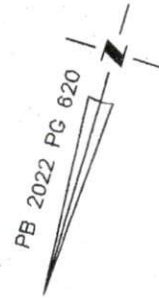


VICINITY MAP
Not To Scale

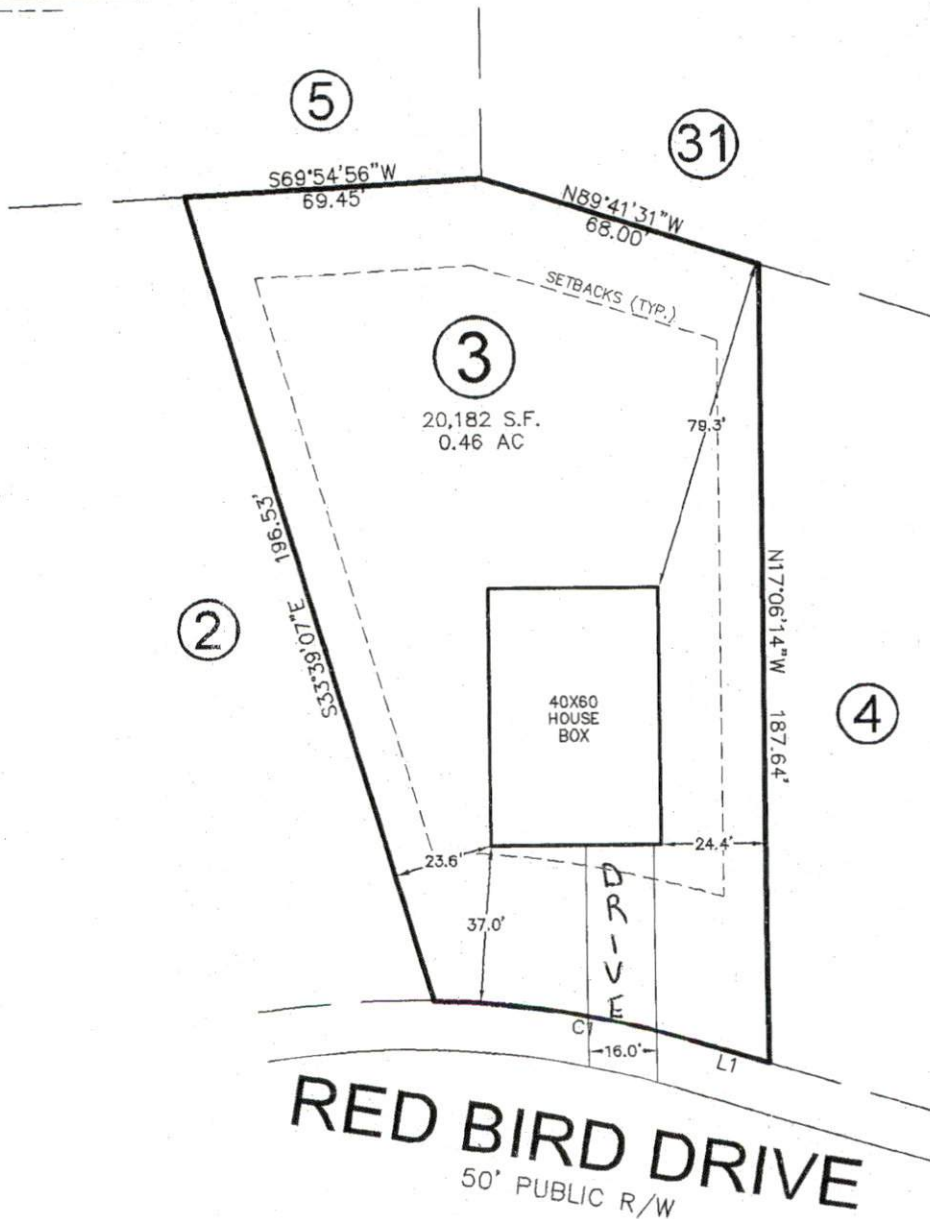


IMPERVIOUS SURFACE AREA	
DESCRIPTION	AREA
HOUSE w/ PORCH	2,400 S.F.
CV PORCH/HVAC	0 S.F.
DRIVEWAY & WALKS	675 S.F.
TOTAL =	3,075 S.F.
LOT AREA =	20,182 S.F.
% IMPERVIOUS AREA	=15.2%



SETBACKS: (PB 2022 PG 620)

FRONT - 35'
SIDE - 10'
REAR - 25'
CORNER - 20'



LINE	BEARING	DISTANCE
L1	S89°41'12"E	19.08'

CURVE	RADIUS	ARC LENGTH	CH LENGTH	CH BEARING
C1	226.00'	61.30'	61.11'	N82°31'58"E

THIS PROPERTY MAY BE SUBJECT TO ANY AND ALL APPLICABLE DEED RESTRICTIONS, EASEMENTS, RIGHT-OF-WAY, UTILITIES AND RESTRICTIVE COVENANTS WHICH MAY BE OF RECORD OR IMPLIED

THIS DRAWING DOES NOT
REFLECT AS-BUILT INFORMATION

PRELIMINARY PLAT
NOT FOR RECORDATION, CONVEYANCES, OR SALES