanical Plan							
		5.01		Building Section							
Plan Review: XX/XX/XX		6.01		Front Elevation							
Xxxx		6.02		Garage Side Elevation							
		6.03		Rear Elevation							
Plan Review: XX/XX/XX		6.04		Side Elevation							
Xxxx		7.01		House Specific Details							
		7.02		House Specific Details							
<div>Space for Architect Seal</div> <div></div> <div>The Drees Company 01/02/2025 10:31:33 AM</div>				RESIDENCE FOR: LANE/LEE 742 SERENITY WALK PARKWAY SERENITY							
				Job Number: STY5-0180-00		Drawing Date: 12/19/24		Coord Name: GREG P.		Coord Phone: (859)578-4355	
				House Name:				Drawing Scale: 1/8" = 1'0"			
				Contract Drawn By: GLP				Series: CLASSIC			
				Born on Date: 08/23/2022				CDs Drawn By: CLM			
				Plan No.: --				Sheet Information			
								0C.1 Cover Sheet Elevation "A"			
				7701 Six Forks Road, Suite 132, Raleigh, NC 27615 Phone: (919) 844-9288							
				Architecture Plan Review: <input checked="" type="checkbox"/> No Comments <input type="checkbox"/> See Comments Items drawn on any drawings and not written in the contract selctions WILL NOT be included in the site specific drawings.				Customer Plan Review Signature			
Customer Request:		Design Solution:		Reason For Modification:		Comments:		<p>I understand that my new Drees home will be built in general conformance to the plans, specifications, selections and the Purchase Agreement, all of which I have reviewed and approved. This set of plans may not reflect the elevations or options for my house. Drees draws the standard plans complete with the most common options. The subcontractor's sets will show only the options I selected in my selection sheets. I have reviewed the plot plan for my house and understand that there may be some field adjustments as to the exact location of the house on the lot. I further understand that my home will not be built exactly like any other Drees home or Model and that some minor variations from my plans and specifications may occur since every home that is built has it's own set of unique construction problems that must be dealt with as the home is being built.</p> <p>Customer: _____ Date: _____</p> <p>Customer: _____ Date: _____</p>			
1. XXX		1. XXX		1. XXX		1. XXX					
2. XXX		2. XXX		2. XXX		2. XXX					
3. XXX		3. XXX		3. XXX		3. XXX					
4. XXX		4. XXX		4. XXX		4. XXX					

GENERAL NOTES - RALEIGH

FOUNDATION NOTES

CRAWL SPACES:

- SLOPE CONCRETE SLAB 4" MINIMUM TOWARDS GARAGE DOOR
- EXTERIOR FLATWORK/GARAGES SHALL HAVE A MINIMUM CONCRETE SRENGTH OF 4,500 PSI
- FOOTINGS TO A MINIMUM CONCRETE STRENGTH OF 2500 PSI, UNLESS OTHERWISE NOTED
- ASSUMED ALLOWABLE SOIL BEARING PRESSURE: 2,000 p.s.f.
- WATERPROOF FOUNDATION WITH BITUMINOUS SPRAY.
- WALL TIES EMBEDDED IN THE HORIZONTAL MORTAR JOINT SHALL BE 16" ON CENTER. TIES IN ALTERNATE COURSES SHALL BE STAGGERED. THE MAXIMUM VERTICAL DISTANCE BETWEEN TIES SHALL NOT EXCEED 16" AND THE MAXIMUM HORIZONTAL DISTANCE SHALL NOT EXCEED 16" ADDITIONAL TIES SHALL BE PROVIDED AT ALL OPENINGS, AND WITHIN 12" OF THE OPENING.
- CORE FILL ENTIRE BLOCK WALL WHEN THE WALL IS 4'-0" TALL OR HIGHER. INSTALL #4 REBAR IN EACH HOLLOW AREA OF EACH BLOCK FROM FOOTING TO TOP OF WALL, ON THE ENTIRE WALL PRIOR TO CORE FILLING IT.
- TOP COURSE OF BLOCK ON ALL WALLS WILL BE FILLED SOLID WITH MORTAR PLACING THE FOUNDATION STRAPS OR BOLTS IN THE MORTAR 6'-0" ON CENTER, AND 12" FROM EACH CORNER.
- 12"x16" PIERS: HOLLOW MASONRY UP TO 48" HIGH, SOLID MASONRY UP TO 9'0" HIGH
- 16"x16" PIERS: HOLLOW MASONRY UP TO 64" HIGH, SOLID MASONRY UP TO 12'0" HIGH
- BLOCK PIERS SHOULD BE PLACED DIRECTLY ON CONCRETE FOOTINGS PER PLAN. THEY SHOULD BE PLUMBED AND SQUARE WITHIN 1/4".
- SILL PLATES TO BE A MINIMUM OF 2x4 NOMINAL LUMBER.

FRAMING NOTES

DESIGN LOADS:

FLOORS:	40 psf LIVE LOAD + 10 psf DEAD LOAD = 50 psf	GARAGE FLOOR: 50 psf LIVE LOAD	SEISMIC: "A" & "B"
ROOF:	18 psf LIVE LOAD + 17psf DEAD LOAD = 35 psf	WIND SPEED: 120 MPH	

DESIGN DEFLECTION LIMITS (BASED ON LIVE LOAD, EXCEPT MASONRY):

RAFTERS GREATER THAN 3:12	L/180	CEILINGS	L/240
MASONRY VENEER	L/600		
NOMINAL LUMBER FLOORS:	L/360		

MANUFACTURED WOOD FLOORS: DESIGNED TO MINIMUM PRO RATING OF 35 (OR EQUIVALENT). NO MORE THAN 8 POINT DIFFERENCE BETWEEN ADJACENT SPANS. L/480 FOR SPANS UP TO 16'-0" AND NO GREATER THAN 1/2" DEFLECTION L/600 FOR SPANS OVER 16'-0" IF SIMPLE SPAN AND NO GREATER THAN 1/2" DEFLECTION L/840 FOR SPANS OVER 16'-0" IF CONTINUOUS SPAN. AND NO GREATER THAN 1/2" DEFLECTION

-JOIST SPACING: 19.2" o.c. MAXIMUM SPACING

DOUBLE EVERY OTHER FLOOR JOIST UNDER KITCHEN ISLANDS

INSTALL UNCOUPLING MEMBRANE IN TILE FLOOR AREAS IF 19.2" o.c. FLOOR JOIST SPACING

GLUE AND MECHANICALLY FASTEN [SCREWS] WOOD FLOOR IF 19.2" o.c. FLOOR JOIST SPACING

- MANUFACTURED WOOD PRODUCTS (INCLUDING, BUT NOT LIMITED TO, STRUCTURAL WOOD BEAMS AND I-JOISTS) SHALL BE FABRICATED, HANDLED, AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- JOISTS ARE NOT TO BE PLACED DIRECTLY OVER INTERIOR PARALLEL WALLS. (TO PREVENT UNEVEN FLOOR DEFLECTION FROM OCCURRING)
- ALL WOOD BEAMS/HEADERS: 2x6's TO BE SPF STUD GRADE OR BETTER/ 2x8 OR LARGER TO BE SYP #2 [PER NDS 2012] OR BETTER, U.O.N.
- ALL HEADERS SHALL BE SUPPORTED BY (1) 2x JACK STUD AND (1) 2x KING STUD MINIMUM. THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACKS REQUIRED, U.N.O. AT FLUSH OR DROPPED BEAMS, THE NUMBER OF STUDS SPECIFIED INDICATES THE TOTAL NUMBER OF STUDS REQUIRED TO SUPPORT THE BEAM.
- EXTERIOR WALLS TO BE 2x4 SPF STUD GRADE AT 16" o.c. UNLESS OTHERWISE NOTED [10'4-1/2" MAXIMUM WALL HEIGHT]
- ALL INTERIOR BEARING WALLS AND WALLS AT BASEMENT & FIRST FLOOR STAIRWELLS, KITCHEN, BATH, & GARAGE TO BE 2x4 SPF STUD GRADE @ 16" o.c.;
- ALL OTHER NON-BEARING INTERIOR WALLS TO BE 2x4 SPF STUD GRADE @ 24" o.c. U.O.N.
- ALL WALLS TO BE 3 1/2" UNLESS OTHERWISE NOTED.
- PROVIDE SOLID BEARING TO FOUNDATION OR BEAM BELOW FOR ALL BEAMS, HEADERS & GIRDER TRUSSES. PROVIDE BLOCKING BETWEEN JOISTS AS REQUIRED.
- SEE SELECTION SHEET FOR SIZE AND STYLE OF FIREPLACE. SEE FIREPLACE ELEVATION DETAIL FOR ADDITIONAL FRAMING REQUIREMENTS, IF ANY.
- CHECK SELECTION SHEETS FOR FLOOR COVERING AT TOP AND BOTTOM OF STAIR RISERS AND ADJUST RISERS AS REQ'D.
- PROVIDE BLOCKING AT ALL HANDRAIL TERMINATION AND BRACKET LOCATIONS.
- 20-MINUTE FIRE RATED DOOR BETWEEN GARAGE AND LIVING AREA.
- EXTERIOR WALL TO BE 2x4 SPF STUD G AT 16" o.c. UNLESS OTHERWISE NOTED [10'-0" MAXIMUM UNBRACED WALL HEIGHT].
- ALL EXTERIOR WALLS AND INTERIOR BEARING WALLS, FRAMED HIGHER THAN THE STANDARD PLATE HEIGHT, SHALL BE FRAMED WITH CONTINUOUS FULL HEIGHT STUDS TO THE HIGHEST CEILING (I.E. NO INTERMEDIATE BREAKS) TO PREVENT LATERAL HINGE CONDITIONS.
- IN THE GARAGE, PROVIDE 1/2" GYP. BOARD AT ALL WALLS COMMON TO LIVING SPACE AND ALL STRUCTURAL MEMBERS SUPPORTING FLOOR/CEILING ASSEMBLY. GARAGE CEILING TO BE 1/2" SAG RESISTANT GYP. BOARD WHEN THERE ARE NO HABITABLE SPACES ABOVE, OR 5/8" TYPE X GYP. BOARD WHEN HABITABLE SPACES ARE ABOVE.
- ALL EMERGENCY ESCAPE & RESCUE OPENINGS TO BE A MAXIMUM OF 44" OFF OF FINISHED FLOOR AND HAVE MINIMUM OPENING DIMENSIONS OF 24" IN HEIGHT, 20" IN WIDTH, & HAVE A MINIMUM OPENING AREA OF 5.7 S.F.
- ALL DOORS TO BE 6'-8" TALL UNLESS OTHERWISE NOTED.
- ALL GLASS IN INTERIOR AND EXTERIOR DOORS TO BE TEMPERED (INCLUDING SIDELITES AND TRANSOMS)
- ALL LUMBER CONTACTING CONCRETE TO BE PRESSURE TREATED.
- ALL FASTENERS, HANGERS, AND OTHER CONNECTORS TO BE USED WITH PRESSURE TREATED WOOD ARE TO HAVE ZMAX COATING (OR EQUIVALENT) HOT-DIPPED GALVANIZED OR STAINLESS STEEL.
- AT STAIR HANDRAIL, ON ONE SIDE ONLY, SHALL BE CONTINUOUS FOR THE ENTIRE LENGTH OF THE STAIRWAY, AND ENDS SHALL BE RETURNED TO A WALL OR POST. THE HANDRAIL MAY BE INTERRUPTED AT A NEWEL POST AT A TURN.
- ALL HANDRAIL GRIP PORTIONS SHALL NOT EXCEED 2-1/4" IN CROSS SECTIONAL DIMENSION.
- HANDRAILS SHALL BE INSTALLED ON ALL STAIRS WITH 4 OR MORE RISERS, HANDRAIL HEIGHTS SHALL BE A MINIMUM OF 34" AND A MAXIMUM OF 38".
- ALL STAIRS TO BE CONSTRUCTED SO AS NOT TO ALLOW A 4" SPHERE TO PASS THROUGH THE RISER.
- GUARDRAILS MUST BE A MINIMUM OF 36" HIGH. GUARDRAILS AT THE OPEN SIDES OF STAIRS MUST BE A MINIMUM OF 34" HIGH MEASURED VERTICALLY FROM THE NOSING AT THE TREADS. THE HORIZONTAL SPACING OF THE VERTICAL BALUSTERS SHALL BE 4" O.C.
- GUARDRAIL DESIGN TO RESIST A MINIMUM OF 200 LBS LATERAL FORCE

BASEMENTS:

- SLOPE CONCRETE SLAB 4" MINIMUM TOWARDS GARAGE DOOR
- EXTERIOR FLATWORK/GARAGES SHALL HAVE A MINIMUM CONCRETE SRENGTH OF 4,500 PSI
- FOOTINGS TO A MINIMUM CONCRETE STRENGTH OF 2500 PSI, UNLESS OTHERWISE NOTED- ALL FOUNDATION WALLS TO BE CAST IN PLACE CONCRETE 3000 PSI MIN. UNLESS OTHERWISE NOTED.
- BASEMENT WINDOW LOCATIONS MAY VARY FROM DRAWING DUE TO LOT CONDITIONS.
- BACKFILL ADJACENT TO FOUNDATION WALLS SHALL NOT BE PLACED UNTIL THE WALL HAS SUFFICIENT STRENGTH AND HAS BEEN ANCHORED TO THE FLOOR OR HAS BEEN SUFFICIENTLY BRACED TO PREVENT DAMAGE BY THE BACKFILL.
- ASSUMED ALLOWABLE SOIL BEARING PRESSURE: 2,000 p.s.f.
- WATERPROOF FOUNDATION WITH BITUMINOUS SPRAY.
- VERTICAL CONTROL JOINTS IN BASEMENT FOUNDATION WALLS - STANDARD LOCATION GUIDELINES:
 - 1) PLACE A CONTROL JOINT IN ALL UNBRACED WALLS OVER 30' IN LENGTH. (NOTE: "T" WALLS AND CORNERS COUNT AS A BRACE).
 - 2) WINDOWS THAT ARE LARGER THAN THE STANDARD BASEMENT WINDOW REQUIRE A CONTROL JOINT.
 - 3) CONTROL JOINTS ARE NOT REQUIRED AT EVERY WINDOW THAT IS STANDARD SIZE.
 - 4) IF THERE IS A STANDARD WINDOW LOCATED IN A WALL SEGMENT THAT REQUIRES A CONTROL JOINT, THEN THE CONTROL JOINT SHOULD BE PLACED ON THE SIDE OF THE WINDOW THAT IS ADJACENT TO THE LONG SIDE OF THE WALL. IF THERE IS MORE THAN ONE WINDOW IN A WALL THEN ONLY ONE WINDOW SHOULD HAVE A CONTROL JOINT.
 - 5) DOORS DO NOT GET CONTROL JOINTS.
 - 6) CONTROL JOINTS SHOULD NOT BE LOCATED WITHIN 3' OF A BEAM POCKET.
 - 7) CONTROL JOINTS ARE REQUIRED AT THE FIRST AND LAST STEP DOWN AT STEPPED BASEMENT FOUNDATION WALLS.
- INTERIOR FLATWORK SHALL HAVE A MINIMUM CONCRETE STRENGTH OF 3,000 PSI.
- ALL VERTICAL STEEL AND ALL STEEL IN STRUCTURAL SLABS TO BE GRADE 60. ALL HORIZONTAL STEEL IN FOUNDATION WALLS AND FOOTERS TO BE GRADE 40 STEEL.

MECHANICAL/ELECTRICAL NOTES

- ANY GAS APPLIANCES MUST BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- HOLD THE CENTERLINE OF ALL EXTERIOR LIGHT FIXTURES AT 5'-8" OFF BOTTOM OF DOOR OPENING.
- ALL KITCHEN CABINET DIMENSIONS ARE CABINET TO CABINET.
- CABINET STYLES MAY VARY FROM INTERIOR ELEVATIONS DEPENDING ON STYLE, MANUFACTURER, ETC. FOR CABINET DETAILS SEE SHOP DRAWINGS.
- CABINET SIZES MAY VARY WITH FULL-OVERLAY CABINETS.
- GROUND FAULT INTERRUPTER (GFCI) OUTLETS TO BE INSTALLED PER NEC 2017, SECT. 210.8
- PROVIDE HOSE BIBS PER DIVISION SPEC. SHEET. EXACT LOCATION TO BE FIELD DETERMINED UNLESS OTHERWISE NOTED ON THE PLANS.
- MIN. 50 C.F.M. FOR ALL EXHAUST FANS IN BATHROOMS

INSULATION DETAILS

EXTERIOR STUD WALL CAVITY:	(2x4)	R-15
(2x6)	R-19	
FLOOR JOIST CAVITY AT STANDARD PERIMETER:		R-19
FLOOR JOIST CAVITY AT CANTILEVER:		R-19
OVER GARAGE:	(OVER HORIZONTAL SPACE)	R-38 BLOWN
(SLOPED AND VERTICAL SPACE)	R-38 BATT	

ELEVATION NOTES

- WINDOW STYLE AND MULLIONS MAY VARY FROM ELEVATION DEPENDING UPON MANUFACTURER, STYLE, PATTERN, TYPE, ETC.
- USE SECONDARY HEAT BARRIER ON ALL DIRECT VENT FIREPLACES 7" OR LESS ABOVE A WALKWAY.
- GRADE AWAY FROM FOUNDATION WALLS SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10'.
- PROVIDE TYVEK OR EQUIVALENT HOUSE WRAP BEHIND BRICK AND STONE VENEER OVER WOOD SHEATHING.
- PROVIDE BRICK WEEP HOLES AT 24" O.C. WITH BRICK VENEER AND MORTER NET BEHIND AND THROUGH WEEP HOLES.
- PROVIDE FLASHING AND WEEP HOLES ABOVE ALL BRICK ANGLE IRONS, BELOW ALL BRICK SILLS AND ABOVE SILL PLATE SEALERS.
- EXTERIOR STEPS TO HAVE A MAXIMUM 8" RISER. WHEN VERTICAL RISE EXCEEDS 30" OR FOUR OR MORE CONTINUOUS RISERS, A HANDRAIL IS REQUIRED.


ROOF PLAN NOTES

- ALL OVERHANGS TO HAVE (2) SOFFIT VENTS PER EACH 8' SOFFIT SECTION.
- PROVIDE BAFFLES AT EXTERIOR TRUSS BEARING FOR VENTILATION.
- PROVIDE 15# FELT PAPER UNDER SHINGLES.

SLAB ON GRADE:

- ALL CONCRETE SLABS ON GRADE SHALL BE THE THICKNESS AS INDICATED ON THE DETAILS OVER MINIMUM 6 MIL. POLYETHYLENE (VISQUEEN) VAPOR BARRIER. SLABS SHALL BE REINFORCED WITH 6x6 W1.4 WWF LAPPED 8" AT EDGES AND ENDS IN CONFORMANCE WITH ASTM-A 185, OR FIBERMESS REINFORCEMENT SHALL BE USED WITH A MINIMUM FIBER LENGTH OF 1 1⁄2" TO 2 1⁄4" COMPLYING WITH ASTM C 1116. THE DOSAGE AMOUNT SHALL BE 0.75 TO 3.0 POUNDS PER CUBIC YARD IN ACCORDANCE WITH MANUFA Turer's RECOMMENDATIONS.
- SLABS ON GRADE SHALL BEAR ON STRUCTURAL FILL WHICH SHALL BE CLEAN SAND FREE OF DEBRIS AND OTHER DELETERIOUS MATERIAL. STRUCTURAL FILL SHALL BE COMPACTED TO A DENSITY OF AT LEAST 95% OF THE MODIFIED PROCTOR MAXIMUMN DRY DENSITY (ASTM D1557). TERMITE PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS. IF SOIL TREATMENT IS USED, THE TREATMENT SHALL BE DONE AFTER ALL EXCAVATION, BACKFILLING, AND COMPACTION IS COMPLETED.
- FOOTINGS MAY BEAR UPON UNDISTURBED SOIL OR UPON STRUCTURAL FILL. STRUCTURAL FILL SHALL BE COMPACTED TO A DENSITY OF AT LEAST 95% OF THE MODIFIED PROCTOR MAXIMUMN DRY DENSITY (ASTM D1557) FOR A DEPTH OF AT LEAST TWO FEET (2'-0") BELOW THE BOTTOM OF THE FOOTING.
- THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT:
 - 3" CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH
 - 2" CONCRETE EXPOSED TO EARTH AND WEATHER
 - 1 1⁄2" CONCRETE NOT EXPOSED TO EARTH OR WEATHER
- SLOPE CONCRETE SLAB 4" MINIMUM TOWARDS GARAGE DOOR
- EXTERIOR FLATWORK/GARAGES SHALL HAVE A MINIMUM CONCRETE SRENGTH OF 4,500 PSI
- ASSUMED ALLOWABLE SOIL BEARING PRESSURE: 2,000 p.s.f.
- INTERIOR FLATWORK SHALL HAVE A MINIMUM CONCRETE STRENGTH OF 3,000 PSI.
- ALL STEEL IN STRUCTURAL SLABS TO BE GRADE 60. ALL HORIZONTAL STEEL IN FOUNDATION WALLS AND FOOTERS TO BE GRADE 40 STEEL.


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RESIDENCE FOR:
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742 SERENITY WALK PARKWAY
SERENITY

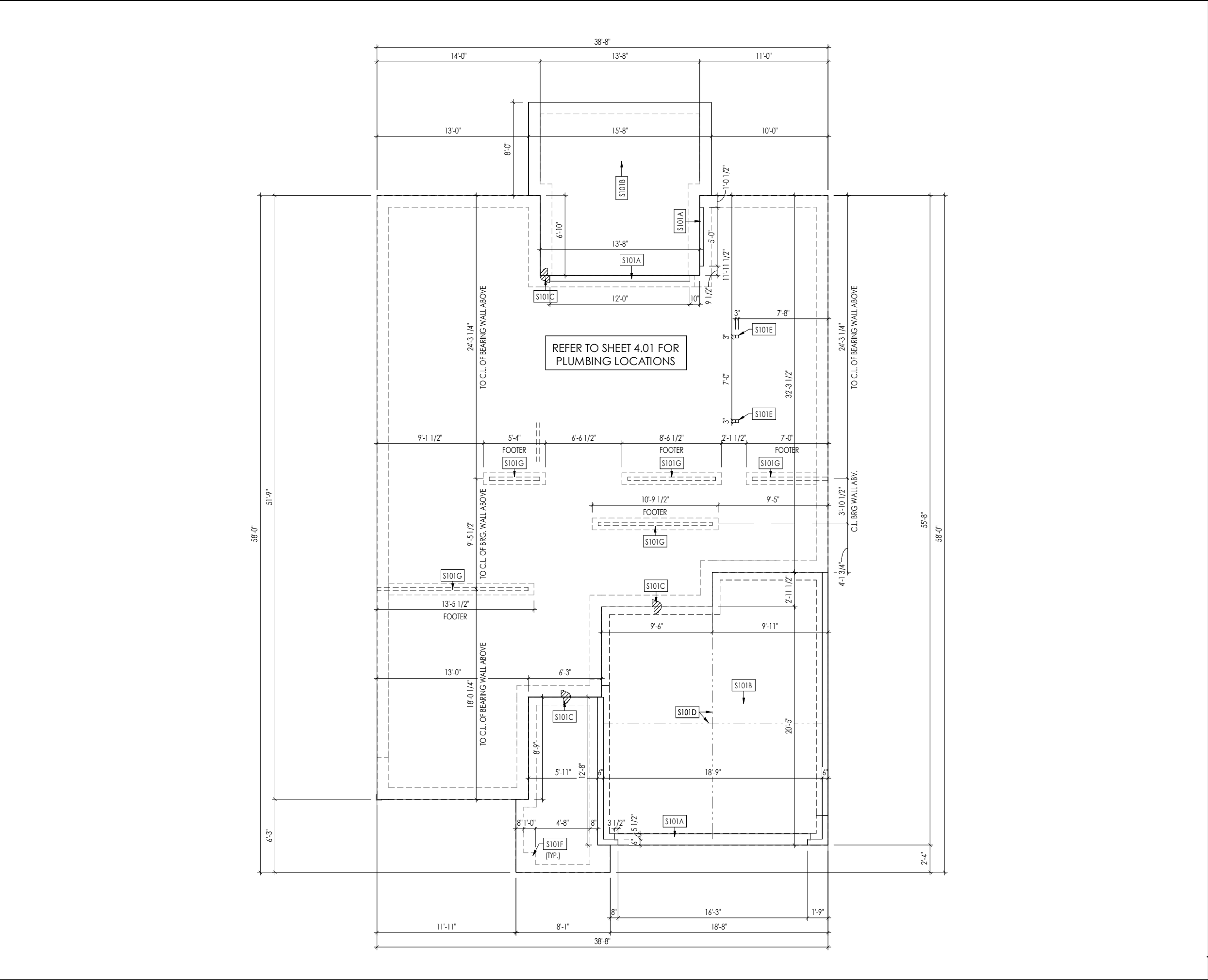
Job Number:	Drawing Date:	Coord Name:	Coord Phone:
STY5-0180-00	12/19/24	GREG P.	(859)578-4355
House Name:		Drawing Scale: 1/8" = 1'0"	Contract Drawn By:
the SHILO II			GLP
		Series:	CLASSIC
		Plan No.:	--



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Sheet Information

0N.1
General Notes
Elevation "A"



General Notes:

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.

2. ALL FOUNDATION WALLS TO BE 8" THICK UNLESS OTHERWISE NOTED.

3. REFER TO SHEET SD-1 FOR ENGINEERING NOTES. IF ARCHITECTURAL NOTES ARE IN CONFLICT, THE ENGINEERING NOTES OVERRIDE.

Key Notes:

S101A	3/4" WEATHER LIP (1-1/2" @ SLIDING GLASS DOOR)
S101B	SLOPE SLAB 1/8" PER FOOT
S101C	DROP SLAB 3-1/2"
S101D	SLAB CONTROL JOINT
S101E	PROVIDE CONDUIT FOR ELECTRIC TO KITCHEN ISLAND
S101F	PAD FOOTING UNDER PORCH COLUMN ABOVE - SEE DETAIL F/D1.3
S101G	8"x16" THICKENED PLAIN CONCRETE FOOTING UNDER BEARING WALL ABOVE

Space for Architect Seal

NORTH CAROLINA

REGISTERED

SEAL

12648

ARCHITECT

AMANDA K. SZOKE

The Drees Company

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RESIDENCE FOR:

LANE/LEE

742 SERENITY WALK PARKWAY

SERENITY

Job Number:	Drawing Date:	Coord Name:	Coord Phone:
STY5-0180-00	12/19/24	GREG P.	(859)578-4355
House Name:		Drawing Scale: 1/8" = 1'0"	Contract Drawn By:
the SHILO II			GLP
		Series:	CLASSIC
		Plan No.:	--
Born on Date:	08/23/2022	CDs Drawn By:	CLM

Drees

HOMES

SM

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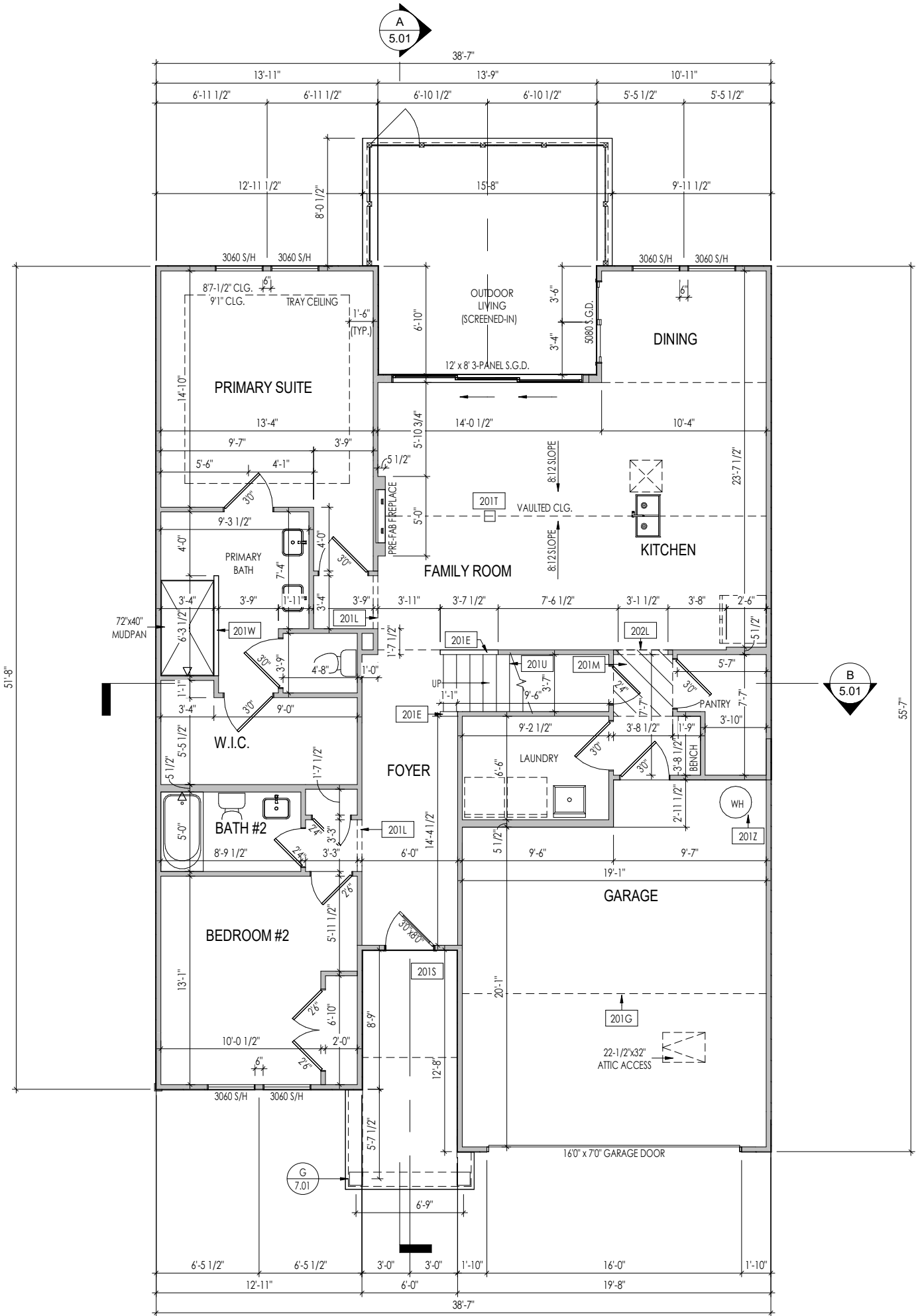
Phone: [919] 844-9288

Sheet Information

1.01

Foundation Slab

Elevation "A"



- General Notes:
1. REFER TO SHEET 0N.1 FOR GENERAL NOTES.
 2. ALL FIRST FLOOR CEILINGS TO BE 10'-1" ABOVE SUBFLOOR UNLESS OTHERWISE NOTED.
 3. FRAME TOP OF ALL WINDOWS AT 1'-10" BELOW TOP OF PLATE UNLESS OTHERWISE NOTED.
 4. ALL DROPPED, INTERIOR HEADERS (FALSE AND BEARING) ARE DROPPED 1'-3" FROM CEILING.
 5. REFER TO SELECTION SHEETS FOR FLOORING MATERIAL PRIOR TO CONSTRUCTING STAIRS TO DETERMINE RISER HEIGHTS.
 6. REFER TO SHEET 2.01S FOR STRUCTURAL INFORMATION.

Key Notes:

201E	36" HIGH WALL SLOPED WITH STAIR STRINGER
201G	OUTLINE OF SECOND FLOOR ABOVE
201L	FRAME TOP OF OPENING AT 9'-1" A.F.F.
201M	DROP CEILING TO 7'-10" A.F.F.
201S	DO NOT CENTER JOIST OVER FRONT DOOR TO ALLOW FOR CAN LIGHT INSTALLATION
201T	FRAME 7-1/4"W x 8'L DROPPED CLG. AT PEAK OF VAULT FOR ELECT. FIXTURE
201U	36" HIGH WALL UNDER STAIRS, FIELD DETERMINED
201W	36" HIGH WALL
201Z	18" HIGH WATER HEATER PLATFORM



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742 SERENITY WALK PARKWAY
SERENITY

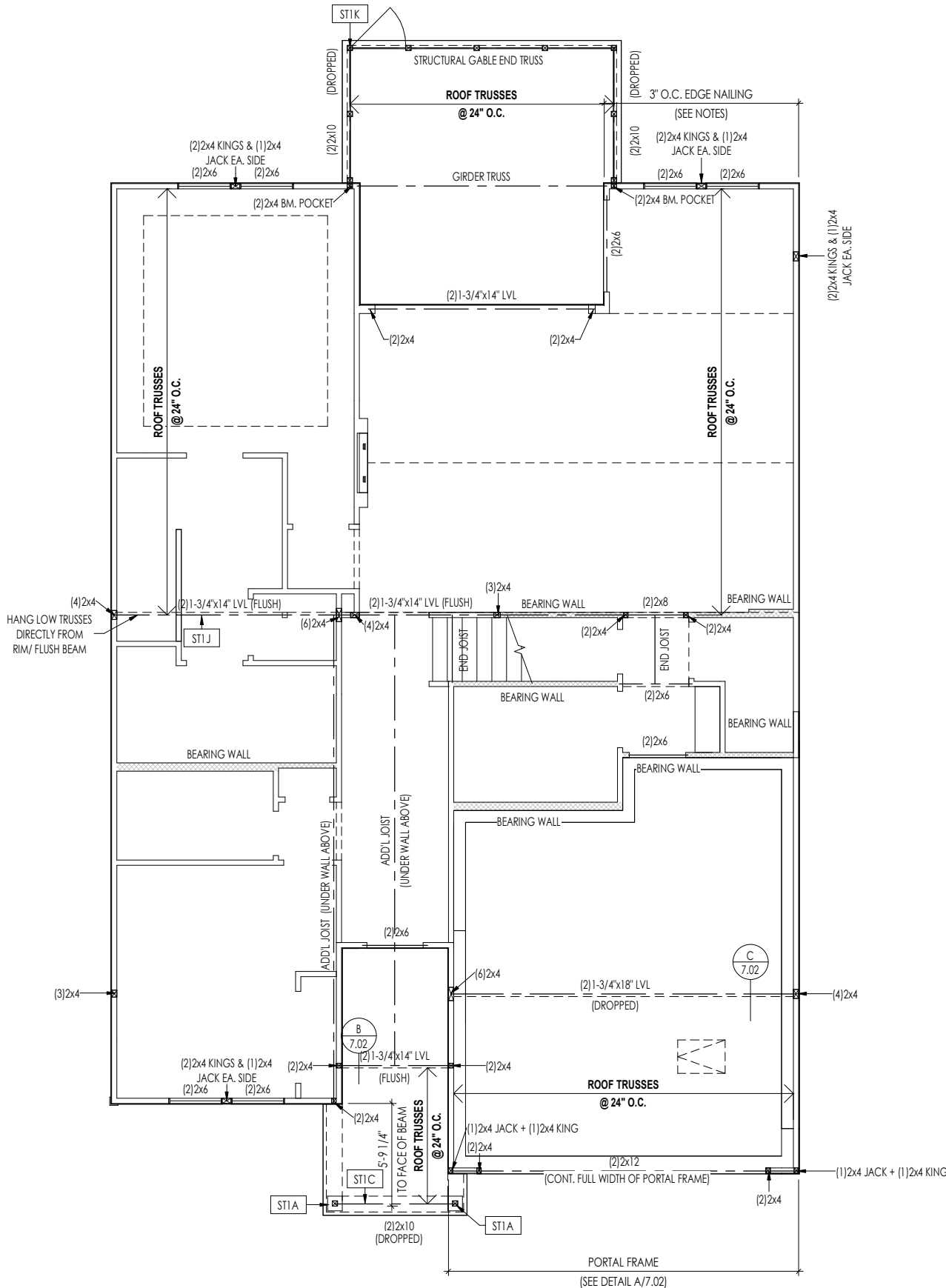
Job Number: STY5-0180-00	Drawing Date: 12/19/24	Coord Name: GREG P.	Coord Phone: (859)578-4355
House Name: the SHILO II		Drawing Scale: 1/8" = 1'-0"	
		Contract Drawn By: GLP	
		Series: CLASSIC	
Born on Date: 08/23/2022		CDs Drawn By: CLM	Plan No.: --



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Sheet Information

2.01F
First Floor Framing Plan
Elevation "A"



General Notes:

1. REFER TO SHEET SD-1 FOR ENGINEERING NOTES.

Key Notes:

ST1A	4x4 P.T. WOOD POST WITH SIMPSON ABW44Z POST BASE AND SIMPSON BCS2-2/4 CAP
ST1C	FRAME TOP OF BEAM AT 9'-1" ABOVE FIRST FLOOR SUBFLOOR/SLAB
ST1J	CONTINUE FLUSH BEAM TO ADJ. PIPE COLUMN TO ALIGN POSTS DOWN TO PEIRS
ST1K	4x4 P.T. WOOD POST WITH SIMPSON BCS2-2/4 CAP AND BASE (TYP. 2)

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Job Number: STY5-0180-00	Drawing Date: 12/19/24	Coord Name: GREG P.	Coord Phone: (859)578-4355
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the SHILO II			Contract Drawn By: GLP
			Series: CLASSIC
			Plan No.: --
Born on Date: 08/23/2022	CDs Drawn By:	CLM	

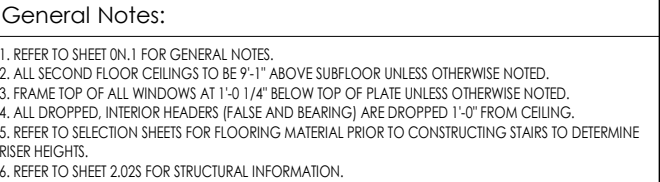


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Sheet Information

2.01S

First Floor Structural Plan
Elevation "A"



Key Notes:	
202D	36" HIGH WALL
202J	FRAME TOP OF OPENING AT 8'-1" A.F.F.
202M	FRAME TOP OF WINDOWS AT 0'-6 1/2" BELOW TOP OF PLATE
202P	SEE DETAIL F/7.01 & B/5.01 FOR STAIR FRAMING DETAILS
202V	PULL DOWN ATTIC ACCESS STAIRS (25'-1/2" x 54") WITH LIGHT AND OUTLET

Space for Architect Seal



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RESIDENCE FOR:
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742 SERENITY WALK PARKWAY
SERENITY

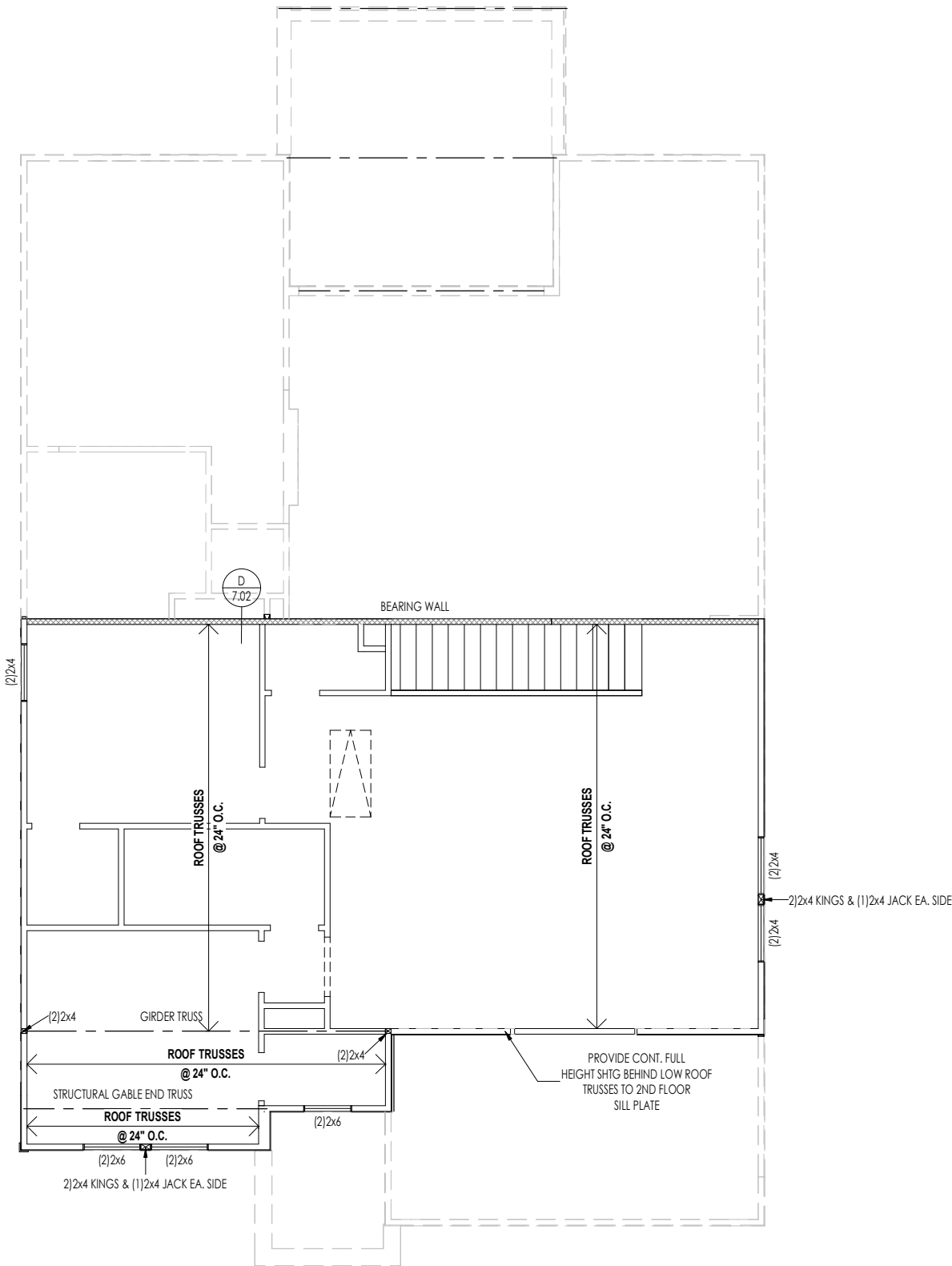
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the SHILO II			Series: CLASSIC
			Plan No.: --
Born on Date: 08/23/2022	CDs Drawn By: CLM		



Sheet Information

2.02F

Second Floor Framing Plan
Elevation "A"



LATERAL/WALL BRACING & WALL SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM:
120 MPH WIND IN 2018 NCSBC MAP
(120 MPH WIND SPEED IN ASCE 7-10 WIND MAP, PER IRC R301.2.1.1)
EXP. B & SEISMIC CAT. A/B.

EXT. WALL SHEATHING SPECIFICATION

- 7/16" OSB OR 15/32" PLYWOOD:
FASTEN SHEATHING w/ 2-3/8"x 0.113 NAILS @ 6" O.C. AT EDGES & @ 12" O.C. IN THE PANEL FIELD. (TYP, U.N.O.)
- ALL SHEATHING PANELS SHALL BE ORIENTED AND INSTALLED FULL HEIGHT OF SHEAR WALL OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES & EDGE FASTENING.
- ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED AND ARE CONSIDERED SHEAR WALLS.
- ALT. STAPLE CONNECTION SPEC: 1 3/4" 16 GA STAPLES (1/8" CROWN) @ 3" O.C. AT EDGES & @ 6" O.C IN FIELD.

3" O.C. EDGE NAILING

- AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING w/ 2-3/8"x 0.113 NAILS @ 3" O.C. NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC. ALL SHEATHING PANELS SHALL BE ORIENTED AND INSTALLED FULL HEIGHT OF SHEAR WALL OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. EDGE FASTENING.

NOTES

- SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING. IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN, IT WILL BE SPECIFICALLY NOTED ON PLAN.
- DESIGN ASSUMES 16" O.C. MAX. STUD SPACING, U.N.O.
- ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.
- PRE-MANUFACTURED PANELIZED WALLS:
FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED w/ OSB OR PLYWOOD w/ 10d NAILS @ 4" O.C. (THRU ONE SIDE ONLY)

- INDICATES EXTENT OF INT. OSB SHEARWALL, AND/OR 3" O.C. EDGE NAILING
- ▶ INDICATES HOLDOWN
- * INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

MAX STND. - SEPT. 2018

General Notes:

1. REFER TO SHEET SD-1 FOR ENGINEERING NOTES.

Key Notes:

Space for Architect Seal



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RESIDENCE FOR:
LANE/LEE
742 SERENITY WALK PARKWAY
SERENITY

Job Number: STY5-0180-00	Drawing Date: 12/19/24	Coord Name: GREG P.	Coord Phone: (859)578-4355
House Name:		Drawing Scale: 1/8" = 1'0"	
the SHILO II			Contract Drawn By: GLP
			Series: CLASSIC
Born on Date: 08/23/2022			Plan No.: --
CDs Drawn By: CLM			

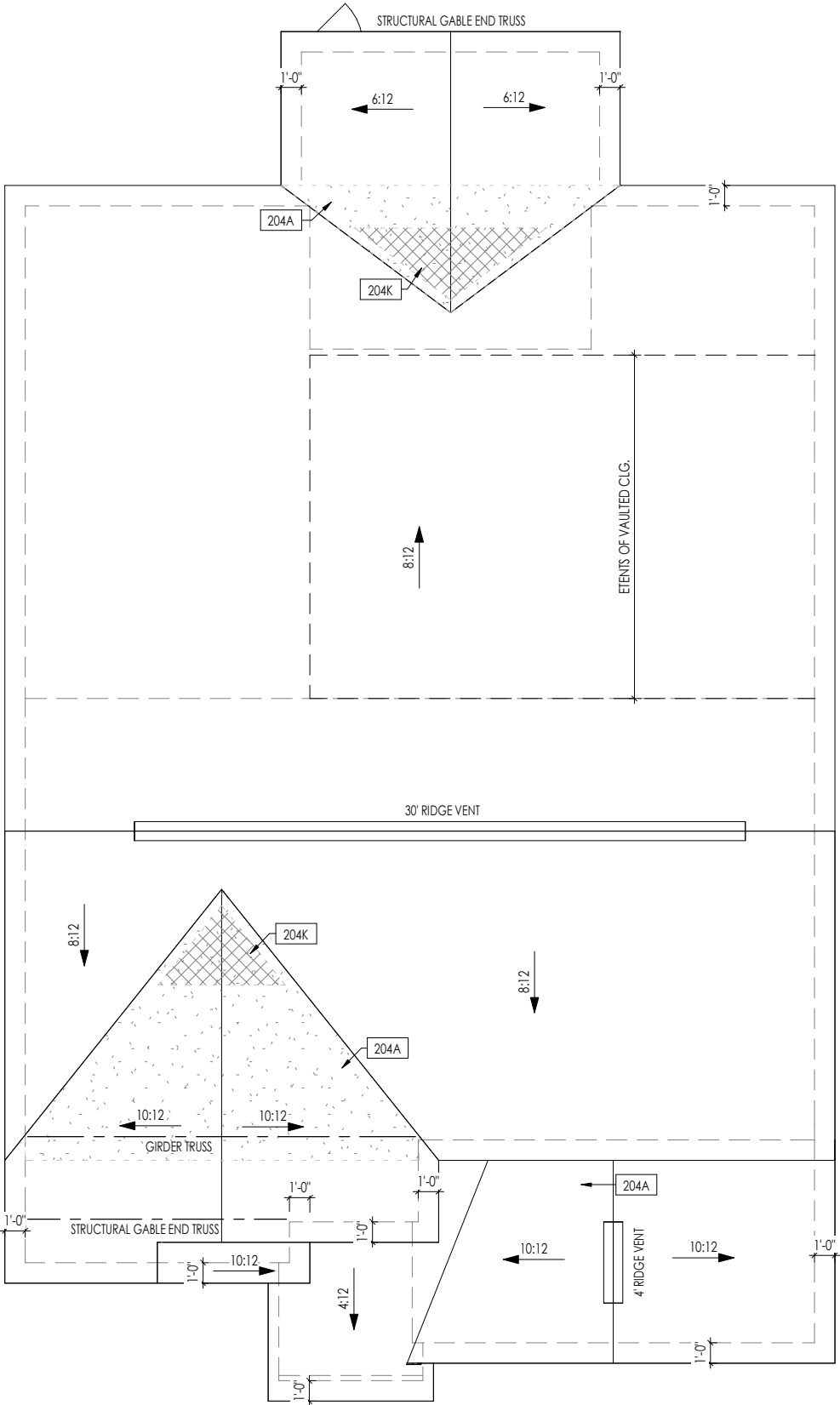


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Sheet Information

2.02S
Second Floor Structural Plan
Elevation "A"

ROOF VENTILATION		
CITY/SERIES:	RALEIGH	
	MAIN HOUSE	GARAGE
TOTAL ATTIC AREA:	2,174	208
REQUIRED NET FREE VENTILATION (ATTIC AREA/300):	7.25	0.69
ACTUAL NET FREE VENTILATION (UPPER + LOWER):	7.35	1.03
DOWNSPOUT CALCULATION		
	MAIN HOUSE	GARAGE
TOTAL DRAINABLE ROOF AREA:	2826.2	270.4
MINIMUM # OF DOWNSPOUTS:	5	1



HEEL CUT STANDARDS			
		OVERHANG	
		1'-0"	2'-0"
ROOF PITCH	4:12	3-3/4"	7-3/4"
	5:12	4-3/4"	9-3/4"
	6:12	5-3/4"	11-3/4"
	7:12	6-3/4"	13-3/4"
	8:12	7-3/4"	N/A
	9:12	8-3/4"	N/A
	10:12	9-3/4"	N/A
	12:12	11-3/4"	N/A
	14:12	13-3/4"	N/A

General Notes:

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.

Key Notes:

204A	VALLEY TRUSS OVER FRAMING @ 24" O.C.
204K	NO ROOF DECKING UNDER OVERFRAMING IN THIS AREA TO ALLOW FOR PROPER ATTIC VENTILATION

CONNECTION SPECIFICATIONS (TYP. U.N.O.)

NOTE: 10d NAIL = 3" x 0.131" GUN NAIL	
JOIST TO SOLE PLATE	(3)10d TOENAILS
SOLE PLATE TO JOIST/BLK'G.	10d NAILS @ 6" o.c.
STUD TO SOLE PLATE	(3)10d TOENAILS
TOP OR SOLE PLATE TO STUD	(3)10d NAILS
RIM TO TOP PLATE	10d TOENAILS @ 6" o.c.
BLK'G. BTWN. JOISTS TO TOP PL.	(3)10d TOENAILS
RAFTER/TRUSS TO TOP PLATE	(3)10d TOENAILS + (1) SIMPSON H2.5A
GAB. END TRUSS TO DBL. TOP PL.	10d TOENAILS @ 8" o.c.
R.T. w/ HEEL HT. 9 1/4" TO 12"	2x10 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ 10d TOENAILS @ 6" O.C.
R.T. w/ HEEL HT. 12" TO 16"	2x12 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ 10d TOENAILS @ 6" O.C.
R.T. w/ HEEL HT. UP TO 24"	LAP WALL SHTG. w/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN w/ 8d NAILS @ 6" O.C.
R.T. w/ HEEL HT. 24" TO 48"	LAP WALL SHTG. w/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN w/ 8d NAILS @ 6" O.C. PROVIDE 2x BLK @ EA. BAY AT TOP OF HEEL
DOUBLE STUD	10d NAILS @ 24" o.c.
DOUBLE TOP PLATE	10d NAILS @ 24" o.c.
DOUBLE TOP PLATE LAP SPLICE	(10)10d NAILS IN LAPPED AREA
TOP PLATE LAP @ CORNERS & INTERSECTING WALLS	(2)10d NAILS
WALL TO FOUNDATION	WALL SHTG. LAP w/ SILL PL. & FASTENED PER SHEAR WALL FASTENING SPEC.



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RESIDENCE FOR:
LANE/LEE
742 SERENITY WALK PARKWAY
SERENITY

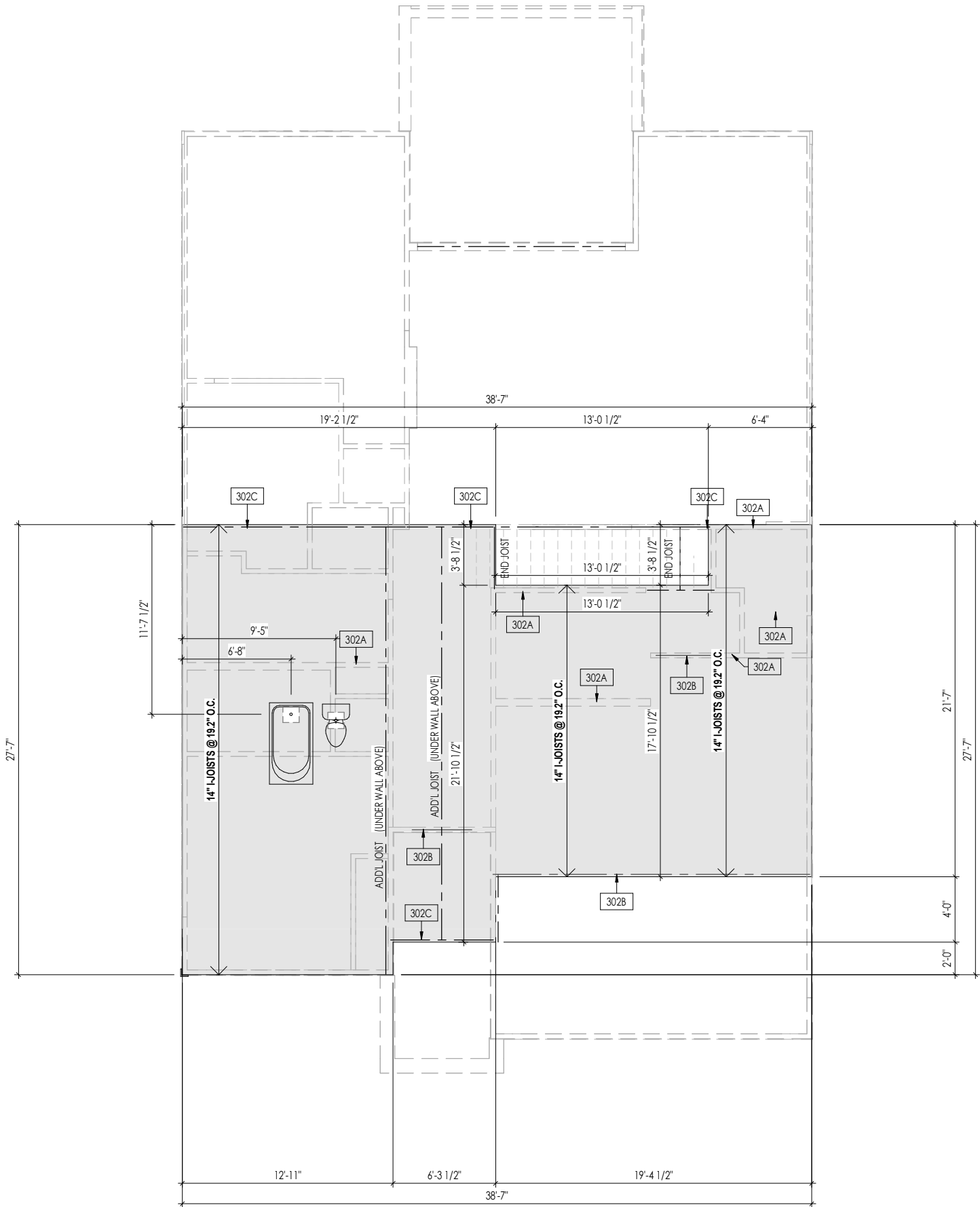
Job Number: STY5-0180-00	Drawing Date: 12/19/24	Coord Name: GREG P.	Coord Phone: (859)578-4355
House Name: the SHILO II			Contract Drawn By: GLP
Born on Date: 08/23/2022			Series: CLASSIC
CDs Drawn By: CLM			Plan No.: --



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Sheet Information

2.04
Roof Plan
Elevation "A"



General Notes:

1. REFER TO SHEET 0N.1 FOR GENERAL NOTES.
2. FLOOR JOISTS TO BE 14" TJI 210 SERIES I-JOISTS, OR EQUAL, @ 19.2" O.C., UNLESS OTHERWISE NOTED.
3. JOISTS ARE NOT TO BE PLACE DIRECTLY OVER INTERIOR PARALLEL WALL.
(TO PREVENT UNEVEN FLOOR DEFLECTION FROM OCCURRING)
4. ADD'L JOISTS MAY BE LOCATED UP TO 2" AWAY FROM THE PARTITION WALL ABOVE IN CASES WHERE MECHANICAL PENETRATIONS

Key Notes:

302A	BEARING WALL BELOW
302B	BEAM BELOW - SEE SHEET 2.01S FOR MORE INFO
302C	FLUSH BEAM - SEE SHEET 2.01S FOR MORE INFO

Space for Architect Seal

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RESIDENCE FOR:

LANE/LEE

742 SERENITY WALK PARKWAY

SERENITY

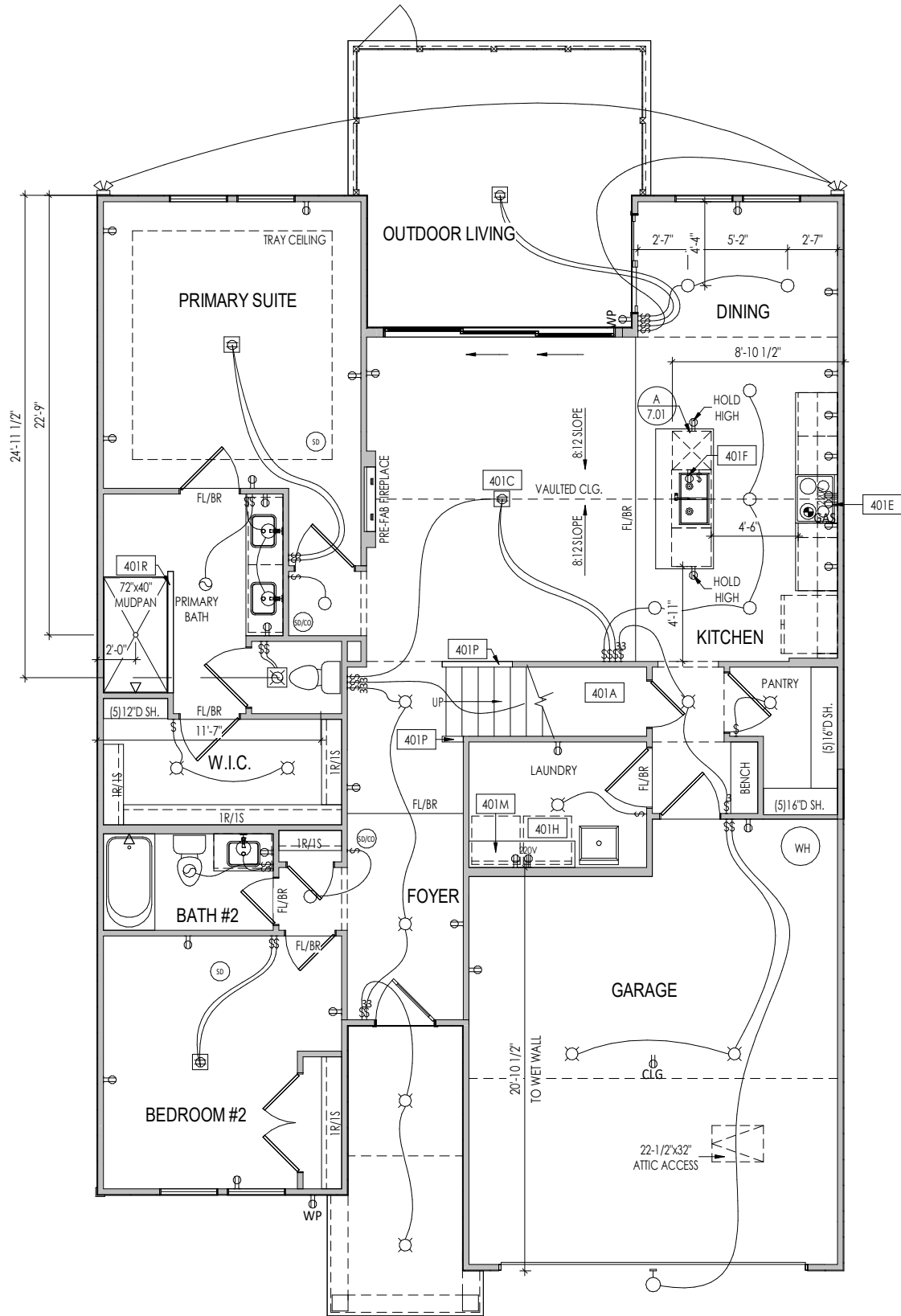
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House Name: the SHILO II			Contract Drawn By: GLP
Born on Date: 08/23/2022			CDs Drawn By: CLM

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Sheet Information

3.02

Second Floor Subfloor Plan
Elevation "A"



General Notes:	
1. REFER TO SHEET ON.1 FOR GENERAL NOTES.	
Key Notes:	
401A	TO SWITCH OR LIGHT ABOVE
401C	BOX FOR ELECTRICAL FIXTURE - SEE SHEET 2.01F FOR FRAMING INFORMATION
401E	OUTLET FOR RANGE HOOD/MICROWAVE HELD HIGH
401F	OUTLET FOR DISHWASHER LOCATED IN SINK CABINET
401H	LOCATE WASHER TO LEFT OF DRYER
401M	16" DEEP x 5'-6" LONG SHELF HELD AT 5'-7" A.F.F.
401P	HALF WALL W/ WOOD CAP
401R	LOCATE SHOWER CONTROLS HERE

MECHANICAL LEGEND		
◀ PHONE JACK	⊗ CLG. MOUNTED LIGHT FIXT.	■ STAIR LIGHT
⊖ WALL OUTLET	○ SURFACE MOUNT DISC LIGHT OR RECESSED CEILING LIGHT, PER SPECS.	+ HOSE BIB
⊖ WEATHERPROOF GFCI OUTLET	○ WALL MOUNTED LIGHT FIXT.	△ SHOWER HEAD
⊖ 220 VOLT OUTLET	⊕ DOUBLE SPOTLIGHT FIXT.	⊕ GAS GAS HOOK UP
⊖ GFCI OUTLET	⊕ DIRECTIONAL CAN LIGHT	⊕ FLOOR DRAIN
⊖ FLOOR OUTLET	⊕ PIN LIGHT	⊕ SMOKE DETECTOR
⊖ CABLE TELEVISION JACK	⊕ WALL SCONCE @ 5'-6" A.F.F.	⊕ CO DETECTOR
↔ SINGLE POLE SWITCH	⊕ FLUORESCENT LIGHT	⊕ SMOKE DETECTOR/ CO DETECTOR COMBINATION
↔ 3-WAY SWITCH	⊕ UNDER CABINET LIGHTING	⊕ EXHAUST FAN AND LIGHT COMBINATION
↔ 4-WAY SWITCH		⊕ CLG. MTD. EXHAUST FAN
⊕ BLOCK, MOUNT, & SWITCH FOR FUTURE FAN/LIGHT COMBINATION (CENTER, UNLESS OTHERWISE NOTED)		



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Job Number: STY5-0180-00	Drawing Date: 12/19/24	Coord Name: GREG P.	Coord Phone: (859)578-4355
House Name: the SHILO II			Contract Drawn By: GLP
			Series: CLASSIC
Born on Date: 08/23/2022			Plan No.: --
CDs Drawn By: CLM			

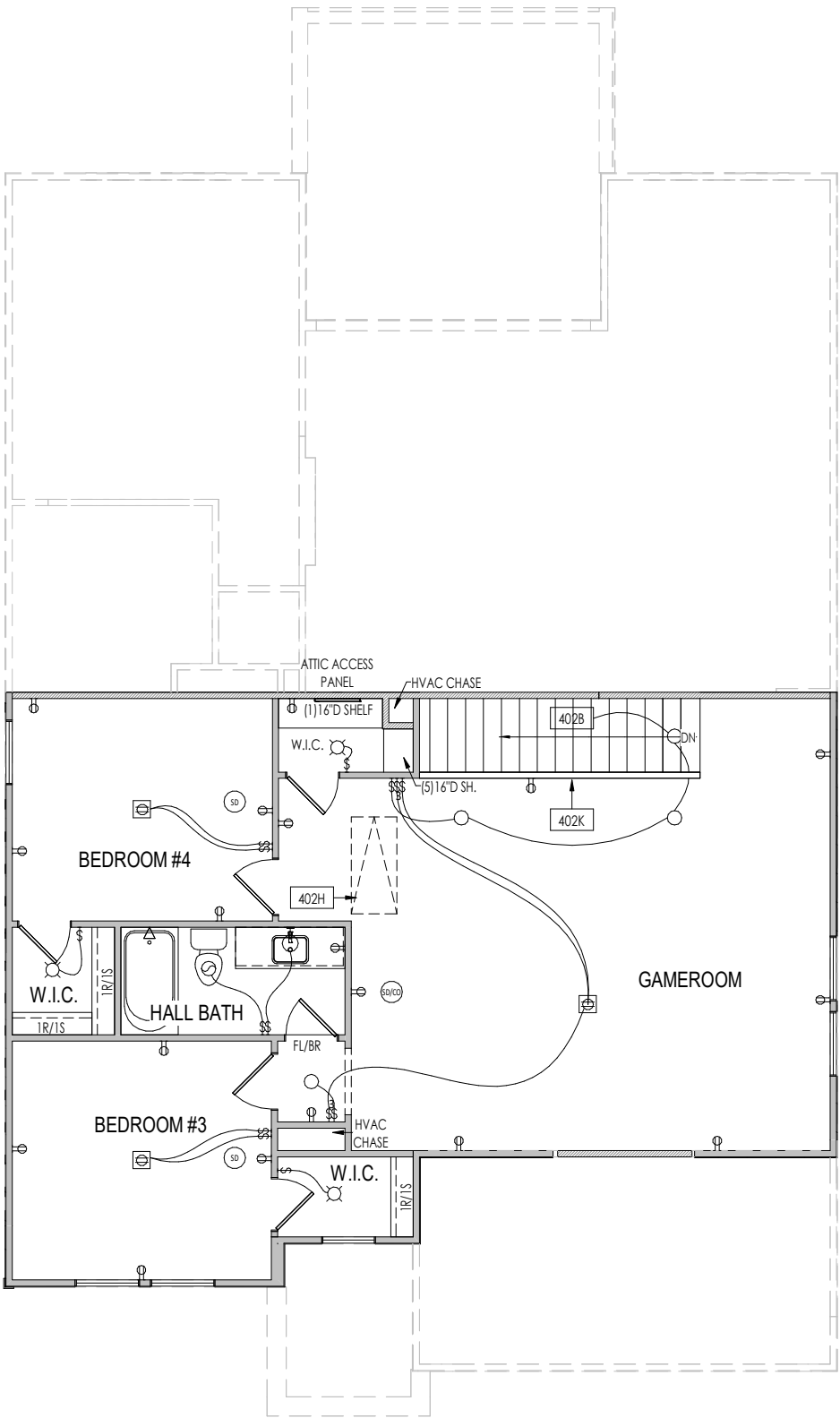


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Sheet Information

4.01

First Floor Mechanical Plan
Elevation "A"



General Notes:

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.

Key Notes:

402B

TO SWITCH OR LIGHT BELOW

402H

PULL DOWN ATTIC ACCESS STAIRS W/ LIGHT AND OUTLET

402K

HALF WALL WITH WOOD CAP

MECHANICAL LEGEND

◀

PHONE JACK

⊖

WALL OUTLET

⊖

WEATHERPROOF GFCI OUTLET

⊖

220 VOLT OUTLET

⊖

GFCI OUTLET

⊖

FLOOR OUTLET

⊖

CABLE TELEVISION JACK

↔

SINGLE POLE SWITCH

↔

3-WAY SWITCH

↔

4-WAY SWITCH

⊖

BLOCK, MOUNT, & SWITCH FOR FUTURE FAN/LIGHT COMBINATION (CENTER, UNLESS OTHERWISE NOTED)

⊖

CLG. MOUNTED LIGHT FIXT.

○

SURFACE MOUNT DISC LIGHT OR RECESSED CEILING LIGHT, PER SPECS.

○

WALL MOUNTED LIGHT FIXT.

⊖

DOUBLE SPOTLIGHT FIXT.

⊖

DIRECTIONAL CAN LIGHT

⊖

PIN LIGHT

⊖

WALL SCONCE @ 5'-6" A.F.F.

⊖

FLUORESCENT LIGHT

⊖

UNDER CABINET LIGHTING

⊖

STAIR LIGHT

+

HOSE BIB

⊖

SHOWER HEAD

⊖

GAS GAS HOOK UP

⊖

FLOOR DRAIN

⊖

SMOKE DETECTOR

⊖

CO DETECTOR

⊖

SMOKE DETECTOR/ CO DETECTOR COMBINATION

⊖

EXHAUST FAN AND LIGHT COMBINATION

⊖

CLG. MTD. EXHAUST FAN



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RESIDENCE FOR:
LANE/LEE
742 SERENITY WALK PARKWAY
SERENITY

Job Number: STY5-0180-00	Drawing Date: 12/19/24	Coord Name: GREG P.	Coord Phone: (859)578-4355
House Name: the SHILO II			Contract Drawn By: GLP
			Series: CLASSIC
Born on Date: 08/23/2022			Plan No.: --
CDs Drawn By: CLM			

Drees

HOMES

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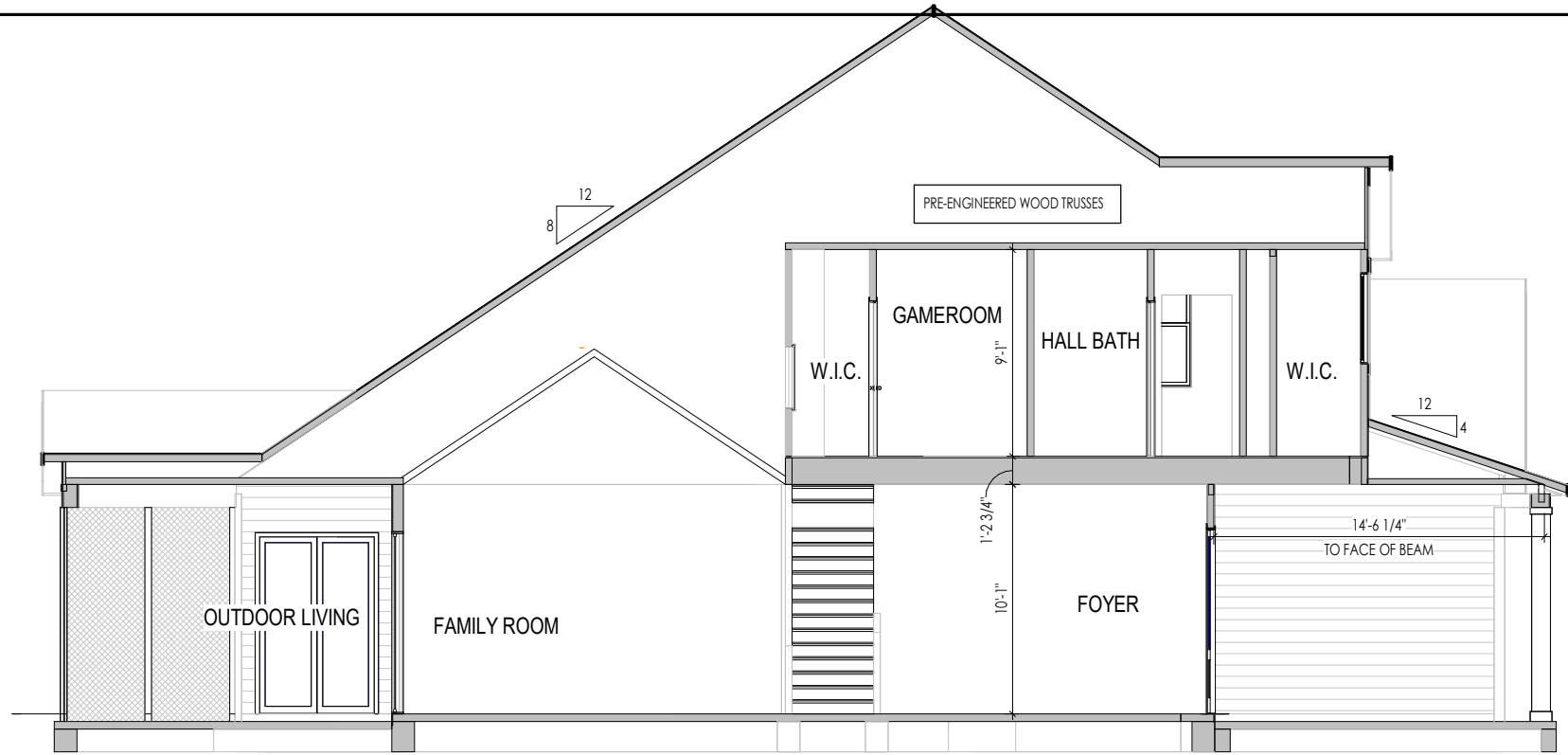
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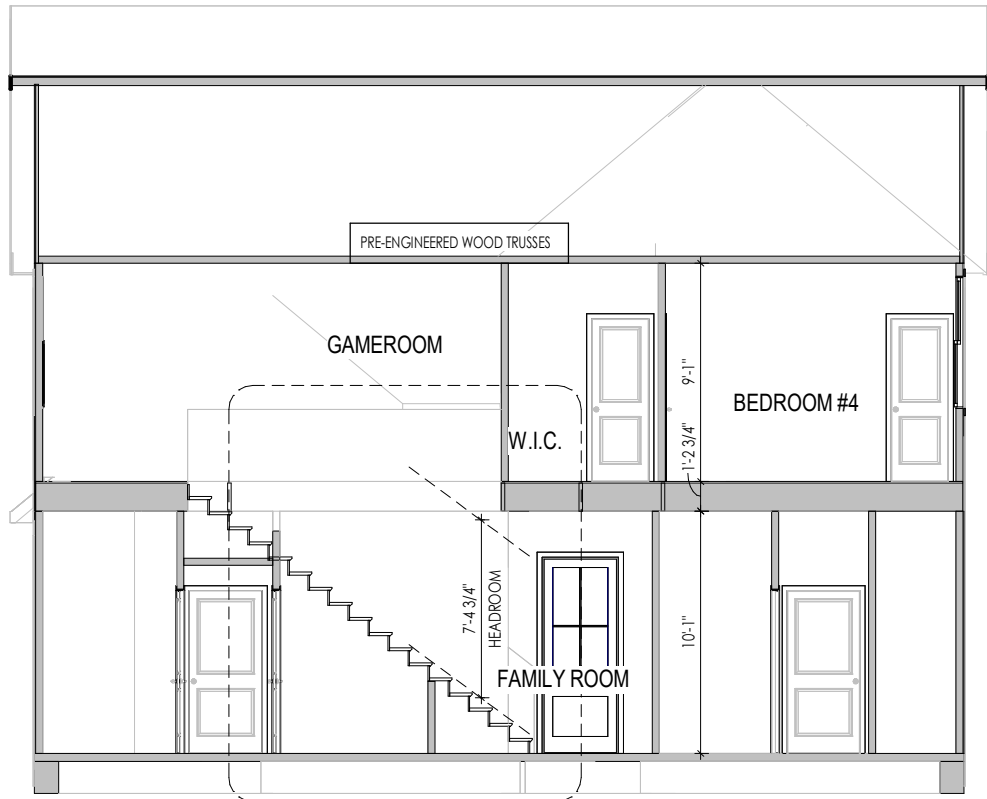
Sheet Information

4.02

Second Floor Mechanical Plan
Elevation "A"



A
5.01
BUILDING SECTION THRU FOYER
1/8" = 1'-0"



B
5.01
BUILDING SECTION THRU STAIRS
1/8" = 1'-0"

General Notes:

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.

Key Notes:

Space for Architect Seal



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RESIDENCE FOR:
LANE/LEE
742 SERENITY WALK PARKWAY
SERENITY

Job Number: STY5-0180-00	Drawing Date: 12/19/24	Coord Name: GREG P.	Coord Phone: (859)578-4355
------------------------------------	----------------------------------	-------------------------------	--------------------------------------

House Name:	Drawing Scale: 1/8" = 1'-0"	Contract Drawn By: GLP
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the SHILO II	Series: CLASSIC
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Born on Date: 08/23/2022	CDs Drawn By: CLM	Plan No.: --
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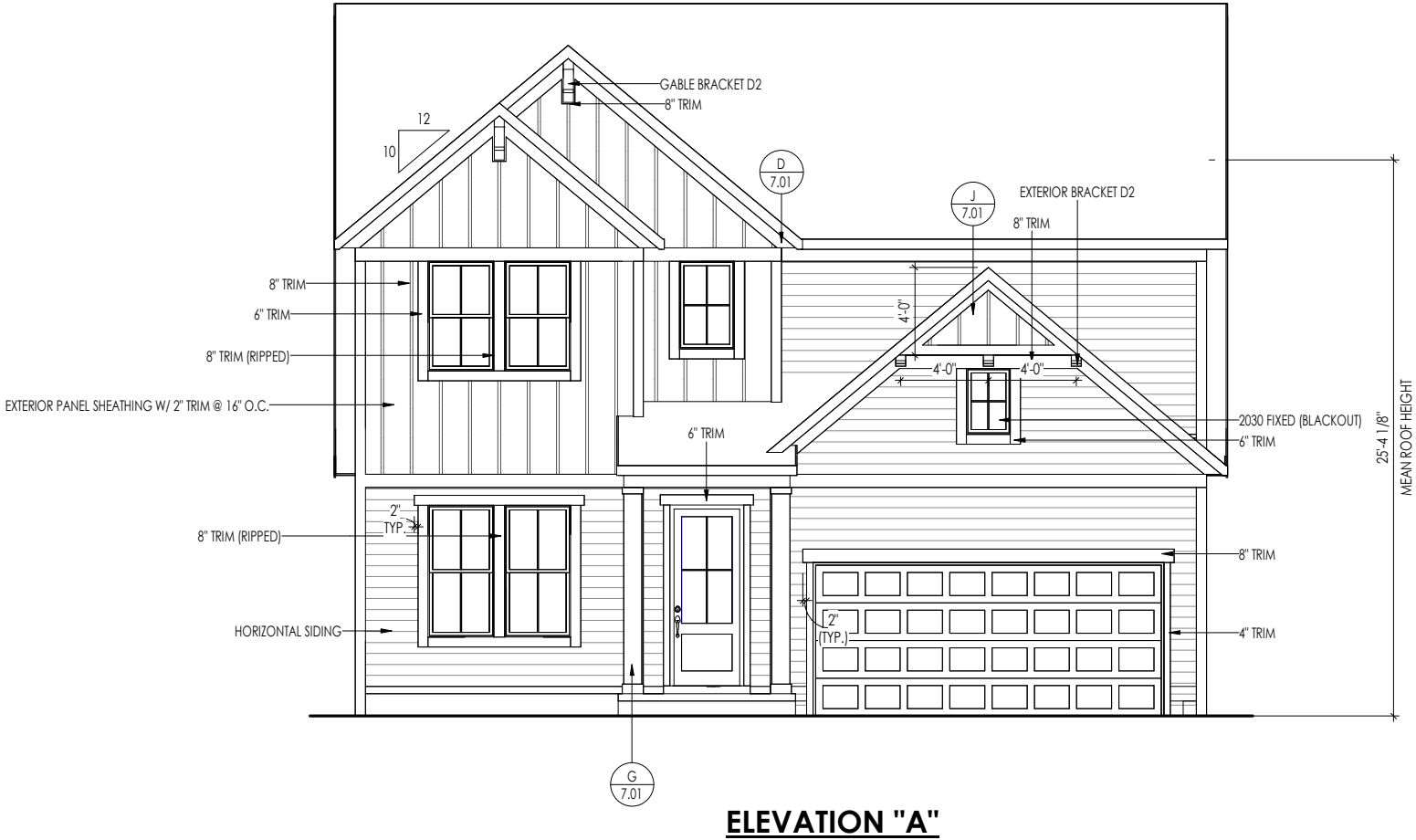


Sheet Information

5.01
Building Section
Elevation "A"

TYPICAL TRIM:
6" FASCIA (ALL SIDES)
8" FRIEZE (FRONT ONLY, UNLESS OTHERWISE NOTED)

- General Notes:
1. REFER TO SHEET ON.1 FOR GENERAL NOTES.
 2. ROOFING MATERIAL PER SELECTIONS.
 3. REFER TO SHEET SD-1 FOR LINTEL SCHEDULE, AS NEEDED.
 4. CONTACT M&K ENGINEERING FOR HEADER SIZE/BRICK SUPPORT IF GRADE DROPS AND THE AMOUNT OF BRICK OVER GARAGE DOOR SHOWN ON CURRENT ELEVATION IS NO LONGER ACCURATE
- Key Notes:



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RESIDENCE FOR:
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742 SERENITY WALK PARKWAY
SERENITY

Job Number: STY5-0180-00	Drawing Date: 12/19/24	Coord Name: GREG P.	Coord Phone: (859)578-4355
House Name:			Contract Drawn By: GLP
the SHILO II			Series: CLASSIC
			Plan No.: --
Born on Date: 08/23/2022	CDs Drawn By:	CLM	--

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Sheet Information

6.01
Front Elevation
Elevation "A"



TYPICAL TRIM:

6" FASCIA
(ALL SIDES)

8" FRIEZE
(FRONT ONLY, UNLESS OTHERWISE NOTED)

General Notes:

1. REFER TO SHEET ON-1 FOR GENERAL NOTES.
2. ROOFING MATERIAL PER SELECTIONS.
3. REFER TO SHEET SD-1 FOR LINTEL SCHEDULE, AS NEEDED.

Key Notes:

Space for Architect Seal



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SERENITY

Job Number: STY5-0180-00	Drawing Date: 12/19/24	Coord Name: GREG P.	Coord Phone: (859)578-4355
------------------------------------	----------------------------------	-------------------------------	--------------------------------------

House Name:	Drawing Scale: 1/8" = 1'0"	Contract Drawn By: GLP
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the SHILO II	Series: CLASSIC
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Born on Date: 08/23/2022	CDs Drawn By: CLM	Plan No.: --
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Sheet Information

6.02
Garage Side Elevation
Elevation "A"

TYPICAL TRIM:
6" FASCIA (ALL SIDES)
8" FRIEZE (FRONT ONLY, UNLESS OTHERWISE NOTED)



General Notes:

1. REFER TO SHEET ON-1 FOR GENERAL NOTES.
2. ROOFING MATERIAL PER SELECTIONS.
3. REFER TO SHEET SD-1 FOR LINTEL SCHEDULE, AS NEEDED.

Key Notes:

Space for Architect Seal



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742 SERENITY WALK PARKWAY
SERENITY

Job Number: STY5-0180-00	Drawing Date: 12/19/24	Coord Name: GREG P.	Coord Phone: (859)578-4355
House Name:			Contract Drawn By: GLP
the SHILO II			Series: CLASSIC
			Plan No.: --
Born on Date: 08/23/2022	CDs Drawn By: CLM		



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Sheet Information

6.03
Rear Elevation
Elevation "A"



TYPICAL TRIM:

6" FASCIA
(ALL SIDES)

8" FRIEZE
(FRONT ONLY, UNLESS OTHERWISE NOTED)

General Notes:

1. REFER TO SHEET ON-1 FOR GENERAL NOTES.
2. ROOFING MATERIAL PER SELECTIONS.
3. REFER TO SHEET SD-1 FOR LINTEL SCHEDULE, AS NEEDED.

Key Notes:

Space for Architect Seal



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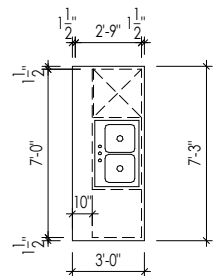
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742 SERENITY WALK PARKWAY
SERENITY

Job Number: STY5-0180-00	Drawing Date: 12/19/24	Coord Name: GREG P.	Coord Phone: (859)578-4355
House Name:			Contract Drawn By: GLP
the SHILO II			Series: CLASSIC
			Plan No.: --
Born on Date: 08/23/2022	CDs Drawn By:	CLM	--

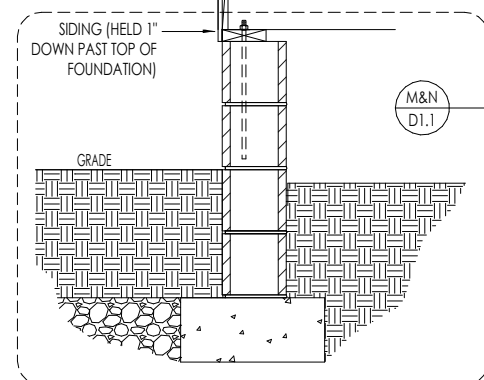
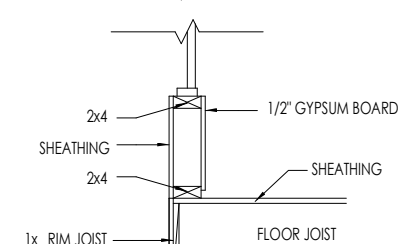
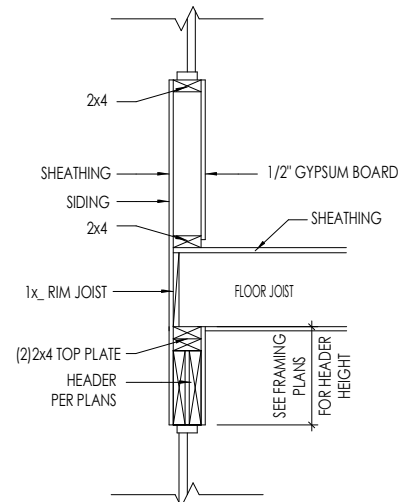
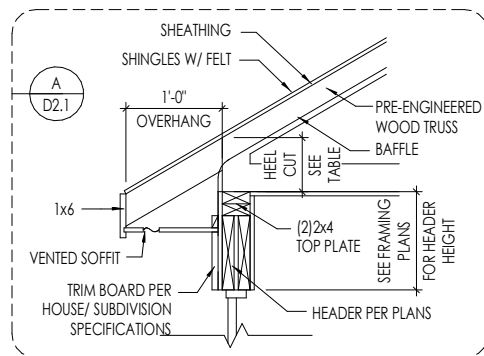


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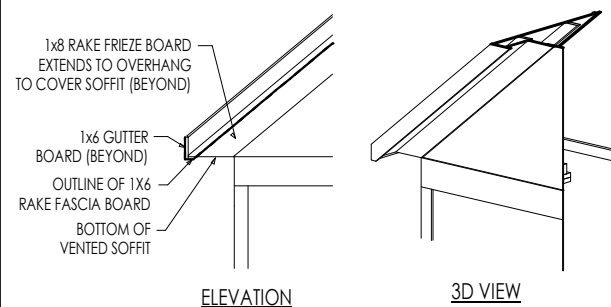
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Side Elevation
Elevation "A"



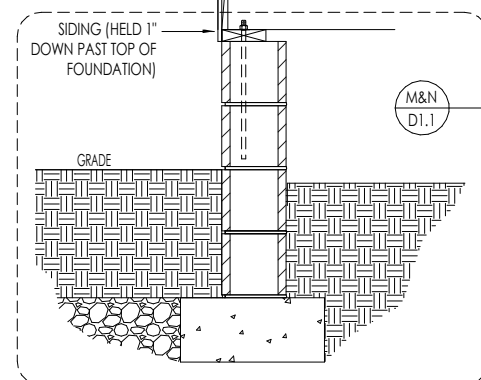
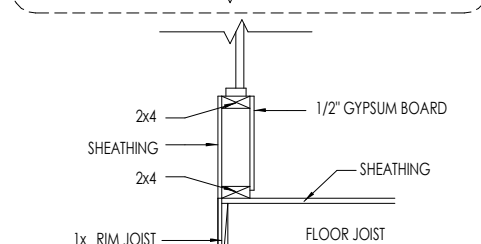
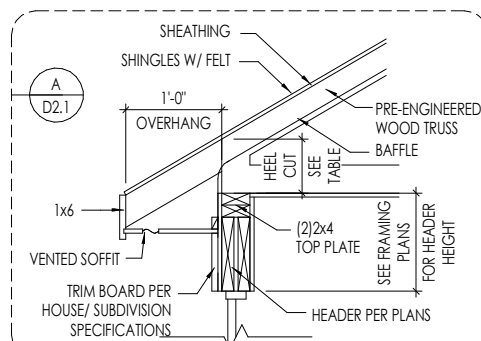
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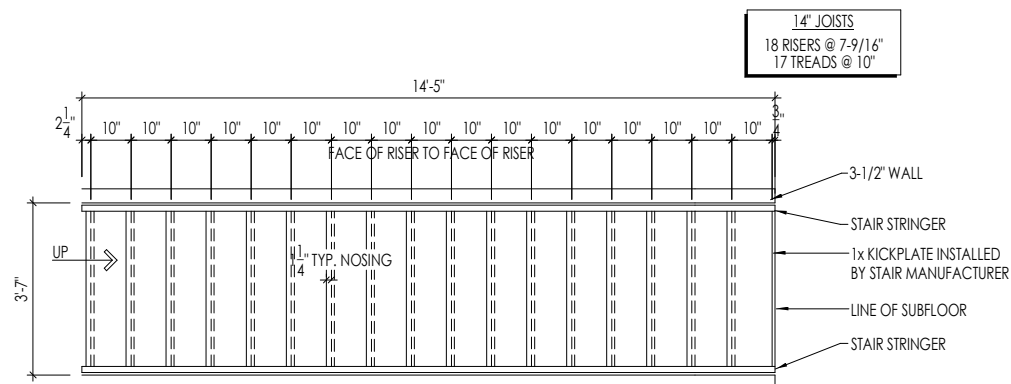
TYPICAL WALL SECTIONS



RAFTER TAIL DETAIL

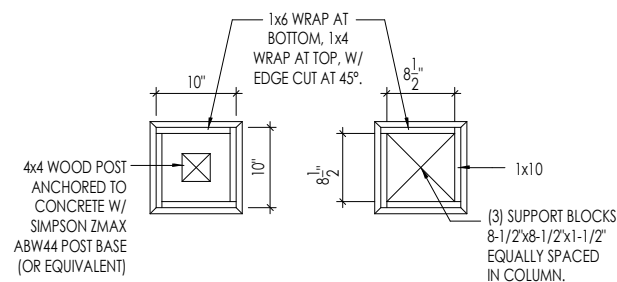
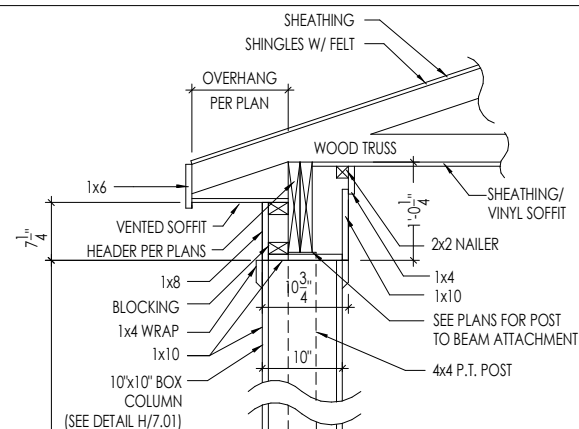


TYPICAL WALL SECTIONS

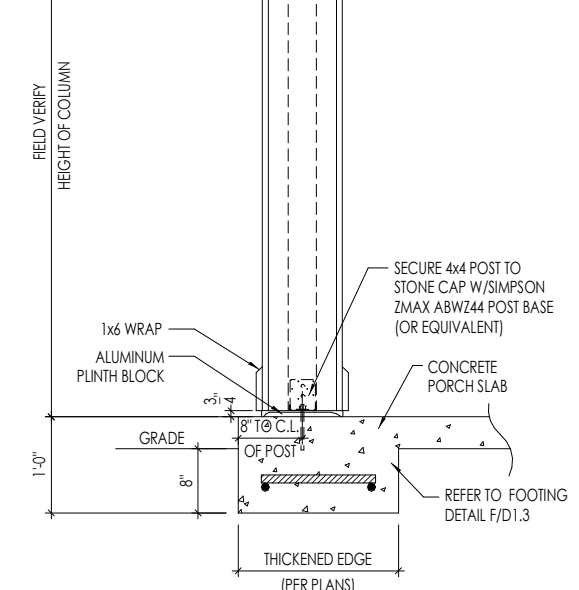


STAIR FRAMING DETAILS

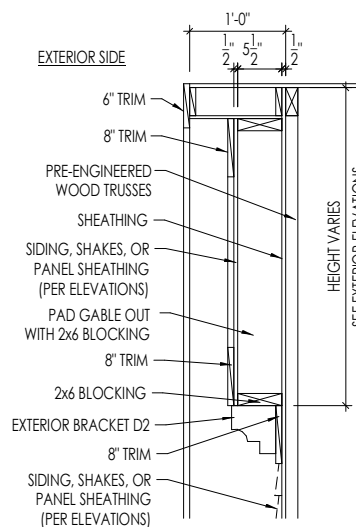
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10" BOX COLUMN DETAIL



FRONT PORCH COLUMN



GABLE PAD-OUT DETAIL

Space for Architect Seal



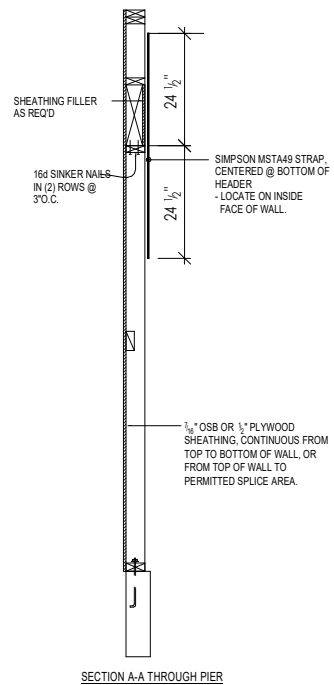
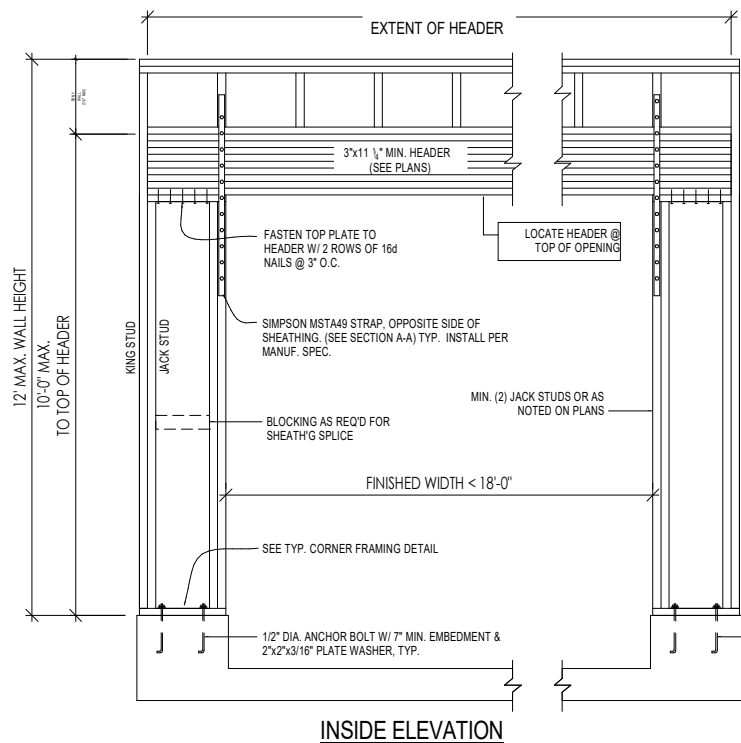
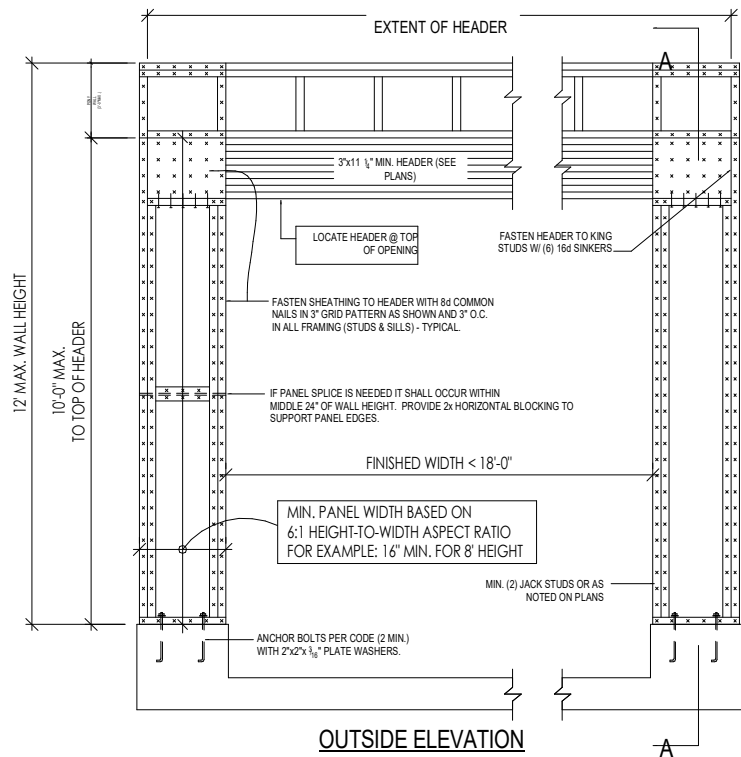
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742 SERENITY WALK PARKWAY
SERENITY

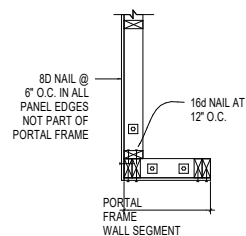
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House Name: the SHILO II		Drawing Scale: 1/8" = 1'0"	Contract Drawn By: GLP
			Series: CLASSIC
Born on Date: 08/23/2022		CDs Drawn By: CLM	Plan No.: --

[illegible]

7.01
House Specific Data
Elevation "A"

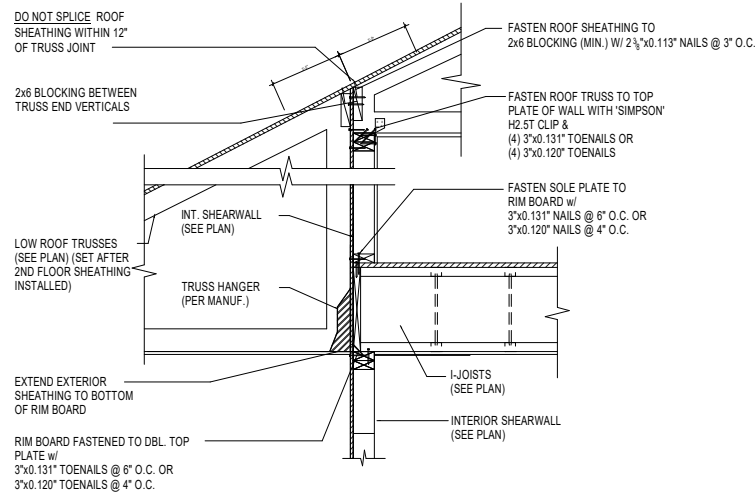


NOTE: ALL SHEATHABLE AREAS OF EXTERIOR WALL SHALL BE FULLY SHEATHED WITH 1/2" PLYWOOD OR 1/2" OSB



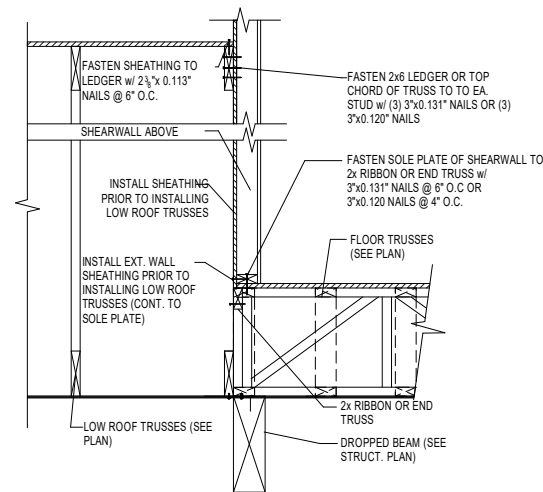
ALTERNATIVES TO 1/2" DIA. ANCHOR BOLT:
1) 1/2" DIA. x 12" LONG SIMPSON TITEN HD
2) 1/2" DIA. THREADED ROD EPOXY SET ANCHORING SYSTEM (OR EQUAL)

1/2" EMBED. (MIN) UTILIZING HILTI HY150



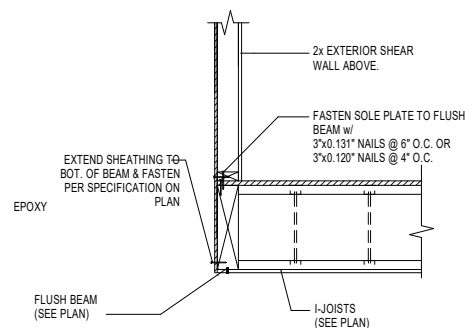
TYP. SHEAR TRANSFER
DETAIL @ EXT. SHEAR WALL

D
7.02
NOT TO SCALE



TYP. SHEAR TRANSFER
DETAIL @ EXT. SHEAR WALL

C
7.02
NOT TO SCALE



TYP. SHEAR TRANSFER
DETAIL @ EXT. WALL ABOVE
FLUSH BEAM

B
7.02
NOT TO SCALE

A
7.02
GARAGE PORTAL FRAME BRACING ELEVATION
NOT TO SCALE

BOTH SIDES OF GARAGE DOOR

Space for Architect Seal



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01/02/2025 10:31:35 AM

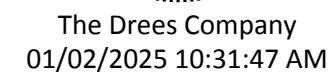
RESIDENCE FOR:
LANE/LEE
742 SERENITY WALK PARKWAY
SERENITY

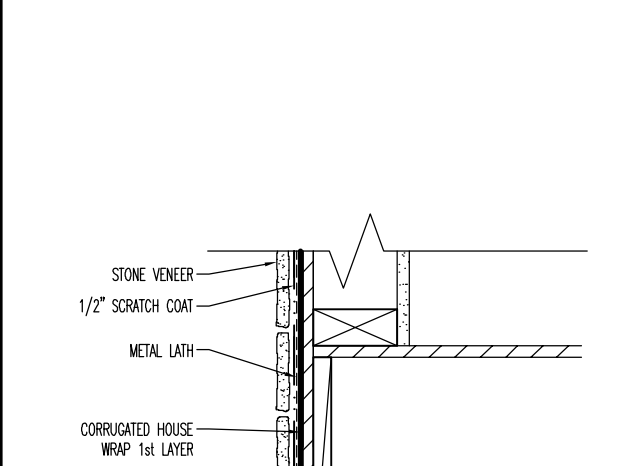
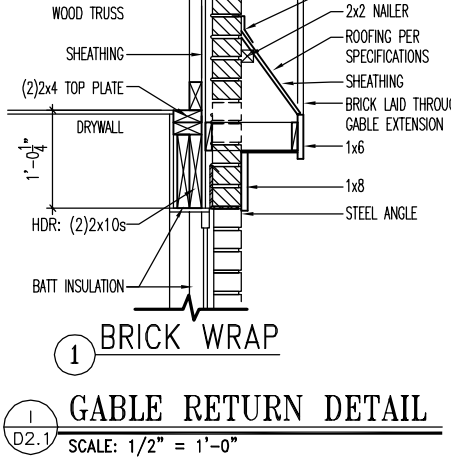
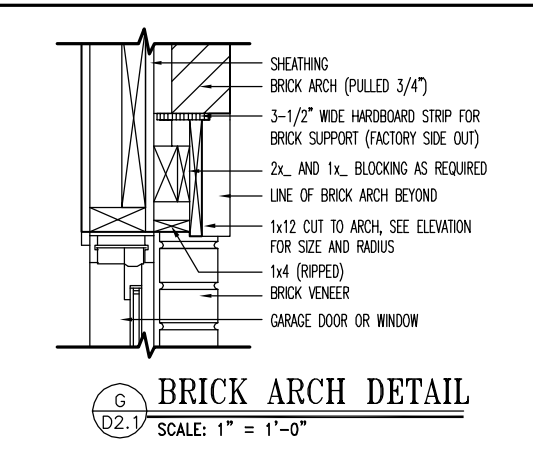
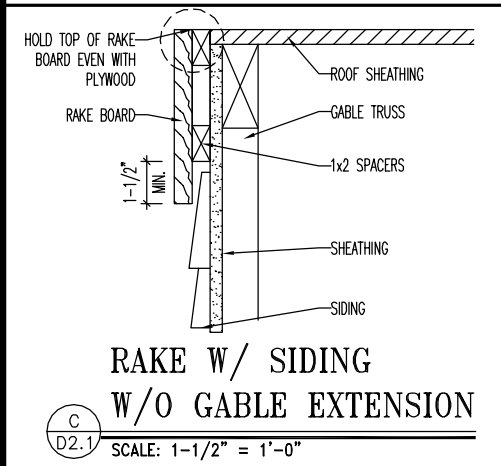
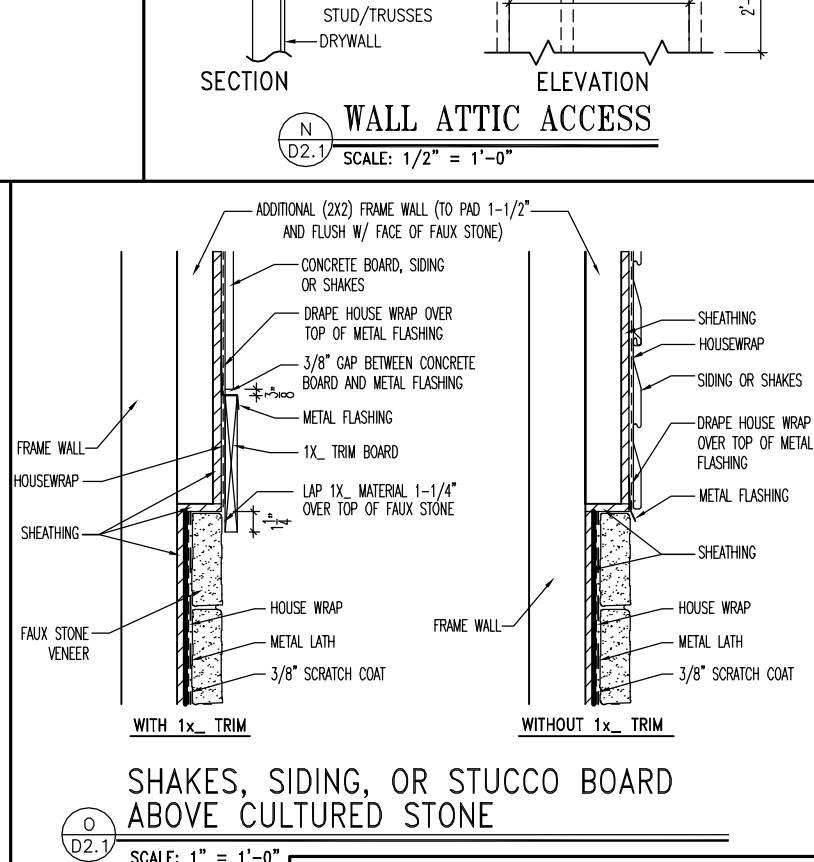
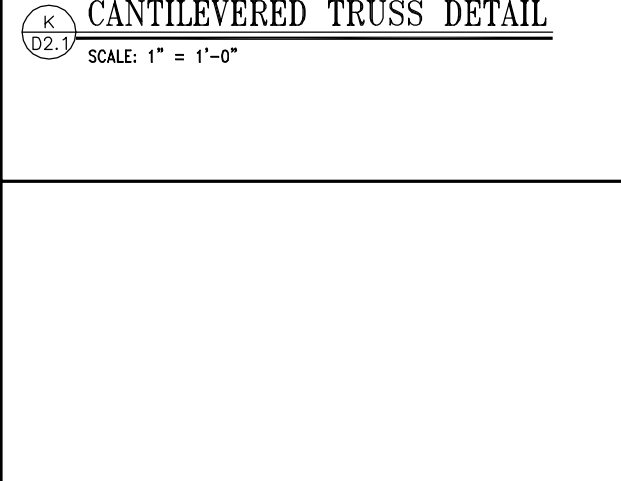
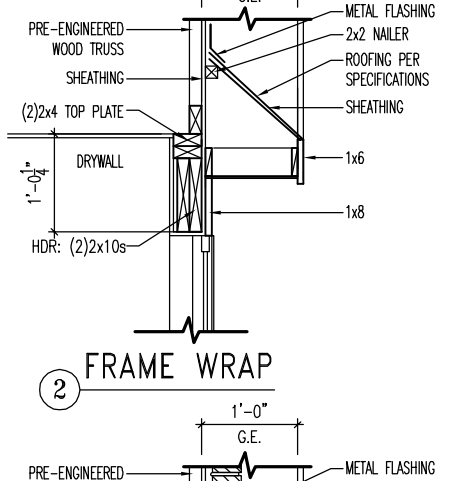
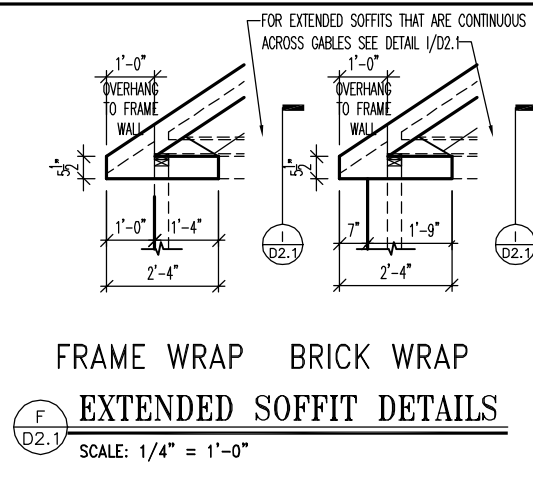
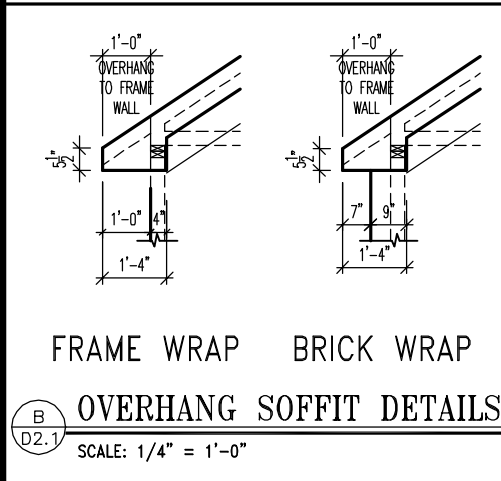
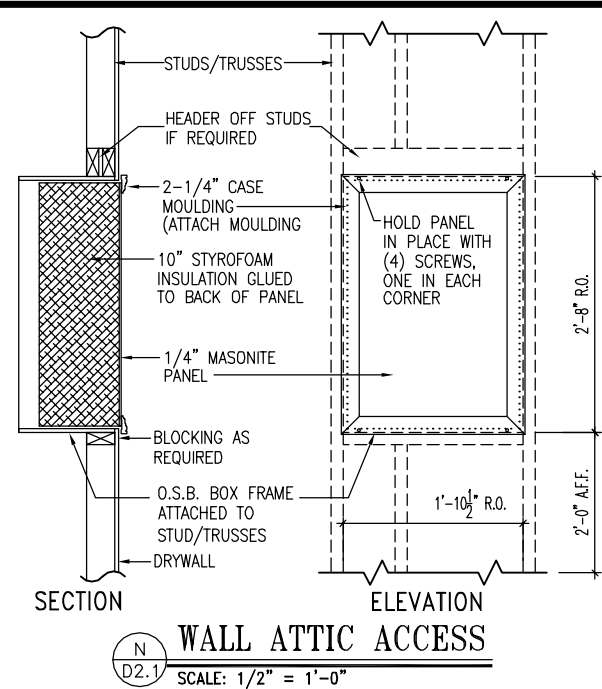
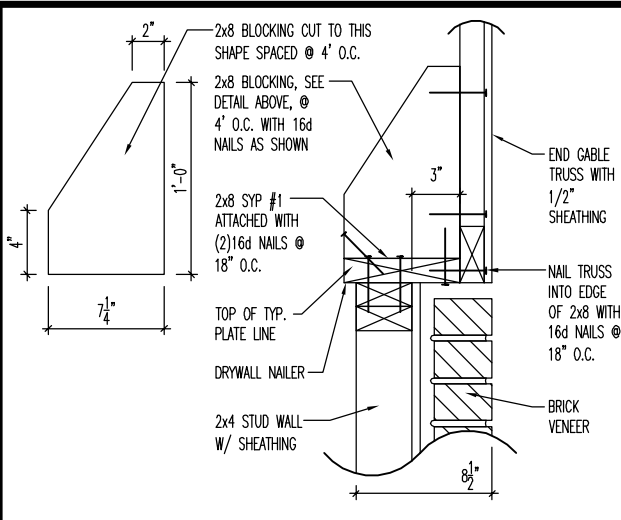
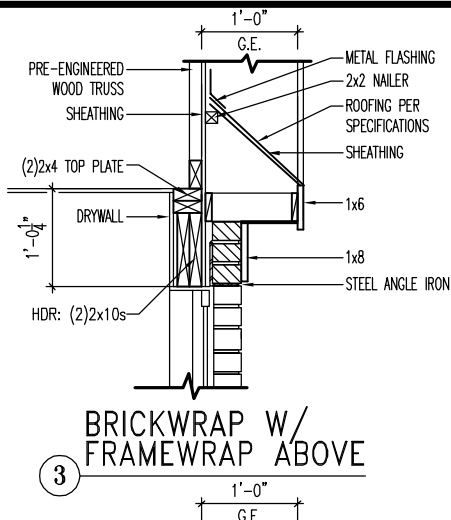
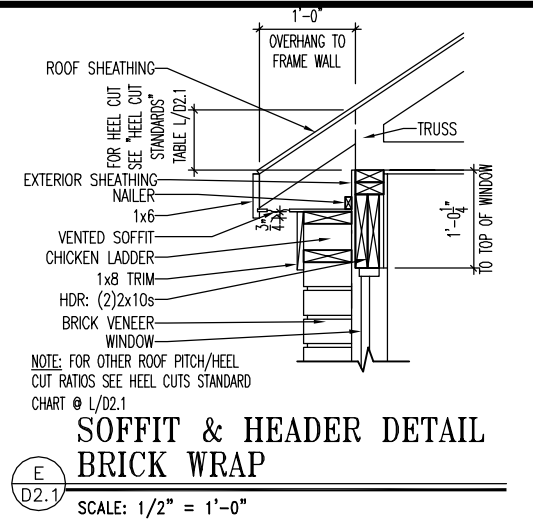
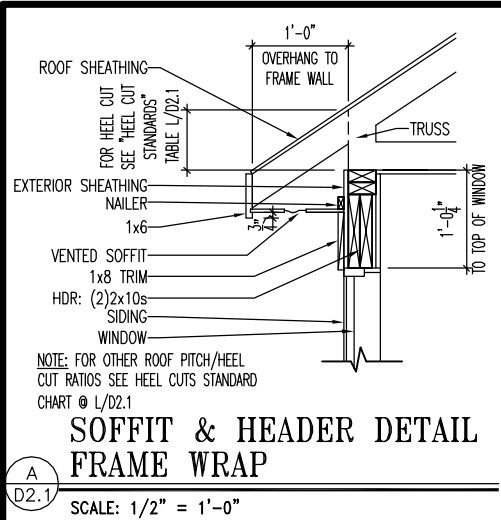
Job Number: STY5-0180-00	Drawing Date: 12/19/24	Coord Name: GREG P.	Coord Phone: (859)578-4355
House Name: the SHILO II			Contract Drawn By: GLP
Born on Date: 08/23/2022			Series: CLASSIC
CDs Drawn By: CLM			Plan No.: --

Drees
HOMESSM
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Phone: (919) 844-9288

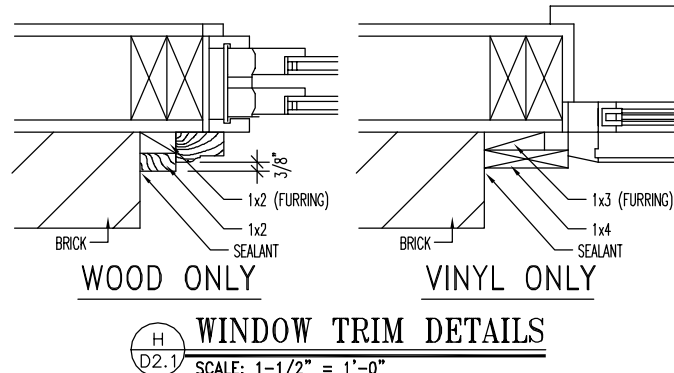
Sheet Information

7.02
House Specific Details
Elevation "A"





HEEL CUT STANDARDS	
ROOF PITCH	HEEL CUT
4/12	3-3/4"
5/12	4-3/4"
6/12	5-3/4"
7/12	6-3/4"
8/12	7-3/4"
9/12	8-3/4"
10/12	9-3/4"
12/12	11-3/4"
14/12	1'1-3/4"



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STD. DETAIL SHEET
REGION:
RALEIGH

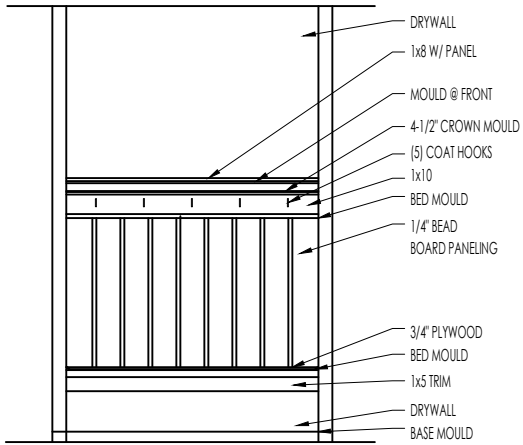
Std. By: ALL
Chk. By: ARC
Std. Date: 10.11.06
Last Rev: 4/5/10 MSM

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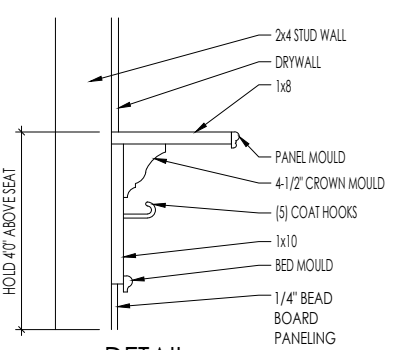
FRAMING DETAILS

DETAILS MAY NOT APPLY TO CONTRACT

Sheet No.
D2.1

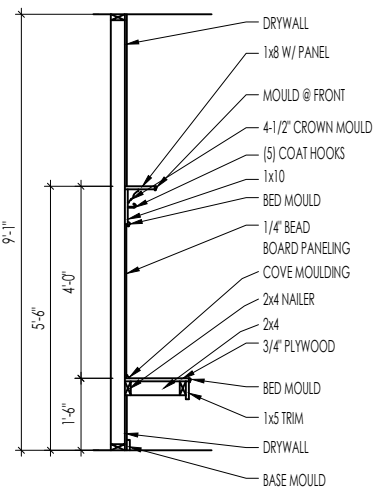


ELEVATION

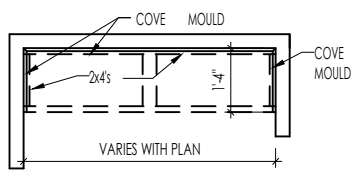


DETAIL

SCALE: 1/2" = 1'-0"



SECTION



PLAN

F
D2.2

BENCH SEAT DETAILS

SCALE: AS NOTED



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01/02/2025 10:31:47 AM



STANDARD FRAMING DETAILS
RALEIGH DIVISION
SCALE: AS NOTED

SHEET NO.

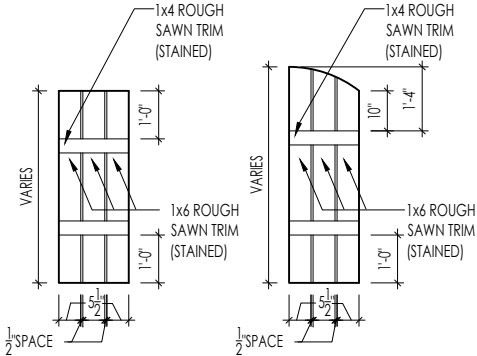
ARCH

01/27/15

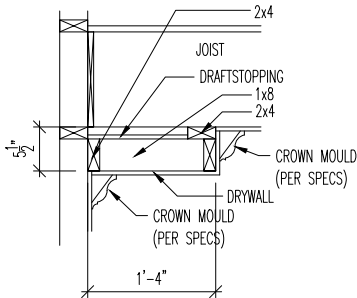
LAST REVISION:

Jan 10, 2023 - 1:47pm

D2.2



M
D2.4
SLAT SHUTTER DETAIL
SCALE: 1/4" = 1'-0"



H
D2.4
SINGLE TRAY CEILING DETAIL
SCALE: 1/2" = 1'-0"



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01/02/2025 10:31:47 AM

STANDARD FRAMING DETAILS
RALEIGH DIVISION
SCALE: AS NOTED



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DRAWN BY: ARCH

DATE OF DETAIL: 01/27/15

LAST REVISION:

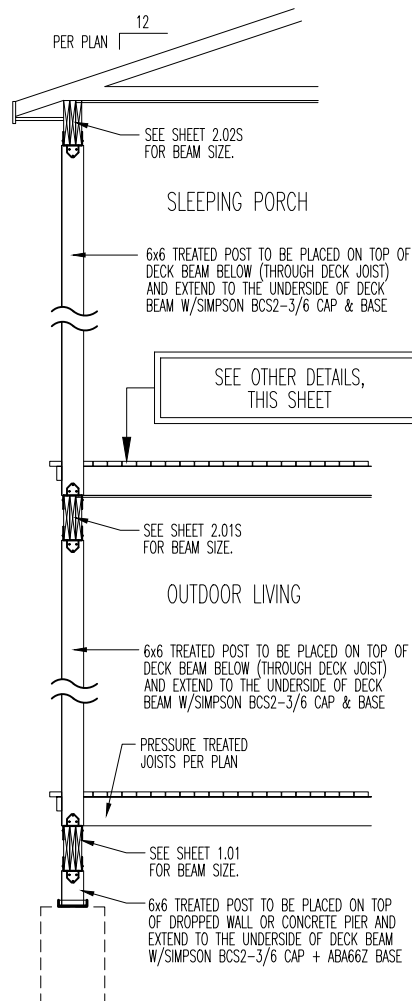
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SHEET NO.

D2.4

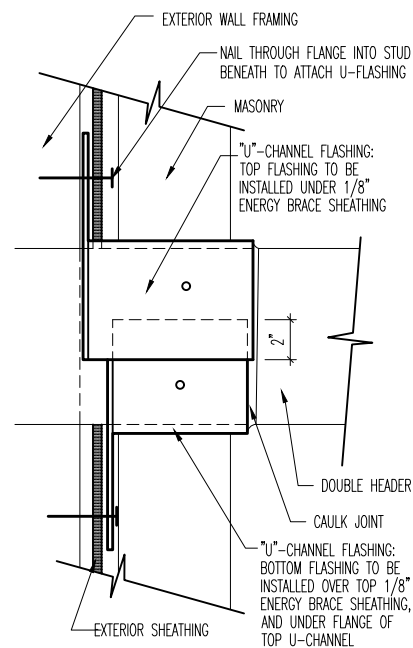


STANDARD FRAMING DETAILS
RALEIGH DIVISION
SCALE: AS NOTED



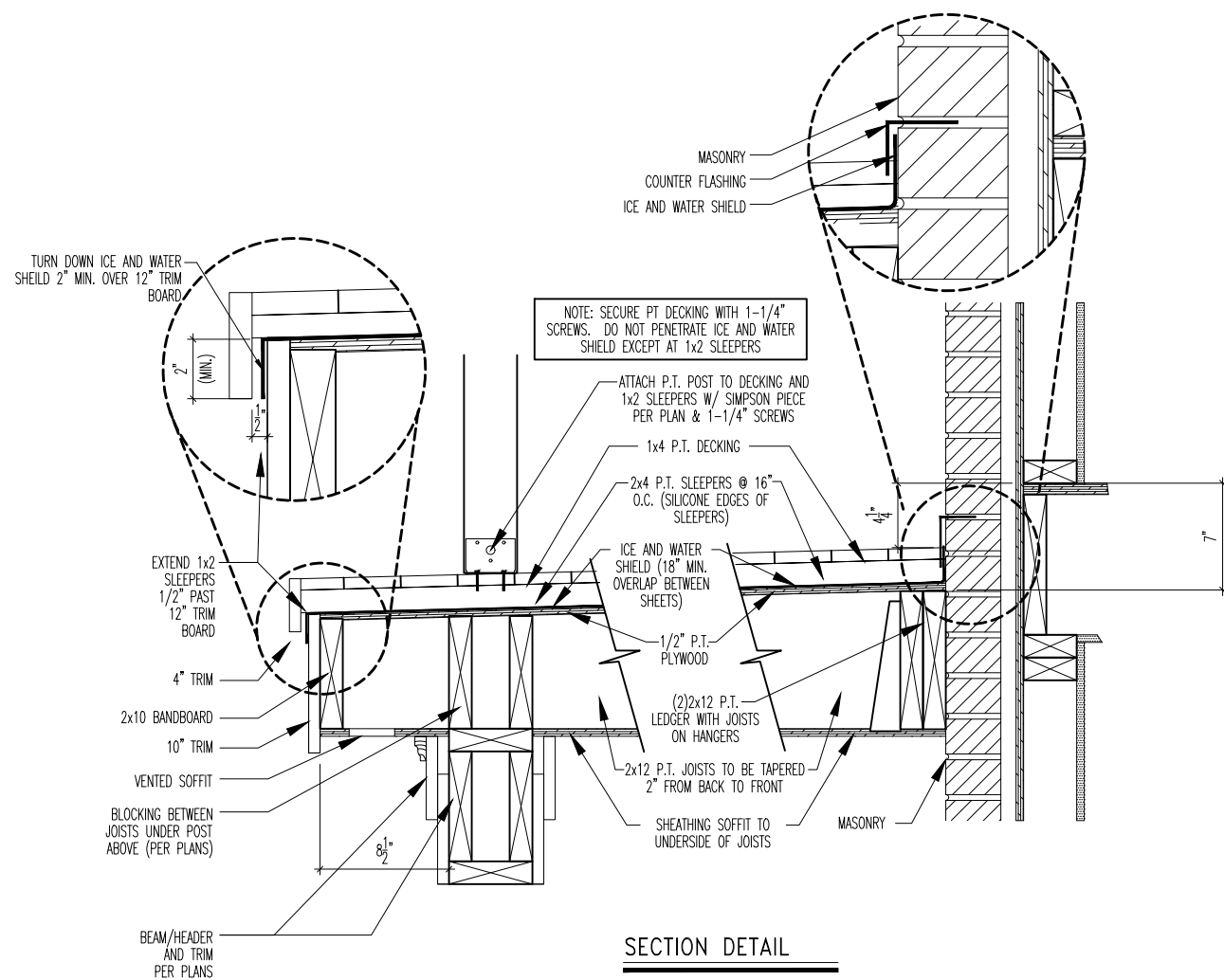
2-STORY DECK SECTION

SCALE: 1/4" = 1'-0"

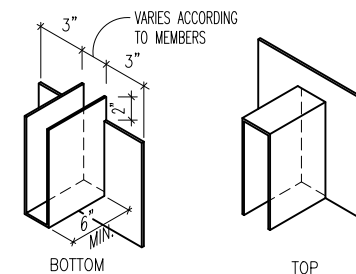


"U"-CHANNEL INSTALLATION DETAIL

NO SCALE: FOR ILLUSTRATION ONLY

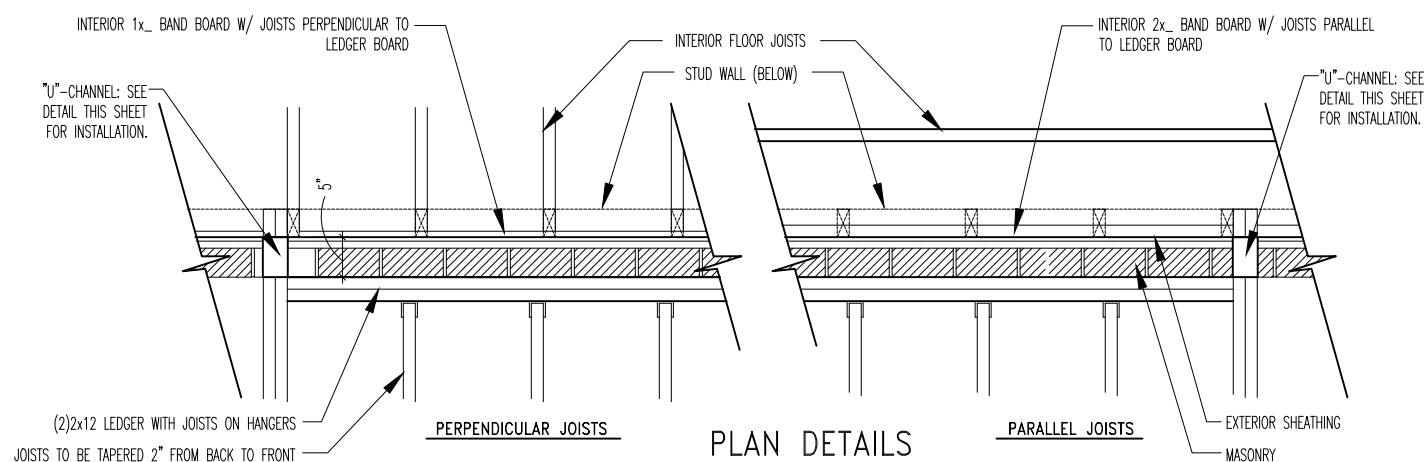


SECTION DETAIL



EXAMPLE "U"-CHANNEL FLASHING

SCALE: 1/2" = 1'-0"



PLAN DETAILS

PLAN DETAILS



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STD. DETAIL SHEET

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RALEIGH

Std. By: DWW

Chk. By: ARC

Std. Date: 1.9.07

Date of Last Rev: 09/27/06 BRG

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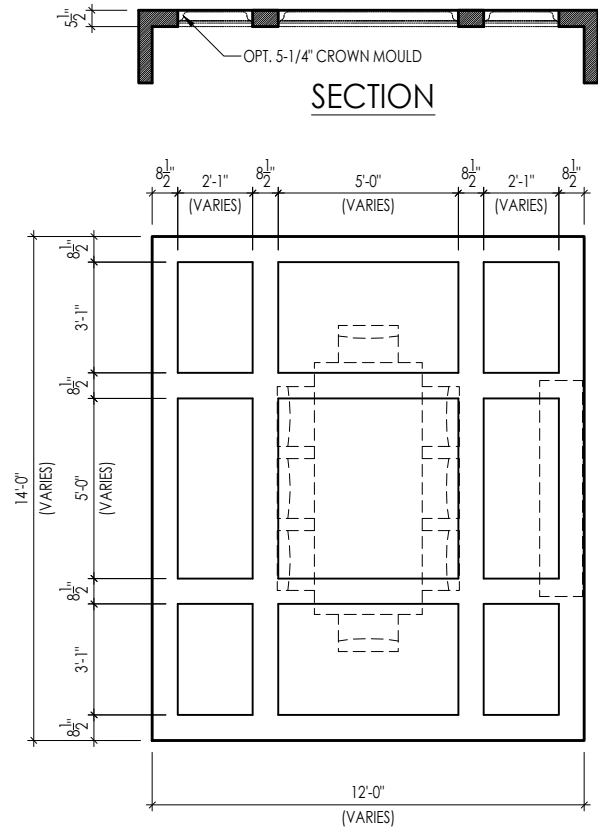
2-STORY DECK
DETAILS

DETAILS MAY NOT APPLY TO CONTRACT

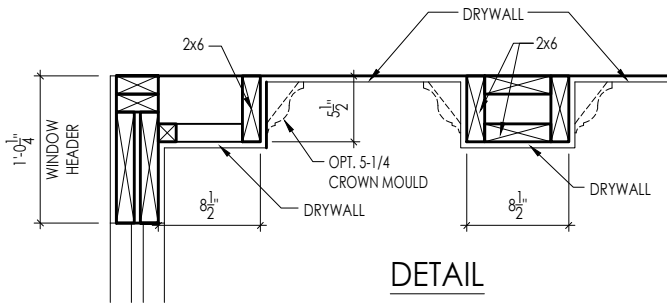
NASH - D-SHEETS.dwg Jul 10, 2020 - 9:21am

Sheet No.

D2.8

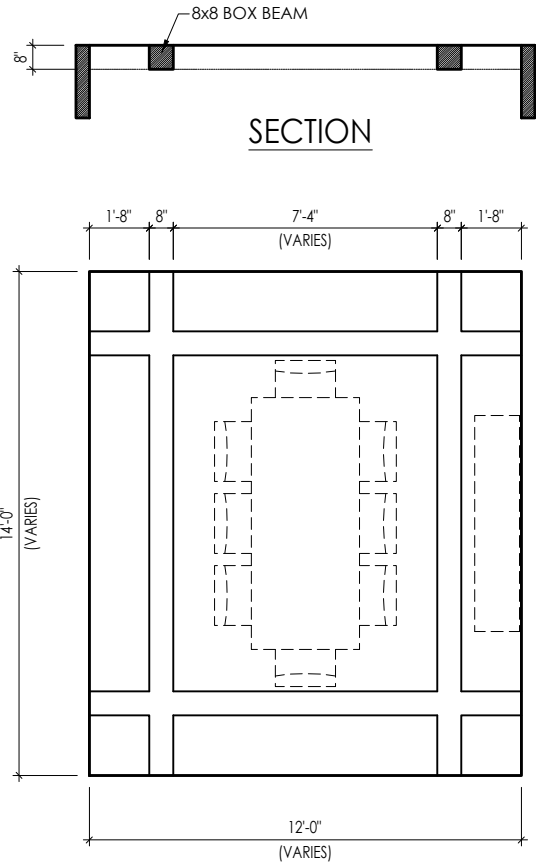


TYPICAL PLAN

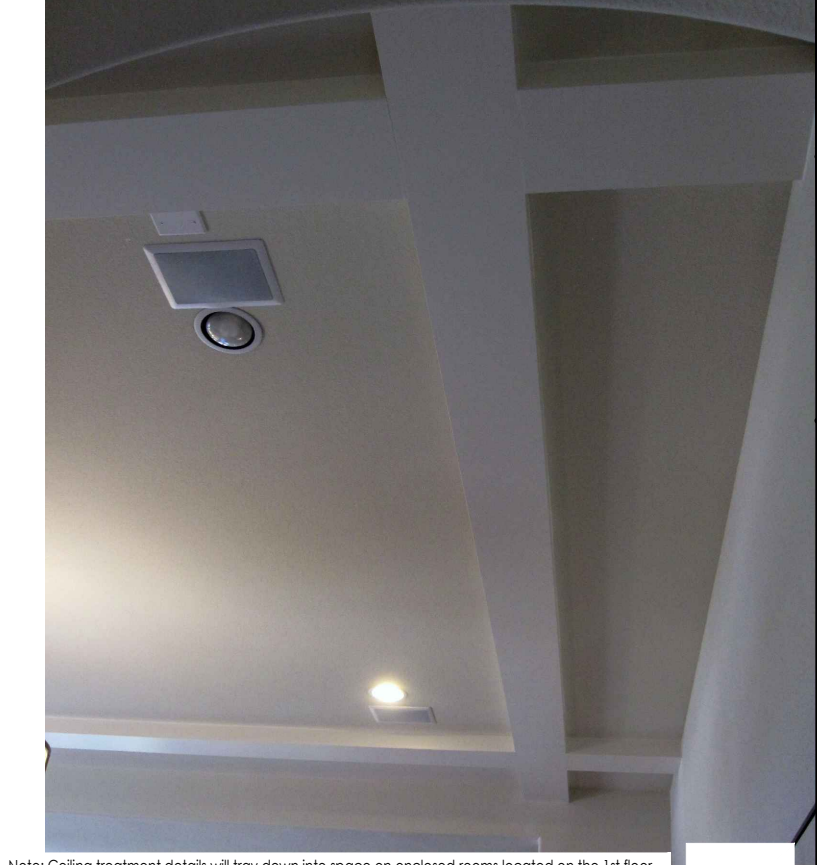


Note: Ceiling treatment details will tray down into space on enclosed rooms located on the 1st floor. On enclosed rooms on the 2nd floor, the ceiling treatment will tray up into the roof truss system. On 2-story spaces, the ceiling treatment will tray down into the space and require an appropriate sized header to capture the ceiling detail return.

01

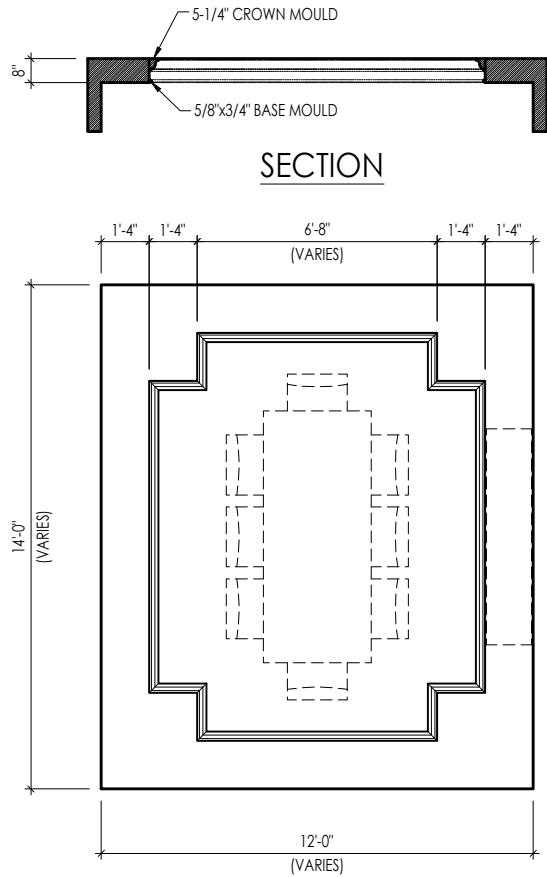


TYPICAL PLAN



Note: Ceiling treatment details will tray down into space on enclosed rooms located on the 1st floor. On enclosed rooms on the 2nd floor, the ceiling treatment will tray up into the roof truss system. On 2-story spaces, the ceiling treatment will tray down into the space and require an appropriate sized header to capture the ceiling detail return.

05

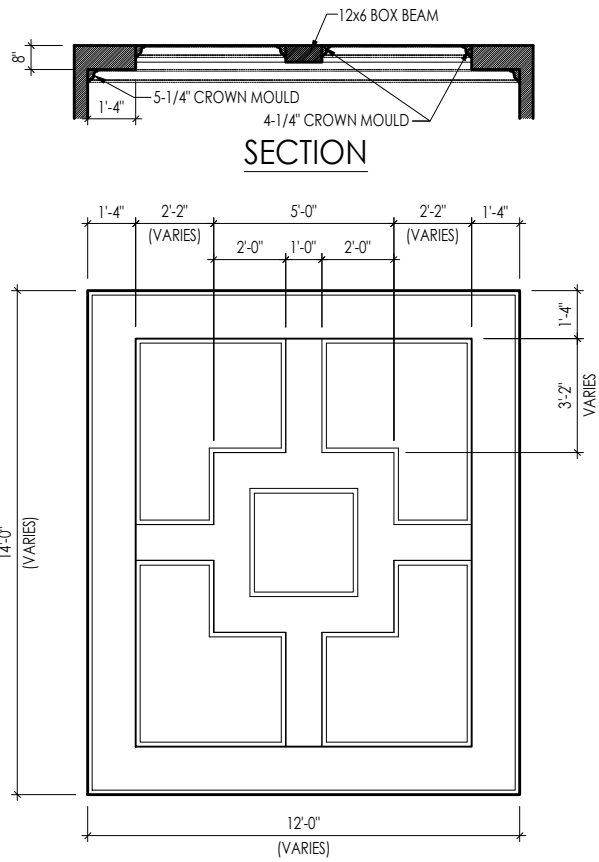


TYPICAL PLAN

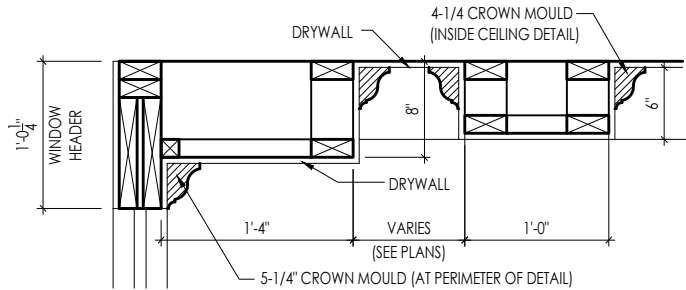


Note: Ceiling treatment details will tray down into space on enclosed rooms located on the 1st floor. On enclosed rooms on the 2nd floor, the ceiling treatment will tray up into the roof truss system. On 2-story spaces, the ceiling treatment will tray down into the space and require an appropriate sized header to capture the ceiling detail return.

04



TYPICAL PLAN



Note: Ceiling treatment details will tray down into space on enclosed rooms located on the 1st floor. On enclosed rooms on the 2nd floor, the ceiling treatment will tray up into the roof truss system. On 2-story spaces, the ceiling treatment will tray down into the space and require an appropriate sized header to capture the ceiling detail return.

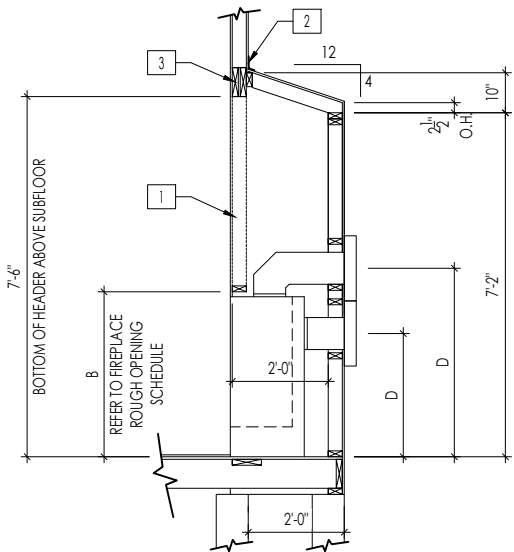
15



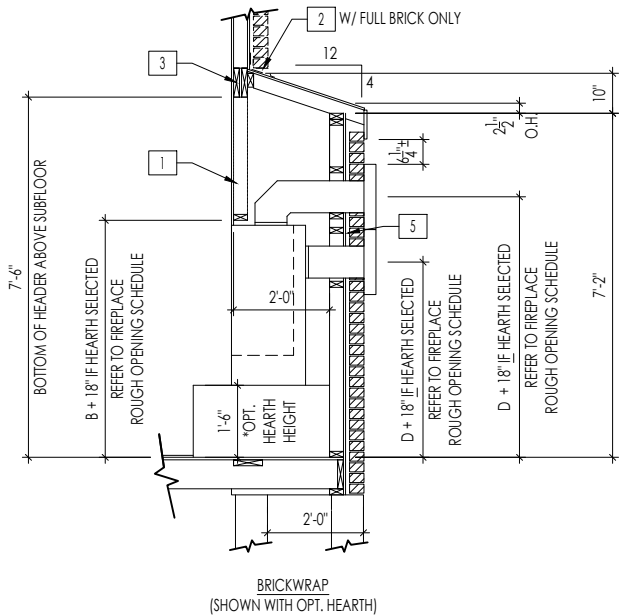
The Drees Company
01/02/2025 10:31:48 AM

CEILING TREATMENTS

SCALE: AS NOTED



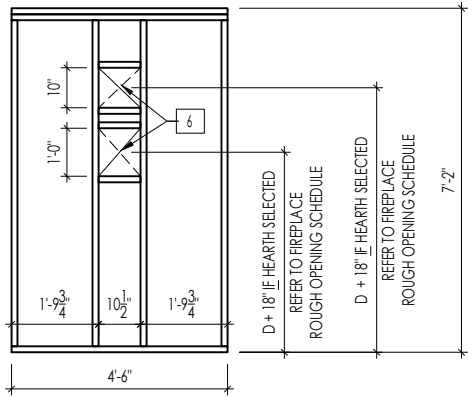
FRAMEWRAP
(SHOWN WITHOUT OPT. HEARTH)



BRICKWRAP
(SHOWN WITH OPT. HEARTH)

FIREPLACE DOGHOUSE SECTIONS

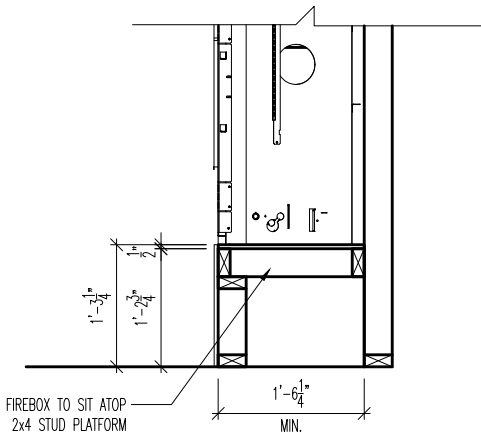
SCALE: 1/4" = 1'-0"



WITH HEARTH

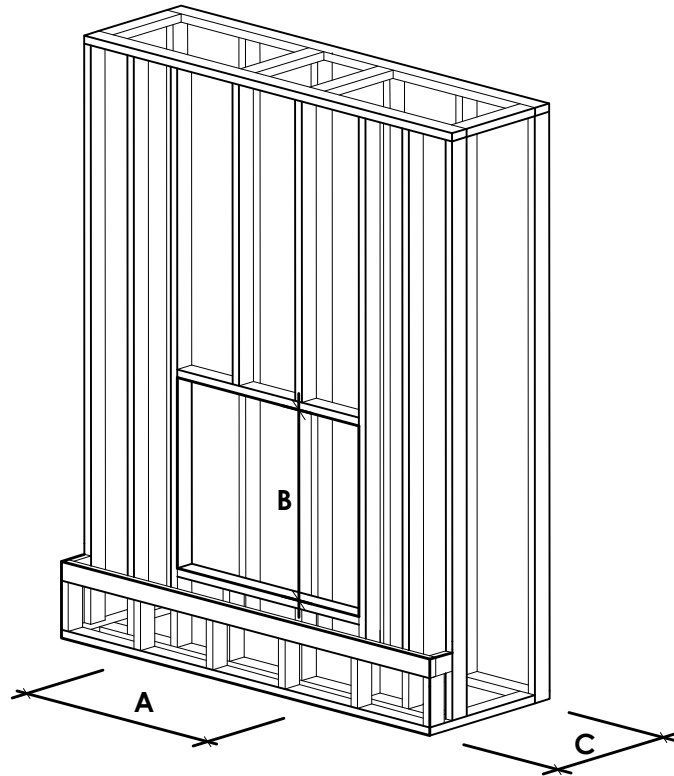
DIRECT VENT REAR WALL FRAMING

SCALE: 1/4" = 1'-0"



RAVE FIREPLACE PLATFORM DETAIL

SCALE: 1/2" = 1'-0"



NOTE:
PROVIDE OSB SHEATHING WHEN
STONE VENEER SELECTED

FIREPLACE ROUGH OPENING SCHEDULE

FIREPLACE MANUFACTURER	MODEL	A	B	C	D
		(FIREBOX REQUIRED WIDTH)	(FIREBOX REQUIRED HEIGHT) *ADD 18" W/ OPT. HEARTH	(FIREBOX REQUIRED DEPTH - INTERIOR REAR WALL TO FRONT EXTERIOR WALL)	(VENT CENTERLINE HEIGHT) *ADD 18" W/ OPT. HEARTH
HEAT & GLO	SLIMLINE SL-7	42"	38-1/4"	16-1/4"	TOP 40" SIDE 26-7/8"
	COSMO 42	49"	32-3/4"	17-3/4"	TOP ONLY 47-1/16"
	NOVUS 33	39"	34-7/8"	19-5/8"	TOP 40" SIDE 23-1/2"
HEARTH & HOME	COURTYARD 36	43-3/8"	44-1/8"	18-3/8"	SEE MANUFACTURER'S SPECS
	COURTYARD 42	48-1/2"	34-1/4"	20-1/4"	SEE MANUFACTURER'S SPECS
	LANAI *(NOT IN CINCY/NKY)	57-3/4"	39-1/2"	17-5/8"	SEE MANUFACTURER'S SPECS
	RAVE	49"	32-3/4" *RAISED 15-1/4"	18-1/4"	TOP ONLY 46-1/2"
all dimensions are in inches					

General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.
- VERIFY FIREPLACE MODEL AND HEARTH SELECTION WITH CUSTOMER'S SELECTIONS.

Key Notes

- FUTURE FRAMING FOR F.P. OPENING AFTER INSULATION HAS BEEN INSTALLED IN EXT. WALLS
- FLASHING
- HEADER PER PLAN
-
- 1" AIRSPACE
- BOX OUT FOR FLUE (REFER TO SELECTIONS FOR FIREPLACE AND OPENING HEIGHT)



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FIREPLACE DETAILS

Std. Drawn By: MRP

Sheet Description:

SCALE: VARIES

FIREPLACE DETAIL

Std. Date: 02.29.20

Date of Last Rev: 7.10.2023

g:\architecture\cincinnati\cintl standard drawings\fireplace\fireplace detail sheets.dwg

Sheet No.

F-1

RALEIGH WINDOW SCHEDULE

*** MEETS EMERGENCY ESCAPE & RESCUE
OPENING REQUIREMENTS**

[illegible]

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Sheet Description:

WINDOW SCHEDULE

•

Sheet No.

SC-01

MOULDED MILLWORK SCHEDULE

LAST REVISED 11/22/17

[illegible]

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Sheet Description:

MOULDED MILLWORK SCHEDULE

Sheet No.

SC-02