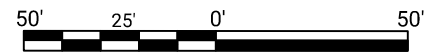


ADDRESS: 271 ALDEN WAY

PLAT BOOK 2024, PG'S 506-510

PIN#: TBD

AREA: 44,599 S.F. ~ 1.024 ACRES



GRAPHIC SCALE: 1" = 50'

IMPERVIOUS AREAS

IMPERVIOUS 3,775SF
IMPERVIOUS 8.5 %
MAX IMP 10,000 SF

FRONT YARD: 5,094 SF
DRIVE: 1,229 SF
DRIVE %: 24 %

SITE DATA TABLE:

ZONING : RA-30
ZONING CONDITIONS: -
OVERLAY DISTRICT: 0
CURRENT USE: VACANT
BUILDING SF: 2,553

DEVELOPER:
DRB Homes

3000 RDU Center Drive, Suite 202
Morrisville, NC 27560
Phone: 919-747-4970

Line	Distance	Bearing
L1	49.98'	N 27°37'13" E
L2	6.77'	N 10°47'31" E
L3	91.75'	S 54°04'35" E
L4	65.59'	N 73°54'45" E
L5	39.51'	N 15°29'56" W
L6	42.40'	S 47°38'12" W

Curve	Radius	Length	Chord	Chord Bearing
C1	525.00'	68.69'	68.64'	S 43°53'19" W

LEGEND:

- BL Building Line
- DE Drainage Easement
- PRDE Private Drainage Easement
- PUE Permanent Utility Easement
- PAE Public Access Easement
- HOAM Homeowner Association Maintained
- HRW Harnett Regional Water
- PAT Patio
- WM Water Meter
- P Porch
- PROP Proposed
- N/F Now or Formerly
- A/C Air Conditioning
- R/W Right of Way
- PIN Parcel Identification Number
- TBD To Be Determined
- NTS Not to Scale
- P.999 Proposed Grade
- 999 Existing Grade
- Front Grassed Area
- 2" CALIPER 6'-8' MIN. HEIGHT
LACEBARK ELM
ULMUS PARVIFOLIA

HOUSE PLAN INFO (FOR CLIENT USE)

PLAN NAME: _____

STORIES: ____ FOUNDATION: SLAB CRAWL BSMT

FACADE: VINYL HARDY BRICK STONE OTHER

PLAN OPTIONS: _____

SLAB SF: ____ TOTAL SF: ____ MEAN HEIGHT: ____

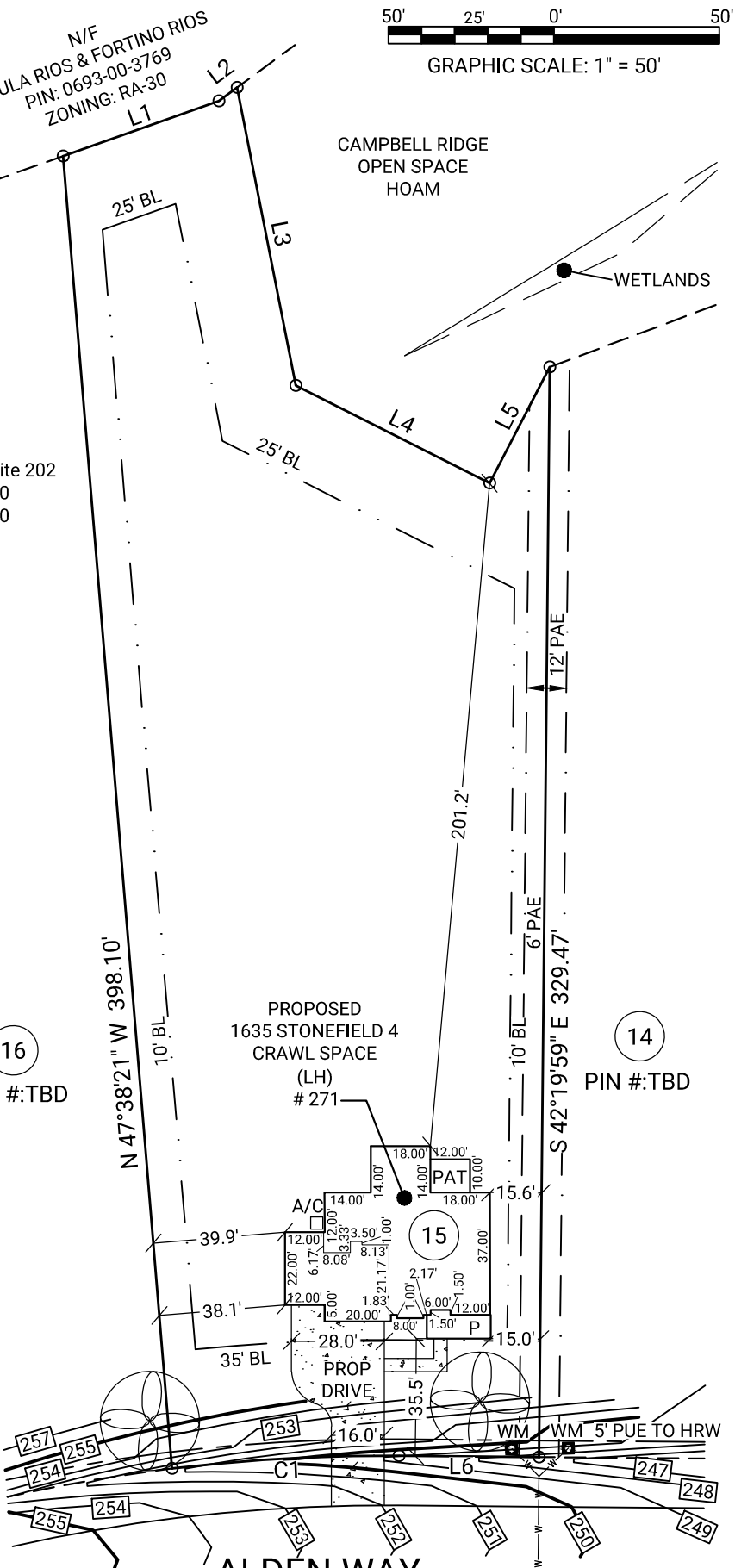
FLOOD NOTE: This property lies within flood zone "X" according to FEMA FIRM#: 3720068200J, effective on 10/03/2006.

NOTE: THE HOUSE HAS BEEN PLACED ON 35.5' TO ACCOMMODATE SPACE FOR A POOL ON BACKYARD.

GENERAL NOTES: No field work has been performed. This Map or Plat is subject to any additional easements or restrictions of record. Contact utility contractor for location prior to construction (if applicable). This plat is for exclusive use by client. Use by third parties is at their own risk. Dimensions from house to property lines should not be used to establish fences. City sidewalks, driveway approaches, and other improvements inside the city's right of way are provided for demonstration purposes only. consult the development plans for actual construction. This plat has been calculated for closure and is found to be accurate within one foot in 10,000+ feet.

BUILDING SETBACKS:

Front: 35'
Rear: 25'
Side: 10'
Corner: 20'



16
PIN #: TBD

14
PIN #: TBD

ALDEN WAY
50' PUBLIC R/W

REVISION CHART

11/22/24	INITIAL SUBMITTAL
12/05/24	HOUSE MOVED 30' BACK
12/10/24	HOUSE MOVE

SUB: Campbell Ridge

LOT: 15
Angier, Harnett County, North Carolina

SITE PLAN FOR:



DRB GROUP OF NORTH CAROLINA, LLC.

PLAT DATE: 12/10/2024
20241202027 FC: N/A



C+C BUILDING SOLUTIONS
A NORTH CAROLINA SUBSIDIARY OF CARTER + CLARK

Corporate Headquarters:
1735 North Brown Road, Suite 400
Lawrenceville, GA 30043
866.637.1048
FIRM LICENSE: F-1461

