

NOTES:

1. THIS PROJECT IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA PER NCFRIS.  
MAP #: 3720060000J EFFECTIVE DATE: OCTOBER 3, 2006
2. ACREAGE DETERMINED BY COORDINATE METHOD
3. ALL LINES SURVEYED BY DZT LAND SURVEYING, PLLC ARE SHOWN BY BOLD LINES. ALL LINES NOT SURVEYED ARE INDICATED BY DASHED LINES.
4. TAX PARCEL ID: 130610 0173
5. ZONING: RA-30
6. PUBLIC WATER SUPPLY WATERSHED: NONE
7. NO ATTEMPT WAS MADE BY THIS SURVEY TO LOCATE ALL UNDERGROUND UTILITIES NOR ANY OTHER EASEMENTS OR CONVEYANCES THAT WOULD BE REVEALED BY A TITLE SEARCH
8. VERIFY MINIMUM BUILDING SETBACKS BEFORE CONSTRUCTION.
9. LOCATION OF UNDERGROUND UTILITIES , IF SHOWN, ARE BASED ON VISIBLE EVIDENCE AND DRAWINGS PROVIDED TO THE SURVEYOR. LOCATION OF UNDERGROUND UTILITIES AND STRUCTURES MAY VARY FROM SHOWN LOCATIONS. ADDITIONAL UTILITIES MAY EXIST. LOCAL UTILITY COMPANIES SHOULD BE CONSULTED FOR FURTHER INFORMATION ON UTILITIES AFFECTING THE PROPERTY.

LEGEND OF SYMBOLS AND ABBREVIATIONS

CP	△	COMPUTED POINT
EA	●	EXISTING AXLE
ECM	■	EXISTING CONCRETE MONUMENT
EIP	●	EXISTING IRON PIPE
EIR	●	EXISTING IRON ROD
NIR	○	NEW IRON ROD
NIP	○	NEW IRON PIPE
	●	FIRE HYDRANT



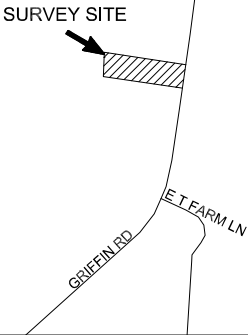
GAS VALVE
POWER POLE
LIGHT POLE
SANITARY SEWER MANHOLE
STORM MANHOLE
TELEPHONE PEDESTAL
TRANSFORMER
WATER METER
WATER VALVE
WELL

AG	ABOVE GRADE
BG	BELOW GRADE
CB	CATCH BASIN
CL	CENTERLINE
CO	CLEAN OUT
CMP	CORRUGATED METAL PIPE
CPP	CORRUGATED PLASTIC PIPE
DI	DROP INLET
EJB	ELECTRIC JUNCTION BOX
EM	ELECTRIC METER
EN	EXISTING MAG NAIL
EOP	EXISTING NAIL
	EDGE OF PAVEMENT

EPK	EXISTING PK NAIL
ERRS	EXISTING RAILROAD SPIKE
FO	FIBER OPTIC
FL	FLUSH WITH GRADE
ICV	IRRIGATION CONTROL VALVE
MBS	MINIMUM BUILDING SETBACKS
N/F	NOW OR FORMERLY
NMN	NEW MAG NAIL
RCP	REINFORCED CONCRETE PIPE
R/W	RIGHT-OF-WAY
TBC	TOE OF CURB
TOC	TOE OF CURB
YI	YARD INLET

EXISTING PK NAIL
EXISTING RAILROAD SPIKE
FIBER OPTIC
FLUSH WITH GRADE
IRRIGATION CONTROL VALVE
MINIMUM BUILDING SETBACKS
NOW OR FORMERLY
NEW MAG NAIL
REINFORCED CONCRETE PIPE
RIGHT-OF-WAY
TOE OF CURB
TOE OF CURB
YARD INLET

SURVEYED PROPERTY BOUNDARY
COMPUTED / ADJOINER PROPERTY LINE
RIGHT-OF-WAY
TIE LINE
SETBACK LINES
SANITARY SEWER LINE
STORM LINE
WATER LINE
FENCE
OVERHEAD ELECTRIC LINES
EASEMENTS



BUILDING SETBACKS:  
FRONT = 35'  
SIDE = 10'  
REAR = 25'

PER HARNETT COUNTY UDO

THIS PLOT PLAN IS DRAWN FROM CURRENT RECORD DESCRIPTION, NO SURVEY COMPLETED AT THIS TIME.

PLOT PLAN FOR:  
VALUE BUILD HOMES

JANUARY 9, 2025

CITY/TOWN OF LILLINGTON  
UPPER LITTLE RIVER TOWNSHIP  
HARNETT COUNTY, NORTH CAROLINA



SCALE 1"=60'

REFERENCE TABLE:  
DEED BOOK 3968, PAGE 848  
HARNETT COUNTY REGISTRY

PROPERTY ADDRESS:  
580 GRIFFIN RD  
LILLINGTON, NC 27546

OWNER'S ADDRESS:  
MICHELE VASQUEZ  
580 GRIFFIN RD  
LILLINGTON, NC 27546



**DZT**

LAND SURVEYING, PLLC NC FIRM: P-2686

SUITE 5 7500 NC HWY 15/501 WEST END, NC 27376

JOB#: 2526

I, DAVID R. ESSICK, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN ( SEE REFERENCE TABLE); THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM INFORMATION IN (SEE REFERENCE TABLE); AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.1600).

THIS 9TH DAY OF JANUARY A.D., 2025.

**"PRELIMINARY PLAT - NOT FOR RECORDATION,  
CONVEYANCES, OR SALES"**

PROFESSIONAL LAND SURVEYOR, L-5423