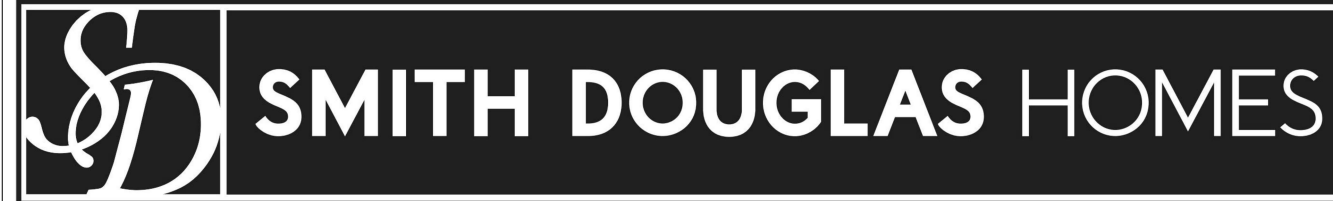


# COLEMAN

HARRINGTON PLACE  
LOT 0049

PLAN ID 060121.1201



QUALITY | INTEGRITY | VALUE

110 VILLAGE TRAIL SUITE 215  
WOODSTOCK, GA. 30188

## DRAWING INDEX

A0.0	COVER SHEET
A1.1	FRONT ELEVATIONS
A2.1	SIDE & REAR ELEVATIONS
A3.1	SLAB FOUNDATION
A5.1	FIRST FLOOR PLANS & DETAILS
A5.2	SECOND FLOOR PLANS & DETAILS
A6.1	ROOF PLANS
A7.2-A7.3	ELECTRICAL PLANS

## AREA TABULATION

FIRST FLOOR	838
SECOND FLOOR	1215
TOTAL	2053
GARAGE	438
FRONT PORCH (COVERED)	84
REAR PATIO	120

## PLAN REVISIONS

DATE	BY	REVISION	PAGE #
10/30/2021	AW	Prototype walk revisions - see revision sheet	ALL
4/1/2022	AW	Final walk revisions - see revision sheet	A5.2, A5.2, A7.3
11/1/2022	AW	PCR #4985 Change 2x6 wall in laundry to 2-2x4s - takes 1.5" out of hall/linen	A5.2, A7.3
12/1/2022	AW	PCR #5030 Added 8" in depth to kitchen (pantry & around island) - reduced Dining/Study 8" in depth	A3.1, A5.1, A7.2, A8.1
9/21/2023	BB	REMOVED SHOWER AND TUB SIZES FROM ALL AFFECTED PAGES	A3.1, A5.1, A7.3

## GOVERNMENTAL CODES & STANDARDS

HOME TO BE BUILT TO CONFORM TO ALL APPLICABLE LOCAL CODES, PRACTICES AND STANDARDS
--

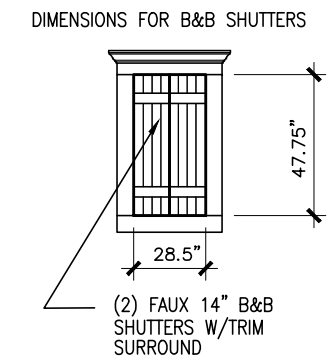
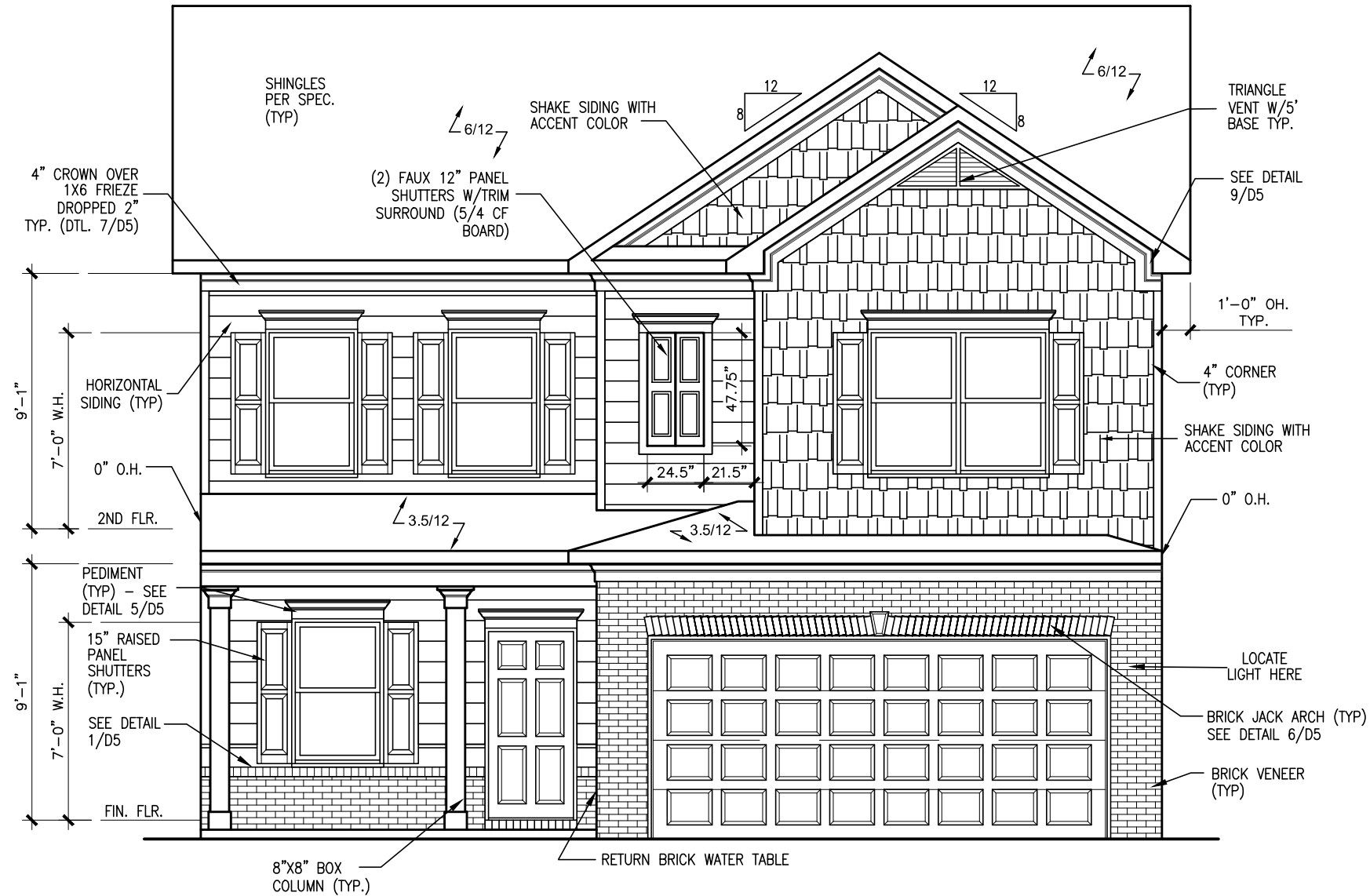
## BUILDING CODE ANALYSIS / DESIGN CRITERIA

HOME TO BE BUILT TO MEET OR EXCEED ALL LOCAL CODES AND DESIGN CRITERIA
--

ALL NON-MASONRY RETURNS TO BE HORIZONTAL SIDING

SEE SHEET D3 OF SDH TYPICAL DETAILS FOR SOFFIT DETAILS PER SOFFIT MATERIAL

# HARRINGTON PLACE LOT 0049



FRONT ELEVATION "D"

SCALE: 3/16"=1'-0"

BY	REVISION	DATE
#	#	#
#	#	#
#	#	#
#	#	#
#	#	#



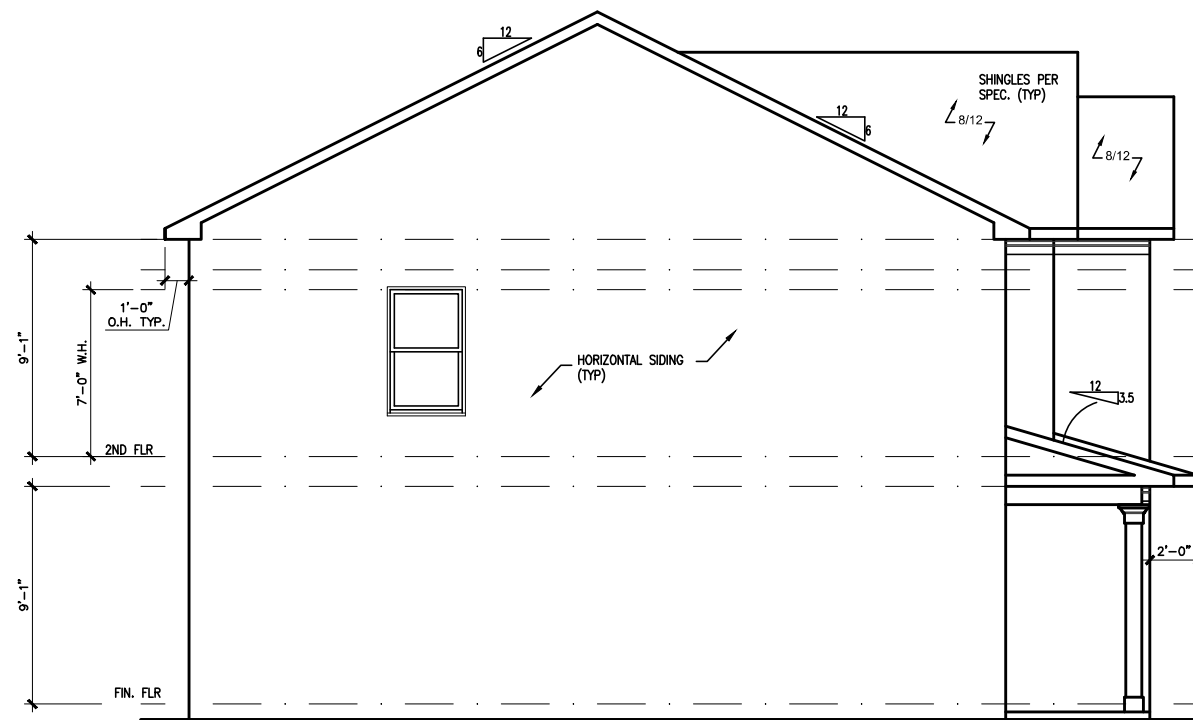
ELEVATIONS  
FRONT ELEVATION  
COLEMAN

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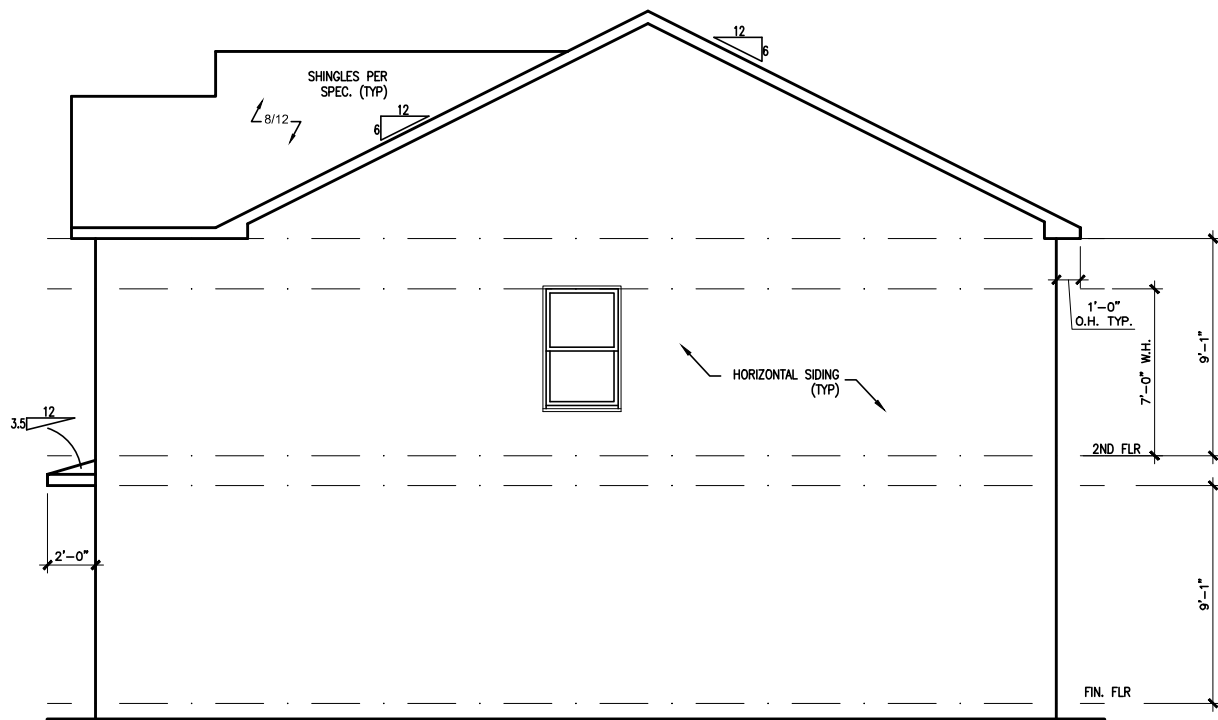
BY: KCC	CH: AW
DATE: 12/5/2024	
FACADE OPT: A	
PLAN ID:	
FND: ALL	ELEV: D
PAGE NO: A1.1	

# HARRINGTON PLACE LOT 0049



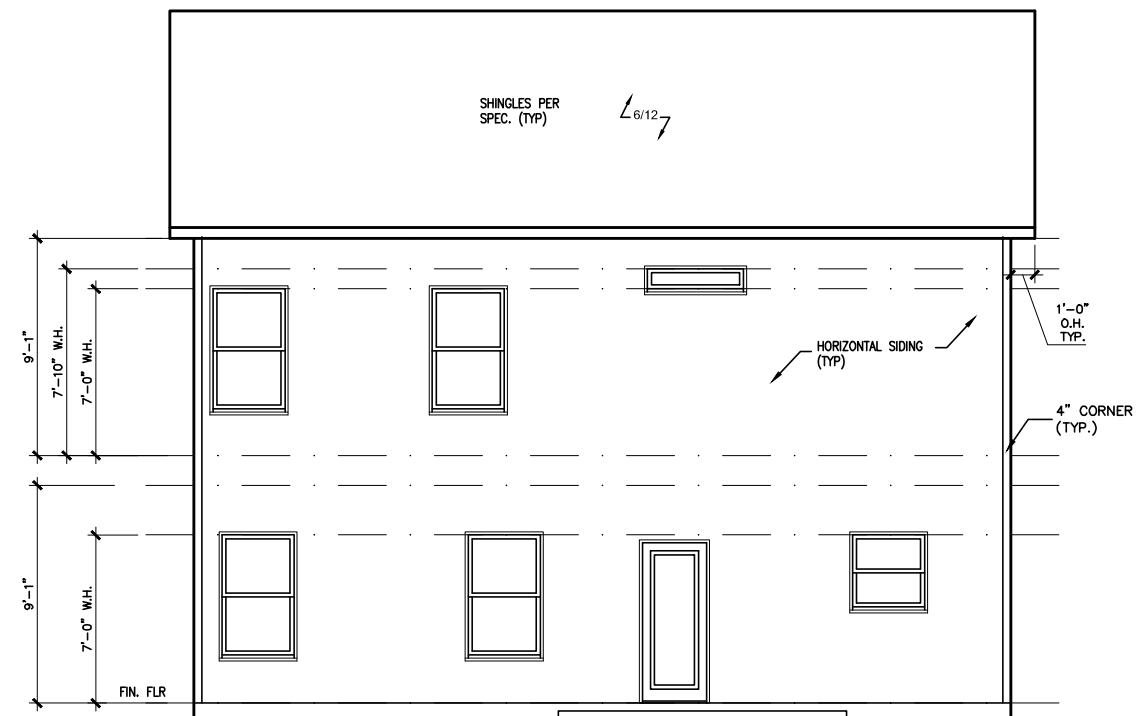
LEFT ELEVATION "D"

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION "D"

SCALE: 1/8" = 1'-0"



REAR ELEVATION "D"

SCALE: 1/8" = 1'-0"

DATE	REVISION	BY	#



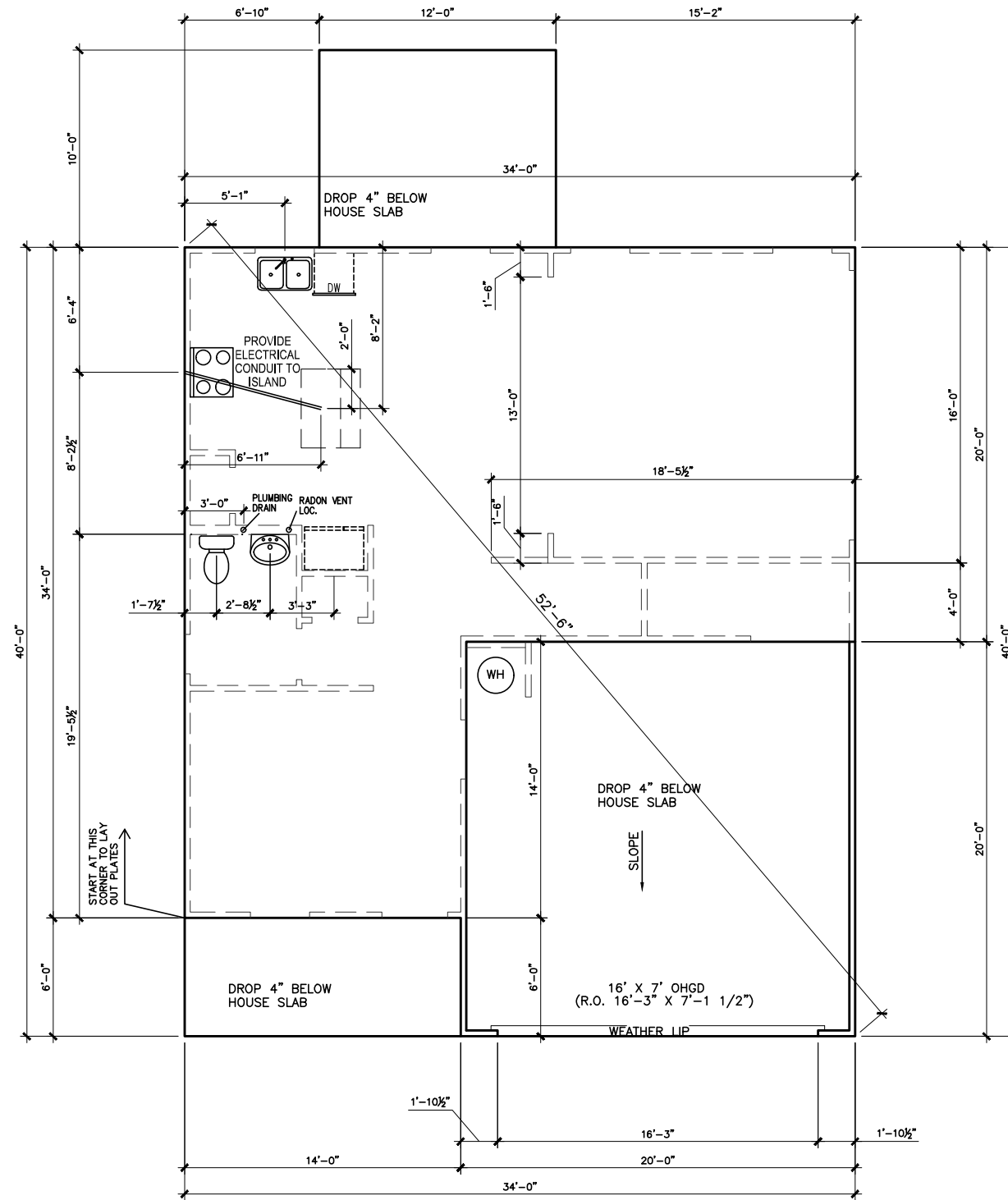
ELEVATIONS  
SIDES AND REAR  
COLEMAN

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PAGE NO: A2.1	

# HARRINGTON PLACE LOT 0049



SLAB PLAN

SCALE: 1/8" = 1'-0"

\*RADON VENT PROVIDED PER LOCAL CODE

REFER TO DETAIL 3/D1 FOR BRICK LEDGE DETAIL WHEN BRICK VENEER IS CHOSEN

DATE	REVISION	BY
#	#	#
#	#	#
#	#	#
#	#	#
#	#	#



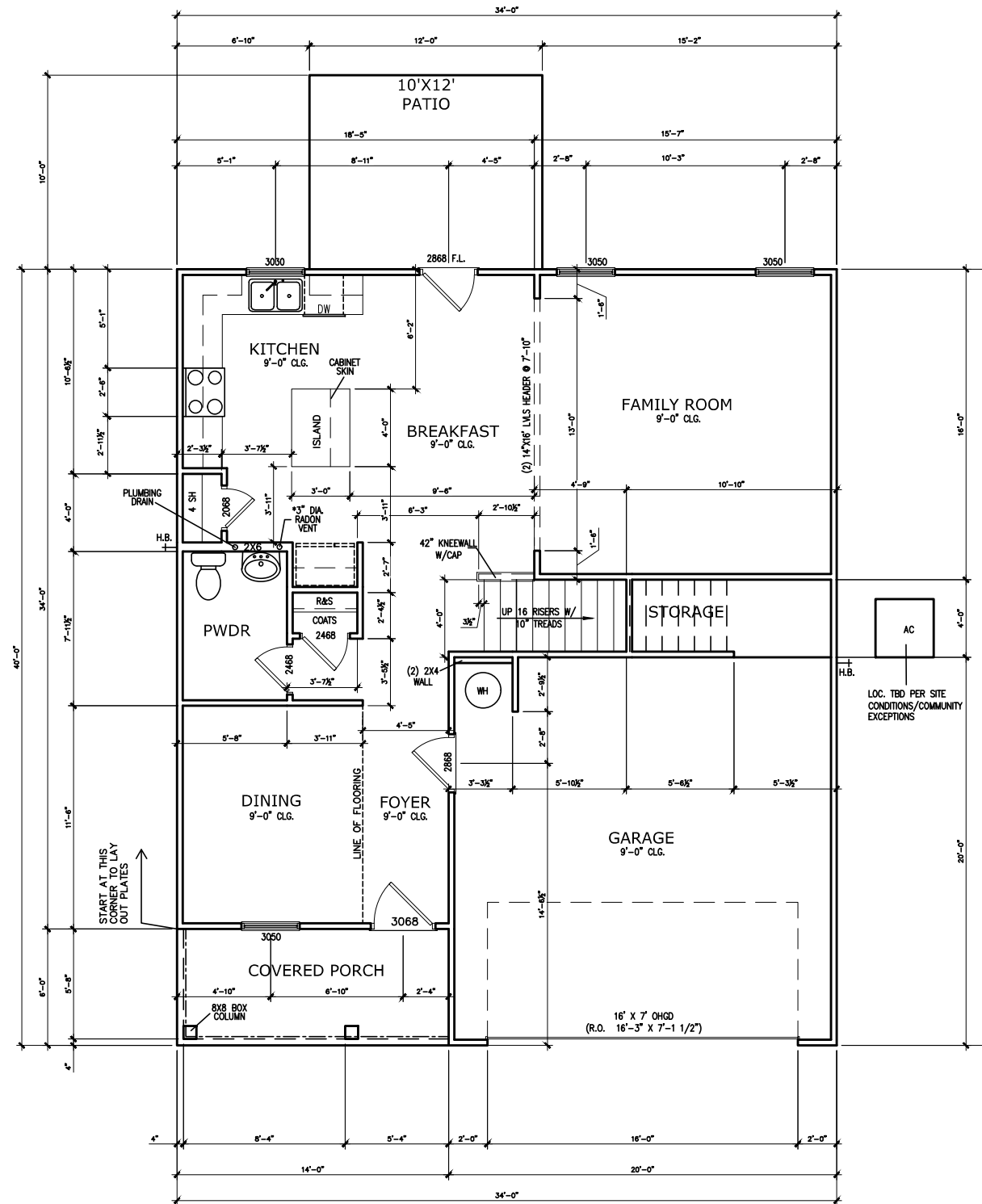
FOUNDATION PLAN  
SLAB PLAN  
COLEMAN

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PLAN ID:	
FND: ALL	ELEV: D
PAGE NO: A3.1	

# HARRINGTON PLACE LOT 0049



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

\*RADON VENT PROVIDED  
PER LOCAL CODE

DATE	REVISION	BY



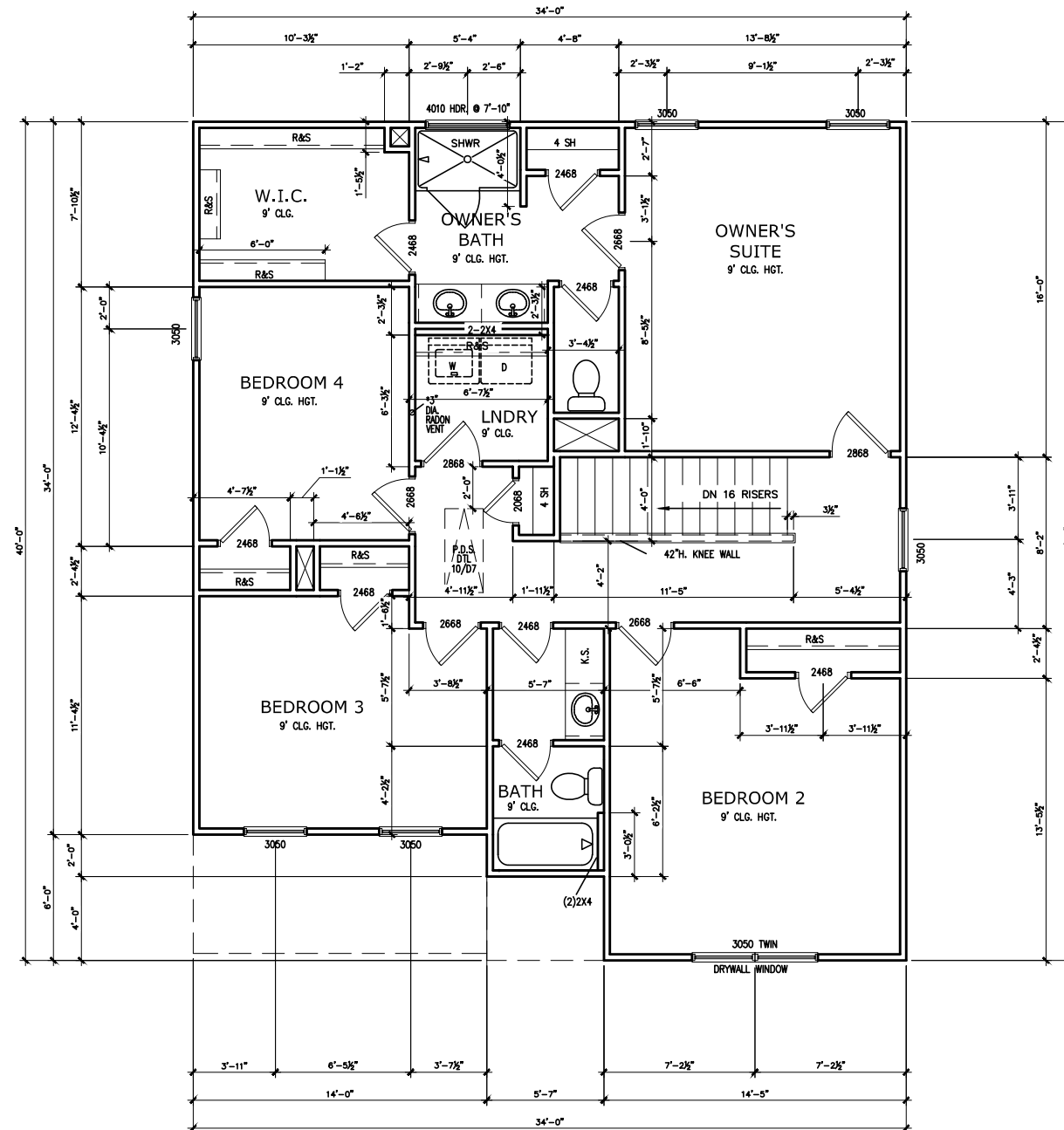
FLOOR PLAN  
FIRST FLOOR  
COLEMAN

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PLAN ID:	
FIN: ALL	BLV: D
PAGE NO: A5.1	

# HARRINGTON PLACE LOT 0049



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

\*RADON VENT PROVIDED  
PER LOCAL CODE

REFER TO MANUFACTURER'S SPECS.  
FOR DRAIN LOCATIONS ON DETAIL  
SHEETS D12, D12.1, & D12.2

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DATE	REVISION	BY



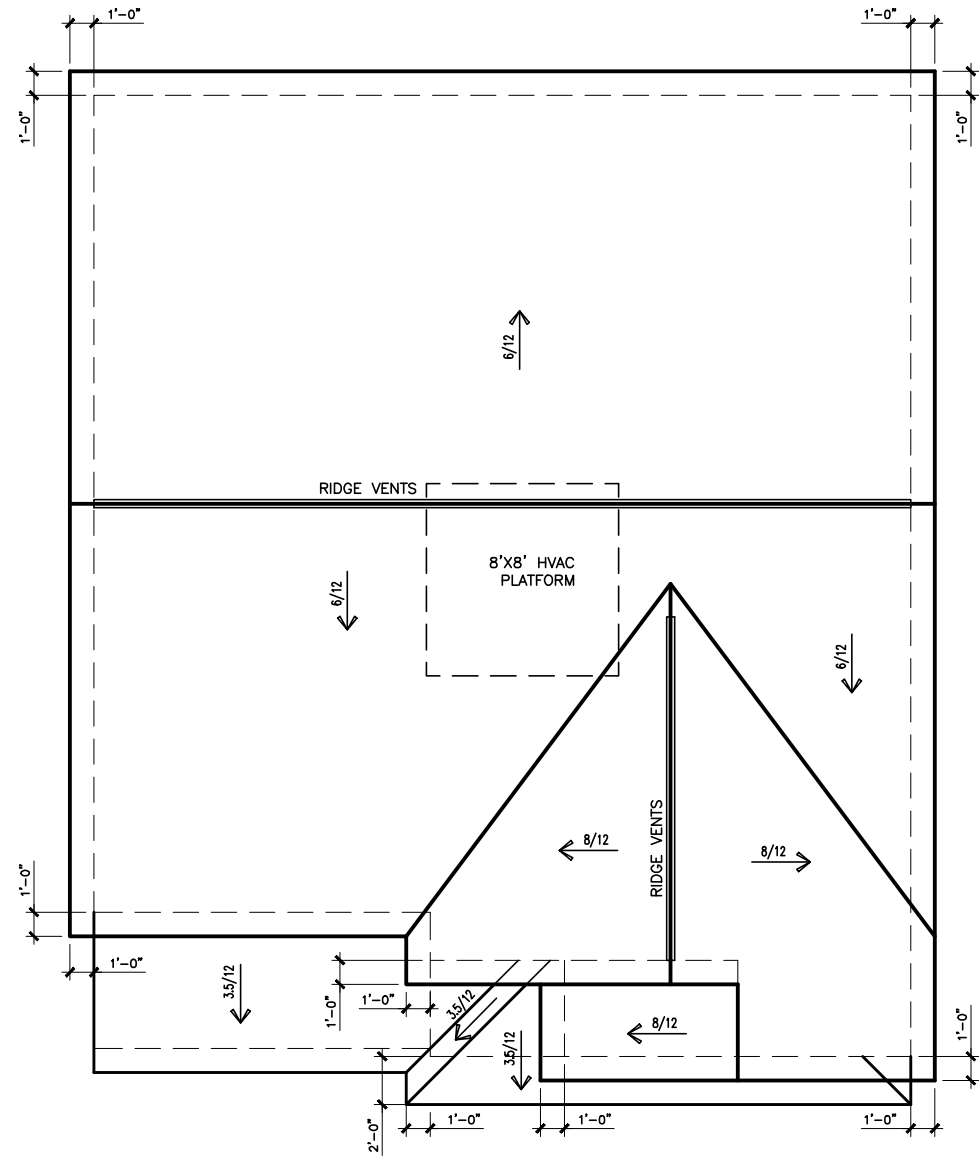
FLOOR PLAN  
SECOND FLOOR  
COLEMAN

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FACADE OPT: A	
PLAN ID:	
PND: ALL	BLV: D
PAGE NO: A5.2	

# HARRINGTON PLACE LOT 0049



ROOF PLAN "D"

SCALE : 1/8" = 1'-0"

DATE	REVISION	BY
#	#	#
#	#	#
#	#	#
#	#	#
#	#	#



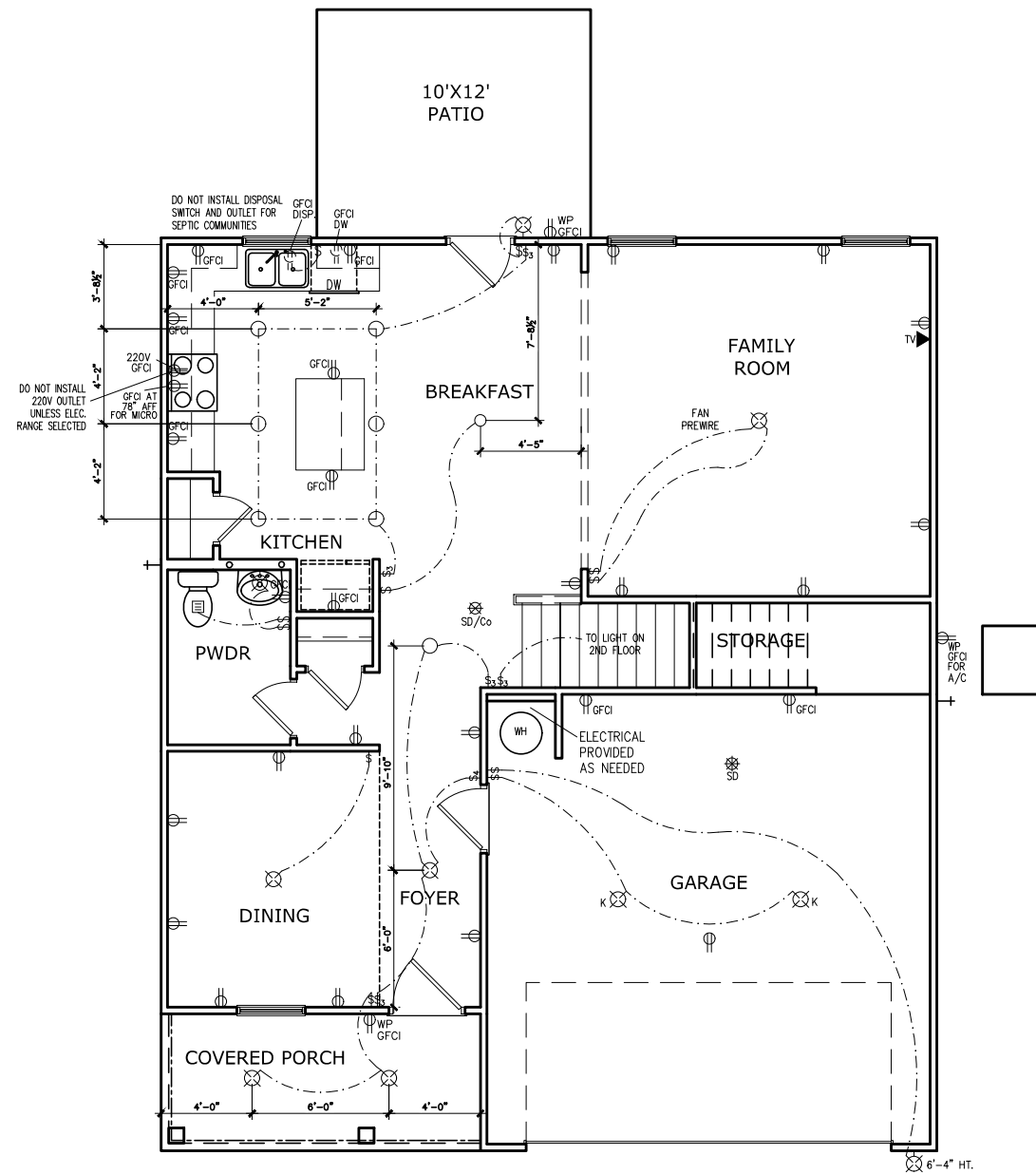
ROOF PLAN  
ROOF PLAN  
COLEMAN

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PLAN ID:	
FND: ALL	ELEV: D
PAGE NO: A6.1	

# HARRINGTON PLACE LOT 0049



ELECTRICAL LEGEND			
\$	SWITCH	TV	TV
\$3	3 WAY SWITCH	⊕	120V RECEPTACLE
\$4	4 WAY SWITCH	⊕	120V SWITCHED RECEPTACLE
⊗	CEILING FIXTURE	⊕	220V RECEPTACLE
⊕	KEYLESS	⊕	GFCI OUTLET
⊕	WALL MOUNT FIXTURE	⊕	ARCH FAULT CIRCUIT INTERRUPTER
○	CEILING FIXTURE	†	GAS LINE
●	FLEX CONDUIT	†	WATER LINE
CH	CHIMES	⊥	HOSE BIBB
PH	TELEPHONE	⊕	FLOOD LIGHT
SD/Co	SMOKE DETECTOR & CARBON MONOXIDE	⊕	1x4 LUMINOUS FIXTURE
SO	SECURITY OUTLET	⊕	CEILING FAN
□	GARAGE DOOR OPENER	—	ELECTRICAL WIRING
⊕	EXHAUST FAN	⊕	CEILING FIXTURE
⊕	FAN/LIGHT		
ELECTRICAL PLANS TO FOLLOW ALL LOCAL CODES			
APPROX. FIXTURE HGTS (MEASURED FROM BOTTOM OF FIXTURE)			
BREAKFAST/DINING ROOM	63" ABOVE FINISHED FLOOR		
KITCHEN PENDANT LIGHTS	33" ABOVE COUNTER TOP		
TWO STORY FOYER FIXTURE	96" ABOVE FINISHED FLOOR		
CEILING FAN	96" ABOVE FINISHED FLOOR		
FLOOD LIGHT	10' MAX. ABOVE FIN. FLOOR		

NOTE: FINAL PLACEMENT OF PHONE/CABLE T.B.D. ON SITE BY THE BUILDER

## FIRST FLOOR ELECTRICAL PLAN

SCALE : 1/8" = 1'-0"

DATE	REVISION	BY



ELECTRICAL PLAN  
FIRST FLOOR  
COLEMAN

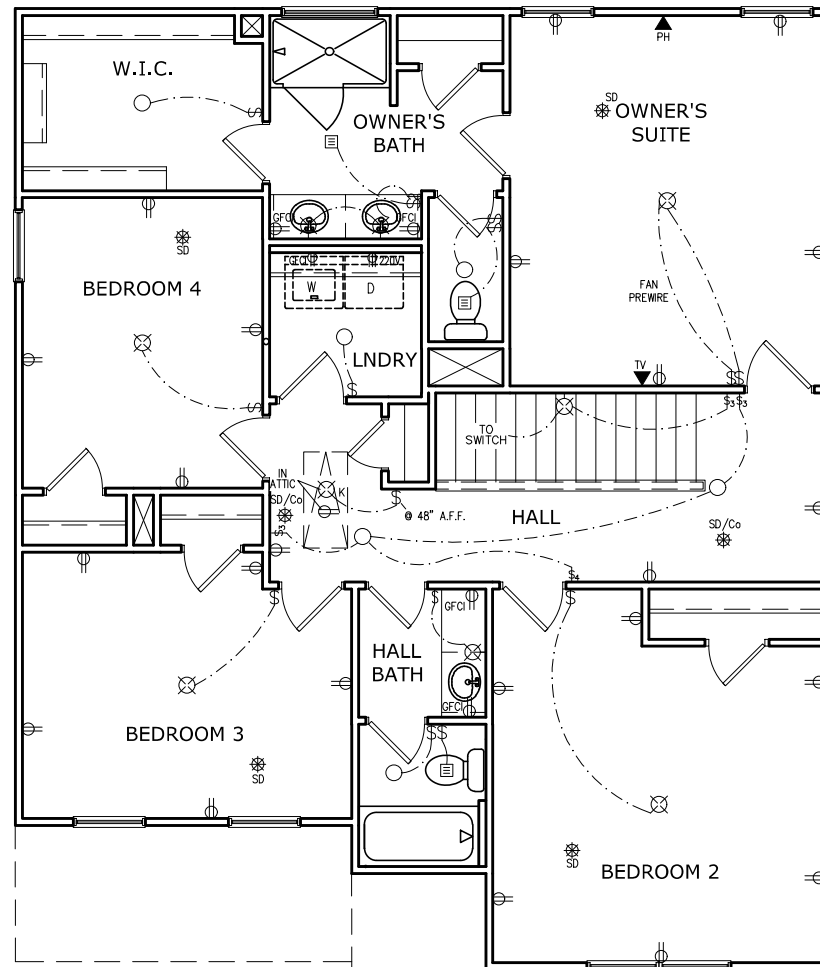
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PLAN ID:	
FND: ALL	RELV: D
PAGE NO: A7.2	



# HARRINGTON PLACE LOT 0049



ELECTRICAL LEGEND			
\$	SWITCH	TV	TV
\$3	3 WAY SWITCH	⊕	120V RECEPTACLE
\$4	4 WAY SWITCH	⊕	120V SWITCHED RECEPTACLE
⊗	CEILING FIXTURE	⊕	220V RECEPTACLE
⊕	KEYLESS	⊕	GFCI OUTLET
⊕	WALL MOUNT FIXTURE	⊕	ARCH FAULT CIRCUIT INTERRUPTER
○	CEILING FIXTURE	†	GAS LINE
●	FLEX CONDUIT	†	WATER LINE
CH	CHIMES	⊥	HOSE BIBB
PH	TELEPHONE	⊕	FLOOD LIGHT
SD/Co	SMOKE DETECTOR & CARBON MONOXIDE	⊕	1x4 LUMINOUS FIXTURE
SO	SECURITY OUTLET	⊕	CEILING FAN
□	GARAGE DOOR OPENER	⊕	ELECTRICAL WIRING
⊕	EXHAUST FAN	⊕	CEILING FIXTURE
⊕	FAN/LIGHT		
ELECTRICAL PLANS TO FOLLOW ALL LOCAL CODES			
APPROX. FIXTURE HGTS (MEASURED FROM BOTTOM OF FIXTURE)			
BREAKFAST/DINING ROOM	63" ABOVE FINISHED FLOOR		
KITCHEN PENDANT LIGHTS	33" ABOVE COUNTER TOP		
TWO STORY FOYER FIXTURE	96" ABOVE FINISHED FLOOR		
CEILING FAN	96" ABOVE FINISHED FLOOR		
FLOOD LIGHT	10' MAX. ABOVE FIN. FLOOR		

NOTE: FINAL PLACEMENT OF  
PHONE/CABLE T.B.D. ON SITE  
BY THE BUILDER

SECOND FLOOR ELECTRICAL PLAN

SCALE: 1/8" = 1'-0"

DATE	REVISION	BY
#	#	#
#	#	#
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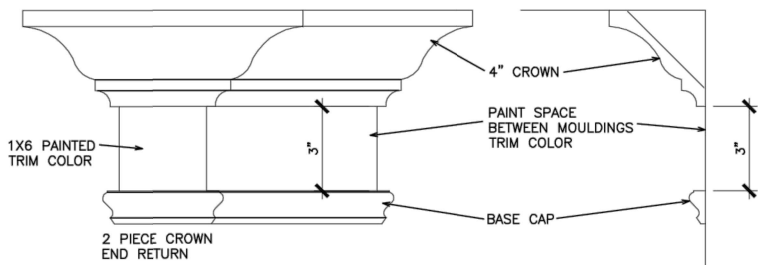
ELECTRICAL PLAN  
SECOND FLOOR  
COLEMAN

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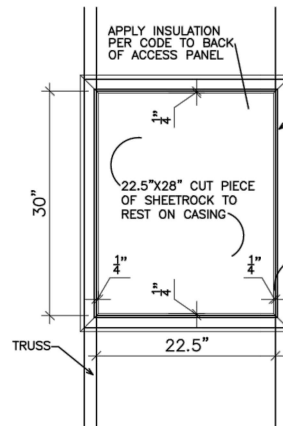
BY: KCC	CH: AW
DATE: 12/5/2024	
FACADE OPT: A	
PLAN ID:	
FND: ALL	BLV: D
PAGE NO: A7.3	

REFER TO LOT SPECIFIC PLAN TO DETERMINE WHICH DETAILS APPLY



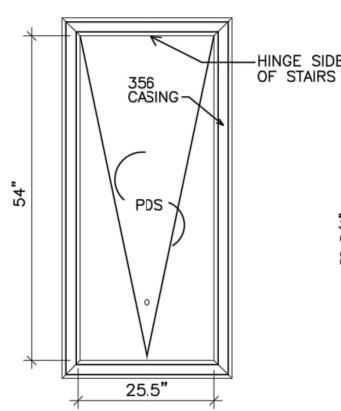
TYPICAL TWO PIECE CROWN

N.T.S.



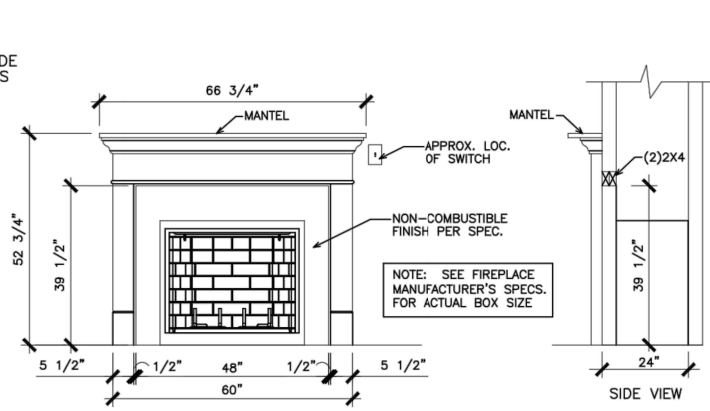
SCUTTLE HOLE DETAIL

N.T.S.



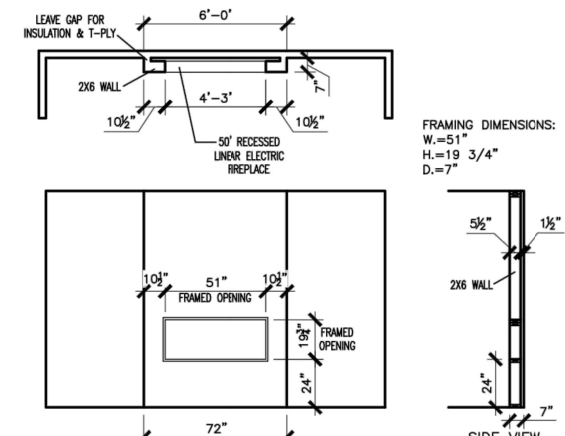
PDS TRIM DETAIL

N.T.S.



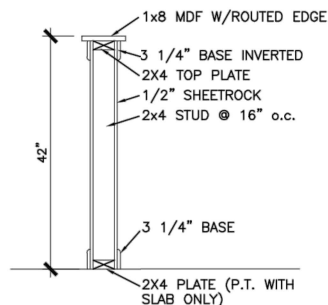
GAS/ELECTRIC FIREPLACE DETAIL WITH WESCOTT WOOD MANTEL

N.T.S.



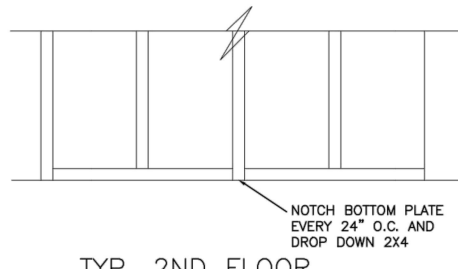
LINEAR ELECTRIC FIREPLACE DETAIL

N.T.S.



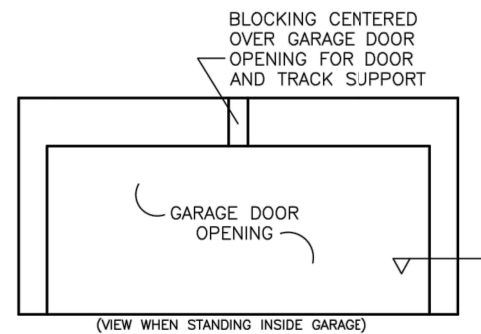
TYP. KNEEWALL SECTION

N.T.S.



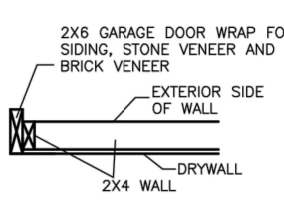
TYP. 2ND FLOOR KNEE WALL STABILITY

N.T.S.

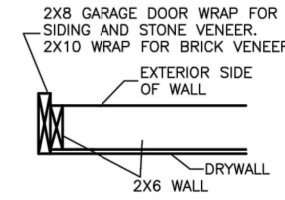


TYP. GARAGE WRAP & BLOCKING

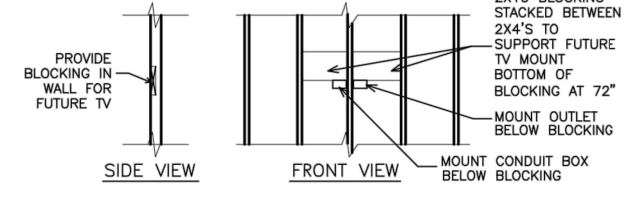
N.T.S.



SECTION VIEW 2X4 PORTAL WALL



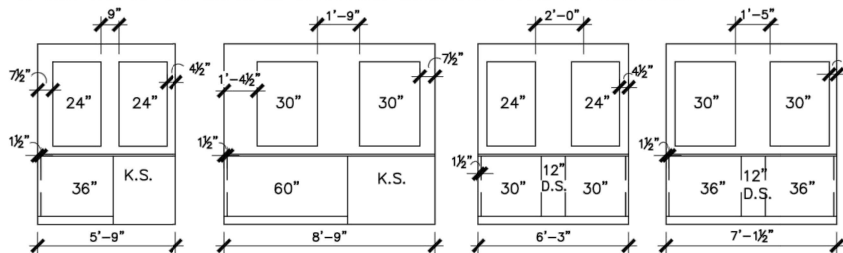
SECTION VIEWS 2X6 PORTAL WALL



TYP. TV WALL PREP

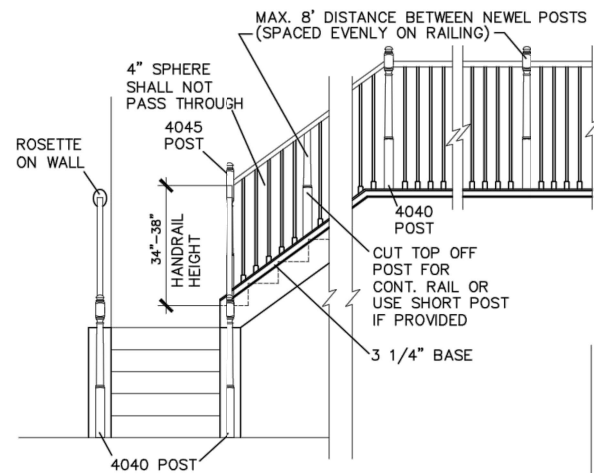
N.T.S.

- MIRRORS ARE TO BE CENTERED ON THE CABINET OR KNEESPACE BELOW.
- SPACE BETWEEN MIRROR AND WALL/CABINET END, MAY NOT MATCH ON EACH SIDE
- MIRRORS ARE LIMITED TO 2 SIZES: 24" & 30"
  - VANITIES 30" & SMALLER RECEIVE THE 24" WIDE MIRROR.
  - VANITIES 33" & LARGER RECEIVE THE 30" WIDE MIRROR.
  - HEIGHTS DO NOT CHANGE.
  - SEE P.O. FOR EXACT WIDTH.
- SEE THE BELOW EXAMPLE DRAWINGS. DIMENSIONS ARE APPROXIMATE.



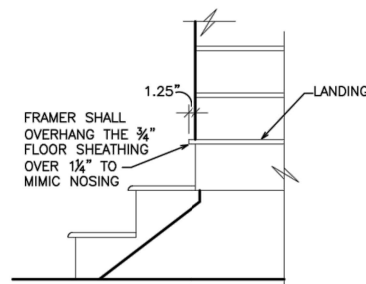
TYPICAL SPLIT MIRROR SCENARIOS

N.T.S.



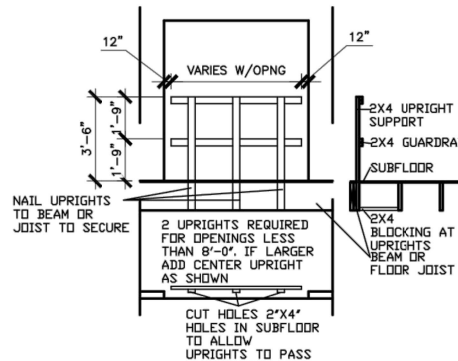
HANDRAIL/POST DETAIL @ STAIRS

N.T.S.



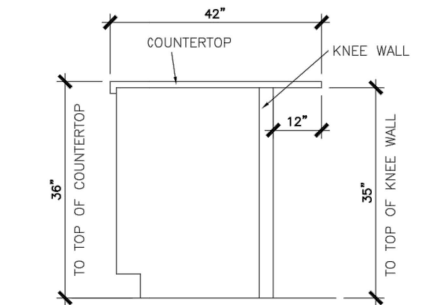
BOX STEP OVERHANG

N.T.S.



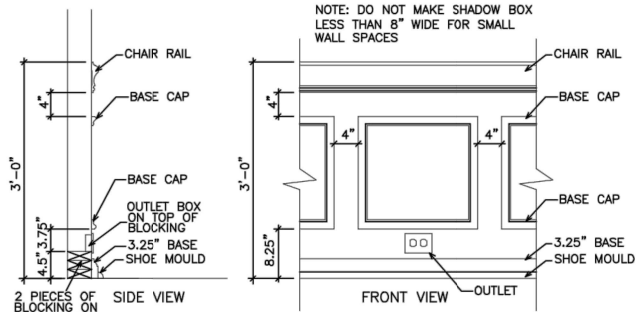
GUARD RAIL DTL. AS REQ'D

N.T.S.



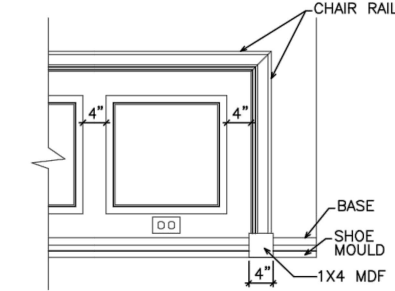
SECTION @ ISLAND KNEEWALL

N.T.S.



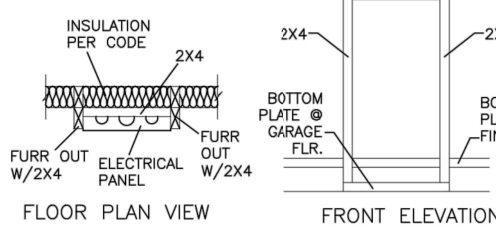
TYPICAL CHAIR RAIL & SHADOW BOX DETAIL

N.T.S.



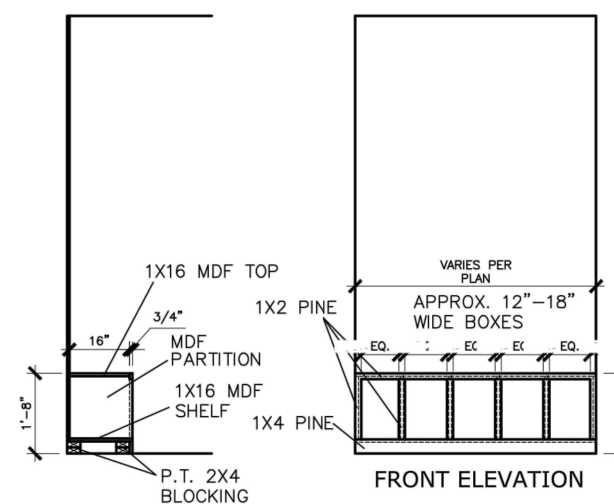
CHAIR RAIL END TRIM DETAIL

N.T.S.



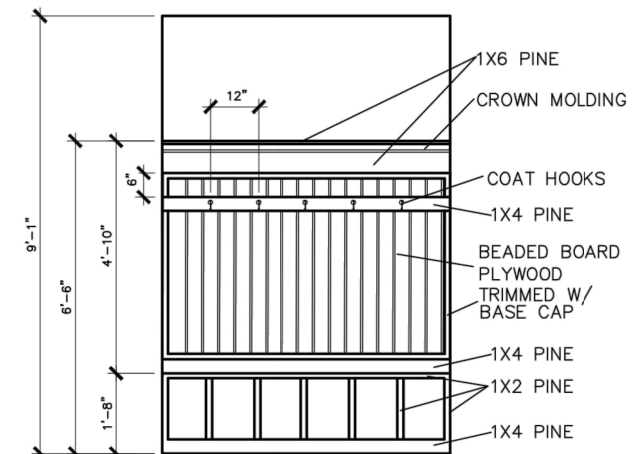
ELECTRICAL PANEL DETAIL

N.T.S.



MUD ROOM BENCH SEAT DETAIL

N.T.S.



MUD ROOM BENCH SEAT DETAIL WITH BEADED BOARD, HOOKS, & CROWN

N.T.S.

(IF TRIM CHOSEN WITHOUT BENCH CONTINUE TO FLOOR)

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BY	DATE	REVISION

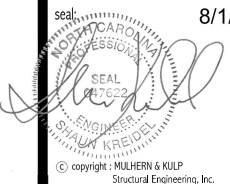
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INTERIOR TRIM  
 DETAILS

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BY:	CH:
DATE:	6/13/23
PACKAGE OPT:	
PLAN ID:	
END:	ELEV:
PAGE NO:	D1.1



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RESIDENTIAL STRUCTURAL ENGINEERING  
3025 Bluebirds Parkway, Suite 105 - Albemarle, NC 28822  
919-777-4894 - mulhern@mkp.com



Mulhern+Kulp project number:  
**256-21006**

project mgr: **SMK**  
drawn by: **MJF**  
issue date: **10-21-2021**

REVISIONS:  
date: initial:  
**12/10/21** **JPP**  
ISSUED PLANS ADDED

SMITH DOUGLAS  
HOMES

GENERAL STRUCTURAL NOTES

COLEMAN MODEL

120 MPH WIND ZONE  
NORTH CAROLINA

sheet:  
**SO.0**

CONNECTION SPECIFICATIONS (TYP. U.N.O.)

Table with 3 columns: DESCRIPTION OF BLDG. ELEMENT, 3"x0.131" NAILS, 3"x0.120" NAILS. Rows include JOIST TO SOLE PLATE, RIM TO TOP PLATE, DOUBLE STUD, etc.

\* 2 1/2"x0.113 IS AN ACCEPTABLE ALTERNATIVE TO A 3"x0.120", SAME SPACING OR NUMBER OF NAILS. (ONLY ACCEPTABLE WHERE \* ARE SHOWN)

ADDITIONAL NOTES FOR TRUSS & I-JOIST MANUFACTURER

ROOF TRUSS AND ENGINEERED JOISTS SHALL BE DESIGNED TO MEET THE DEFLECTION CRITERIA BELOW, UNLESS NOTED OTHERWISE ON PLAN. MULHERN & KULP CANNOT BE HELD RESPONSIBLE FOR ANY STRUCTURAL ISSUES RELATED TO ANY BUILDING COMPONENT IF COMPONENT SHOP DRAWINGS ARE NOT SUBMITTED TO MK FOR REVIEW PRIOR TO FABRICATION, DELIVERY, OR INSTALLATION.

VENEER LINTEL SCHEDULE

Table with 3 columns: SPAN (MAX), HEIGHT OF VENEER ABOVE LINTEL, STEEL ANGLE SIZE. Rows for spans 3'-0", 6'-0", 8'-0", 9'-6".

ALL LINTELS - SHALL SUPPORT 2 3/4" - 3 1/2" VENEER w/ 40 psf MAXIMUM WEIGHT. < 10" SHALL HAVE 4" MIN. BEARING. > 10" SHALL HAVE 6" MIN. BEARING. < 10" SHALL NOT BE FASTENED BACK TO HEADER. > 10" SHALL BE FASTENED BACK TO WOOD HEADERS IN WALL @ 48" O.C. w/ 1/2" DIA. x 3 1/2" LONG LAG SCREWS @ 2' LONG VERTICALLY SLOTTED HOLES.

GENERAL STRUCTURAL NOTES

FOUNDATION

- DESIGN IS BASED ON 2018 NCSBC-RESIDENTIAL CODE & 2018 IRC WITH SOUTH CAROLINA AMENDMENTS.
FOOTING DESIGN - 2,000 PSF NET ALLOWABLE SOIL BEARING PRESSURE IS ASSUMED.
FASTEN 2x4/6 SILL PLATES TO CONC FND WITH A MINIMUM OF 2 ANCHORS PER PLATE, 12" MAX. FROM PLATE ENDS - UTILIZING:
1/2" DIA. ANCHOR BOLTS @ 6'-0" O.C., 7" MIN. EMBEDMENT
FA4 ANCHOR STRAPS @ 6'-0" O.C.

LEGEND

- INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. U.N.O.)
INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. U.N.O.)
INDICATES 14" DEEP FLOOR I-JOISTS (24" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER
INDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX)
INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADDL. 10 PSF DEAD LOAD AT THESE LOCATIONS.

LATERAL/WALL BRACING & WALL SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM: 20MPH WIND IN 2018 NCSBC:RC & 120MPH WIND IN 2018 IRC (120 MPH WIND SPEED IN ASCE 7 WIND MAP, PER IRC R301.2.1.1) EXP. B, RISK CAT. 2 & SEISMIC CAT. A/B.

THE DESIGN WAS COMPLETED PER 2015 & 2018 IBC (SECTION 1609) & ASCE 7, AS PERMITTED BY R301.3 OF THE 2018 NCSBC:RC & 2018 IRC. ACCORDINGLY, THIS MODEL, AS DOCUMENTED AND DETAILED HEREWITHIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES.

DESIGN WIND UPLIFT LOADS HAVE BEEN CALCULATED UTILIZING ASCE 7 (ACCEPTED ENGINEERING PRACTICE) AS ALLOWED PER 2018 NCSBC:RC & 2018 IRC SECTION R802.II.1.1. THIS MODEL HAS BEEN DETAILED WHERE REQUIRED & ENGINEERED TO RESIST THE WIND UPLIFT LOAD PATH PER SECTIONS R602.3.5 & R802.II.

EXT. WALL SHEATHING SPECIFICATION

- 7/16" OSB OR 1/32" PLYWOOD: FASTEN SHEATHING w/ 2 3/8"x0.113 NAILS @ 6" O.C. AT EDGES & @ 12" O.C. IN THE PANEL FIELD.
ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUDS) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES & EDGE FASTENING.

3" O.C. EDGE NAILING

- AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING w/ 2 3/8" x 0.113" NAILS @ 3" O.C. AND 12" O.C. IN THE PANEL FIELD NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC.

NOTES

- SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING. IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN, IT WILL BE SPECIFICALLY NOTED ON PLAN.
DESIGN ASSUMES 16" O.C. MAX. STUD SPACING, U.N.O.
ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.

- INDICATES EXTENT OF INT. OSB SHEARWALL, AND/OR 3" O.C. EDGE NAILING
INDICATES HOLDDOWN

FLOOR FRAMING

- I-JOISTS SHALL BE DESIGNED BY MANUF. TO MEET OR EXCEED L/480 LIVE LOAD DEFLECTION CRITERIA.
PER THE GUIDELINES OF THE TILE COUNCIL OF NORTH AMERICA (TCNA HANDBOOK), IT SHALL BE THE FLOOR FINISH INSTALLER'S RESPONSIBILITY TO VERIFY THAT THE FINISHES TO BE INSTALLED MATCH THE DESIGN CRITERIA NOTED ABOVE (UNDER 'DESIGN LOADS').
FLOOR SYSTEMS & SHEATHING HAVE BEEN DESIGNED TO SUPPORT ADDITIONAL DEAD LOAD FROM CERAMIC TILE (EXCLUDING MARBLE OR STONE).
AT I-JOIST FLOORS, PROVIDE 1" MIN. OSB RIM BOARD.

ROOF FRAMING

- ROOF SHEATHING SHALL BE 7/16" A.P.A. RATED SHEATHING 24/16 EXPOSURE 1 (OR APPROVED EQUAL).
WITHIN 48" OF ALL ROOF EDGES, RIDGES, & HIP'S FASTEN ROOF SHEATHING FIELDS PER EDGE NAILING SPEC.
FASTEN EACH ROOF TRUSS TO TOP PLATE w/ USP RTIA CLIP (OR APPROVED EQUAL) & ALL BEARING POINTS.
ERECT AND INSTALL ROOF TRUSSES PER ITC & TPI'S BC51 "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING & BRACING OF METAL PLATE CONNECTED WOOD TRUSSES."

MEANS & METHODS NOTES

THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FINISHED AND ALL PLAN, DETAIL, AND NOTE SPECIFICATIONS HAVE BEEN COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION.

STRUCTURAL DESIGN AND SPECIFICATIONS ASSUME THAT ALL SUPPORTING AND NON-SUPPORTING ELEMENTS IN CONTACT WITH FLOOR FRAMING ARE LEVEL, INCLUDING, BUT NOT LIMITED TO; FOUNDATIONS, SLABS ON GRADE, BEAMS, WALLS, AND NON-BEARING ELEMENTS.

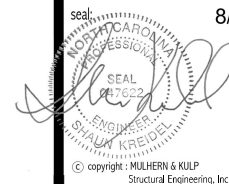
GENERAL STRUCTURAL NOTES

- DESIGN IS BASED ON 2018 NCSBC-RESIDENTIAL CODE & 2018 IRC WITH SOUTH CAROLINA AMENDMENTS.
WOOD FRAME ENGINEERING IS BASED ON NDS, "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" - LATEST EDITION.
DESIGN LOADS:
ROOF LIVE = 20 PSF DEAD = 7 PSF T.C., 10 PSF B.C. LOAD DURATION FACTOR = 1.25
FLOOR LIVE = 40 PSF (30 PSF @ SLEEPING AREAS) DEAD = 10 PSF (I-JOISTS)
ADD'L 10 PSF @ CERAMIC TILE IN BATHS & LAUND.
SOIL 2,000 PSF ASSUMED ALLOWABLE BEARING PRESSURE (TO BE VERIFIED BY BUILDER)

GENERAL FRAMING

- ALL TYP. NAIL FASTENER REQUIREMENTS ARE NOTED IN STANDARD CONNECTIONS TABLE (IRC TABLE R602.3(I)) OR ON PLANS.
ALL INTERIOR BEARING WALLS ARE ASSIGNED TO BE SHEATHED w/ GYP WALL BOARD (ONE SIDE MIN.) OR PROVIDE MID HT. BLOCKING.
ALL HEADERS, BEAMS & OTHER STRUCTURAL MEMBERS SHALL BE SPRUCE-PINE-FIR #2 (SP) OR SOUTHERN PINE #2 (SP) LUMBER, OR BETTER.
ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 2x STUD GRADE MEMBERS SPACED @ 24" O.C. (MAX., U.N.O.)
ENGINEERED LUMBER BEAMS TO MEET OR EXCEED THE FOLLOWING:
ENGINEERED LUMBER POSTS TO MEET OR EXCEED THE FOLLOWING:
FOR 2 & 3 PLY BEAMS OF EQUAL 1 1/2" MAX. WIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF 3"x0.120" NAILS @ 8" O.C. OR 2 ROWS USP W535 SCREWS (OR 3 1/2" TRUSSLOK SCREWS) @ 16" O.C. USE A MINIMUM OF 4 ROWS FOR BEAM DEPTHS OF 14" OR GREATER.

HARRINGTON  
Lot 49



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NC License # C-3825

Mulhern+Kulp project number:  
**256-21006**  
project mgr: SMK  
drawn by: MJF  
issue date: 10-21-2021  
REVISIONS:  
date: 12/10/21 initial: JPP  
REVISIONS ADDED

SMITH DOUGLAS  
HOMES

**HARRINGTON  
Lot 49**

REFER TO S.O.D FOR TYPICAL  
STRUCTURAL NOTES & SCHEDULES

MONO-SLAB FOUNDATION

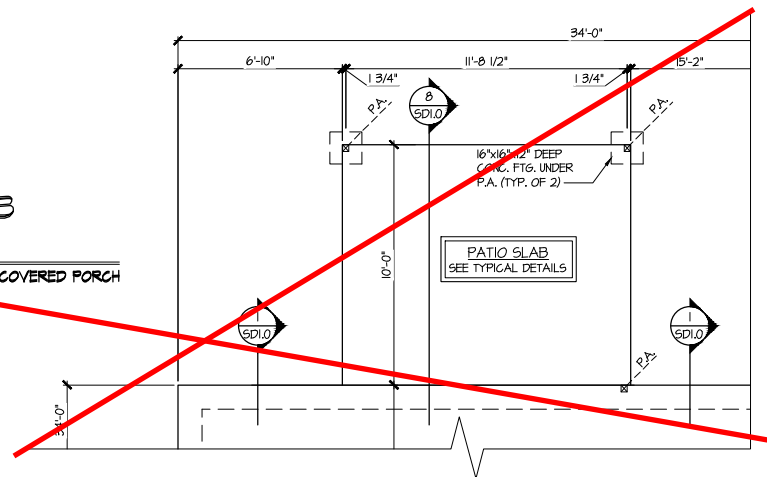
COLEMAN MODEL

120 MPH WIND ZONE  
NORTH CAROLINA

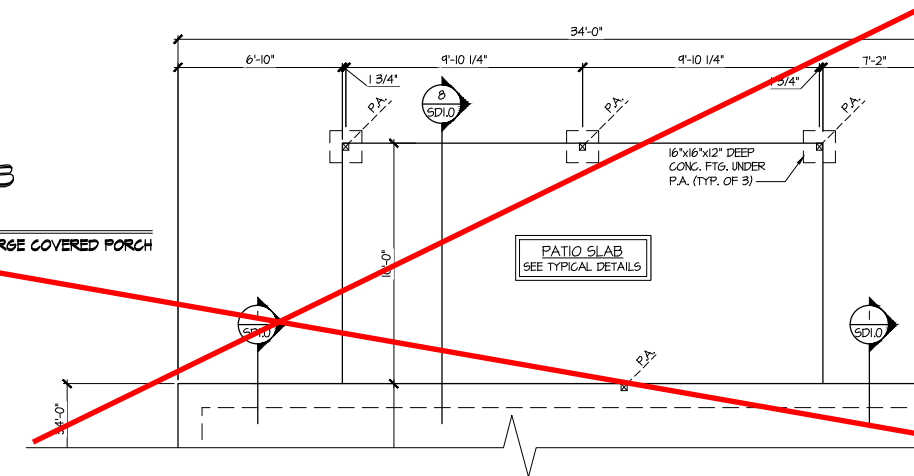
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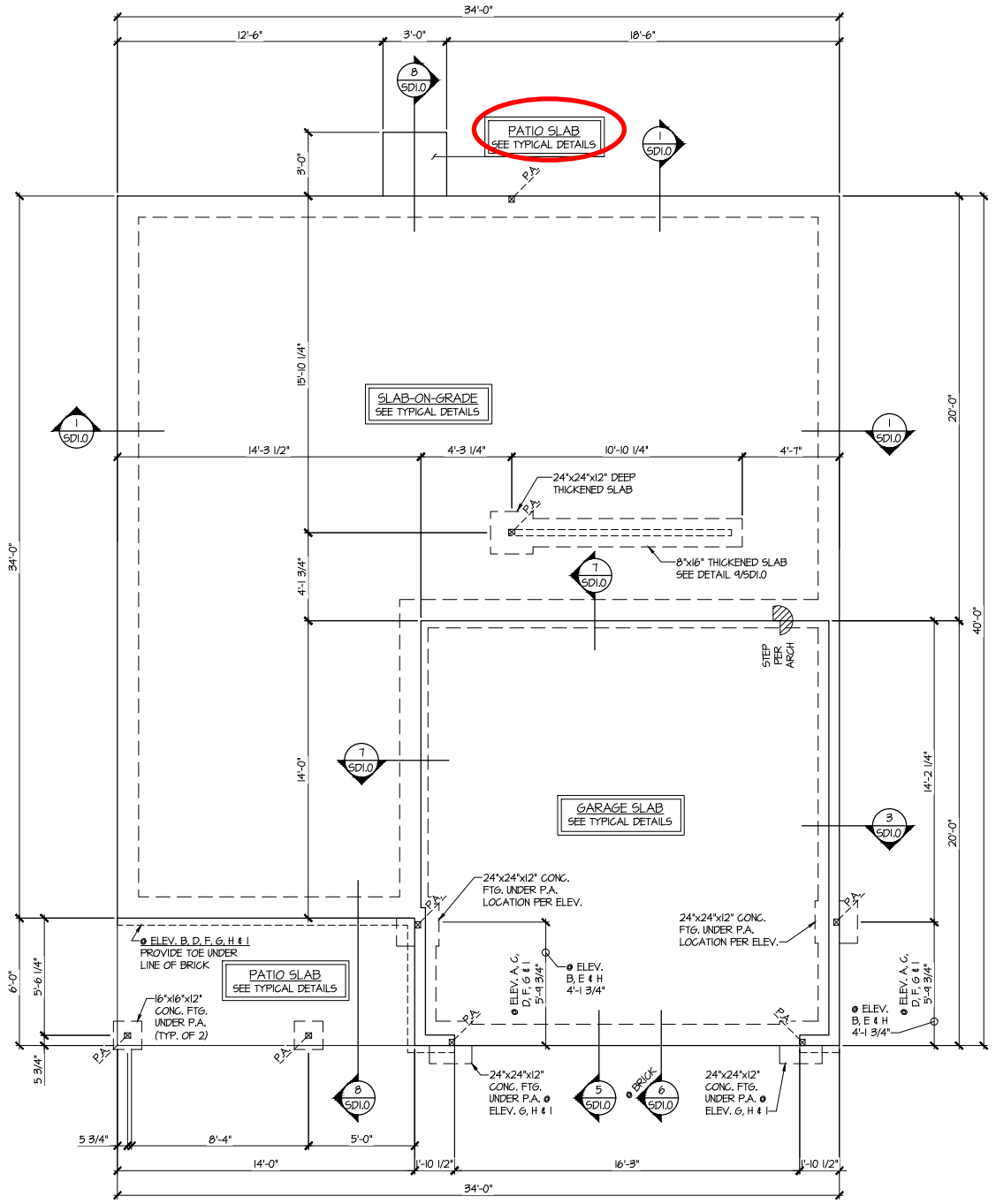
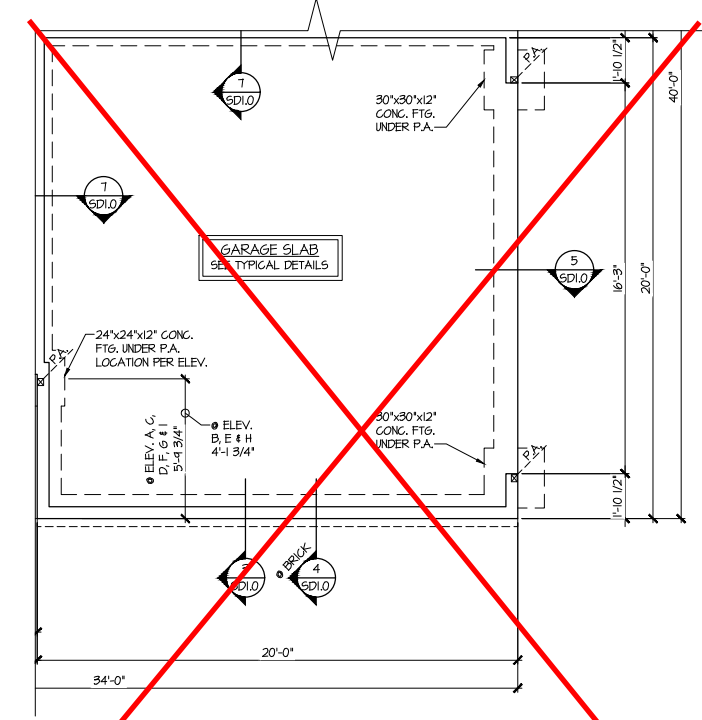
**3 PARTIAL MONO-SLAB  
FOUNDATION PLAN**  
SCALE: 1/4"=1'-0" ON 22x34  
1/8"=1'-0" ON 11x17 OPT. COVERED PORCH



**4 PARTIAL MONO-SLAB  
FOUNDATION PLAN**  
SCALE: 1/4"=1'-0" ON 22x34  
1/8"=1'-0" ON 11x17 OPT. LARGE COVERED PORCH



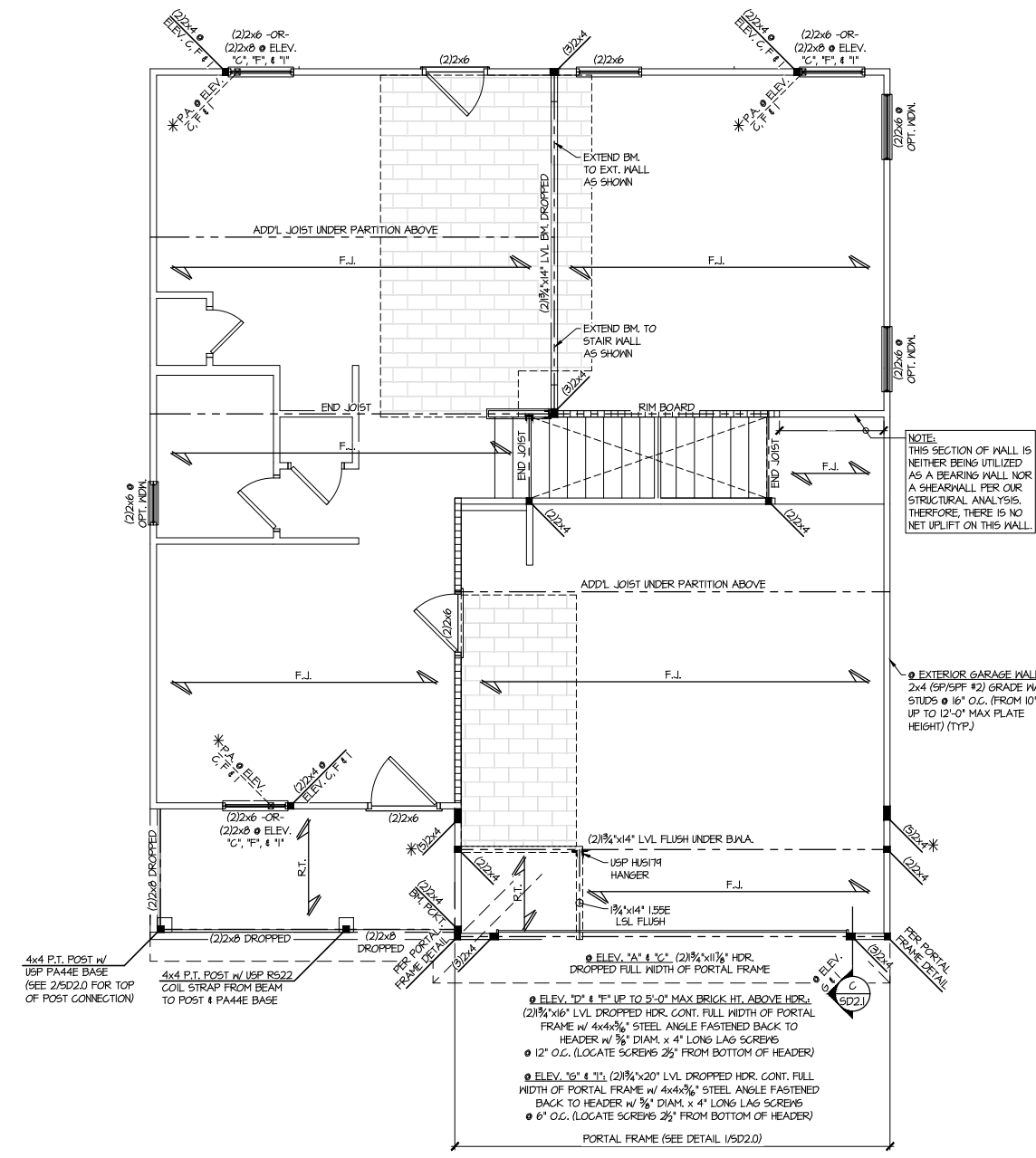
**2 PARTIAL MONO-SLAB FOUNDATION PLAN**  
SCALE: 1/4"=1'-0" ON 22x34  
1/8"=1'-0" ON 11x17 OPT. SIDE ENTRY GARAGE



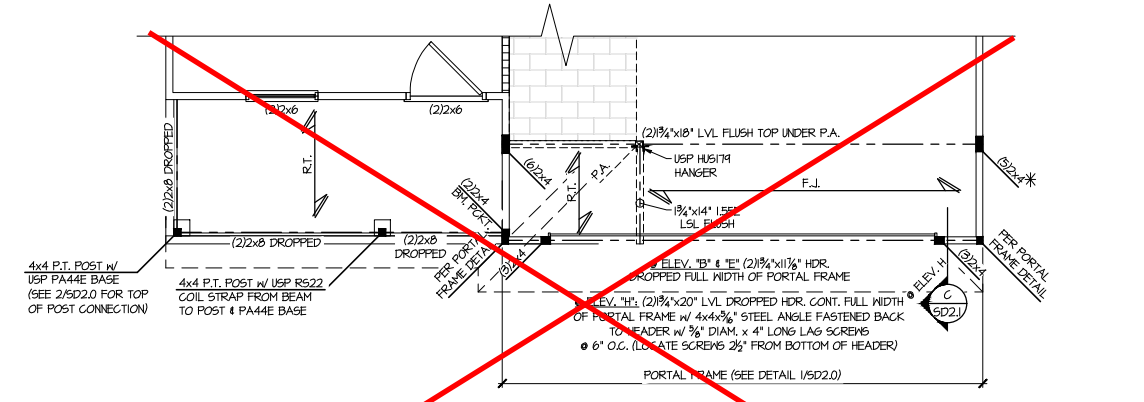
**1 MONO-SLAB FOUNDATION PLAN**  
SCALE: 1/4"=1'-0" ON 22x34  
1/8"=1'-0" ON 11x17 ALL ELEV. SIM.

**LEGEND**

- R.T. INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. U.N.O.)
- O.F. INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. U.N.O.)
- F.J. INDICATES 14" DEEP FLOOR I-JOISTS (24" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER
- D.J. INDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX)
- INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADDL. 10 PSF DEAD LOAD AT THESE LOCATIONS.
- INTERIOR BEARING WALL
- BEARING WALL ABOVE (B.W.A.)
- BEAM/HEADER
- METAL HANGER
- INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

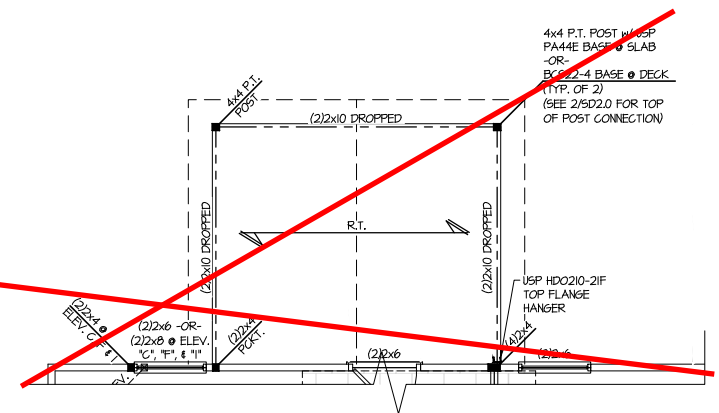


**1 2ND FLOOR FRAMING PLAN**  
 SCALE: 1/4"=1'-0" ON 22x34  
 1/8"=1'-0" ON 11x17  
 ELEV. A, C, D, F, G & H

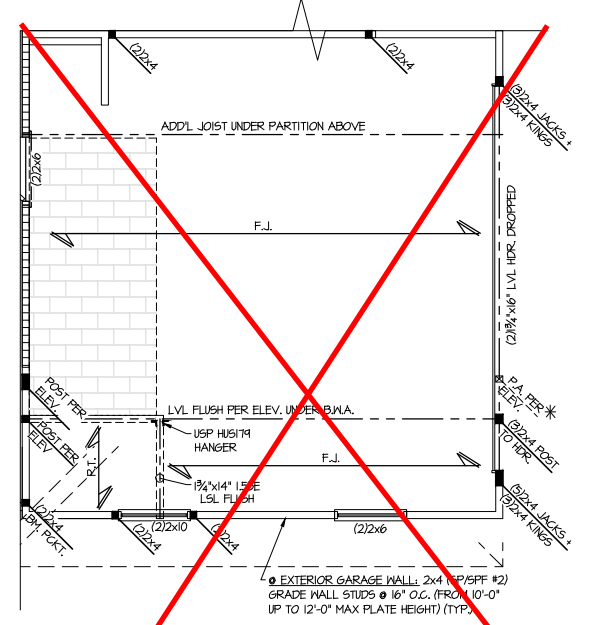
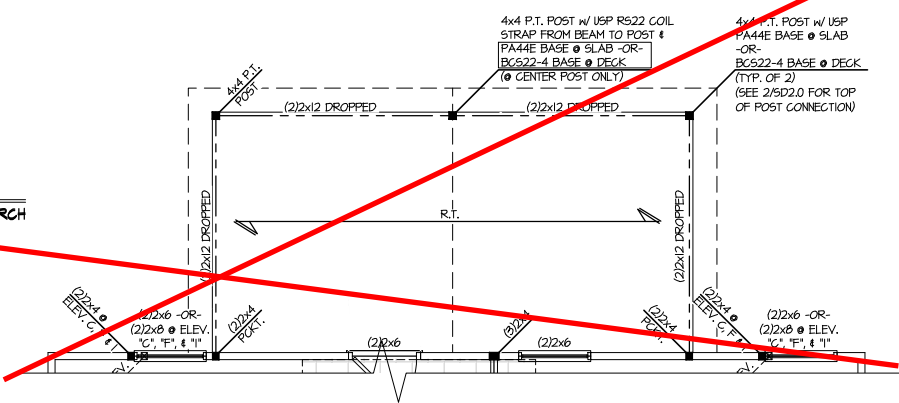


**2 PARTIAL 2ND FLOOR FRAMING PLAN**  
 SCALE: 1/4"=1'-0" ON 22x34  
 1/8"=1'-0" ON 11x17  
 ELEV. B, E & H  
 SEE ELEV. A FOR ADDL INFO

**3 PARTIAL 2ND FLOOR FRAMING PLAN**  
 SCALE: 1/4"=1'-0" ON 22x34  
 1/8"=1'-0" ON 11x17  
 OPT. COVERED PORCH



**4 PARTIAL 2ND FLOOR FRAMING PLAN**  
 SCALE: 1/4"=1'-0" ON 22x34  
 1/8"=1'-0" ON 11x17  
 OPT. LARGE COVERED PORCH



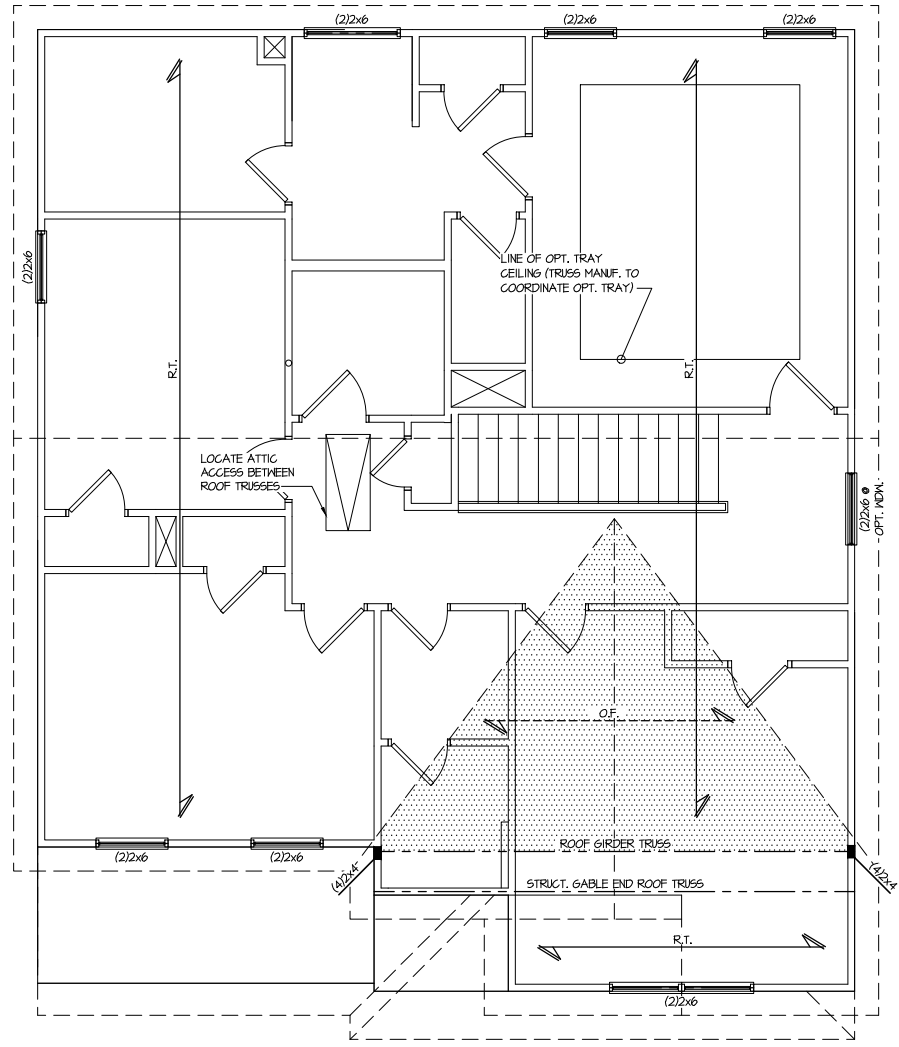
**5 PARTIAL 2ND FLOOR FRAMING PLAN**  
 SCALE: 1/4"=1'-0" ON 22x34  
 1/8"=1'-0" ON 11x17  
 OPT. SIDE ENTRY GARAGE  
 ALL ELEV. SHM.

**HARRINGTON**  
 Lot 49

THIS LEVEL HAS BEEN DESIGNED FOR 9'-1" PLATE HEIGHT  
 REFER TO 5.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

**LEGEND**

- R.T. INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. U.N.O.)
- O.F. INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. U.N.O.)
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- INTERIOR BEARING WALL
- BEARING WALL ABOVE (B.W.A.)
- BEAM/HEADER
- M.L. METAL HANGER
- \* INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.



**ROOF FRAMING PLAN**  
 SCALE: 1/4"=1'-0" ON 22x34 ELEV. A, D & G  
 1/8"=1'-0" ON 11x17

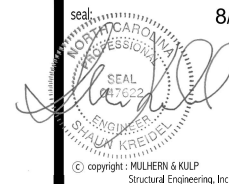
**HARRINGTON  
 Lot 49**

THIS LEVEL HAS BEEN DESIGNED FOR 9'-1" PLATE HEIGHT

REFER TO 50.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

**LEGEND**

- INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. U.N.O.)
- INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. U.N.O.)
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- BEAM/HEADER
- METAL HANGER
- INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.



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Mulhern+Kulp project number:  
256-21006

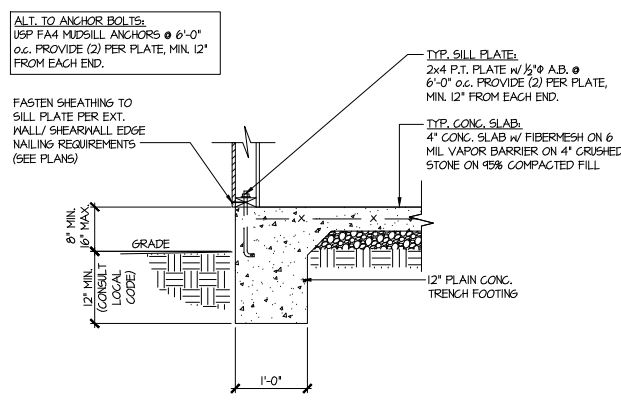
project mgr: SMK  
drawn by: MJF  
issue date: 10-21-2021

REVISIONS:  
date: 12/10/21 initial: JPP  
REVISIONS ADDED

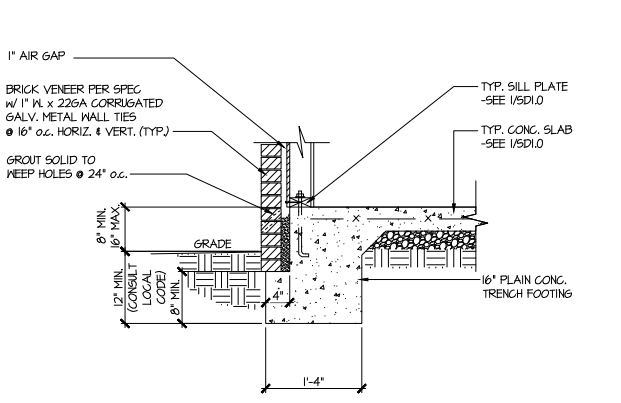
SMITH DOUGLAS  
HOMES

FOUNDATION DETAILS  
COLEMAN MODEL  
120 MPH WIND ZONE  
NORTH CAROLINA

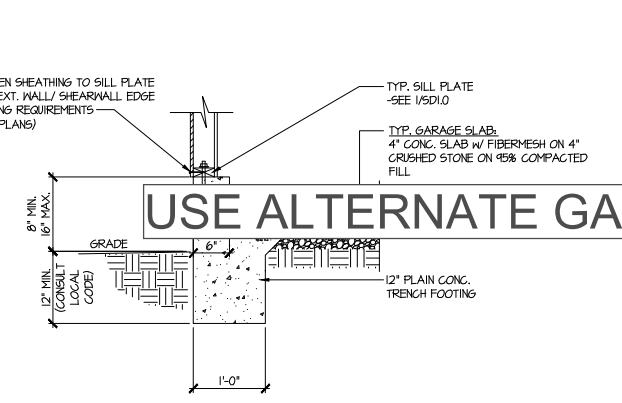
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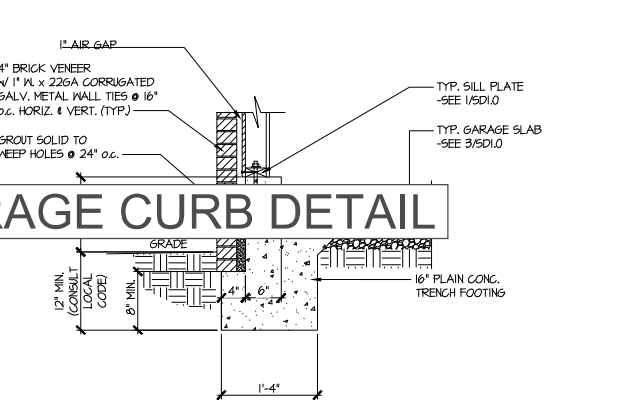
1 TYPICAL SLAB ON GRADE PERIMETER FOOTING



2 TYPICAL SLAB ON GRADE PERIMETER FOOTING w/ BRICK VENEER

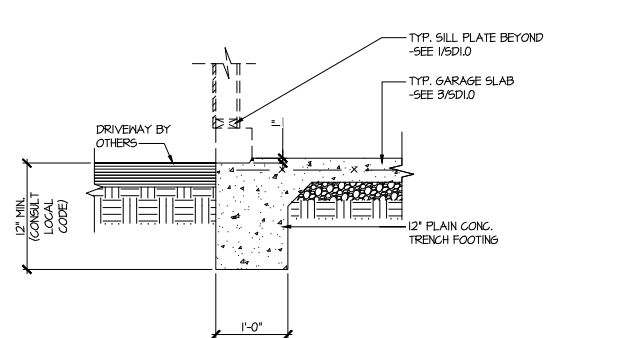


3 TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING

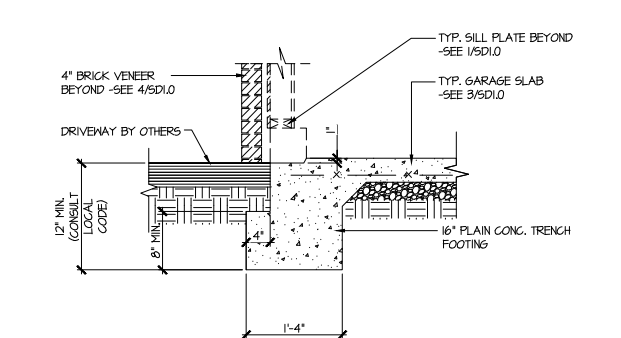


4 TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING w/ BRICK VENEER

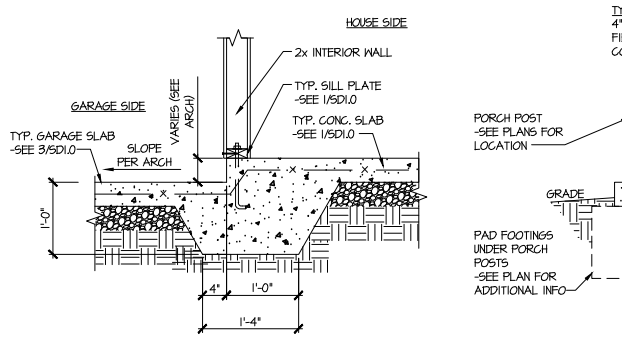
**USE ALTERNATE GARAGE CURB DETAIL**



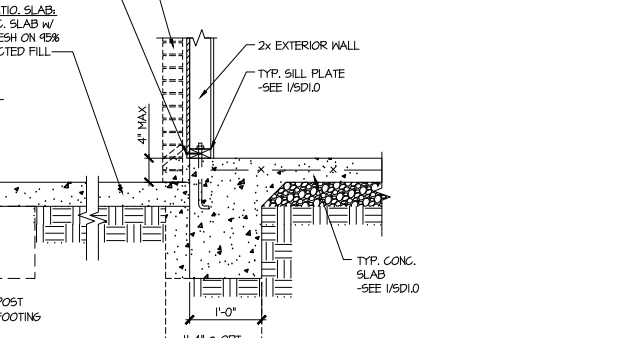
5 TYPICAL SLAB ON GRADE GARAGE ENTRY @ PERIMETER FOOTING



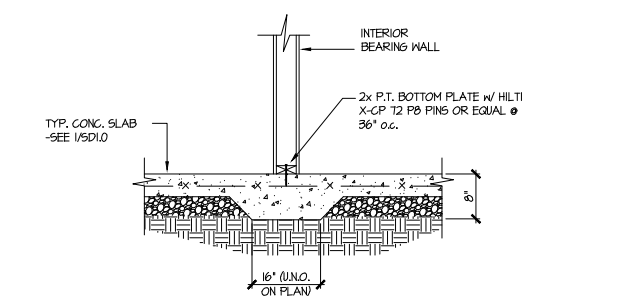
6 TYPICAL SLAB ON GRADE GARAGE ENTRY @ PERIMETER FOOTING w/ BRICK VENEER



7 TYPICAL MONOLITHIC INTERIOR GARAGE FOOTING



8 TYPICAL SLAB ON GRADE PERIMETER FOOTING @ PORCH/PATIO



9 TYPICAL THICKENED SLAB @ INTERIOR BEARING WALL

**HARRINGTON**  
Lot 49

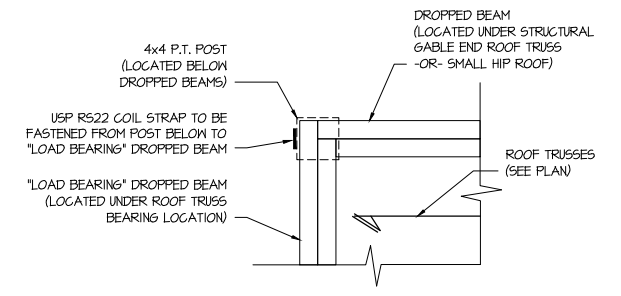
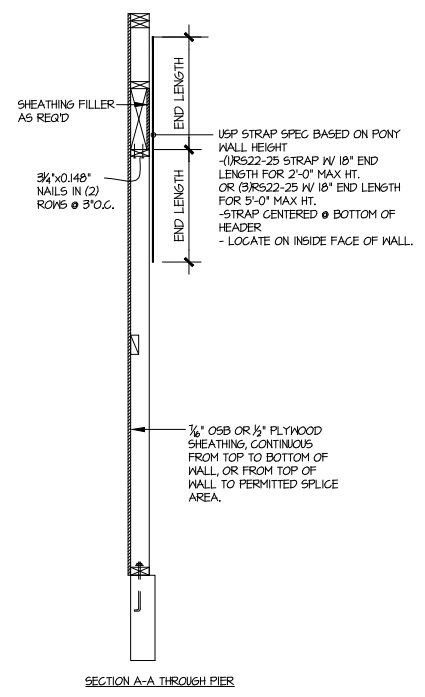
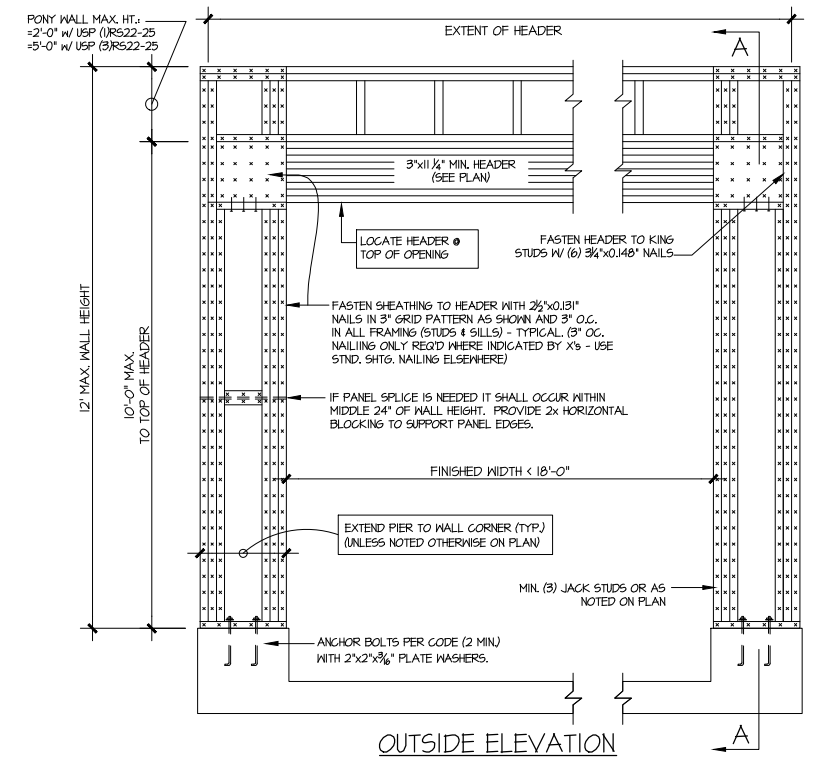
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 NC License # C-3825

Mulhern+Kulp project number:	256-21006
project mgr:	SMK
drawn by:	MJF
issue date:	10-21-2021
REVISIONS:	
date:	initial:
12/10/21	JFP
REWORK PLANS ADDED	

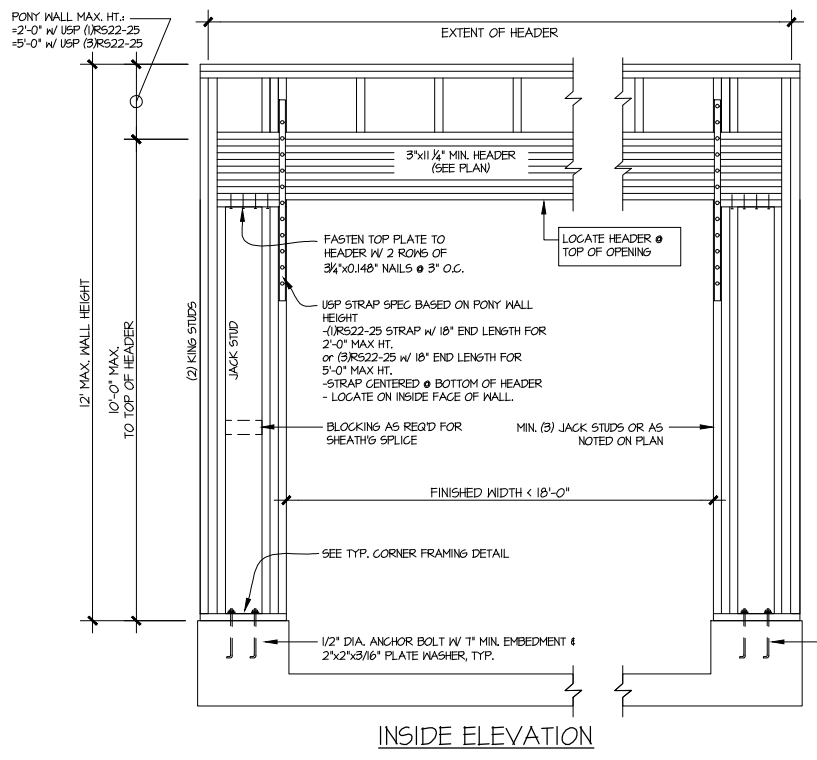
SMITH DOUGLAS  
 HOMES

FRAMING DETAILS  
 COLEMAN MODEL  
 120 MPH WIND ZONE  
 NORTH CAROLINA

sheet:  
**SD2.0**

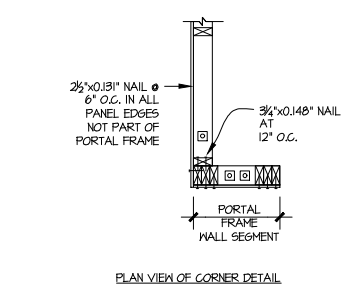


**COVERED PORCH CONNECTION DETAIL**  
 SCALE: 1/2"=1'-0"



NOTE: ALL SHEATHABLE AREAS OF EXTERIOR WALL SHALL BE FULLY SHEATHED WITH 1/2" PLYWOOD OR 3/8" OSB

WALL FRAMING SPECIFICATION:  
 2x4 WALL: USE SPF #2 GRADE STUDS (OR BETTER)  
 2x6 WALL: USE SPF STUD GRADE STUDS (OR BETTER)



ALTERNATIVES TO 1/2" DIA. ANCHOR BOLT:  
 1) 1/2" DIA. THREADED ROD EPOXY SET w/ 4 1/2" EMBED. (MIN) UTILIZING HILTI HY200 EPOXY ANCHORING SYSTEM (OR EQUAL)

**GARAGE PORTAL FRAME BRACING ELEVATION**  
 SCALE: N.T.S. BOTH SIDES OF GARAGE DOOR 120 MPH WIND SPEED (ULT)

**HARRINGTON**  
 Lot 49





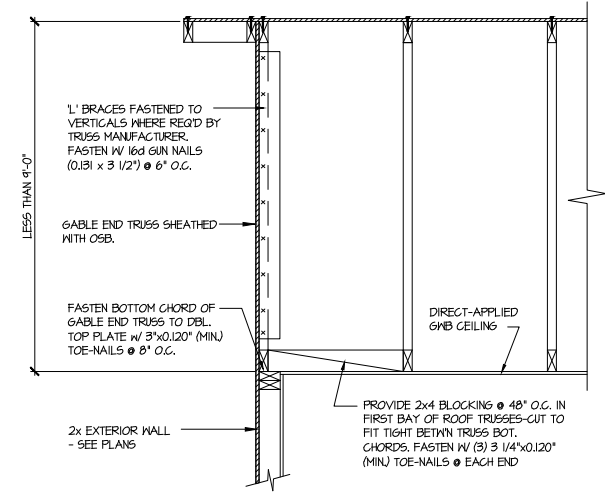
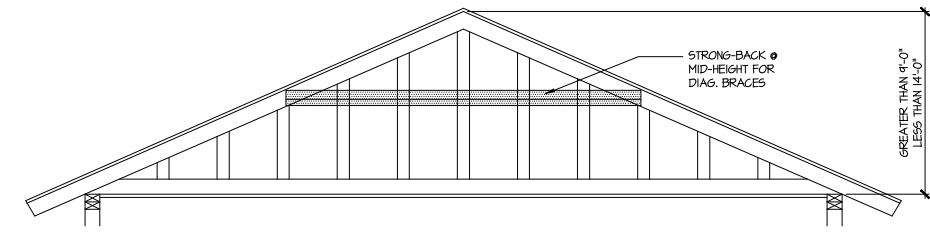
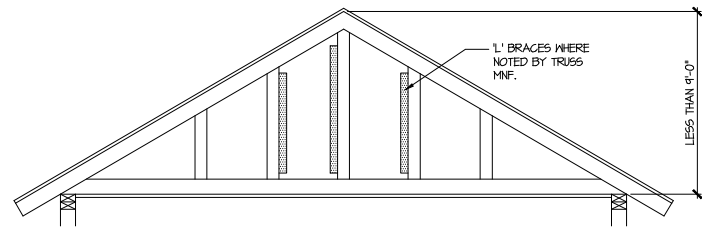
Mulhern+Kulp project number:  
**256-21006**  
 project mgr: **SMK**  
 drawn by: **MJF**  
 issue date: **10-21-2021**

REVISIONS:  
 date: 12/10/21 initial: JPP  
 REVISIONS ADDED

SMITH DOUGLAS  
 HOMES

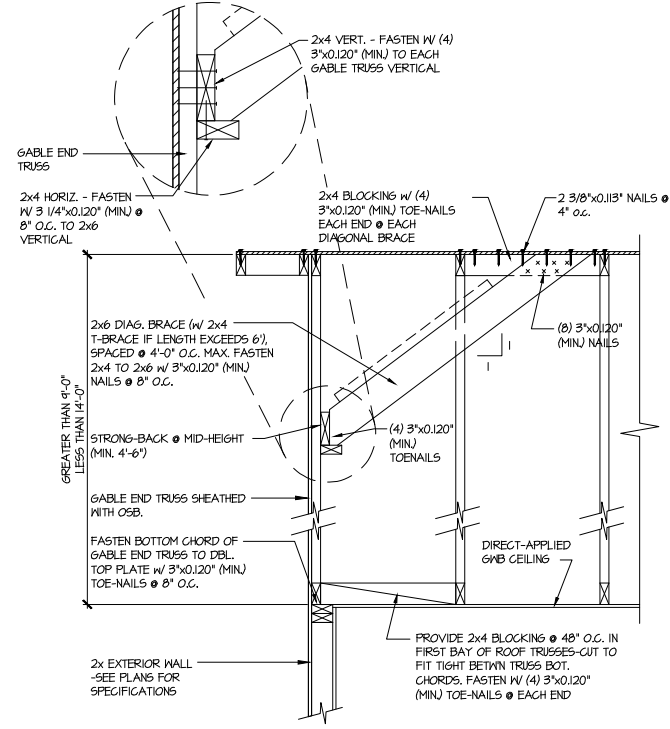
FRAMING DETAILS  
**COLEMAN MODEL**  
 120 MPH WIND ZONE  
 NORTH CAROLINA

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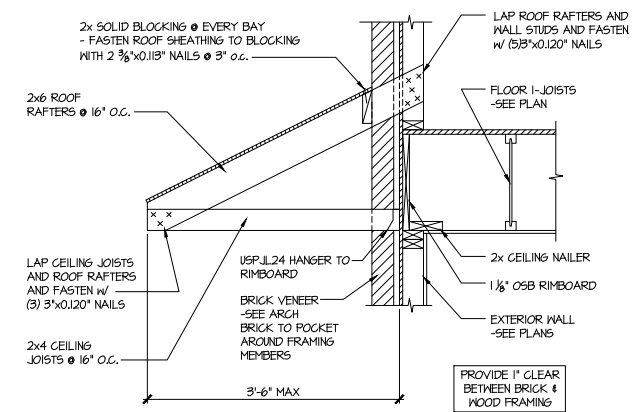
**A** TYPICAL GABLE END BRACING DETAIL  
 SCALE: NONE  
 REQ'D @ GABLE END TRUSS HEIGHT UP TO 9'-0"

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT IS LESS THAN 9'-0". 1" BRACES REQUIRED WHERE NOTED BY TRUSS MANUFACTURER.



**B** TYPICAL GABLE END BRACING DETAIL  
 SCALE: NONE  
 REQ'D @ GABLE END TRUSS HEIGHT BETWEEN 9'-0" TO 14'-0"

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT EXCEEDS 9'-0". 1" BRACES NOT REQUIRED.



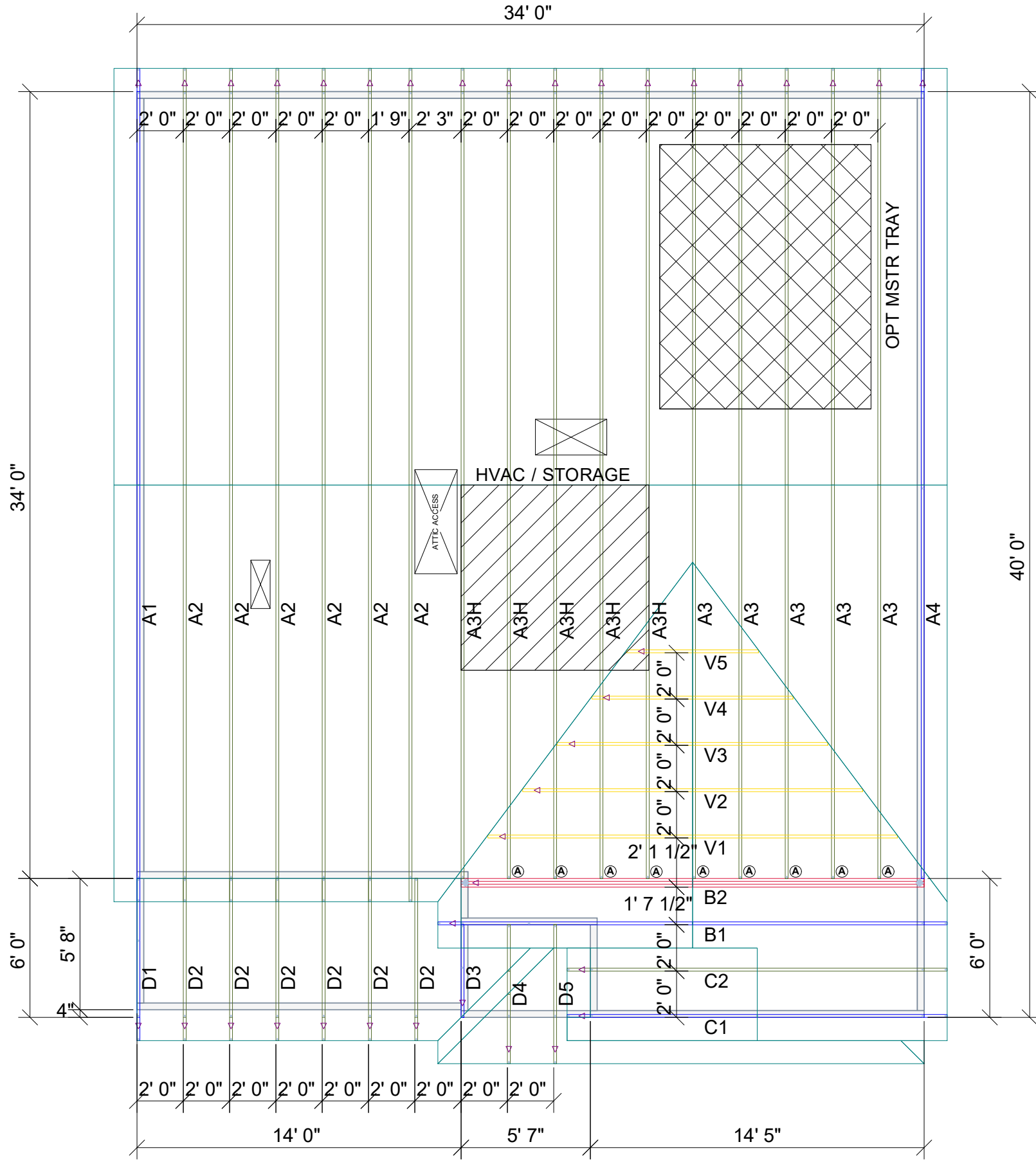
**C** DETAIL @ PENT ROOF  
 SCALE: 3/4"=1'-0"

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.

**HARRINGTON**  
 Lot 49

THIS IS A TRUSS/COMPONENT PLACEMENT DIAGRAM (TPD) ONLY; NOT AN ENGINEERED DOCUMENT. Trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. See individual truss design drawings (TDD's) for each truss design identified on the TPD. The building designer is responsible for temporary and permanent bracing of the roof and floor system and for the overall structure. The design of the support structure including but not limited to headers, beams, walls, and columns is also the responsibility of the building designer. For general guidance regarding installation and bracing, consult "Building Component Safety Information" (BCSI) available from the SBC Association (www.sbcassociation.com). It is the responsibility of the General Contractor to verify that the provided component layout matches the final intended construction plans, loading conditions, and use. If they do not, it is the responsibility of the General Contractor to notify UFP and provide plans containing the latest specifications and designs. UFP will not be responsible for plan changes by others after final approval of shop drawings, or for errors or modifications made on-site during construction. DO NOT CUT, NOTCH, DRILL, OR OTHERWISE "REPAIR" MANUFACTURED TRUSSES IN ANY WAY WITHOUT PRIOR WRITTEN AUTHORIZATION BY A LICENSED PROFESSIONAL DESIGNATED BY UFP. The Framing is responsible to verify all dimensions, including adjusting member spacing within tolerances to allow for the drop and rise of plumbing/HVAC, unless noted otherwise. Truss-to-wall connections, if shown, are for uplift only and do not consider lateral loads. All connectors on this project are to be installed per the connector manufacturer's specifications. All connectors shown that are not truss-to-truss are suggestions only and are to be verified by the Building Designer or Engineer of Record for suitability to this particular project. UFP accepts no responsibility for the specific application or suitability of any connector that is not truss-to-truss as they apply to this specific structure.



PLACEMENT PLAN

Roof Hanger List			
MARK	TYPE	DESCRIPTION	QTY
(A)	HUS26	FACE MOUNT HANGER	9

# COLEMAN ADG NO TRAY

SCALE: N.T.S

REVISIONS		DSN
DATE	DESCRIPTION	

DESIGNER - THATHCOCK  
LAYOUT DATE - 03.24.2022  
ARCH DATE -  
STRUC DATE -

JOB #: -22032047

-COLEMAN ADG NO TRAY RH

-SD COMMUNITIES

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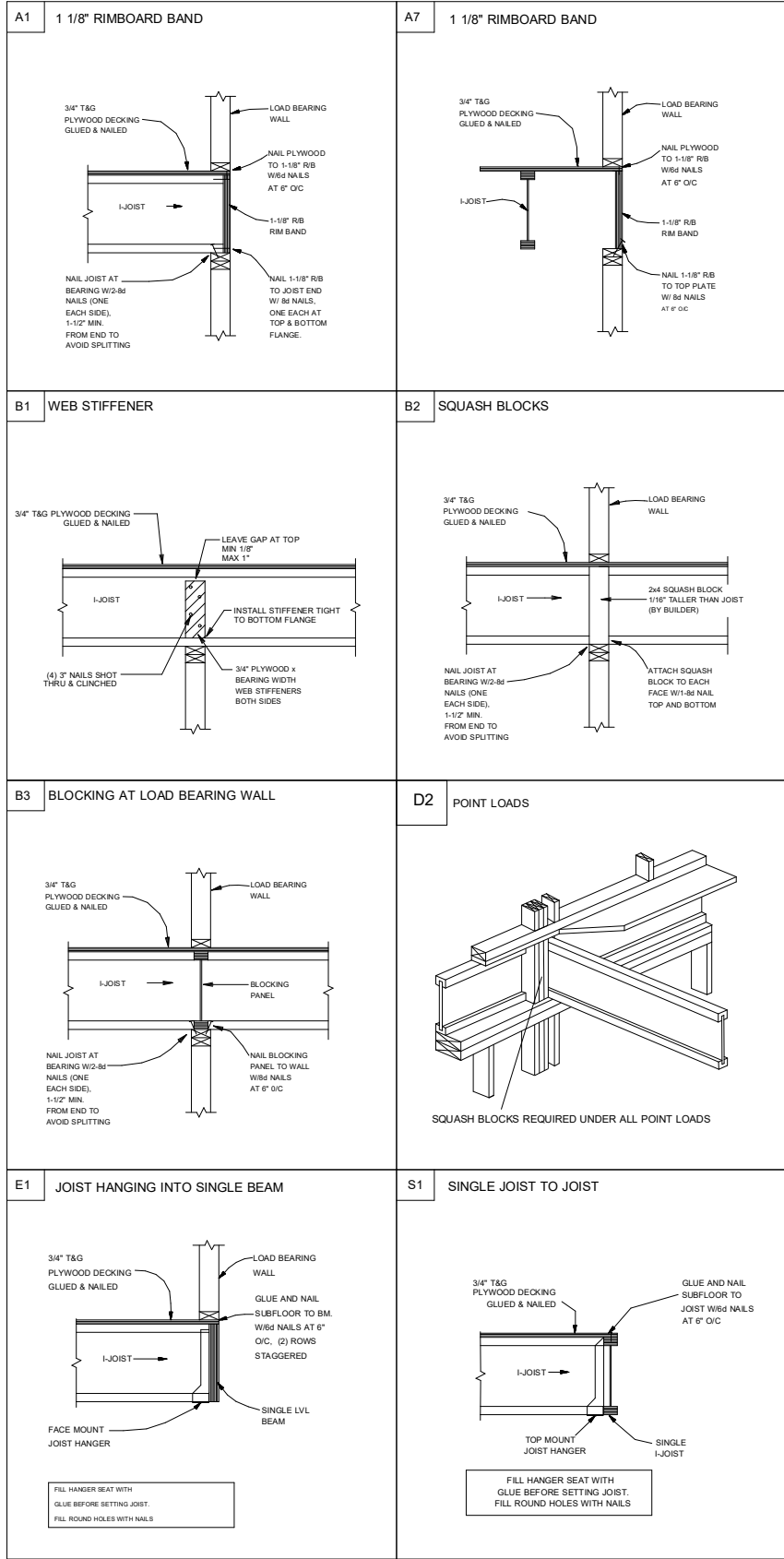
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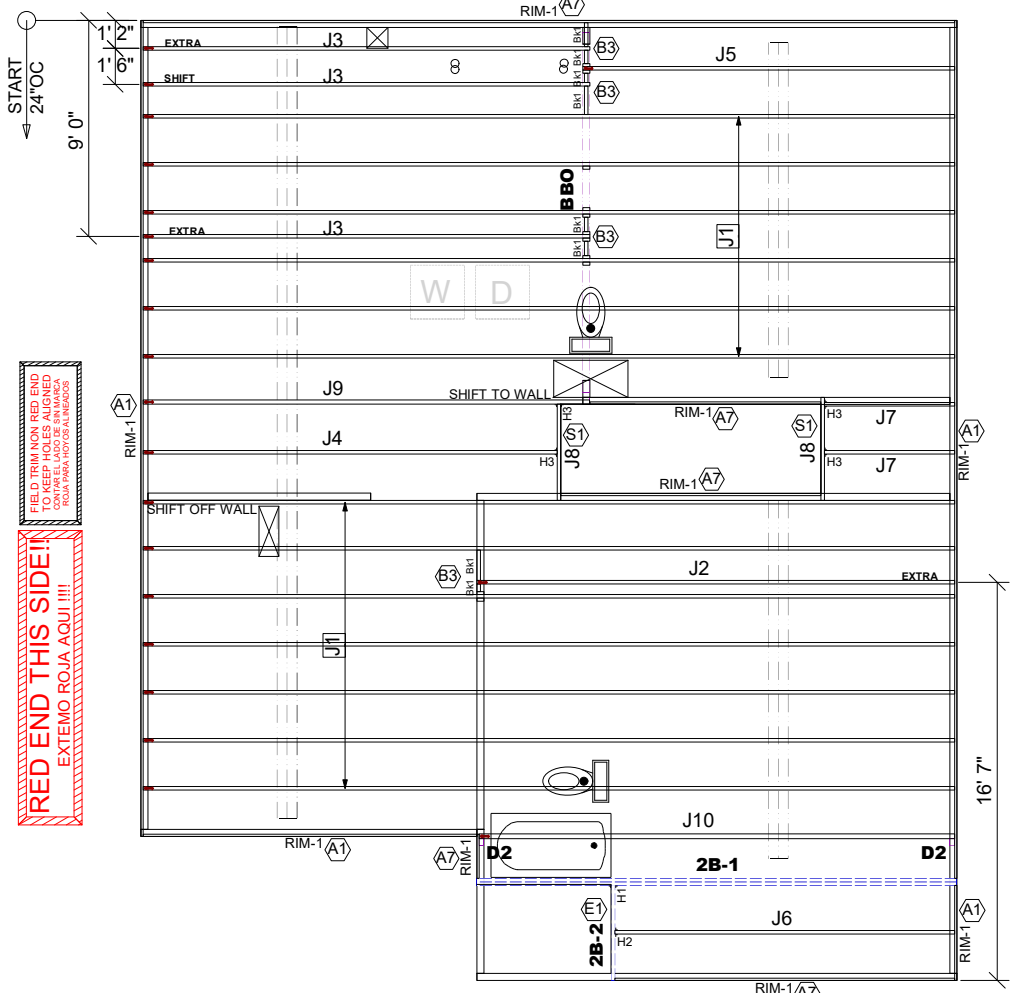
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THIS IS AN ENGINEERED WOOD PRODUCT (EWP) MEMBER PLACEMENT DIAGRAM ONLY; NOT AN ENGINEERED DOCUMENT. EWP members are designed as individual building components to be incorporated into the building design at the specification of the building designer. The Contractor is responsible for the temporary bracing of the floor system, and the building designer is responsible for the permanent bracing and blocking of the floor system and the overall structure. The design of the support structure including but not limited to headers, beams, walls, and columns is also the responsibility of the building designer. It is the responsibility of the General Contractor to verify that the proposed layout matches the final intended construction plans, loading conditions, and use. If they do not, it is the responsibility of the General Contractor to notify UFP and provide plans containing the latest specifications and designs. UFP will not be responsible for plan changes by others after final approval of shop drawings, or for errors or modifications made on-site during construction. DO NOT CUT, NOTCH, DRILL, OR OTHERWISE "REPAIR" EWP MEMBERS IN ANY WAY WITHOUT PRIOR WRITTEN AUTHORIZATION BY A LICENSED PROFESSIONAL DESIGNATED BY UFP. The Framing is responsible to verify all dimensions, including adjusting member spacing within tolerances to allow for the drop and rise of plumbing/HVAC, unless noted otherwise. All connectors on this project are to be installed per the connector manufacturer's specifications. All connectors shown that are not joist to joist are suggestions only and are to be verified by the Building Designer or Engineer of Record for suitability to this particular project. UFP accepts no responsibility for the specific application or suitability of any connector that is not joist to joist as they apply to this specific structure.



**2ND FLOOR PLACEMENT PLAN**



FIELD TRIM NON RED END TO KEEP HOLES ALIGNED  
 EXTIMO ROJA AQUI!!!!  
 RED END THIS SIDE!

Products					
PlotID	Length	Product	Plies	Net Qty	Fab Type
J1	34' 0"	14" TJI@ 110	1	13	MFD
J2	20' 0"	14" TJI@ 110	1	1	MFD
J3	19' 0"	14" TJI@ 110	1	3	MFD
J4	18' 0"	14" TJI@ 110	1	1	MFD
J5	16' 0"	14" TJI@ 110	1	1	MFD
J6	15' 0"	14" TJI@ 110	1	1	MFD
J7	6' 0"	14" TJI@ 110	1	2	MFD
J8	5' 0"	14" TJI@ 110	1	2	MFD
J9	19' 0"	14" TJI@ 210	1	1	MFD
J10	20' 0"	14" TJI@ 360	1	1	MFD
2B-1	20' 0"	1 3/4" x 14" 2.0E Microllam® LVL	2	2	MFD
2B-2	4' 0"	1 3/4" x 14" 2.0E Microllam® LVL	1	1	MFD
RIM-1	16' 0"	1 1/8" x 14" TJI@ Rim Board	1	10	FF
Bk1	2' 0"	14" TJI@ 110	1	8	MFD

Connector Summary			
PlotID	Qty	Manuf	Product
H1	1	MiTek	HUS179
H2	1	MiTek	IHFL1714
H3	4	MiTek	TFL1714

- GENERAL NOTES:**
- 1.) TOP CHORD OF JOISTS ARE PAINTED RED AT NUMBERED END. PLACE PAINTED END AS NOTED ON PLAN.
  - 2.) FOLLOW SPECIAL SPACING AND LOCATION DIMENSIONS FOR EXTRAS OR SHIFTED JOISTS AS SHOWN ON PLAN.
  - 3.) ALL INTERIOR WALL PLATES MUST BE LEVEL WITH OUTSIDE WALL TOP PLATES.
  - 4.) DO NOT STACK CONSTRUCTION LOADS ON UN-BRACED JOISTS.
  - 5.) PROVIDE SOLID SUPPORT BELOW ALL BEAM AND HEADER BEARING POINTS IN WALL AND JOIST SPACES CONTINUOUS DOWN TO THE FOUNDATION.
  - 6.) LOCATE CRIPPLE STUDS IN JOIST SPACE DIRECTLY BELOW HEADER JACKS AT ALL FIRST FLOOR EXTERIOR DOOR LOCATIONS.
  - 7.) INSTALL NAILS IN ALL HOLES PROVIDED IN JOIST HANGERS EXCEPT AT BOTTOM CHORD SEAT. PLACE A DAB OF GLUE IN THE HANGER SEAT BEFORE SETTING JOISTS.
  - 8.) IMPORTANT NOTE! NO STRUCTURAL ANALYSIS OF CONVENTIONAL HEADERS HAS BEEN CONDUCTED IF NOT NOTED. THEY ARE CONSIDERED TO BE ADEQUATE TO SUPPORT THE APPLIED LOADS.

**PLAN LEGEND**

<b>1B-, 2B-</b>	*INDICATES BEAM ABOVE TOP PLATE (FLUSH WITH FLOOR SYSTEM)
<b>H-, 1H-, GDH-</b>	INDICATES BEAM BELOW TOP PLATE (DROPPED BELOW FLOOR SYSTEM)
<b>BEAMS MAY PROTRUDE ABOVE OR BELOW DECKING OR TOP PLATE RESPECTIVELY. REFER TO DETAIL IF BEAM IS A DIFFERENT DEPTH THAN FLOOR SYSTEM</b>	
<b>SINGLE PLY BEAM</b> (ADD LINE FOR EACH ADDITIONAL PLY)	
<b>SHIFT</b>	SHIFT JOIST TO MISS PLUMBING, ALIGN WWALL OR SUPPORT FURNITURE
<b>EXTRA</b>	A JOIST ADDED TO THE LAYOUT IN ADDITION TO THE ON CENTER JOISTS
<b>DOUBLE</b>	TWO JOISTS SIDE BY SIDE (ONLY ASSEMBLED IF NOTED)

**FRAMER NOTE**  
 --- DENOTES DUCT HOLE RUNS

**ALL DIMENSIONS TO CENTERLINE UNLESS OTHERWISE NOTED**

• Avoid Plumbing Drops

**FRAMER NOTE**  
 1. GLUE AND NAIL PLYWOOD SUBFLOOR TO BEAMS AND GIRDERS AT 6" O/C WHERE NO WALL IS ABOVE.  
 2. FILL HANGER SEAT WITH GLUE BEFORE SETTING JOIST IN HANGER. FILL ROUND HOLES WITH NAILS.

**FIELD TRIM NON RED END TO KEEP HOLES ALIGNED**  
 CONTAR EL LADO DE SIN MARCA ROJA PARA HOYOS ALINEADOS

**FIELD LOCATE PLUMBING DROPS/CAN LIGHTS, ETC... PRIOR TO JOIST SECUREMENT TO AVOID INTERFERENCE.**

**CRITICAL !!**  
 INSTALL 2X4 SQUASH BLOCKS IN FLOOR TRUSS SPACE BELOW ALL EXTERIOR DOOR HEADER JACKS. CUT 1/16" TALLER THAN TRUSS.

**FIELD VERIFY DIMENSIONS TO JOISTS LOCATED UNDER WALLS!!**  
**2ND FLOOR LAYOUT**

SCALE: 1/8"=1'



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**Smith Douglas Homes**

**Coleman 2nd Floor**

REVISIONS	DATE	DESCRIPTION	DSN