

ABBREVIATION

ACC.	ACCESS
BWL.	BRACED WALL LINE
BWP.	BRACED WALL PANEL
C.O.	CASED OPENING
C.J.	CEILING JOIST
CLOS.	CLOSET
COL.	COLUMN
COMP.	COMPOSITION
CONC.	CONCRETE
CONT.	CONTINUOUS
C.M.A.	CARBON MONOXIDE ALARM
C.M.U.	CONCRETE MASONRY UNIT
D.H.	DOUBLE HUNG
DIA.	DIAMETER
D.J.	DOUBLE JOIST
DN.	DOWN
EXH.	EXHAUST
EXT.	EXTERIOR
FL.J.	FLOOR JOIST
FTG.	FOOTING
G.F.I.	GROUND FAULT INTERRUPTER
H.B.	HOSE BIB
LVL.	LAMINATED VENEER LUMBER
M.O.	MASONRY OPENING
MAS.	MASONRY
MAX.	MAXIMUM
M.C.	MEDICINE CABINET
MTL.	METAL
MIN.	MINIMUM
O.C.	ON CENTER
OSB.	ORIENTED STRAND BOARD
PERF.	PERFORATED
REC.	RECESSED
REINF.	REINFORCED
SCR.	SCREENED
S.D.	SMOKE DETECTOR
SEC.	SECOND
SHWR.	SHOWER
S.Y.P.	SOUTHERN YELLOW PINE
S.P.F.	SPRUCE/PINE/FIR
SUSP.	SUSPENDED
7YP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
WASH.	WASHER
W.H.	WATER HEATER
W.P.	WEATHER PROOF
W.W.M.	WELDED WIRE MESH
WDW. HT.	WINDOW HEIGHT
WD.	WOOD

GENERAL NOTES AND SPECIFICATION

EXCAVATION

EXCAVATE TO UNDISTURBED SOIL BOTTOM OF FOOTING SHALL EXTEND BELOW LOCAL FROST LINE AND TO A MINIMUM DEPTH OF 12" BELOW ADJACENT GRADE. (PRESUMED 2000 PSF SOIL BEARING CAPACITY).
EXPANSIVE, COMPRESSIVE OR SHIFTING SOILS SHALL BE REMOVED TO A DEPTH AND WIDTH SUFFICIENT TO ASSUME A STABLE MOISTURE CONTENT IN EACH ACTIVE ZONE.

FOUNDATION

PROVIDE 1/2" DIA. STEEL ANCHOR BOLTS 6'-0" O.C., 1'-0" MAX. FROM CORNERS AND 1'-0" MAX. FROM ENDS OF EACH PLATE SECTION, WITH 7" MIN. EMBEDMENT.
SLOPE GRADE AWAY FROM FOUNDATION WALLS 6" MINIMUM WITHIN THE FIRST 10 FEET.
PROVIDE PRESSURE TREATED LUMBER FOR SILLS, PLATES, BANDS AND ANY LUMBER IN CONTACT WITH MASONRY.

CRAWL SPACE

ALL GIRDER JOINTS AND ENDS OF GIRDERS SHALL REST ON SOLID BEARINGS. FILL CORES OF HOLLOW MASONRY TO FOOTING WITH CONCRETE. FILL TOP COURSE CORES OF EXTERIOR FOUNDATION WALL WITH CONCRETE.
FOOTINGS SHALL EXTEND 6" AND SHALL BE 12" THICK UNDER GIRDER PIERS.

FRAMING

ALL FLOOR JOISTS, CEILING JOISTS, RAFTERS, GIRDERS, HEADERS, SILLS AND BEAMS SHALL BE NO. 2 SPRUCE/PINE/FIR (S.P.F.) UNLESS OTHERWISE INDICATED

ALL LOAD BEARING WALLS SHALL BE STUD GRADE SPRUCE/PINE/FIR (S.P.F.) UNLESS OTHERWISE INDICATED.

SHEET LIST

Sheet Number	Sheet Name
A100	COVER SHEET
A101	LEVEL 1 FLOOR PLAN
A103	ROOF PLAN
A200	FOUNDATION PLAN
A201	ELECTRICAL AND PLUMBING
A203	ROOF FRAMING PLAN
A401	FRONT & REAR ELEVATION
A402	LEFT & RIGHT ELEVATION
A500	DETAILS

HEATED/UNHEATED SQFT

Name	Area	Comments
LEVEL 1	2014 SF	HEATED

HEATED/UNHEATED SQFT

Name	Area	Comments
BACK PORCH	395 SF	UNHEATED
FRONT PORCH	271 SF	UNHEATED
GARAGE	579 SF	UNHEATED


DOOR SCHEDULE

DOOR TAG	DOOR SIZE	QUANTITY
18	192" x 84"	1
22	2468	6
23	2668	4
24	2-1668	1
26	2868	2
35	3080	2
36	POCKET DOOR 2468	2
37	2868	1
38	4080	1
81	2-2068	1

WINDOW SCHEDULE

WINDOW TAG	WINDOW SIZE	QUANTITY
25	1040	2
28	2462	2
29	2446	4
30	30310	1
31	2462 TWIN	2

TAGS

 DOOR TAG

 WINDOW TAG

No.	Description	Date
A	ISSUE FOR REVIEW	12/20/2024
B	ISSUE FOR CONSTRUCTION	01/17/2025

ISSUED FOR CONSTRUCTION

COVER SHEET

Project number	001
Date	1/15/2025
Drawn by	VDS
Checked by	BS

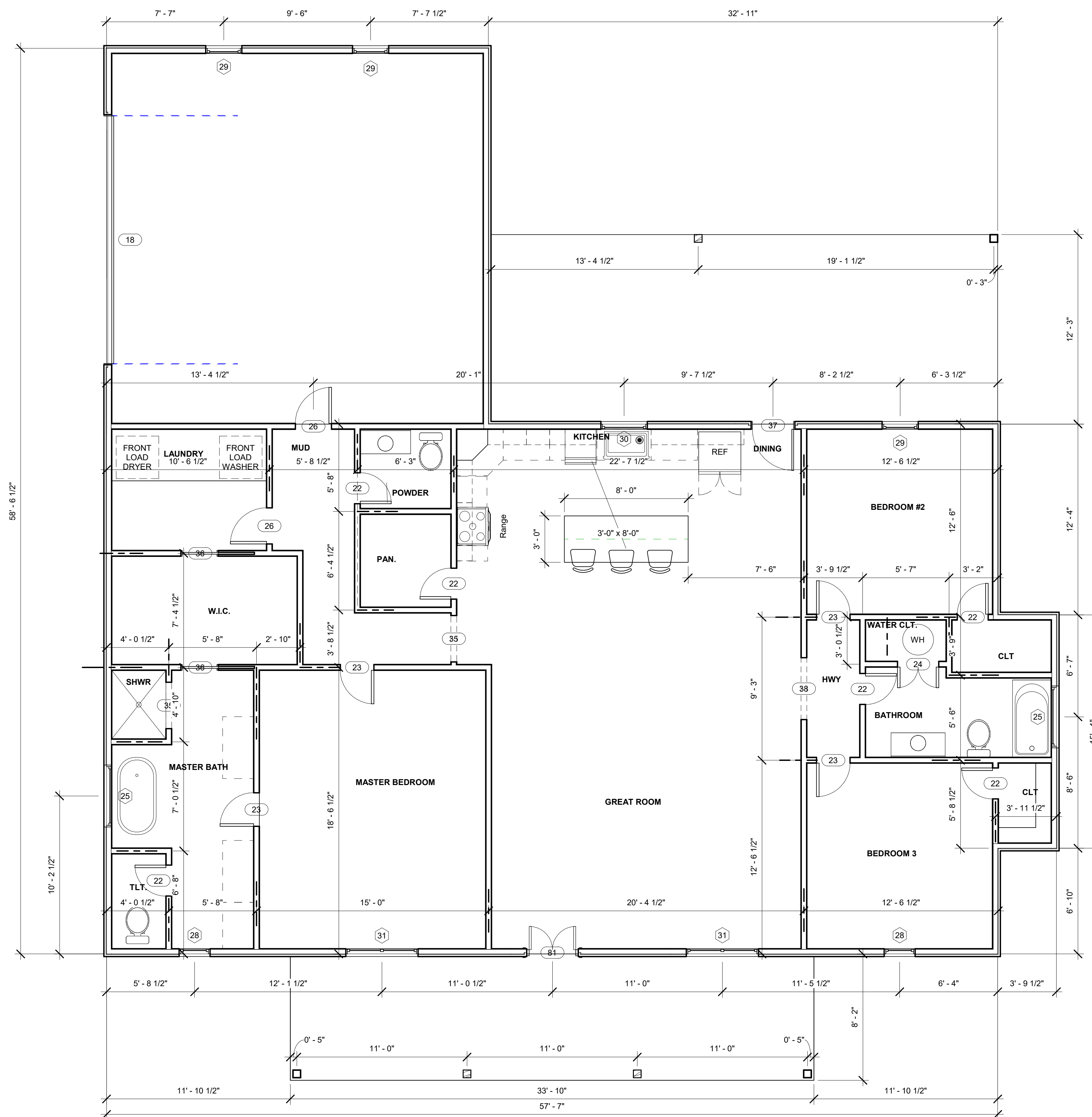
A100

Scale

GENERAL NOTES

- RE-A100 FOR SYMBOLS, NOTES AND ABBREVIATIONS.
- RE-A100 FOR WINDOW SCHEDULE, DOOR SCHEDULE, HEATED/UNHEATED SQFT
- RE-A500 FOR TYPICAL DETAILS
- ALL DIMENSIONS ARE FROM OUTSIDE EDGE OF STUDS UNLESS CENTER LINE IS INDICATED.

SHEET NOTES



① LEVEL 1 FLOOR PLAN
1/4" = 1'-0"

ISSUED FOR CONSTRUCTION

LEVEL 1 FLOOR PLAN

Project number	001
Date	1/15/2025
Drawn by	VDS
Checked by	BS
Scale	1/4" = 1'-0"

A101

TRIVERSE BUILDERS
FARMHOUSE

TBD

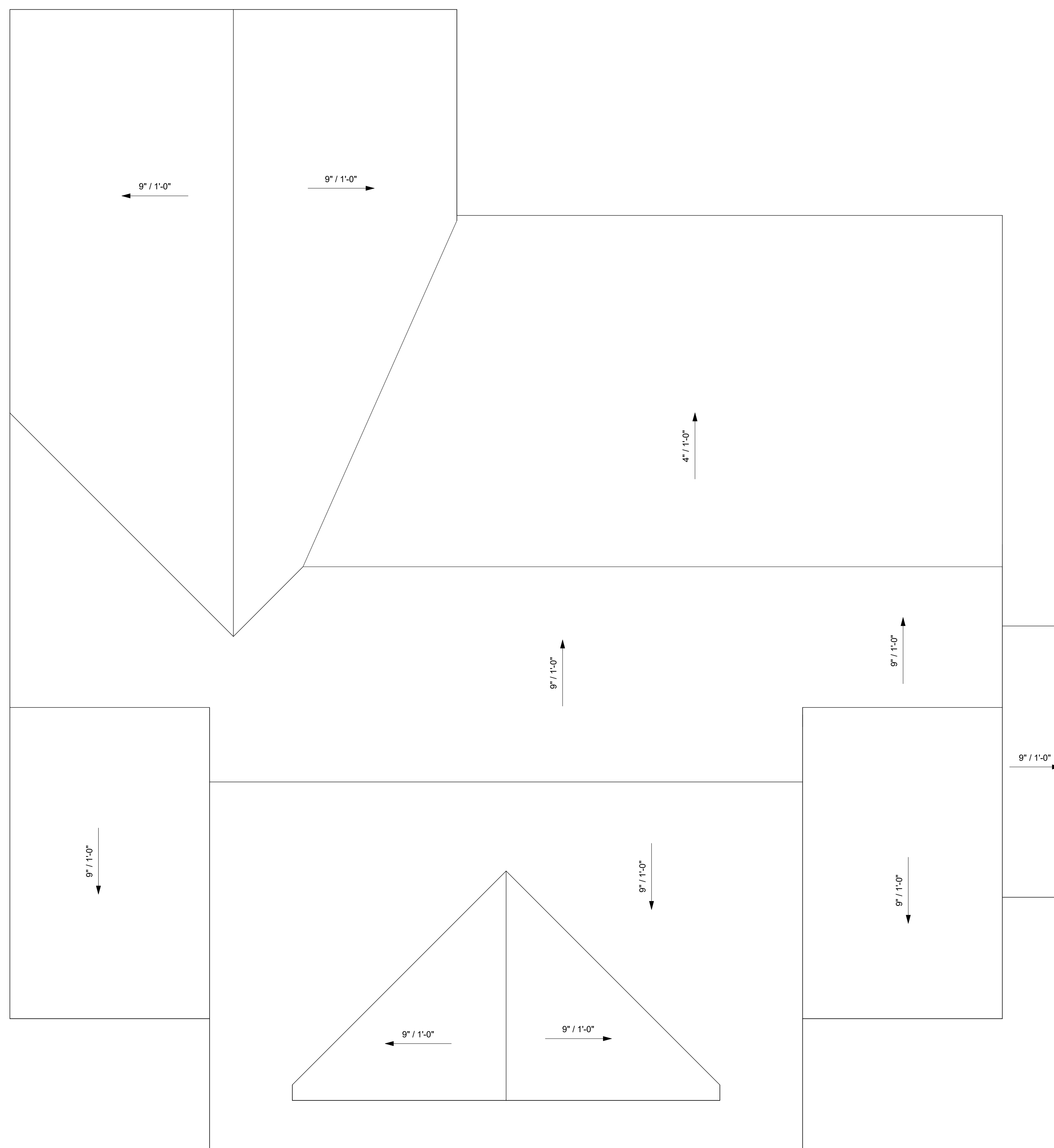
No.	Description	Date
A	ISSUE FOR REVIEW	12/20/2024
B	ISSUE FOR CONSTRUCTION	01/17/2025

GENERAL NOTES

1. RE-A100 FOR SYMBOLS, NOTES AND ABBREVIATIONS.
2. RE-A500 FOR TYPICAL DETAILS



SHEET NOTES



① **ROOF PLAN**
1/4" = 1'-0"

TRIVERSE BUILDERS
FARMHOUSE

TBD

No.	Description	Date
A	ISSUE FOR REVIEW	12/20/2024
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ISSUED FOR CONSTRUCTION

ROOF PLAN

Project number 001
Date 1/15/2025
Drawn by VDS
Checked by BS

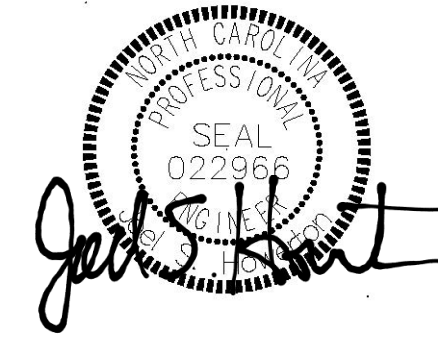
A103

Scale 1/4" = 1'-0"

STRUCTURAL EVALUATION BY:
 HOWERTON SERVICES, PLLC
 3513 CATHEDRAL BELL ROAD
 RALEIGH, NC 27614
 LICENSE: P-1716

* ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS
 ON THIS DOCUMENT. SEAL DOES NOT INCLUDE
 CONSTRUCTION REVIEW,
 MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES OR
 SAFETY PRECAUTIONS.

* ANY DEVIATIONS OR DISCREPANCIES ON PLANS ARE TO BE
 BROUGHT TO IMMEDIATE ATTENTION OF THE ENGINEER. FAILURE
 TO DO SO WILL VOID ENGINEER'S LIABILITY.



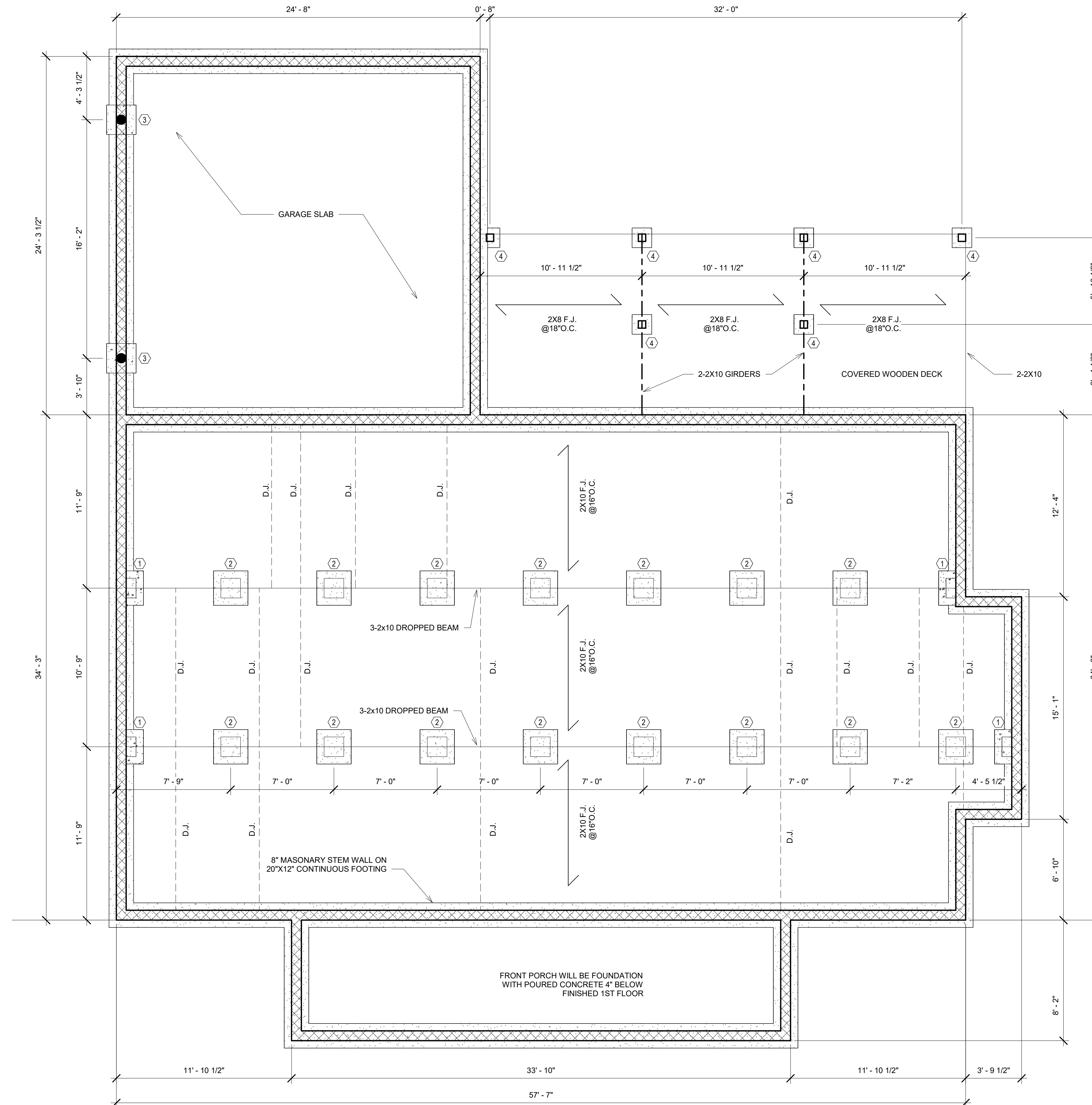
01 20 2025 EST

GENERAL NOTES

1. RE-A100 FOR SYMBOLS, NOTES AND ABBREVIATIONS.
2. RE-A500 FOR TYPICAL DETAILS
3. HOUSE FOUNDATION WILL HAVE A CRAWL SPACE

SHEET NOTES

1. 8X16 CMU PIER ON 14X28X10 CONCRETE FOOTING
2. 16X16 CMU PIER ON 28X28X10 CONCRETE FOOTING
3. 24X24X12 FOOTING
4. 16X16X8 FOOTER



TRIVERSE BUILDERS
 FARMHOUSE

TBD

No.	Description	Date
A	ISSUE FOR REVIEW	12/20/2024
B	ISSUE FOR CONSTRUCTION	01/17/2025

ISSUED FOR CONSTRUCTION
FOUNDATION PLAN

Project number	001	A200
Date	1/15/2025	
Drawn by	VDS	
Checked by	BS	
Scale		1/4" = 1'-0"

GENERAL NOTES

1. RE:A100 FOR SYMBOLS, NOTES AND ABBREVIATIONS.
2. ROOF TRUSS DESIGN BY OTHERS
3. RE:A500 FOR TYPICAL DETAILS



SHEET NOTES

BRACED WALL NOTES:

1. BRACED WALLS ARE REQUIRED PER SECTION R602.10.1 2018 NCBC RESIDENTIAL CODE
2. THE EXTERIOR WALL STRUCTURE SHALL BE CONTINUOUSLY SHEATHED, FULL HEIGHT WITH MIN. THICKNESS 7/16" OSB. THESE WALLS SHALL BE CONSTRUCTED IN CONFORMANCE TO TYPE CS-WSP DETAILS. REFER TO PLAN FOR LOCATION OF REQUIRED BRACING LABELED "CS BRACING" AND LENGTH OF WALL BRACING LABELED IN LINEAR FEET.
3. INTERIOR WALLS WHERE NOTED SHALL BE BRACED PER INDICATED METHOD IN REFERENCE TO NCBC-RESIDENTIAL CODE, TABLE R602.10.2.

LUB METHOD:

INSTALL 1X4 WOOD OR CONTINUOUS METAL STRAPPING AT 45 DEGREES TO 60 DEGREES FROM TOP PLATE TO BOTTOM PLATE ACROSS STUDS WITH MAXIMUM STUD SPACING OF 16" ON CENTER. CONNECT AS INDICATED IN CODE SECTION.

GB METHOD:

MINIMUM 1/2" GYPSUM BOARD TURNED VERTICALLY AND CONTINUOUS FROM TOP PLATE TO BOTTOM PLATE. SCREW CONNECTION TO FRAMING USING SPACING CRITERIA AS INDICATED IN CODE TABLES.

4. SPECIAL BRACING DETAILS ARE ILLUSTRATED IN THE CODE AND ALLOWED WHERE WALLS DO NOT MEET THE MINIMUM REQUIREMENTS FOR SUPPORT.
5. SEE TABLE R602.7.5 FOR CORRECT NUMBER OF KING STUDS PER HEADER.

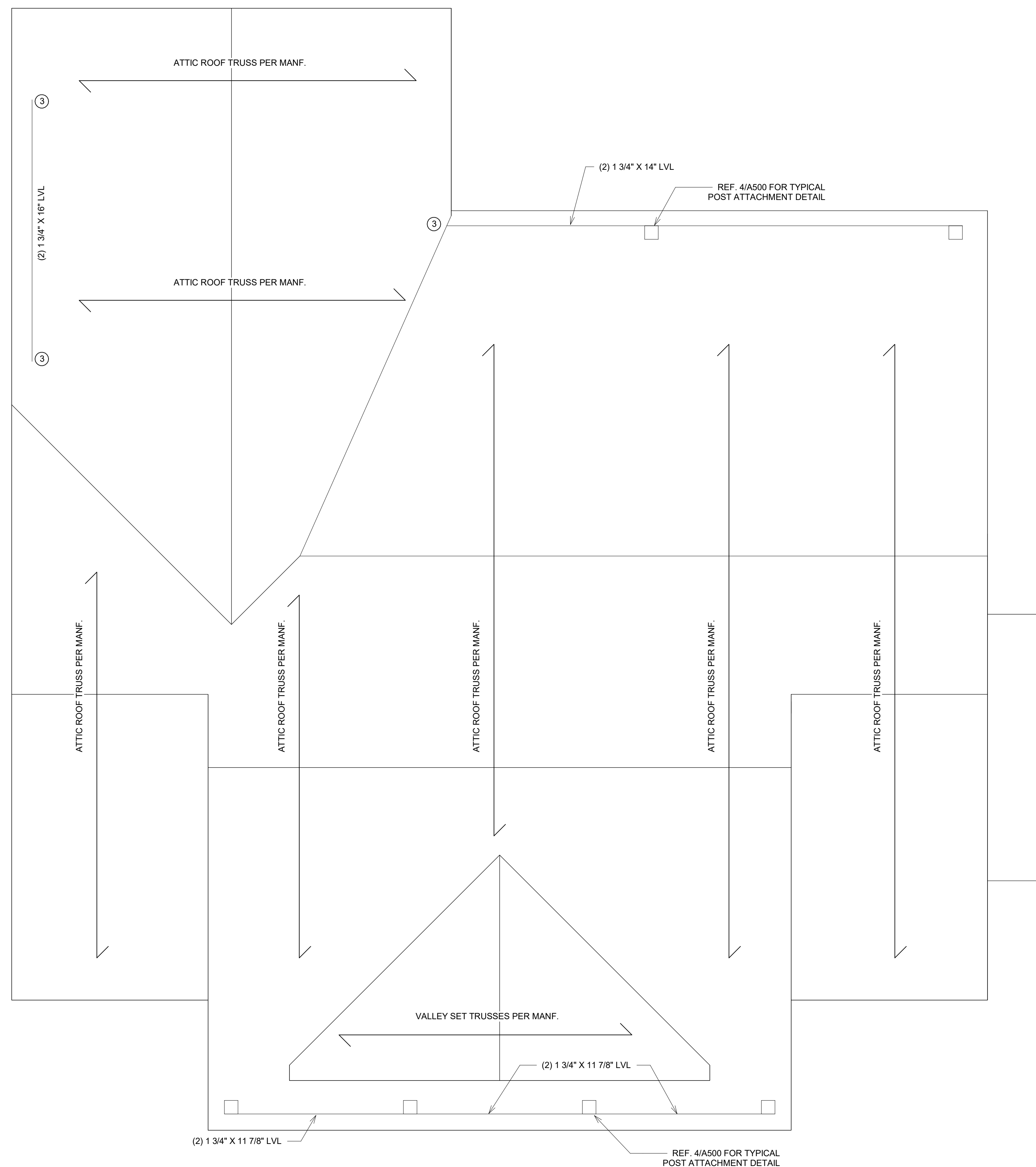
GENERAL FRAMING NOTES:

1. THIS PLAN DESIGNED IN ACCORDANCE WITH NC RESIDENTIAL CODE 2018 EDITION.
2. GLAZING AREAS SHOWN ON THESE DESIGN DRAWINGS DO NOT EXCEED 15% OF THE GROSS AREA OF THE EXTERIOR WALLS. THIS STRUCTURE MEETS THE REQUIREMENTS OF N1101.2.1, RESIDENTIAL BUILDING, TYPE A-1.
3. WALL CLADDING IS DESIGNED FOR A 24.1 #SF OR GREATER POSITIVE/NEGATIVE PRESSURE.
4. ALL WALLS, FLOORS AND CEILINGS SHALL BE INSULATED IN ACCORDANCE WITH CODE SUMMARY.
5. DESIGN CRITERIA:

	DEAD	LIVE
PRIMARY FLOOR	10 PSF	40 PSF
SECONDARY FLOOR	10 PSF	40 PSF
SLEEPING AREAS	10 PSF	30 PSF
ATTIC	10 PSF	20 PSF
ROOF	10 PSF	20 PSF

DEFLECTION LIMITS:

FLOOR	L/360(LIVE LOAD ONLY)
ROOF	L/240
6. ALL HEADERS IN LOAD BEARING WALLS SHALL BE DOUBLE 2X10 U.O.N.
7. ALL WALLS ARE 2X4 @ 16" O.C. U.O.N.
8. PROVIDE DOUBLE FLOOR JOISTS UNDER WALLS ABOVE.
9. PROVIDE FOUNDATION VENT WITHIN 36" OF EACH CORNER.
10. ALL JOISTS TO BE SPF.



1 ROOF FRAMING PLAN
1/4" = 1'-0"

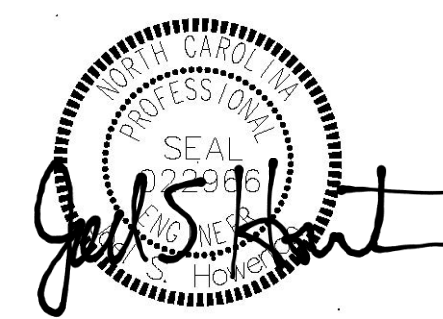
ISSUED FOR
CONSTRUCTION
ROOF FRAMING PLAN

Project number	001	A203
Date	1/15/2025	
Drawn by	VDS	
Checked by	BS	
Scale		1/4" = 1'-0"

TRIVERSE BUILDERS
FARMHOUSE

TBD

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A	ISSUE FOR REVIEW	12/20/2024
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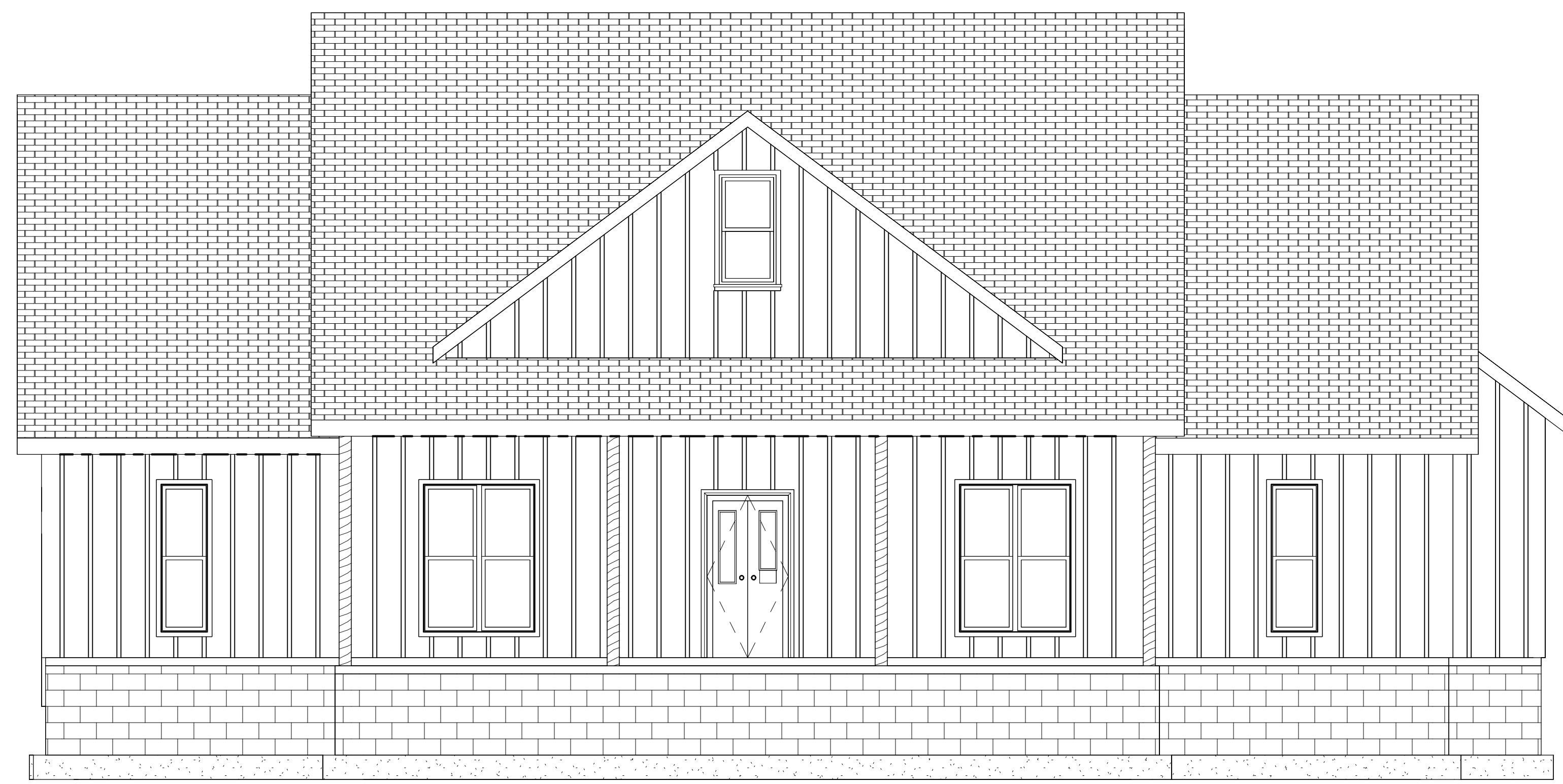


01 20 2025 EST

GENERAL NOTES

1. RE-A100 FOR SYMBOLS, NOTES AND ABBREVIATIONS.
2. FRONT PORCH AND BACK DECK SLAB SHALL BE 4" LOWER THAN 1ST FLOOR
3. RE-A500 FOR TYPICAL DETAILS

SHEET NOTES



① South
 1/4" = 1'-0"



② North
 1/4" = 1'-0"

TRIVERSE BUILDERS

FARMHOUSE

TBD

No.	Description	Date
A	ISSUE FOR REVIEW	12/20/2024
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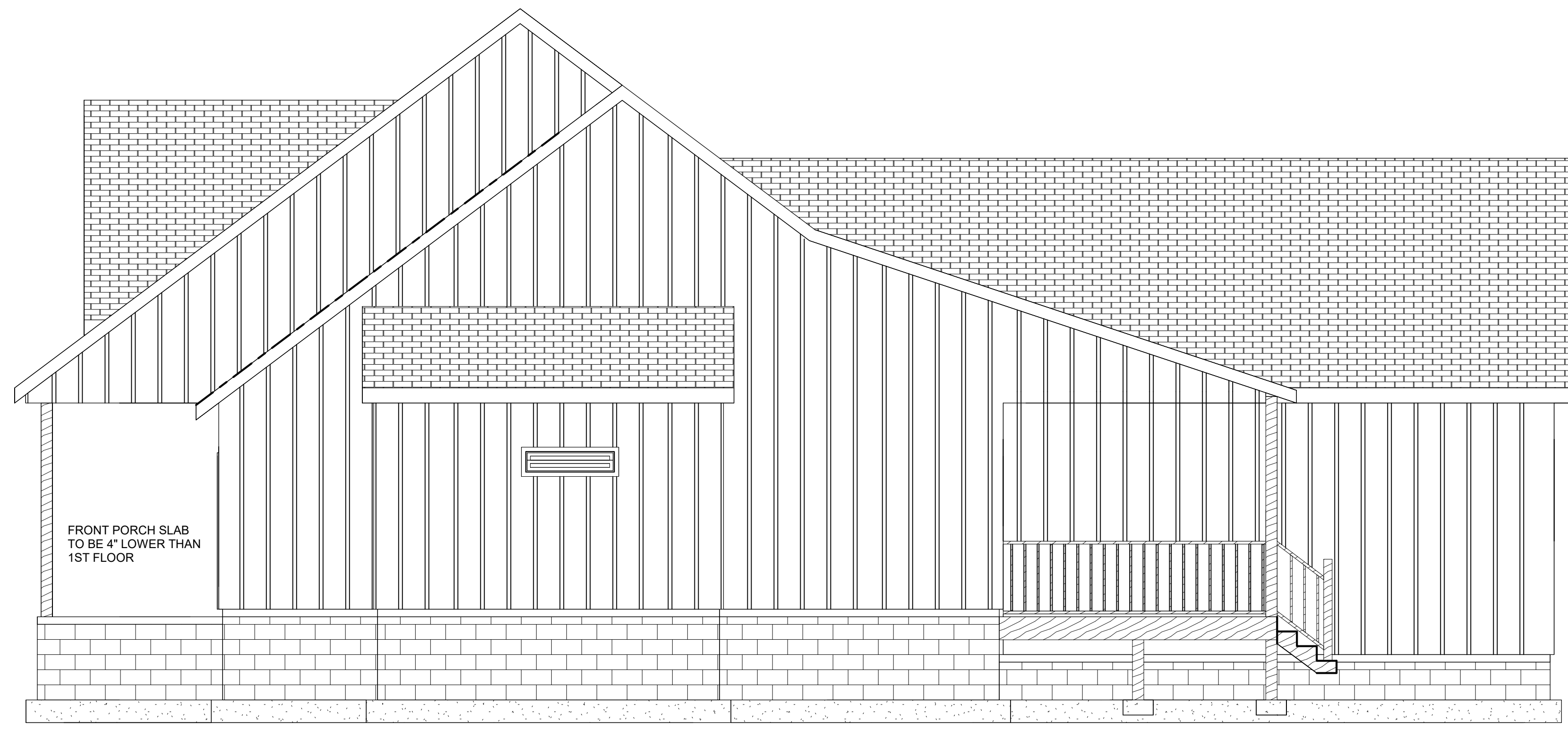
ISSUED FOR CONSTRUCTION
FRONT & REAR ELEVATION

Project number	001	A401
Date	1/15/2025	
Drawn by	VDS	
Checked by	BS	
Scale		1/4" = 1'-0"

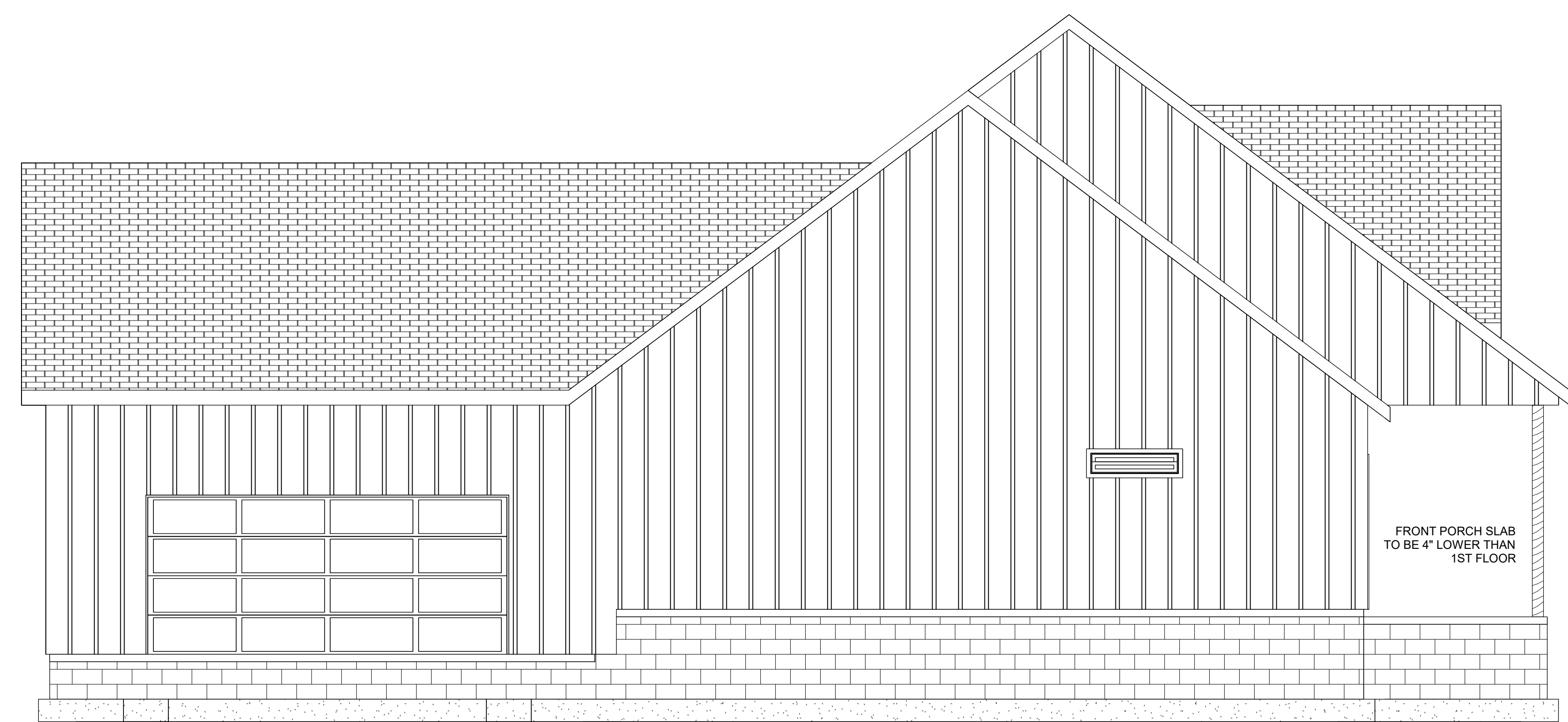
GENERAL NOTES

1. RE-A100 FOR SYMBOLS, NOTES AND ABBREVIATIONS.
2. FRONT PORCH AND BACK DECK SLAB SHALL BE 4" LOWER THAN 1ST FLOOR
3. RE-A500 FOR TYPICAL DETAILS

SHEET NOTES



① East
 1/4" = 1'-0"



② West
 1/4" = 1'-0"

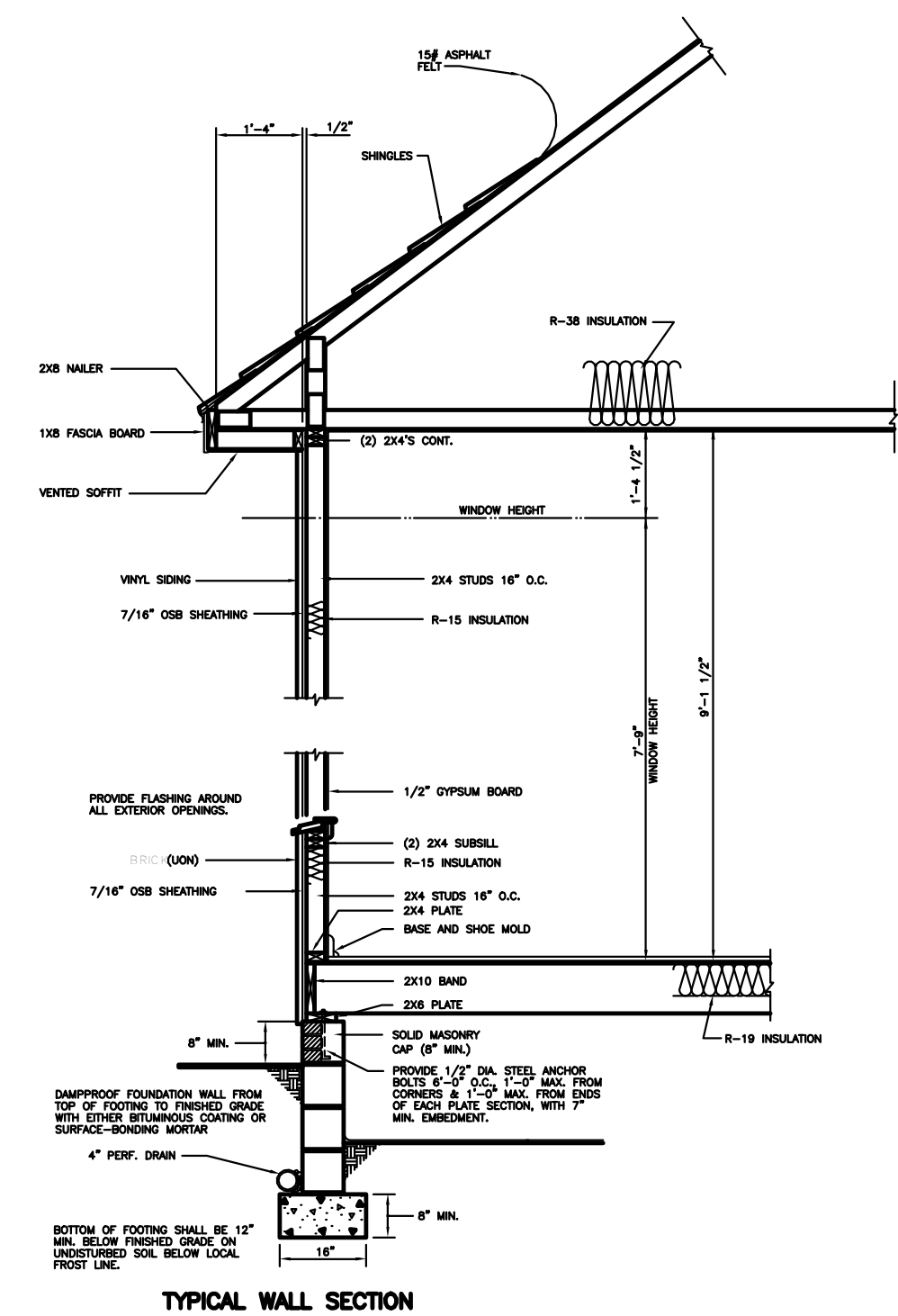
TRIVERSE BUILDERS
 FARMHOUSE

TBD

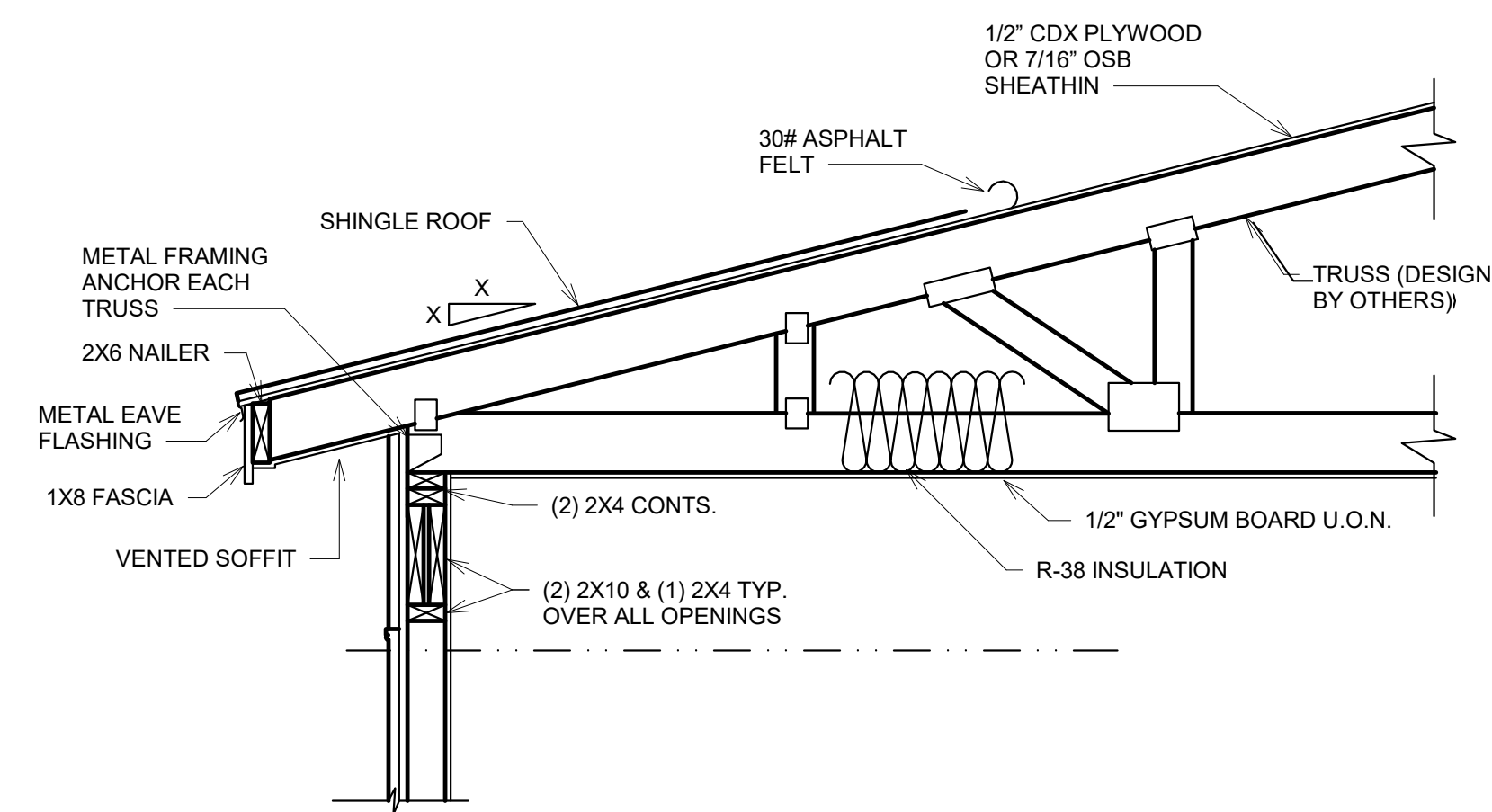
No.	Description	Date
A	ISSUE FOR REVIEW	12/20/2024
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ISSUED FOR CONSTRUCTION
 LEFT & RIGHT ELEVATION

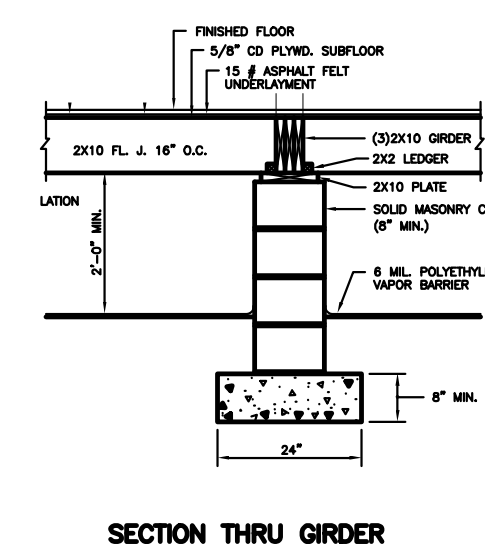
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Date	1/15/2025	
Drawn by	VDS	
Checked by	BS	
Scale		1/4" = 1'-0"



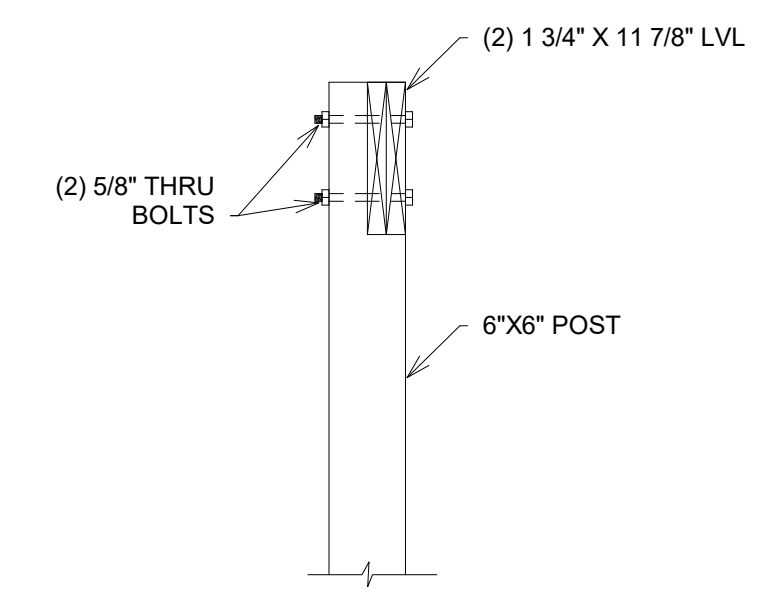
1 WALL SECTION
 6" = 1'-0"



3 TYPICAL EXTERIOR SIDING WALL
 W/ROOF
 NTS



2 GIRDER SECTION
 6" = 1'-0"



4 TYPICAL POST ATTACHMENT DETAIL
 NTS

TRIVERSE BUILDERS
 FARMHOUSE

TBD

No.	Description	Date
A	ISSUE FOR REVIEW	12/20/2024
B	ISSUE FOR CONSTRUCTION	01/17/2025

ISSUED FOR CONSTRUCTION

DETAILS

Project number	001	A500
Date	1/15/2025	
Drawn by	VDS	
Checked by	BS	
		Scale As Indicated