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GRAND BAHAMA

DIV-COMM-LOT-UNIT -----		
COMM-LOT -----		
STREET ADDRESS -----		APT. NO. -----
CITY -----	STATE -----	ZIP -----

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NVR, Inc.
5285 Westview Drive,
Suite 100
Frederick, MD 21703

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	WD-3	WINDOW DETAILS						
	WS-1B	WALL SECTION DETAILS						

FIRST FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR CRAWL / SLAB FOUNDATION (BASE SF)	1330 SF
	1330 SF
GARAGE SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
TWO CAR GARAGE CRAWL / SLAB FOUNDATION	431 SF
	431 SF
UNFINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
REAR COVERED PORCH (ADD. SF)	140 SF
FRONT COVERED PORCH	25 SF
	165 SF
TOTAL FINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR CRAWL / SLAB FOUNDATION (BASE SF)	1330 SF
	1330 SF

STRUCTURAL DESIGN CRITERIA	
· ALL LOCAL AND STATE CODES	
· ROOF LIVE LOAD	20 psf
· ULTIMATE WIND SPEED	130 mph
· WIND EXPOSURE CATEGORY	B
· SEISMIC DESIGN CATEGORY	A / B

V:\As-Sold\2-Jobs\ASD\2024 2ndHait-Complete\RH\DETACHED\GRAND BAHAMA_GBH00_01\ELK_R_VK_0010\1 CS-1 COVERSHEET.dwg 11/26/24 - 3:29 pm

SET NO. - VERSION SHEET NO. PAGE NO.
GBH00 - 01 **CS-1** |
 RELEASE NO. ----



ROOF VENTILATION CALCULATIONS

HOUSE NAME	GRAND BAHAMA
HOUSE VERSION	GBH00 / 01
SOFFIT:	0.0 sq in of vent per ft ²
RIDGE:	18 sq in of vent per ft ²
BOX / GABLE VENT:	45 sq in of vent per unit

USER GUIDE	(empty)	(empty)	VENT OK	No action req'd.
	(empty)	(empty)	VENT OK	No action req'd.
	(empty)	(empty)	FAIL	Increase ridge
	(empty)	(empty)	FAIL	Increase total vent

Location / Options	Area (A) (sq ft)	Required Attic (sq ft)	Required Attic (sq ft)	Soffit (sq ft)	Ridge Vent (sq ft)	Ridge Vent (sq ft)	Upper Box / Stable Vent (sq ft)	Lower Box Vent (sq ft)	TOTAL (sq ft)	OK A-150	OK A-200	A-200 % vent at ridge	A-200 OK?	Notes
MAIN: NO BASK PORCH	252289	1681.93	840.96	0.00	851.40	201	360.00	1211.40	1211.40	OK	OK	42.81%	OK	
MAIN: W/ BASK PORCH	252289	1681.93	840.96	0.00	851.40	201	360.00	1211.40	1211.40	OK	OK	42.81%	OK	
	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	OK	OK	0.00%	OK	
	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	OK	OK	0.00%	OK	



HOUSE VOLUME CALCULATIONS

HOUSE NAME	GRAND BAHAMA
HOUSE VERSION	GBH00 / 01
PRODUCT LINE	RYANHOMES

Note: The volume of the structure has been computed in accordance with "Title 5, of the Community Affairs, Chapter 23, Uniform Construction Code, Subchapter 2. Administration and enforcement: Process." (5:23-2.28. Volume computation)

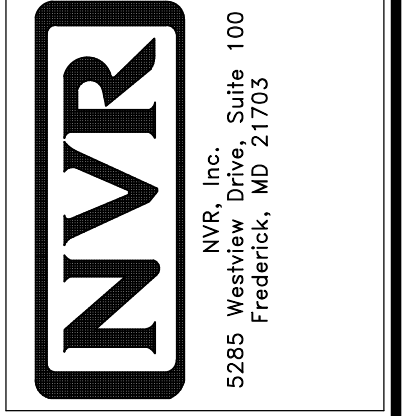
Location / Area of house	Floor Area (sq. ft.)	Mean height (ft.)	Total volume (cu. Ft.)
Main section of the house	1524.01	12.80	19511
Gable at front of the house	70.50	10.05	708
Garage bump out from main house	197.50	10.53	2079
		Total House Volume	22298

Location / Area of house / option	Floor Area (sq. ft.)	Mean height (ft.)	Total volume (cu. Ft.)
Covered Porch "EPE"	140.00	9.38	1313
Full Basement "FBA"	1393.88	8.63	12022
Crawl space "FCA"	1393.88	0.80	1115

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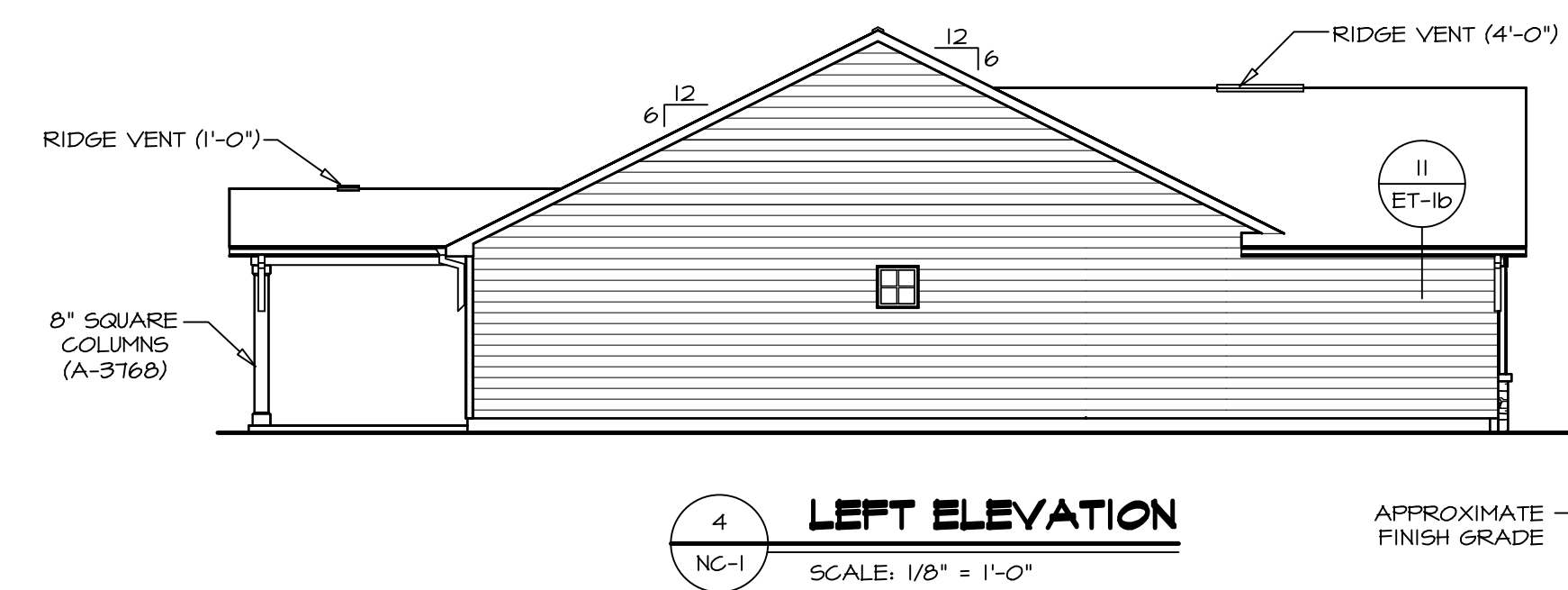
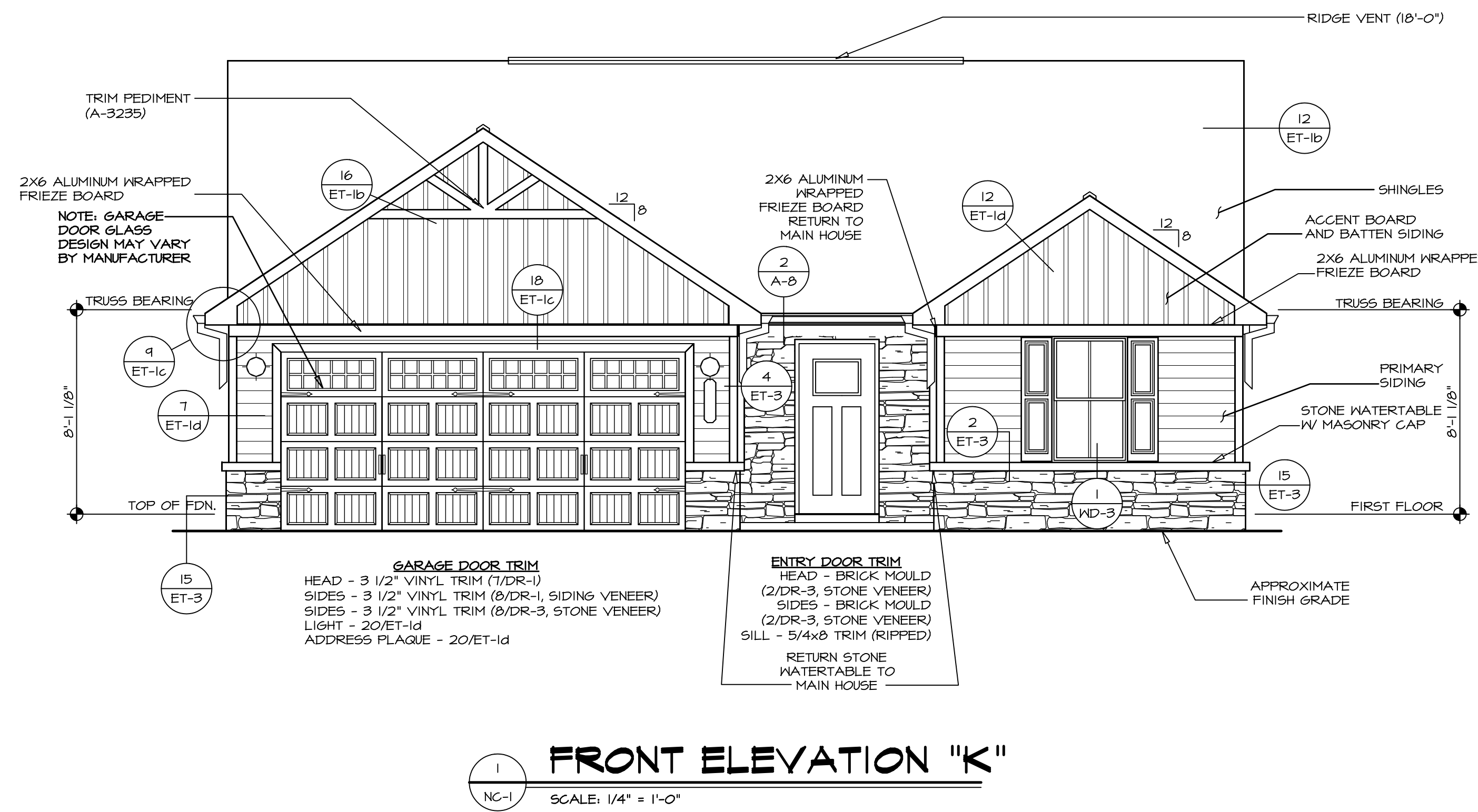
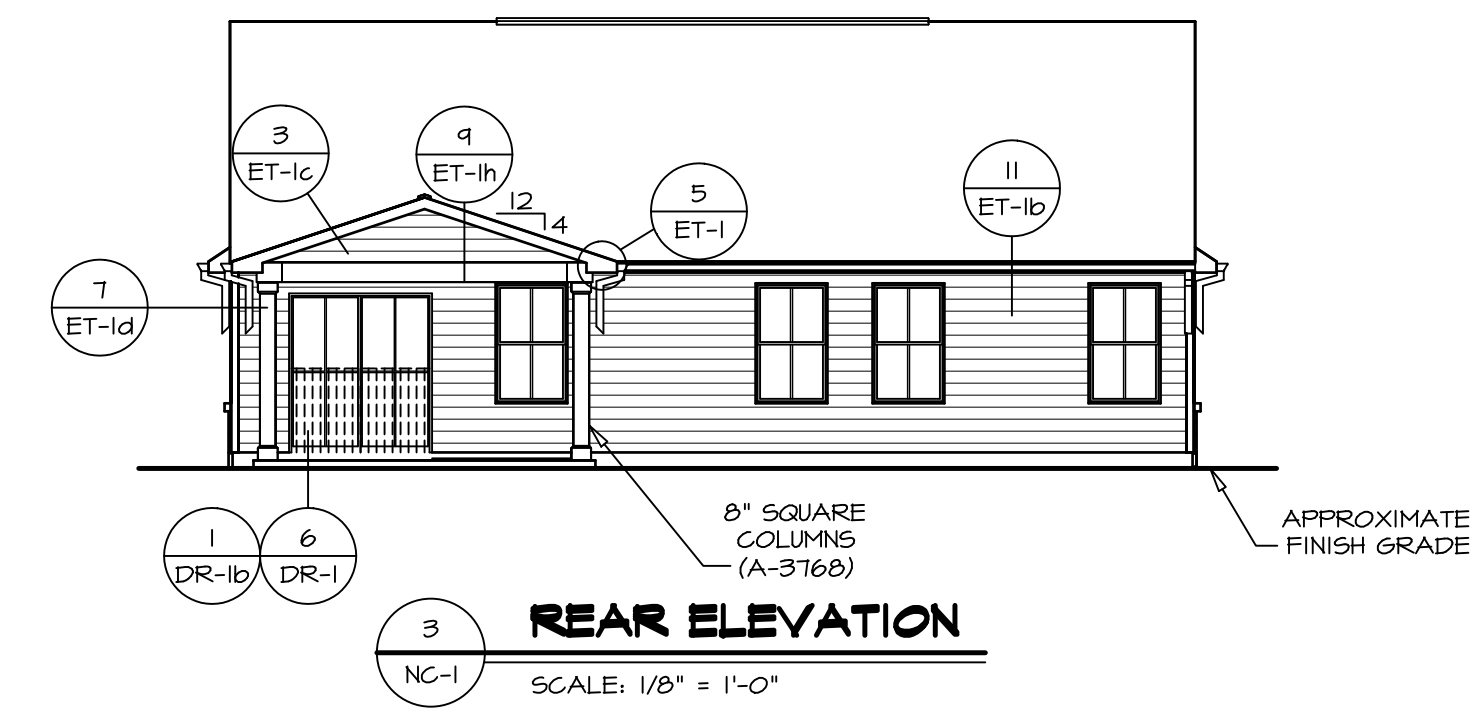
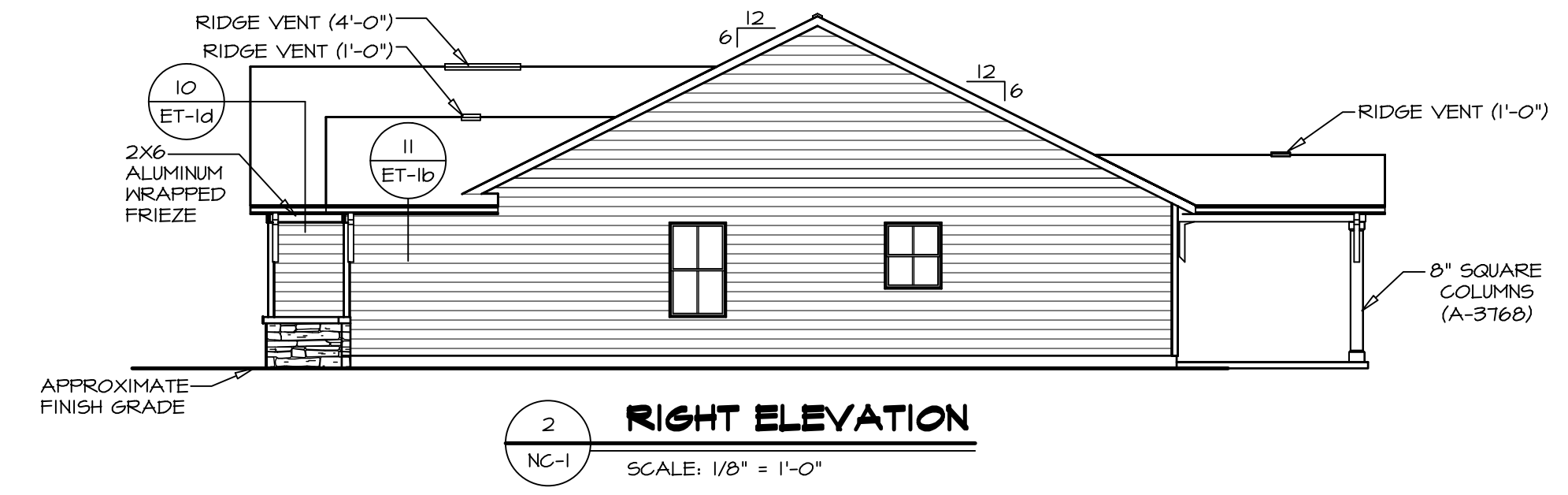
DIV-COMM-LOT-UNIT
 COMM-LOT
 STREET ADDRESS
 CITY STATE ZIP

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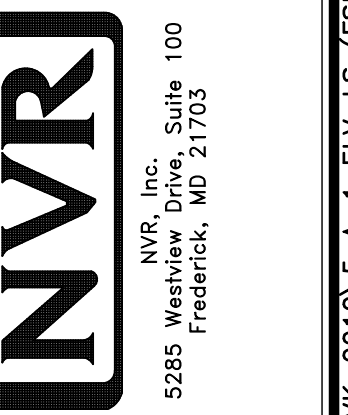
SHEET NO. CA-1
 MODEL GRAND BAHAMA
 DRAWING TITLE CALCS
 VOLUME CALCULATIONS
 OPTION DESCRIPTION
 SET NO. GBH00
 VERSION 01
 RELEASE NO. ----
 DRAWN BY
 DATE
 OPTION

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COM-LOT
STREET ADDRESS
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SET NO. 6BHO0
VERSION 01
RELEASE NO. ----
DRAWN BY BN
DATE: 7/2/20
OPTION FSM, FSA

SHEET NO. NC-1
MODEL GRAND BAHAMA
DRAWING TITLE ELEVATIONS
OPTION DESCRIPTION MONOLITHIC SLAB FOUNDATION
5

FOOTING/THICKENED SLAB SCHEDULE					
IDENTIFIER	LENGTH	WIDTH	HEIGHT	ENG. N.M.	REMARKS
FOOT	2'-0"	2'-0"	1'-0"	50001	
FOOT	2'-0"	2'-0"	1'-0"	50002	
FOOB	2'-0"	2'-0"	1'-0"	50001	

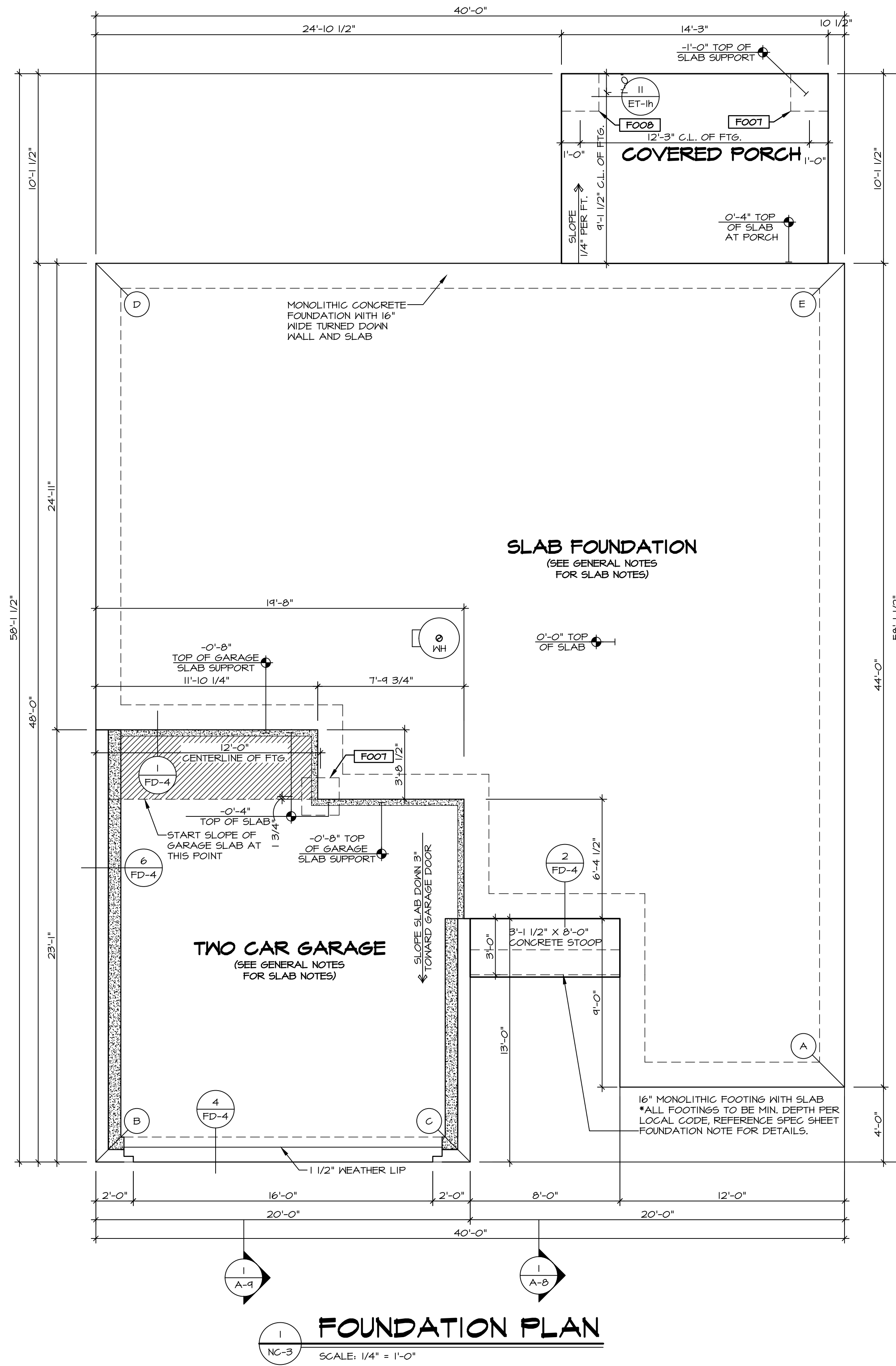
FOUNDATION DIAGONALS			
A		B	
A	0"	A	40'-2 3/8"
B	40'-2 3/8"	B	0"
C	20'-4 3/4"	C	20'-0"
D	54'-5 9/16"	D	48'-0"
E	44'-0"	E	62'-5 13/16"

FOUNDATION NOTES - SLAB

- SEE STANDARD DETAIL CATEGORY "FD" SHEET(S).
- CONCRETE SLAB ON VAPOR BARRIER OVER SUB-BASE (SEE SPEC SHEET FOR SLAB NOTES)
- FOUNDATION UNDER GARAGE:
 - UNEXCAVATED WITH CONCRETE SLAB ON VAPOR BARRIER OVER SUB-BASE (SEE SPEC SHEET FOR SLAB NOTES) OR
 - STRUCTURAL CONCRETE SLAB ON VAPOR BARRIER OVER SUB-BASE (SEE SPEC SHEET FOR SLAB NOTES)
- SEE FOUNDATION HOLD-DOWN SHEET FOR CONNECTION INFORMATION.
- SLAB LEDGE LOCATIONS VARY W/ GRADE BEAM(S) ORIENTATION. SEE 6B-4 FOR DETAILS.
- THE DIRECTION OF THE ARROW IS THE DIRECTION OF REBAR, AS REQUIRED.
- ALL FOOTINGS ARE FLAIN, NON-REINFORCED CONCRETE UNLESS NOTES OTHERWISE.
- SEE KB-2 DETAILS FOR FOOTER SLEEVE INFORMATION.
- THICKENED SLAB DEPTHS MEASURE FROM TOP OF SLAB. PAD FOOTING DEPTHS MEASURE 4" BELOW TOP OF SLAB.

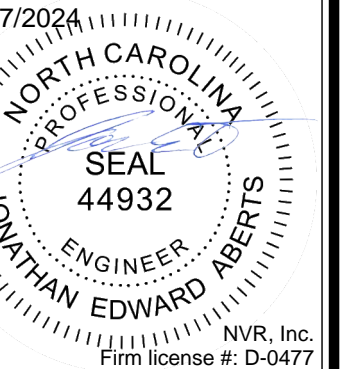
LEGEND

- BEARING WALL
 - NON BEARING WALL
 - INDICATES BEARING FROM POINT-LOAD ABOVE
 - JACKS
 - BEAM/HEADER
 - FOOTING/THICKENED SLAB
 - STEEL COLUMN
 - TRUSS TIE DOWN
 - PORTAL FRAME
 - JOIST/TRUSS
 - LVL
 - ENGINEERING PAGE NUMBER
- SEE FA DETAILS FOR FIRE ASSEMBLIES
-SEE FC DETAILS FOR FRAMING CONNECTORS AND MATERIAL USAGE

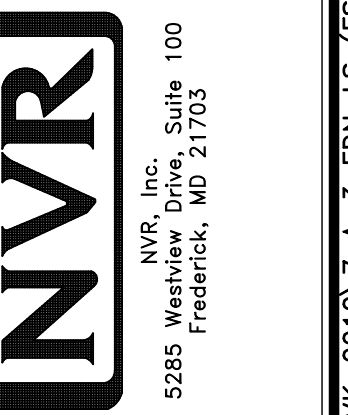


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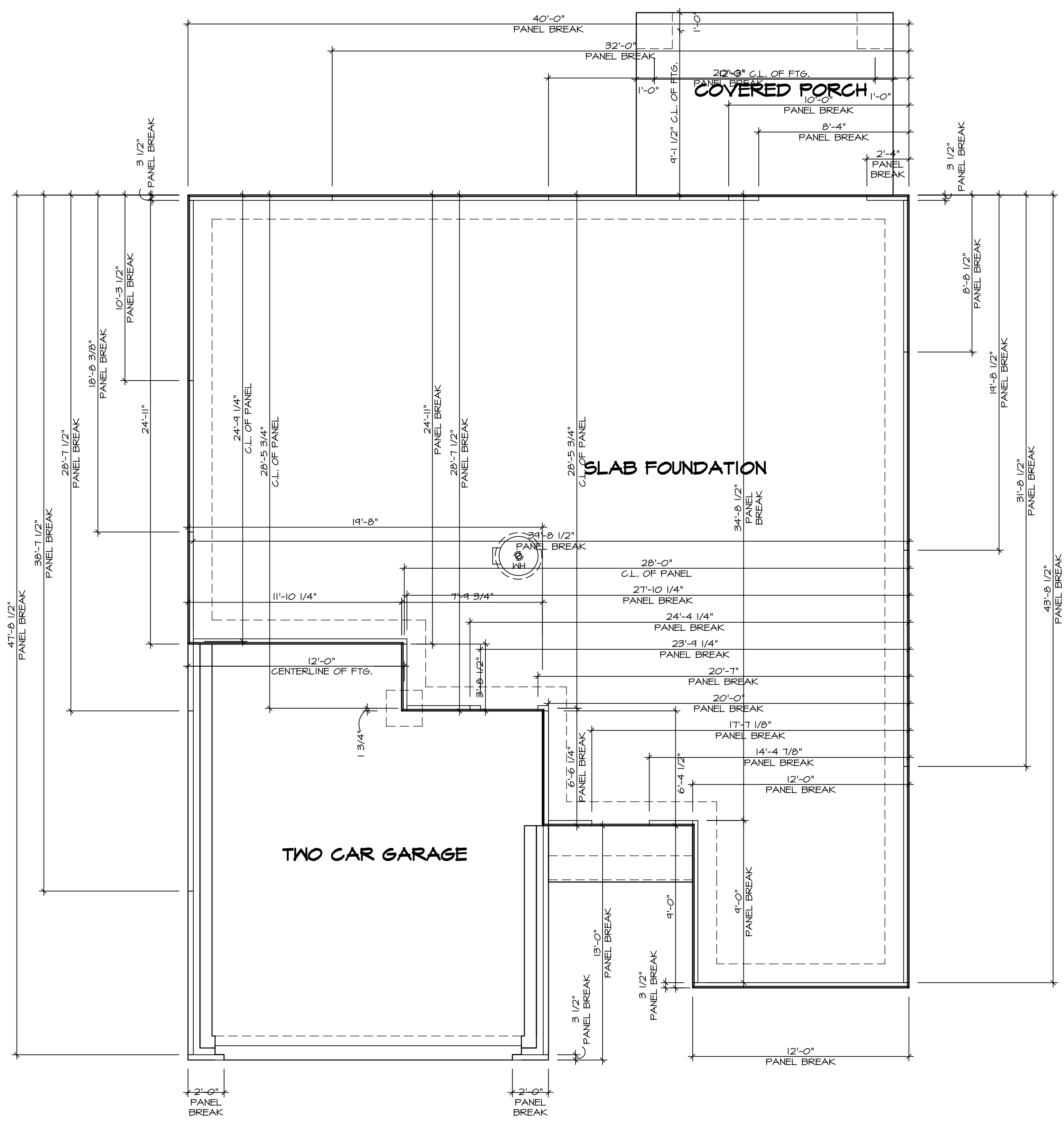


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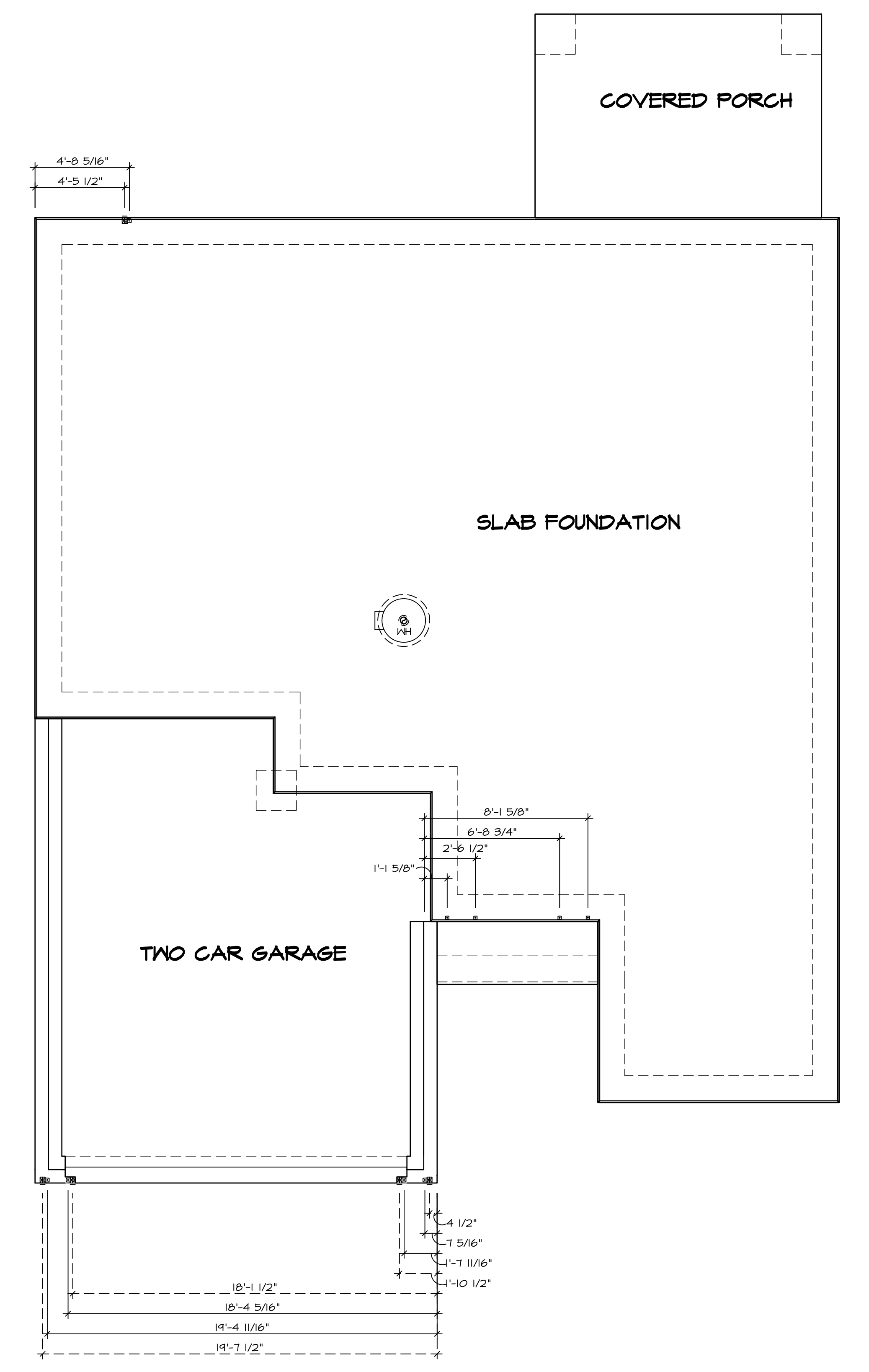


SET NO. 6B-00
VERSION 01
RELEASE NO. ----
DRAWN BY
DATE:
OPTION

SHEET NO. NC-3
MODEL GRAND BAHAMA
DRAWING TITLE FOUNDATIONS
OPTION DESCRIPTION
7



2 PANEL BREAK DETAIL
SCALE: 1/4" = 1'-0"



1 FOUNDATION HOLD DOWN DETAIL
SCALE: 1/4" = 1'-0"

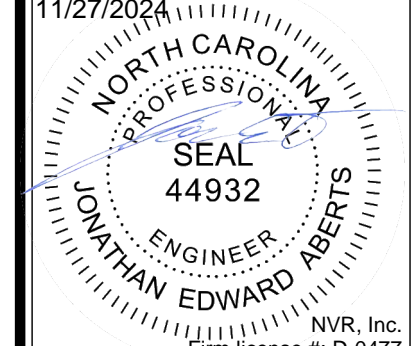
HOLD DOWN NOTES

REFER TO DETAIL (12/FD-1) FOR HOLD DOWN OFFSET DIMENSIONS.
REFER TO DETAIL (12/FD-1) FOR HOLD DOWNS ON CMU BLOCK.

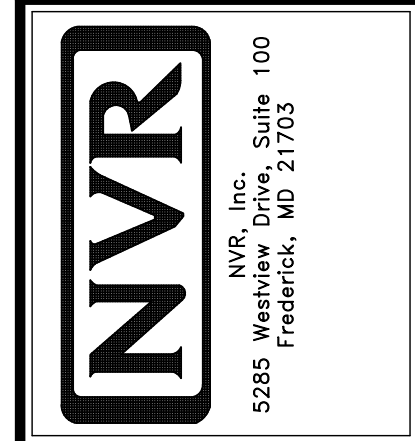
12" 12" 12"	<ol style="list-style-type: none"> ALL PANELS GREATER THAN 24" SHALL HAVE AN ANCHOR WITHIN 12" OF THE PANEL BREAKS / ENDS. (SEE DETAIL SHEET FC-1 FOR MORE INFORMATION ON ANCHOR DETAILS)
STRAP STRAP	<ol style="list-style-type: none"> STRAP: <ol style="list-style-type: none"> ON FOUNDATION USE (STDH14) ON FLOOR SYSTEM USE (STDH14R-U) ALL OTHER HOLD DOWN SEE DETAIL MB-1 FOR MORE INFORMATION. STRAP LOCATION ON PLANS SHOWN BY DASHED DIMENSION TO CENTER OF STUDS <p style="text-align: center;">OR</p>
BOLT BOLT	<ol style="list-style-type: none"> THREADED ROD ALL OTHER HOLD DOWN SEE DETAIL MB-1 FOR MORE INFORMATION. BOLT LOCATION ON PLANS SHOWN BY SOLID DIMENSION TO CENTER OF BOLT

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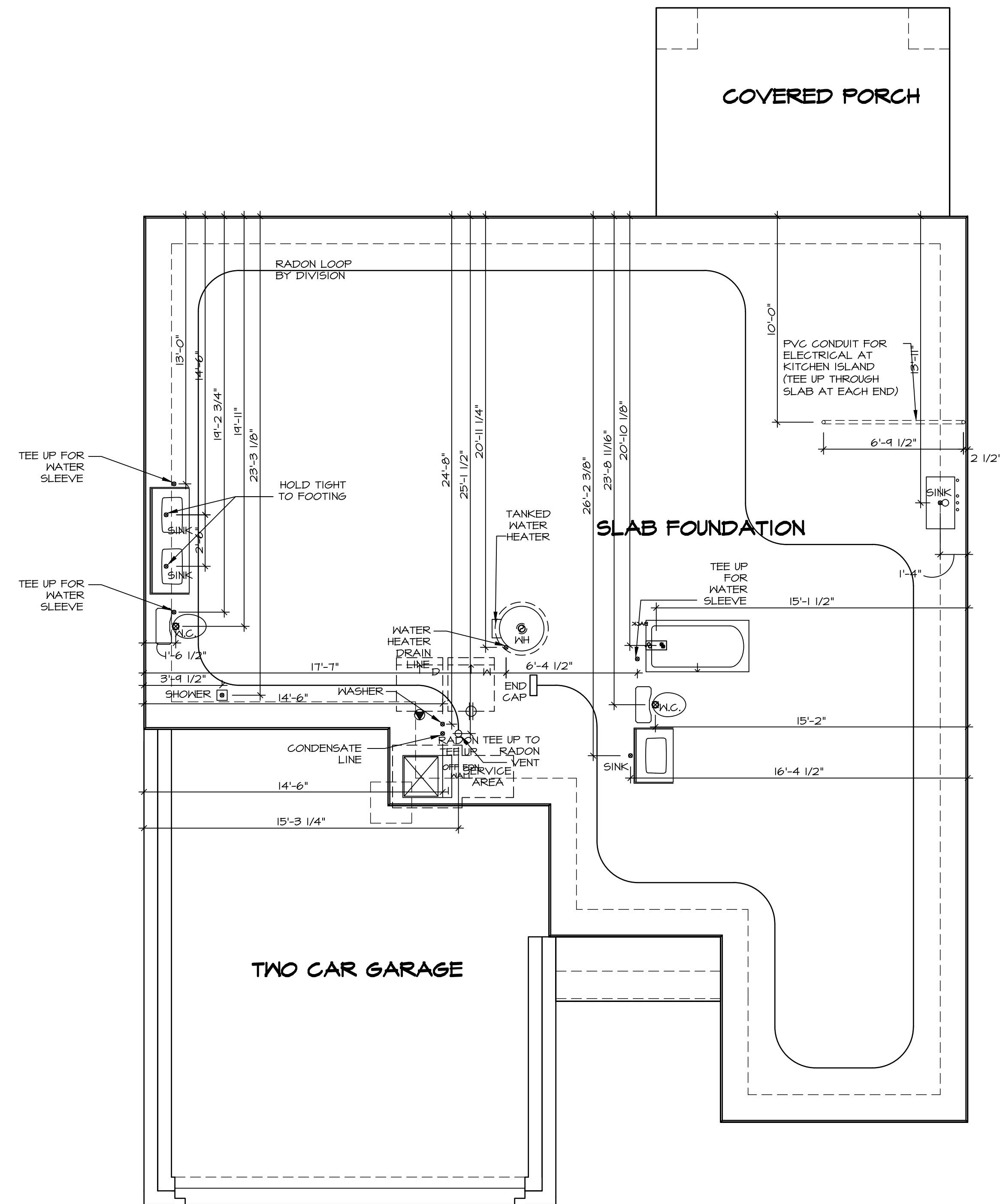


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SET NO. GBH00	VERSION 01	RELEASE NO. ----
DRAWING TITLE	DRAWN BY	DATE:
FOUNDATION HOLD DOWNS	OPTION	
PANEL BREAK DETAILS		
PANEL BREAK DETAILS		
OPTION DESCRIPTION		
SHEET NO. NC-4	2	9

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INSTALLATION OF RADON STACK AND LOOP TO BE DETERMINED BY DIVISION

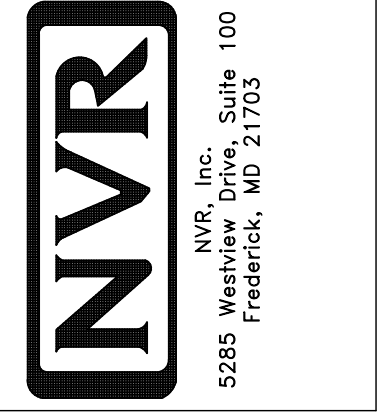
PLUMBING PLAN
SCALE: 1/4" = 1'-0"

PLUMBING NOTES:

- RADON REMEDIATION**
RADON LOOP:
- (4") PERFORATED HDPE "LOOP"
 - MUST BE PLACED IN STONE BED SLIGHTLY HIGHER THAN ANY INTERIOR DRAINTILE
 - LOOP TO BE SEPARATE FROM ANY DRAINTILE ELEMENTS
 - TO BE CORRUGATED HDPE PIPE
 - SCREENS TO BE INSTALLED THROUGH LOOP AT TEE UP INTO STACK
- STACK REQUIREMENTS:**
- 3" PVC STACK (4" IF BASEMENT IS GREATER THAN 2200 SQFT.)
 - NO PART OF STACK IS TO BE HORIZONTAL (45° ELBOWS PERMITTED AS REQUIRED)
 - PIPE TO BE PHYSICALLY LABELED IN THE FIELD AS "RADON VENT" OR OTHER JURISDICTIONALLY REQUIRED LANGUAGE (ON EVERY LEVEL OF HOUSE)
 - ROOF TERMINATION TO BE IN TOP 1/3 OF ROOF
 - SCREEN OR VENT CAP INSTALLED TO KEEP PESTS OUT OF RADON VENT AT ROOF TERMINATION.

DIV-COMM-LOT-UNIT -----
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SET NO. GBH00
 VERSION 01
 RELEASE NO. ----
 DRAWN BY
 DATE:
 OPTION

SHEET NO. **NC-5**
 MODEL **GRAND BAHAMA**
 DRAWING TITLE **PLUMBING**
 OPTION DESCRIPTION
 10

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FIRST FLOOR JACK SCHEDULE			
IDENTIFIER	DESCRIPTION	ENG. NUM.	REMARKS
J101	JACK - (3) 2X4 SPM	1000	EXTEND THRU TOP PLATE
J102	JACK - (3) 2X4 SPM	1000	EXTEND THRU TOP PLATE
J103	JACK - (2) 2X4 SFF STUD GRADE	1000	
J104	JACK - (2) 2X4 SFF STUD GRADE	1000	
J105	JACK - (2) 2X4 SFF STUD GRADE	1003	
J106	JACK - (2) 2X4 SFF STUD GRADE	1003	
J107	JACK - (2) 2X4 SFF STUD GRADE	1007	
J108	JACK - (2) 2X4 SFF STUD GRADE	1007	
J113	JACK - (2) 2X4 SFF STUD GRADE	1005	
J114	JACK - (2) 2X4 SFF STUD GRADE	1005	
J115	JACK - (3) 2X4 SFF STUD GRADE	1018	
J116	JACK - (3) 2X4 SFF STUD GRADE	1018	

LVL FLY TO FLY FASTENING SCHEDULE: (WHERE APPLICABLE BASED ON LVL USAGE)

1.A - (2) FLY UP TO AND INCLUDING 11 7/8" TALL; FASTEN FLIES W/ (2) ROWS 16D NAILS AT 12" O.C. OR ALT 1 1/2" WIDE LVL FASTEN FLIES W/ (3) ROWS 12D NAILS AT 12" O.C.

2.A - (2) FLY 14" UP TO AND INCLUDING 10", FASTEN FLIES W/ (3) ROWS 16D NAILS AT 12" O.C. OR ALT 1 1/2" WIDE LVL FASTEN FLIES W/ (4) ROWS 12D NAILS AT 12" O.C.

3.A - (2) FLY 20" TALL AND OVER; FASTEN FLIES W/ (4) ROWS 16D NAILS AT 12" O.C. OR ALT 1 1/2" WIDE LVL FASTEN FLIES W/ (5) ROWS 12D NAILS AT 12" O.C.

4.A - (3) FLY UP TO AND INCLUDING 11 7/8" TALL; FASTEN FLIES W/ (2) ROWS 16D NAILS AT 12" O.C. FROM EACH SIDE OR ALT 1 1/2" WIDE LVL FASTEN FLIES W/ (3) ROWS 12D NAILS AT 12" O.C. FROM EACH SIDE.

5.A - (3) FLY 14" UP TO AND INCLUDING 10", FASTEN FLIES W/ (3) ROWS 16D NAILS AT 12" O.C. FROM EACH SIDE OR ALT 1 1/2" WIDE LVL FASTEN FLIES W/ (4) ROWS 12D NAILS AT 12" O.C. FROM EACH SIDE.

6.A - (3) FLY 20" TALL AND OVER; FASTEN FLIES W/ (4) ROWS 16D NAILS AT 12" O.C. FROM EACH SIDE OR ALT 1 1/2" WIDE LVL FASTEN FLIES W/ (5) ROWS 12D NAILS AT 12" O.C. FROM EACH SIDE.

7.A - (4) FLY (ALL SIZES); FASTEN FLIES W/ (2) ROWS 1/2" DIAMETER A307 BOLTS AT 12" O.C. SEE SHOP DRAWING FOR ADDITIONAL INFORMATION.

FLOOR PLAN NOTES:

- ALL HEADERS ARE (2) 2x6 w/ 2x4 WALLS OR (3) 2x6 w/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
- ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK AND KING STUD EACH END, UNLESS OTHERWISE NOTED. MULTI-OPENING HEADERS TO HAVE (2) JACKS AT INTERMEDIATE BEARINGS, UNLESS OTHERWISE NOTED. NO ADDITIONAL FLOOR SYSTEM BLOCKING OR CONTINUOUS LOAD PATH JACKS ARE REQUIRED UNLESS OTHERWISE NOTED.
- ALL EXTERIOR WALLS TO BE 4" OR 6" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
- HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED. SEE ARCHITECTURAL DETAIL 8/11-1B FOR 3/4" FIRE STOPPING AT BULKHEAD / CEILING PANELS.
- SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
- SEE STANDARD DETAIL CATEGORY "I1" SHEET(S) FOR INTERIOR TRIM DETAILS.
- SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
- ALL HEADERS IN NON-BEARING WALLS SHALL BE A SINGLE FLAT 2X4 OR 2X6 ATTACHED TO CRIPPLES ABOVE, UNLESS OTHERWISE NOTED.
- TANKED WATER HEATER SHOWN AS BASE CONDITION. OPTIONAL TANKLESS WATER HEATER IS AVAILABLE IN LIEU OF TANKED WATER HEATER.
- INTERIOR HEADER HEIGHT FOR 8' CEILINGS WILL BE 6'-11", 9' CEILING WILL BE 7'-11", 10' CEILING WILL BE 8'-3", UNLESS OTHERWISE NOTED.
- BASEMENT FINISH DIMENSIONS ASSUME A 1/2" GAP BETWEEN FRAME WALL AND CONCRETE WALL.
- ALL INTERIOR BEARING WALLS SHALL HAVE GYPSUM APPLIED TO AT LEAST ONE SIDE OR HAVE MID-HEIGHT BLOCKING INSTALLED.
- NON-BEARING WALLS OVER CONCRETE TO BE HELD 1/2" SHORT OF FRAMING ABOVE.

GYPSUM NOTES:

AT GARAGE:
GYPSUM BOARD AT COMMON WALLS, CEILING, BEAM KRAES AND SUPPORTS PER STANDARD DETAIL FA-1(B) FIRE ASSEMBLIES OR AS REQUIRED BY LOCAL CODE.

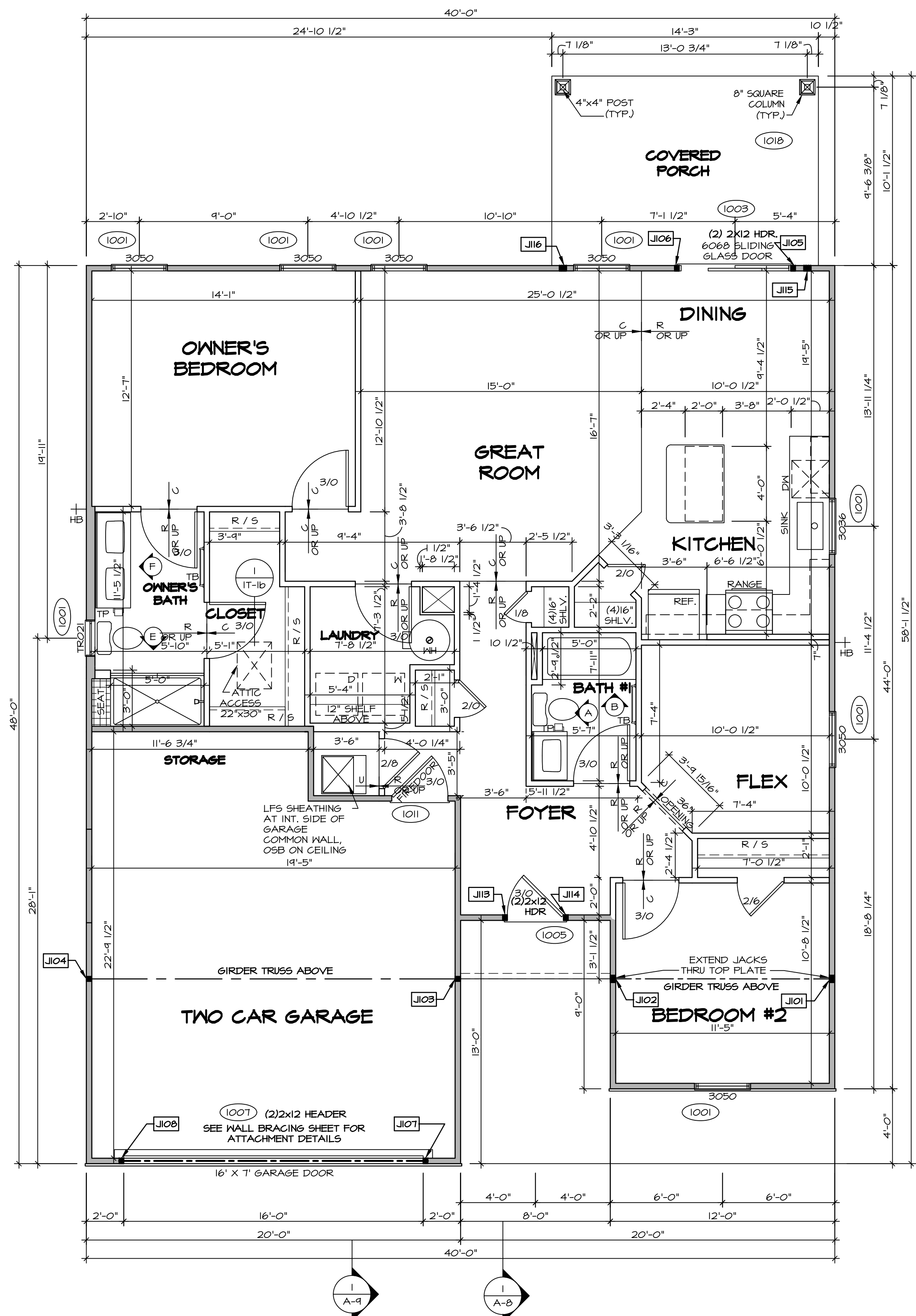
AT STAIRS:
1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET

LEGEND

	BEARING WALL
	NON BEARING WALL
	INDICATES BEARINGS FROM POINT-LOAD ABOVE
	JACKS
	BEAM/HEADER
	FOOTINGS/THICKENED SLAB
	STEEL COLUMN
	TRUSS TIE DOWN
	PORTAL FRAME
	JOIST/TRUSS
	LVL
	ENGINEERING PAGE NUMBER

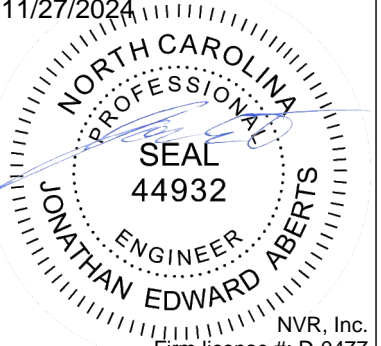
-SEE FA DETAILS FOR FIRE ASSEMBLIES
-SEE FC DETAILS FOR FRAMING CONNECTORS AND MATERIAL USAGE

ALL WINDOWS HAVE 7'-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED

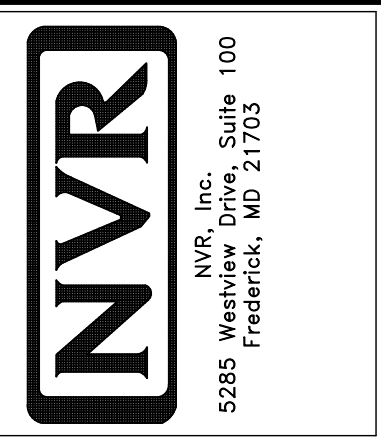


FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

DIV-COMM-LOT-UNIT
COM-LOT
STREET ADDRESS
CITY
STATE
ZIP
APT. NO.



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5285 Westwick, Suite 100
Frederick, MD 21703
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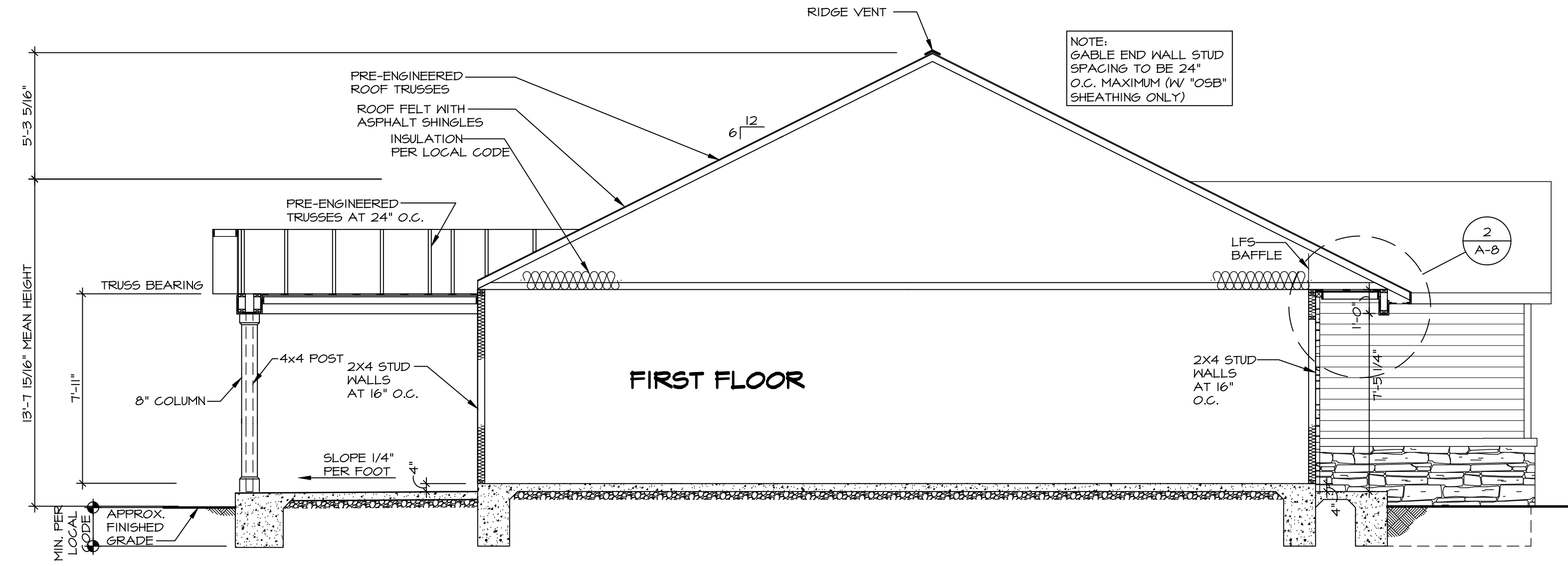


SET NO. GBH00
VERSION 01
RELEASE NO. ----
DRAWN BY
DATE:
OPTION

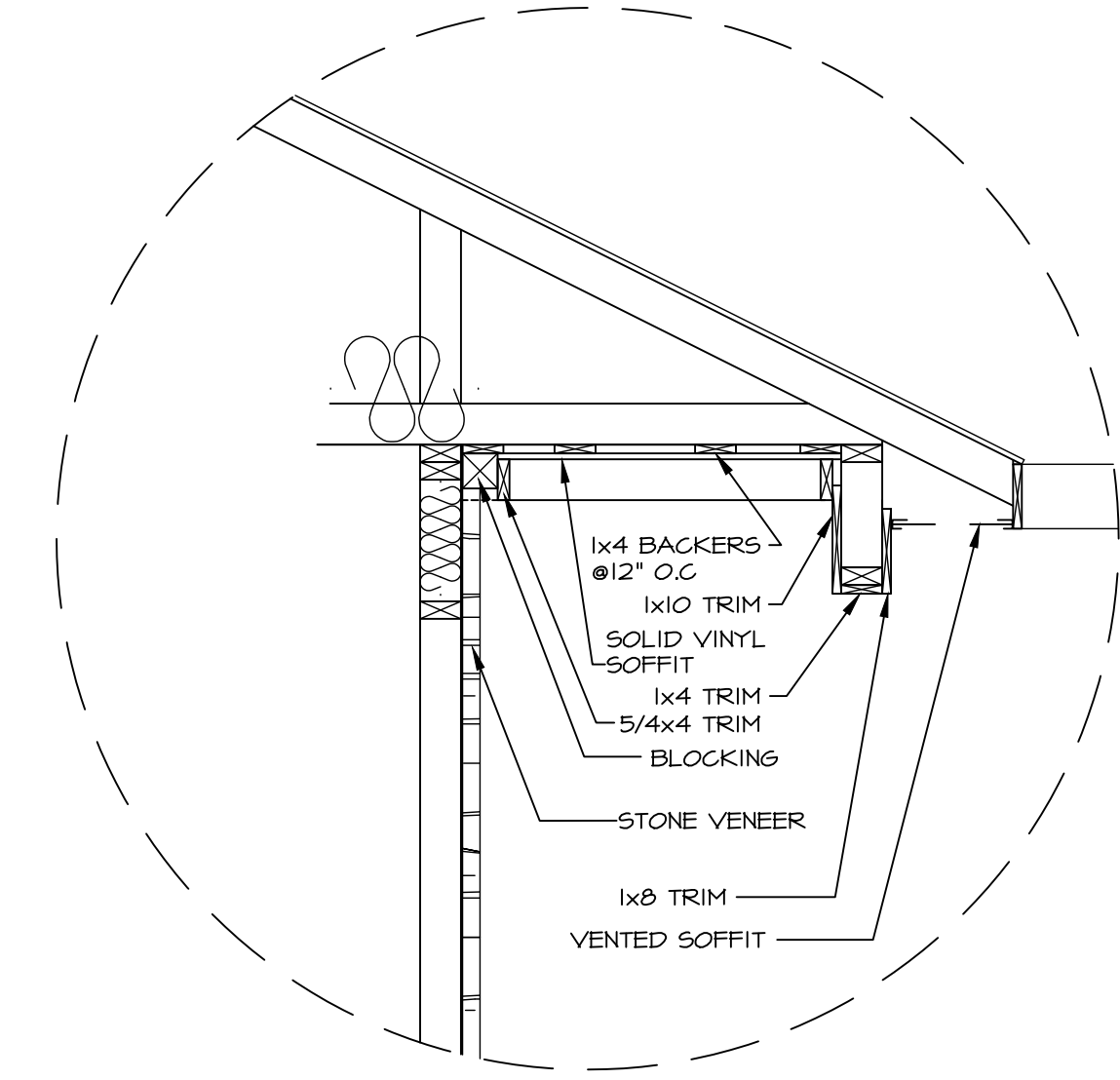
MODEL: GRAND BAHAMA
DRAWING TITLE: FIRST FLOOR PLAN
OPTION DESCRIPTION

SHEET NO. NC-7
12

V:\AS-Sales\2-Jobs\ASD\2024_2ndHof-Complete\BAHAMA_GBH00_01\ELK_RK_0010\12_A-7_Plan_Ls.dwg 11/26/24 - 3:50 PM



1 BUILDING SECTION - FOYER
 NC-8 SCALE: 1/4" = 1'-0"



2 DETAIL
 NC-8 SCALE: 3/4" = 1'-0"

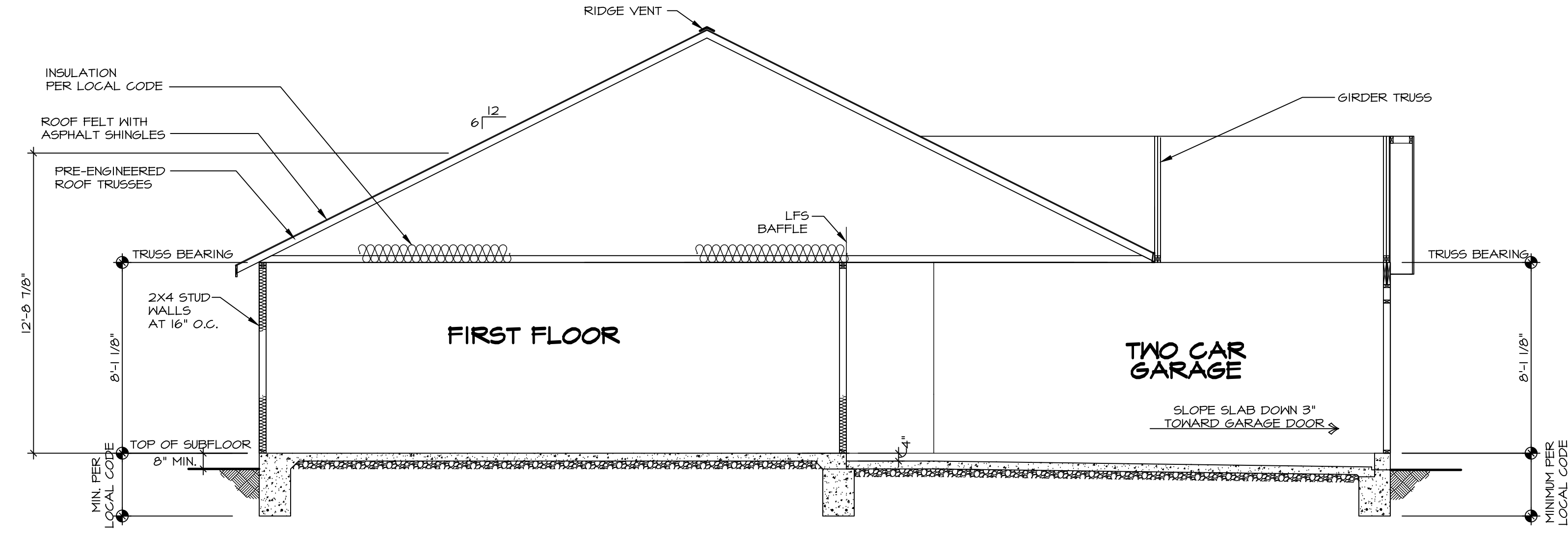
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DIV-COMM-LOT-UNIT
 COMM-LOT
 STREET ADDRESS
 CITY STATE ZIP
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SHEET NO. NC-8	MODEL GRAND BAHAMA	SET NO. 6BHO0 VERSION 01 RELEASE NO. ---- DRAWN BY DATE: OPTION
13	DRAWING TITLE BUILDING SECTIONS	OPTION DESCRIPTION

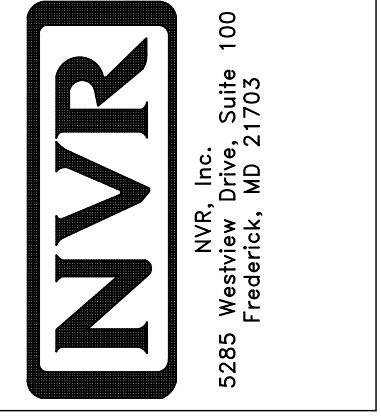


BUILDING SECTION - GARAGE
 SCALE: 1/4" = 1'-0"

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 COMM-LOT -----
 STREET ADDRESS -----
 CITY ----- STATE ----- ZIP -----
 APT. NO. -----

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 DATE:
 OPTION

SHEET NO. NC-9
 MODEL GRAND BAHAMA
 DRAWING TITLE BUILDING SECTIONS
 OPTION DESCRIPTION
 14

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TRUSS SCHEDULE					
QUANTITY	SPECS	TRUSS NUMBER	LENGTH	ROOF PITCH (X/12)	REMARKS
2	SE	14544	12'-0"	8/12	COMMON
4	SE	14545	20'-0"	8/12	COMMON
1	SE	14546	12'-0"	8/12	COMMON
1	SE	14547	20'-0"	8/12	COMMON
1	SE	14544	12'-0"	8/12	COMMON
1	SE	17641	20'-0"	8/12	COMMON
5	SE	18423	14'-0"	4/12	COMMON
5	SE	18424	38'-0"	6/12	COMMON
1	SE	18425	38'-0"	6/12	COMMON
1	SE	18426	38'-0"	6/12	COMMON
2	SE	18453	38'-0"	6/12	COMMON
1	SE	18454	38'-0"	6/12	COMMON
4	SE	18455	38'-0"	6/12	COMMON
1	SE	18456	38'-0"	6/12	COMMON
1	SE	18457	38'-0"	6/12	COMMON
1	SE	18541	14'-0"	4/12	COMMON
2	VT	00861	3'-0"	8-6/12	COMMON
2	VT	00862	6'-0"	8-6/12	COMMON
2	VT	00863	8'-0"	8-6/12	COMMON
2	VT	00864	12'-0"	8-6/12	COMMON
1	VT	00865	15'-0"	8-6/12	COMMON
1	VT	00866	18'-0"	8-6/12	COMMON
1	VT	45510	6'-0"	4-6/12	COMMON
1	VT	45511	12'-0"	4-6/12	COMMON

FIELD INSTALLED ROOF FRAMING BEAM/HEADER SCHEDULE				
IDENTIFIER	DESCRIPTION	LENGTH	ENG. NUM.	REMARKS
LI01-2	LVL 1.75 - 09-04	10'-0"	101B	1A
LI02-2	LVL 1.75 - 09-04	10'-0"	101B	1A
LI02-2	LVL 1.75 - 09-04	10'-0"	101B	1A

LVL PLY TO PLY FASTENING SCHEDULE: (WHERE APPLICABLE BASED ON LVL USAGE)

1.A - (2) PLY UP TO AND INCLUDING 11 7/8" TALL: FASTEN PLYS W/ (2) ROWS 16D NAILS AT 12" O.C. OR ALT 1 1/2" WIDE LVL FASTEN PLYS W/ (3) ROWS 12D NAILS AT 12" O.C.

2.A - (2) PLY 14" UP TO AND INCLUDING 18" FASTEN PLYS W/ (3) ROWS 16D NAILS AT 12" O.C. OR ALT 1 1/2" WIDE LVL FASTEN PLYS W/ (4) ROWS 12D NAILS AT 12" O.C.

3.A - (2) PLY 20" TALL AND OVER: FASTEN PLYS W/ (4) ROWS 16D NAILS AT 12" O.C. OR ALT 1 1/2" WIDE LVL FASTEN PLYS W/ (5) ROWS 12D NAILS AT 12" O.C.

4.A - (3) PLY UP TO AND INCLUDING 11 7/8" TALL: FASTEN PLYS W/ (2) ROWS 16D NAILS AT 12" O.C. FROM EACH SIDE OR ALT 1 1/2" WIDE LVL FASTEN PLYS W/ (3) ROWS 12D NAILS AT 12" O.C. FROM EACH SIDE.

5.A - (3) PLY 14" UP TO AND INCLUDING 18" FASTEN PLYS W/ (3) ROWS 16D NAILS AT 12" O.C. FROM EACH SIDE OR ALT 1 1/2" WIDE LVL FASTEN PLYS W/ (4) ROWS 12D NAILS AT 12" O.C. FROM EACH SIDE.

6.A - (3) PLY 20" TALL AND OVER: FASTEN PLYS W/ (4) ROWS 16D NAILS AT 12" O.C. FROM EACH SIDE OR ALT 1 1/2" WIDE LVL FASTEN PLYS W/ (5) ROWS 12D NAILS AT 12" O.C. FROM EACH SIDE.

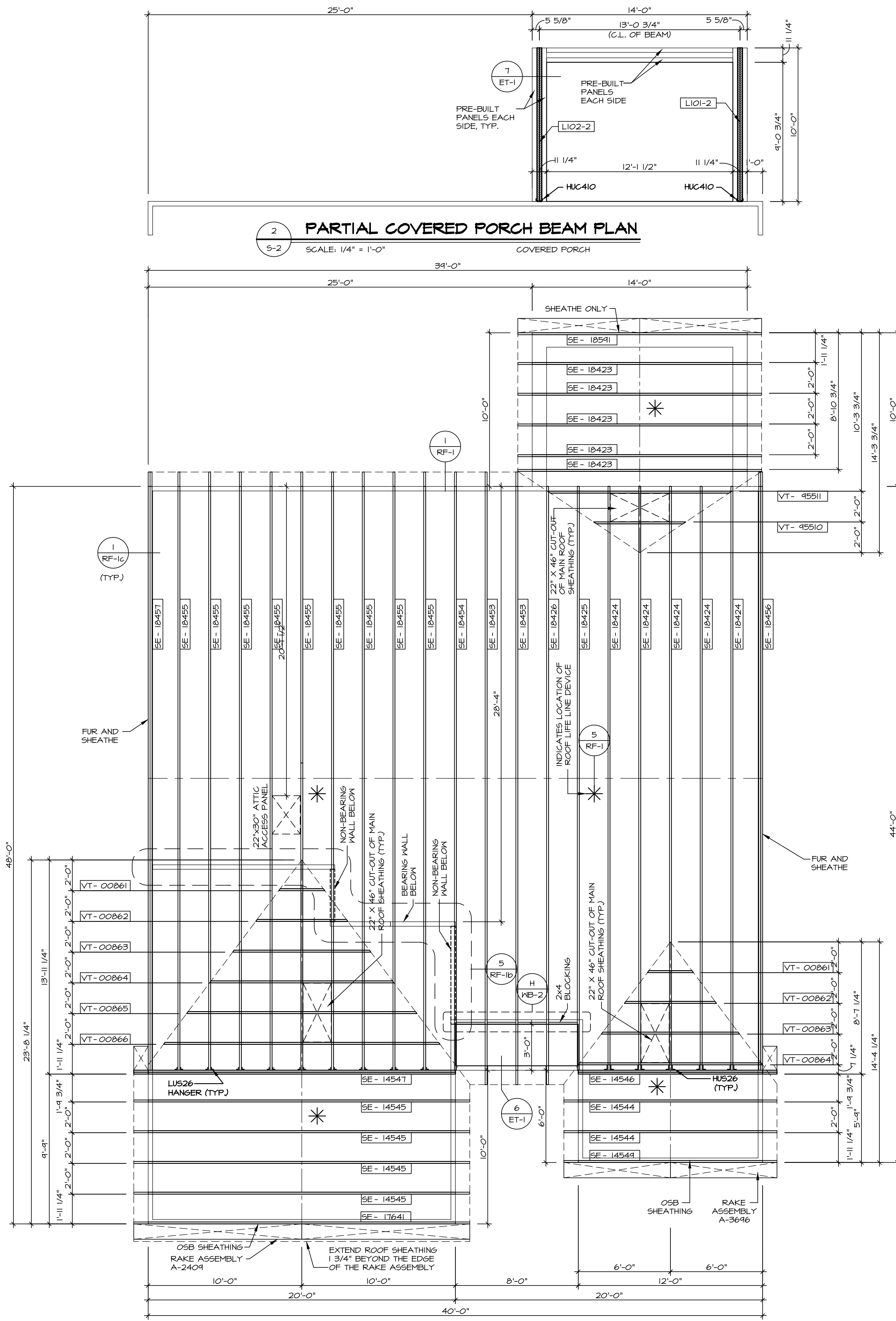
7.A - (4) PLY (ALL SIZES): FASTEN PLYS W/ (2) ROWS 1/2" DIAMETER A307 BOLTS AT 12" O.C. SEE SHOP DRAWING FOR ADDITIONAL INFORMATION.

ROOF FRAMING NOTES:

- REFER TO THE STANDARD DETAILS FOR THE FOLLOWING:
 - TRUSS TIE-DOWNS (1/RF-1)
 - PIGGYBACK TRUSS ATTACHMENT (2/RF-1)
 - VALLEY GABLE TRUSS BRACING (3/RF-1)
 - GABLE BRACING (1/RF-1c)
 - TURN GABLE BRACING (1/RF-1)
 - TRUSS LATERAL BRACING (2/RF-1c)
 - LIFELINE ATTACHMENT (3/RF-1)
 - FALL PROTECTION ON PLATFORM TRUSS (1/RF-1)
- IF TRUSS DOES NOT APPEAR ON THE TRUSS BRACING SHEET, NO ADDITIONAL LATERAL BRACING REQUIRED.
- ALL FINISHED ROOF OVERHANGS ARE TO BE 12" FROM FRAMED WALL UNLESS OTHERWISE NOTED.

LEGEND	
	BEARING WALL
	INDICATES BEARING FROM POINT-LOAD ABOVE
	JACKS
	BEAM/HEADER
	FOOTINGS/THICKENED SLAB
	STEEL COLUMN
	TRUSS TIE DOWN
	PORTAL FRAME
	JOIST/TRUSS
	LVL
	ENGINEERING PAGE NUMBER

-SEE FA DETAILS FOR FIRE ASSEMBLIES
-SEE FC DETAILS FOR FRAMING CONNECTORS AND MATERIAL USAGE



11/27/2024

NORTH CAROLINA PROFESSIONAL ENGINEER
SEAL 44932
EDWARD BERTS

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Frederick, MD 21703
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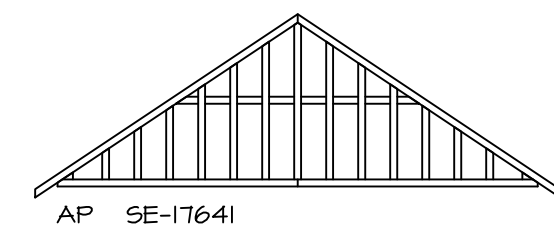
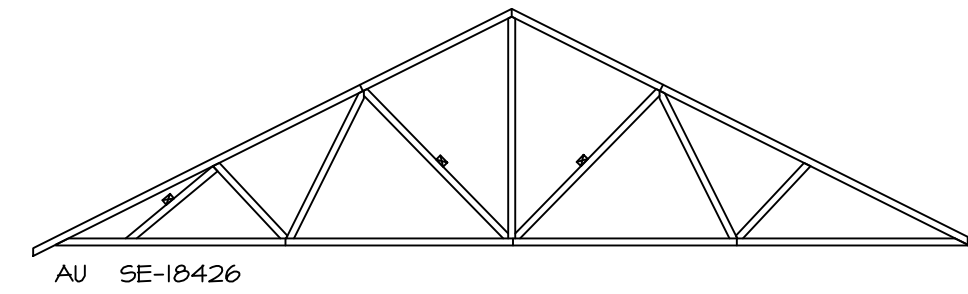
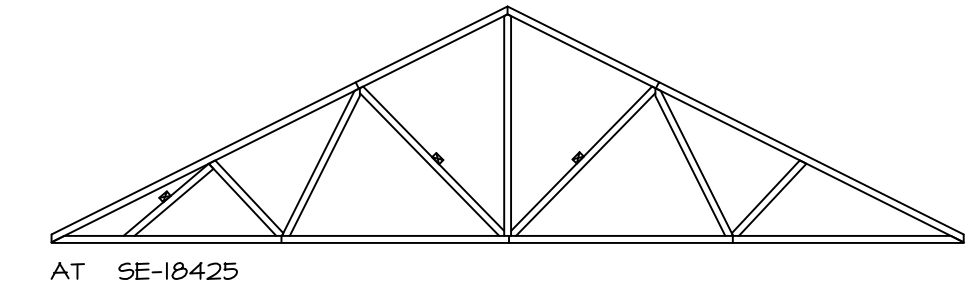
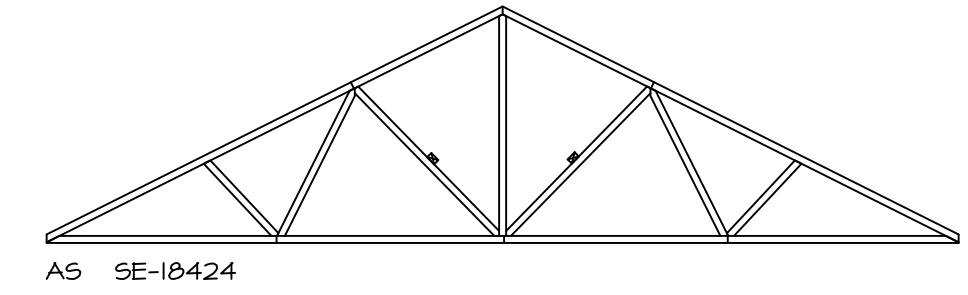
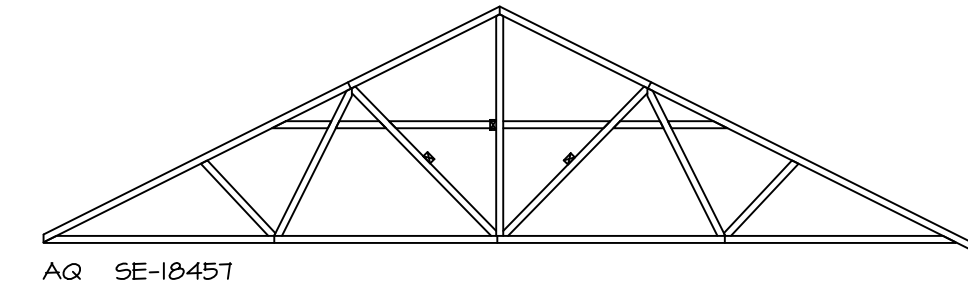
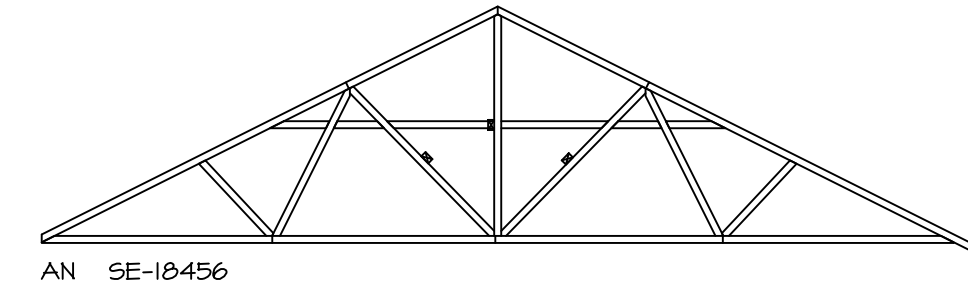
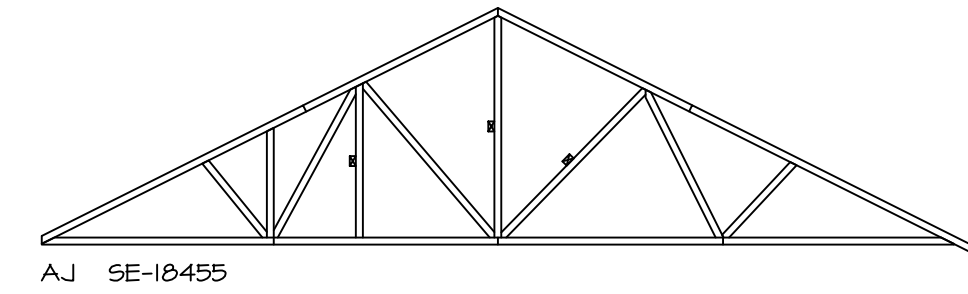
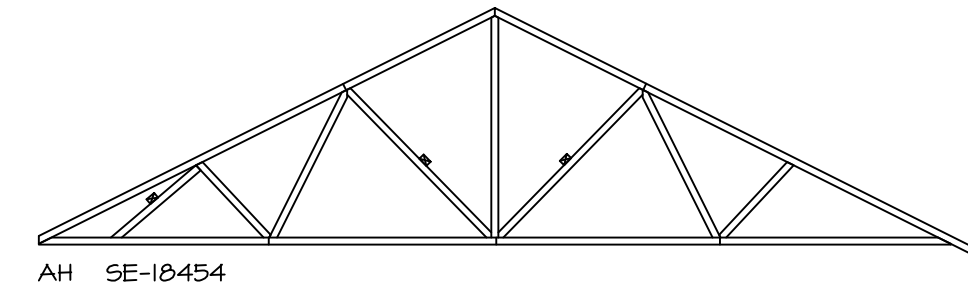
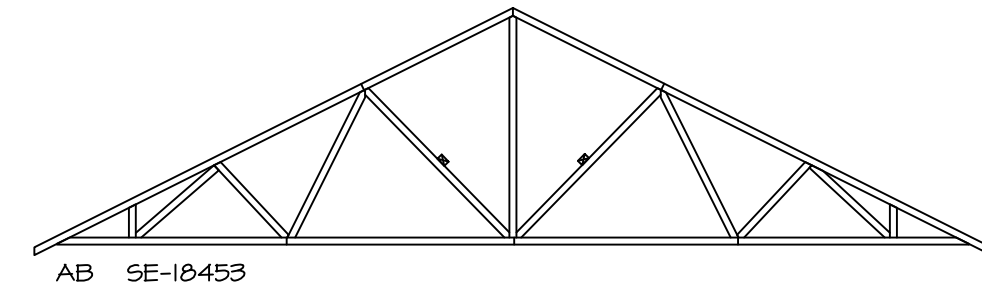
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VERSION 01
RELEASE NO. ---
DRAWN BY BN
DATE: 2/7/20
OPTION

MODEL: GRAND BAHAMA
DRAWING TITLE: ROOF FRAMING
OPTION DESCRIPTION

SHEET NO. S-2
21



1
S-3

TRUSS BRACING DETAILS

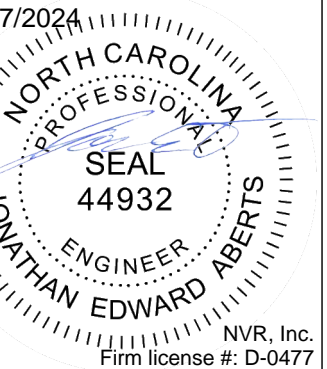
SCALE: 1/4" = 1'-0"

TRUSS BRACING NOTES:

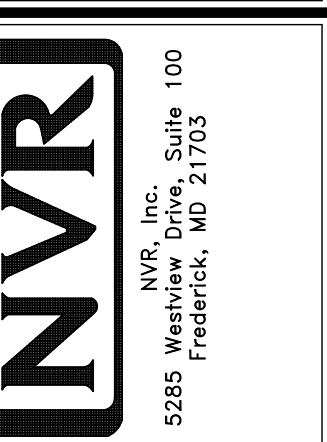
- IF TRUSS DOES NOT APPEAR ON THIS TRUSS BRACING SHEET, NO ADDITIONAL LATERAL BRACING IS REQUIRED.
- 2X4 SFF#2 LATERAL BRACES SHALL BE NAILED TO MINIMUM (3) TRUSS MEMBERS WITH MINIMUM (2) 10D NAILS. PROVISIONS MUST BE MADE AT ENDS OR SPECIFIED INTERVALS TO RESTRAIN OR ANCHOR LATERAL BRACING.
- WEB "T" BRACE, DETAIL 3(RF-1c), IS REQUIRED WHERE LATERAL BRACING IS NOT CONTINUOUS ACROSS THREE (3) OR MORE TRUSSES AND MAY BE USED IN LIEU OF 2X4 LATERAL BRACING.
- DIAGONAL BRACING REQUIRED WHEN LATERAL BRACING IS REQUIRED (4(RF-1c)).
- STUDDED GABLE BRACING DETAIL (1(RF-1c)) TO BE UTILIZED FOR TRUSSES 6'-9" IN HEIGHT OR GREATER.
- PARTIALLY SHEATHED GABLES, SEE (5(RF-1c)) FOR "L" BRACING WHEN REQUIRED.
- LATERAL BRACING CAN BE APPLIED TO EITHER SIDE OF THE WEB MEMBER IDENTIFIED IN THE DRAWING.
- SHEATHING (OSB OR GYPSUM) REPLACES LATERAL AND DIAGONAL TRUSS BRACING.

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DIV-COMM-LOT-UNIT
 COMM-LOT
 STREET ADDRESS
 CITY STATE ZIP



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SET NO. GBH00
 VERSION 01
 RELEASE NO. ----
 DRAWN BY
 DATE:
 OPTION

MODEL
GRAND BAHAMA
 DRAWING TITLE
 TRUSS BRACING
 OPTION DESCRIPTION
 22

As directed by the North Carolina Board of Architecture and Registered Interior Designers, architectural seals are not required for - and should not be placed by NVR on - these plans and specifications.

FASTENING SCHEDULE

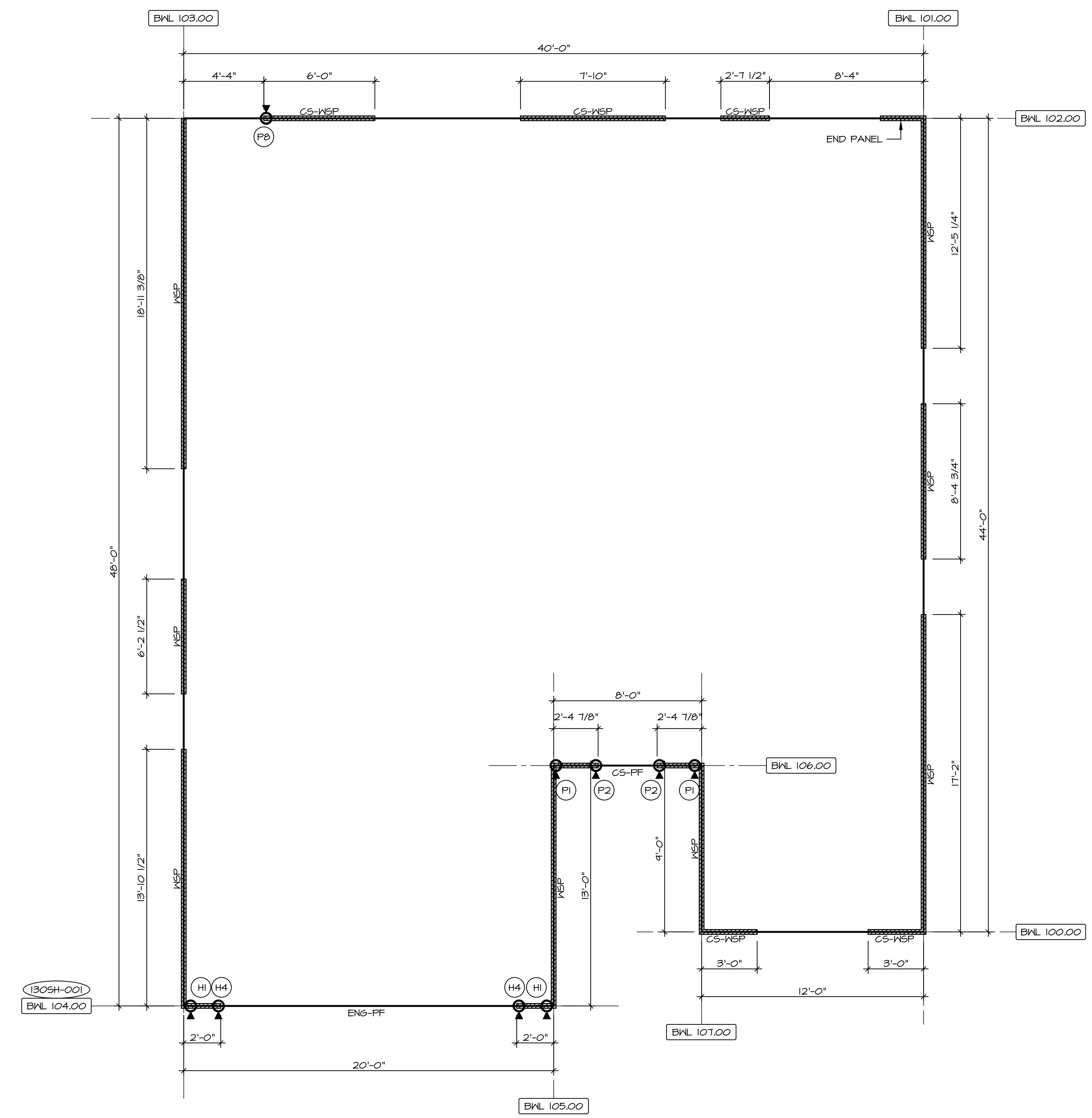
SHEATHING	FASTENER	SPACING	
		EDGES	FIELD
PRESCRIPTIVE 7/16" WOOD STRUCTURAL PANELS OR EQUIVALENT (W/ METHOD WSP, CS-WSP, CS-G)	8d COMMON NAILS	6" O.C.	6" O.C.
	ALTERNATIVE FASTENER 1-3/4" 16-GAUGE CORROSION RESISTANT STAPLES	3" O.C.	6" O.C.
ENGINEERED 7/16" WOOD STRUCTURAL PANELS (W/ METHOD ENG-WSP-A, ENG-WSP-B, ENG-WSP-C)	A - 8d COMMON NAILS	4" O.C.	6" O.C.
	A - 1-3/4" 16-GAUGE CORROSION RESISTANT STAPLES	3" O.C.	6" O.C.
	B - 8d COMMON NAILS*	3" O.C.	6" O.C.
	B - 1-3/4" 16-GAUGE CORROSION RESISTANT STAPLES	N/A	6" O.C.
	C - 8d COMMON NAILS* SHEATHING ON BOTH SIDES OF THE WALL	3" O.C.	6" O.C.
C - 1-3/4" 16-GAUGE CORROSION RESISTANT STAPLES SHEATHING ON BOTH SIDES OF THE WALL	N/A	6" O.C.	
1/2" GYPSUM WALLBOARD (W/ METHOD GB-1, GB-2, ENG-GB1-A)	1-1/4" LONG, 1/4" HEAD, 2#8" DIA. ANNULAR-RINGED NAILS	7" O.C.	7" O.C.
	CORROSION RESISTANT TYPE W 1-1/4" DRYWALL SCREWS	7" O.C.	7" O.C.
1/2" GYPSUM WALL BOARD BLOCKED AT THE EDGES (W/ METHOD GB-BW-1, GB-BW-2, ENG-BW)	BLOCKING REQUIRED AT ALL GYPSUM EDGES. USE CORROSION RESISTANT TYPE W 1-1/4" DRYWALL SCREWS	4" O.C.	12" O.C.

- NOTES:**
- MINIMUM 7/16" GROWN WIDTH FOR STAPLES IN WOOD STRUCTURAL PANEL.
 - SPECIFIED GYPSUM FASTENING REQUIRED ONLY WHERE METHOD GB IS IDENTIFIED. SEE PHASE SPECS FOR TYPICAL GYPSUM FASTENER SPACING.
 - USE OF STAPLES IN WOOD STRUCTURAL PANEL AS FASTENING METHOD ON WALLS PER ENGINEERED ALTERNATIVE.
 - * STAPLE ALTERNATIVE FOR USE IN FIELD ONLY. WALL PANELS NOT IDENTIFIED AS BRACED WALL PANELS SHALL BE FASTENED IN ACCORDANCE WITH THE WSP/ENG-WSP-A METHOD.

BRACING LEGEND

BNL XXX.XX	BRACED WALL LINE I.D.
---	BRACED WALL LINE
---	HOUSE WALL
///	BRACED WALL PANEL
(X)	ENGINEERING PAGE NUMBER
WSP	WOOD STRUCTURAL PANEL
GB	GYPSUM BOARD (1) SIDED OR (2) SIDED
GB-BW	GYPSUM BOARD BLOCKED WALL CONSTRUCTION (1) SIDED OR (2) SIDED (SEE STANDARD DETAIL 6 MB-2)
LIB	LET-IN BRACING (SEE STANDARD DETAIL F MB-2)
CS-WSP	CONTINUOUS SHEATHING - WOOD STRUCTURAL PANEL
CS-PF	CONTINUOUS SHEATHING - PORTAL FRAME. SEE FLOOR PLANS FOR PORTAL FRAME HEADER INFORMATION (SEE STANDARD DETAIL A, C/ MB-2)
CS-G	CONTINUOUS SHEATHING - WOOD STRUCTURAL PANEL ADJACENT TO GARAGE OPENINGS
ENG-WSP-A	ENGINEERED DESIGN W/ WALL STRUCTURAL PANEL SHEATHING TYPE 'A' FASTENING REQUIREMENTS (NO HOLD DOWNS REQUIRED UNLESS NOTED)
ENG-WSP-B	ENGINEERED DESIGN W/ WALL STRUCTURAL PANEL SHEATHING TYPE 'B' FASTENING REQUIREMENTS (NO HOLD DOWNS REQUIRED UNLESS NOTED)
ENG-WSP-C	ENGINEERED DESIGN W/ WALL STRUCTURAL PANEL SHEATHING ON BOTH SIDES OF THE WALL TYPE 'C' FASTENING REQUIREMENTS (NO HOLD DOWNS REQUIRED UNLESS NOTED)
ENG-PF	ENGINEERED DESIGN W/ PORTAL FRAME. SEE FLOOR PLANS FOR PORTAL FRAME HEADER INFORMATION (SEE STANDARD DETAIL PAGE WB-1)
ENG-GB1-A	ENGINEERED DESIGN W/ (1) SIDED GYPSUM BOARD TYPE 'A' FASTENING REQUIREMENTS
ENG-GB1-B	ENGINEERED DESIGN W/ (1) SIDED GYPSUM BOARD TYPE 'B' FASTENING REQUIREMENTS
ENG-BW	ENGINEERED DESIGN W/ (1) SIDED GYPSUM BOARD W/ BLOCK WALL CONSTRUCTION (SEE STANDARD DETAIL 17MB-1)
HD	HOLD-DOWN: 1. SEE SHEET MB-2 FOR "P." INDICATOR SCHEDULE AND DETAILS 2. SEE SHEET MB-1 FOR "H." INDICATOR SCHEDULE AND DETAILS 3. ARROW INDICATES LOCATION.

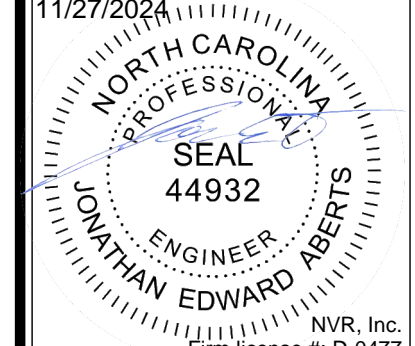
NOTES:
HOUSE HAS BEEN ANALYZED UTILIZING A PRESCRIPTIVE METHOD IN COMPLIANCE WITH INTERNATIONAL RESIDENTIAL CODES (IRC) UNLESS OTHERWISE NOTED. ENGINEERED WALL LINES ARE IN COMPLIANCE WITH INTERNATIONAL BUILDING CODES (IBC).



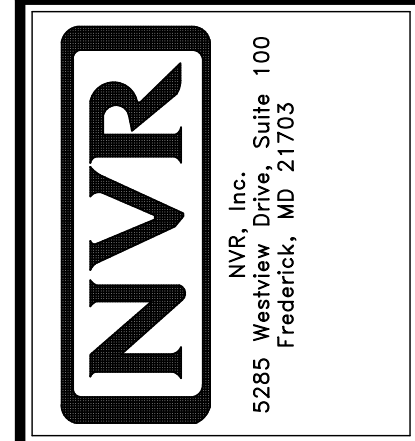
FIRST FLOOR BRACED WALL DETAIL
SCALE: 1/8" = 1'-0"

WIND SPEED (ULT)	IDENTIFIER	REQUIRED (FT)	ACTUAL (FT)	METHOD
130 MPH	BNL 100.00	3.84'	6.00'	CONTINUOUS (WITH GNB)
130 MPH	BNL 101.00	8.38'	38.00'	WSP (WITH GNB)
130 MPH	BNL 102.00	11.75'	16.46'	CONTINUOUS (WITH GNB)
130 MPH	BNL 103.00	4.70'	34.00'	WSP (WITH GNB)
130 MPH	BNL 104.00	7.38'	6.00'	ENGINEERED
130 MPH	BNL 105.00	5.40'	13.00'	WSP (WITH GNB)
130 MPH	BNL 106.00	6.21'	8.16'	CONTINUOUS (WITH GNB)
130 MPH	BNL 107.00	2.33'	4.00'	WSP (WITH GNB)

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MODEL: GRAND BAHAMA
DRAWING TITLE: WALL BRACING
OPTION DESCRIPTION

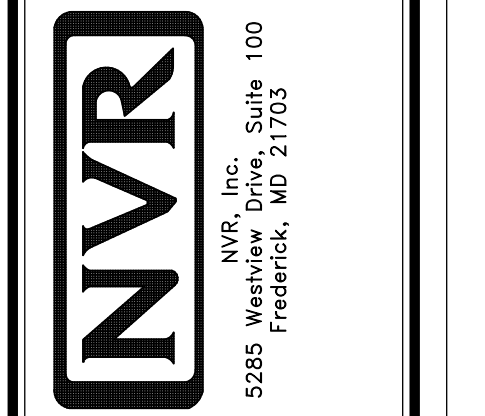
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VERSION 01
RELEASE NO. ---
DRAWN BY
DATE:
OPTION

SHEET NO. S-4
23

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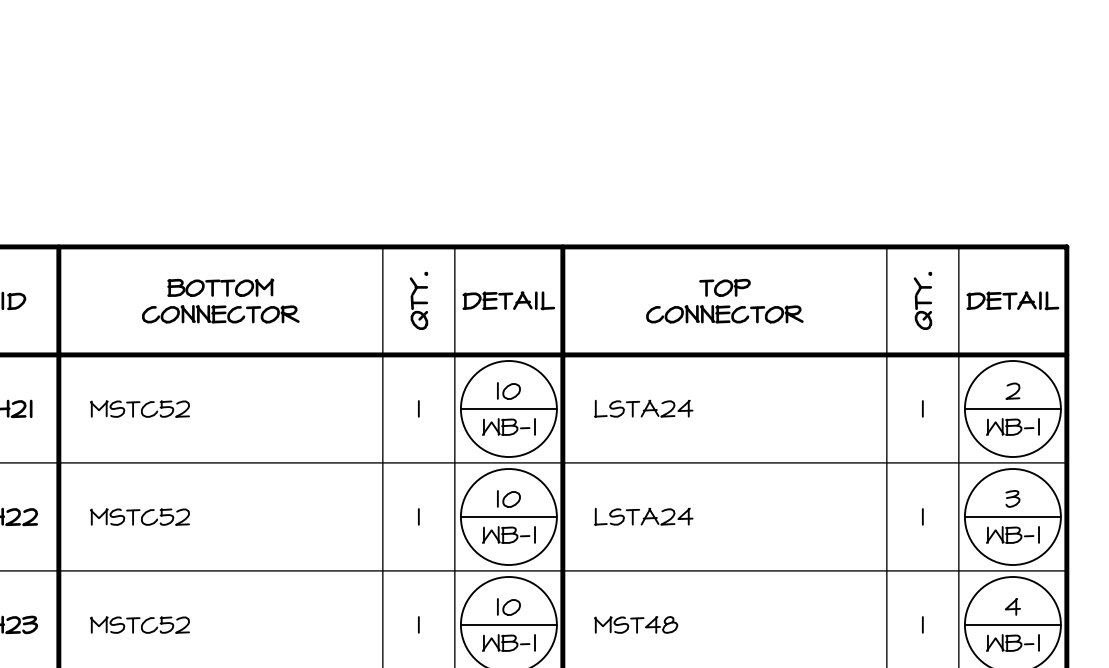
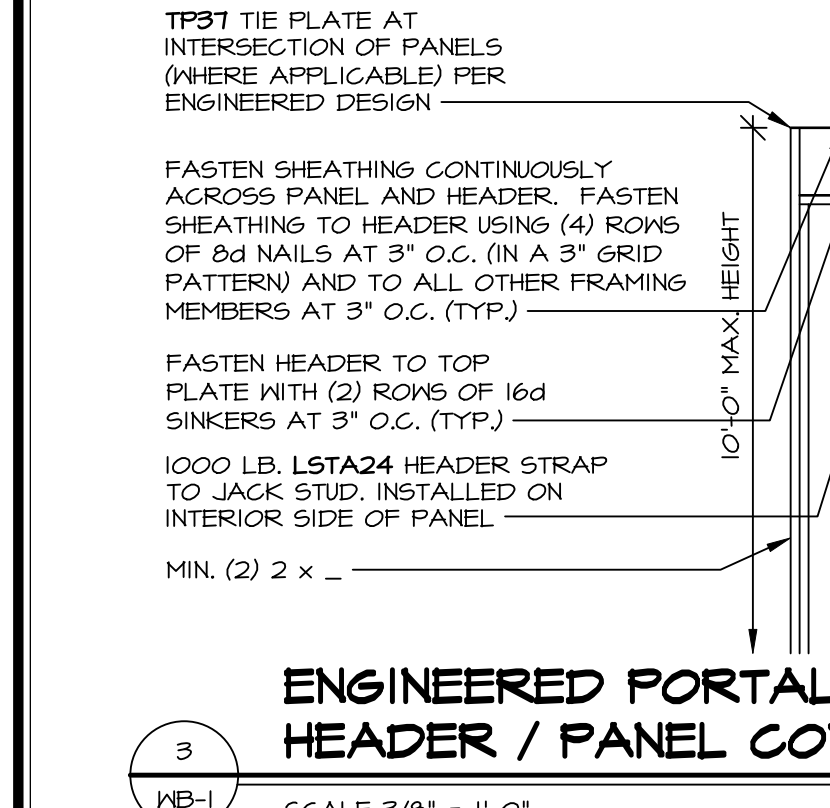
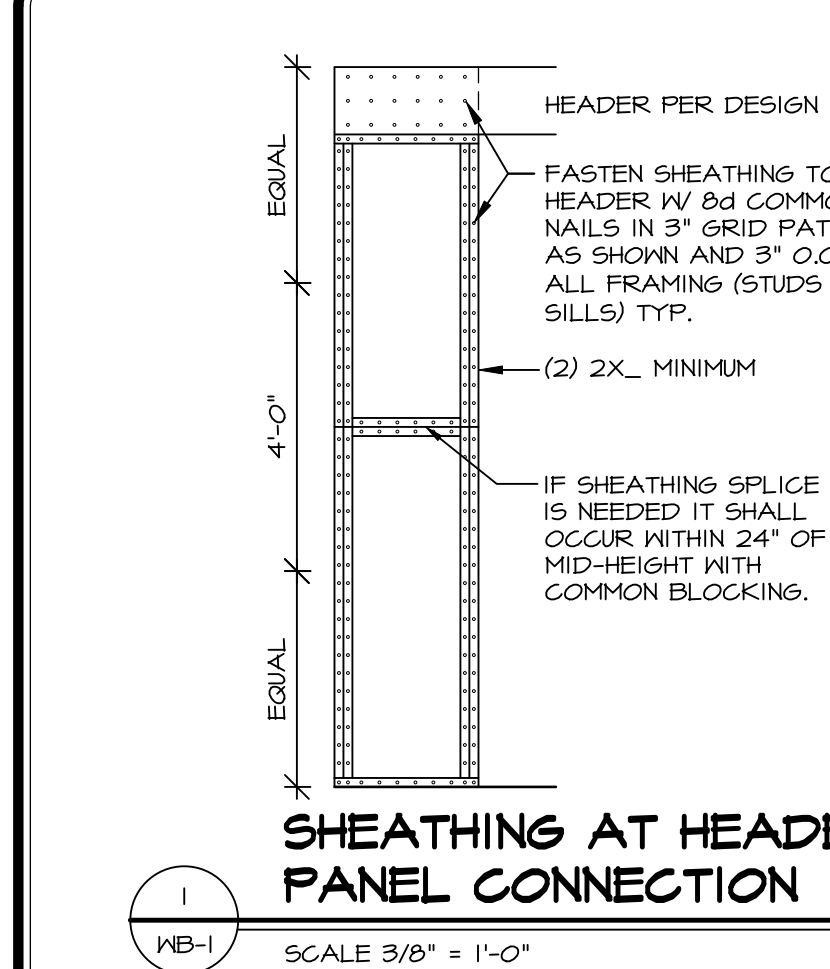
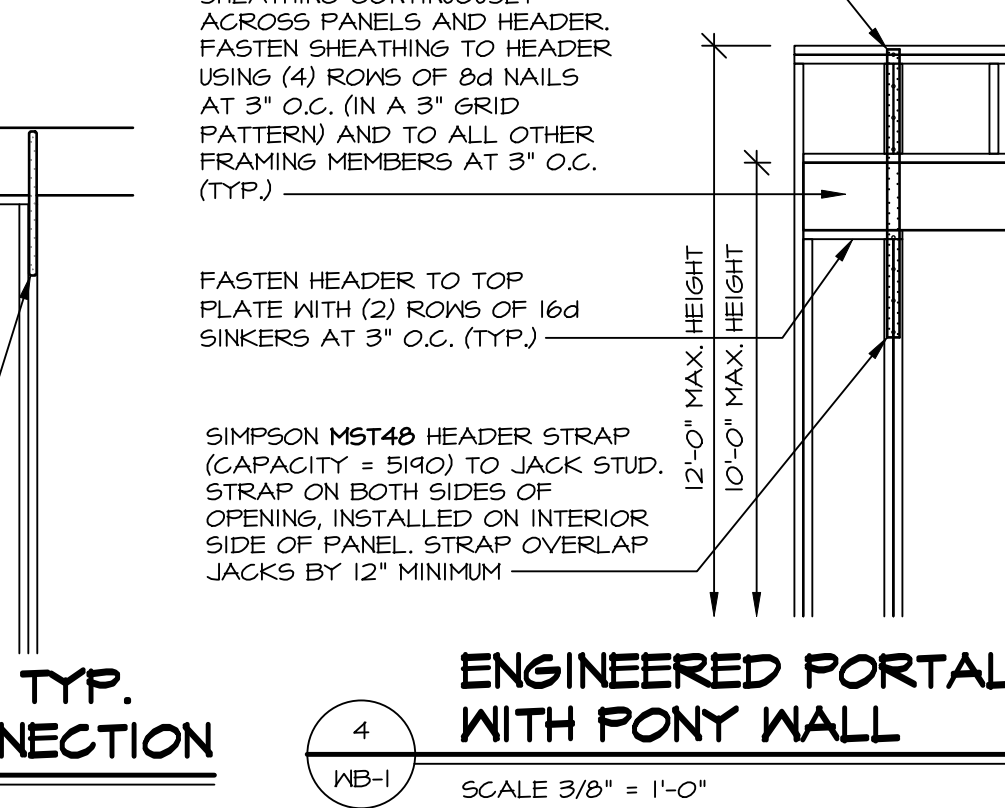
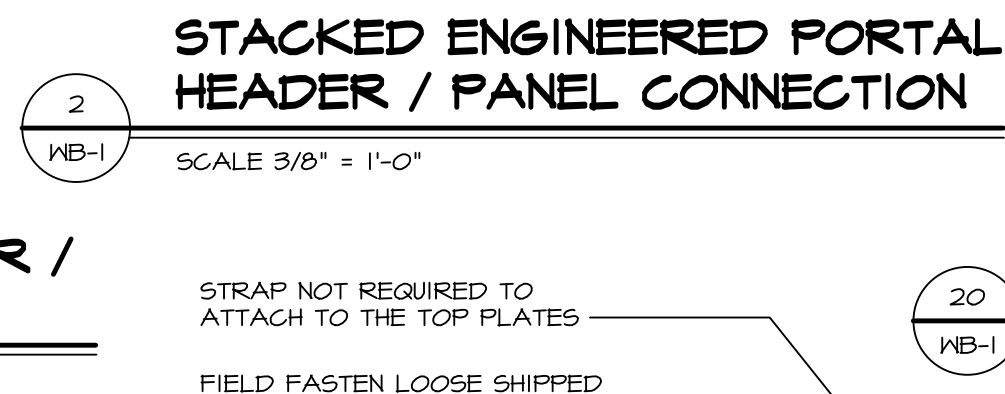
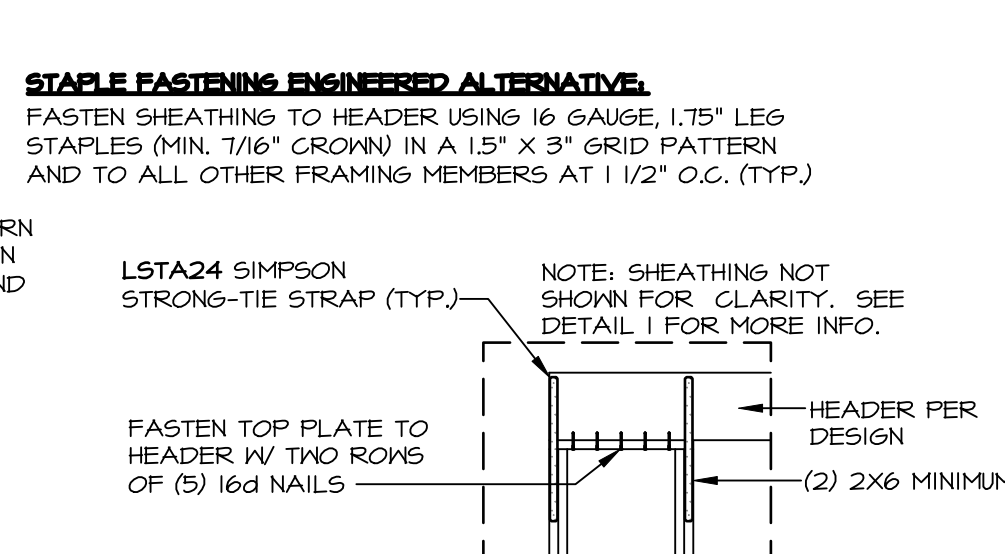
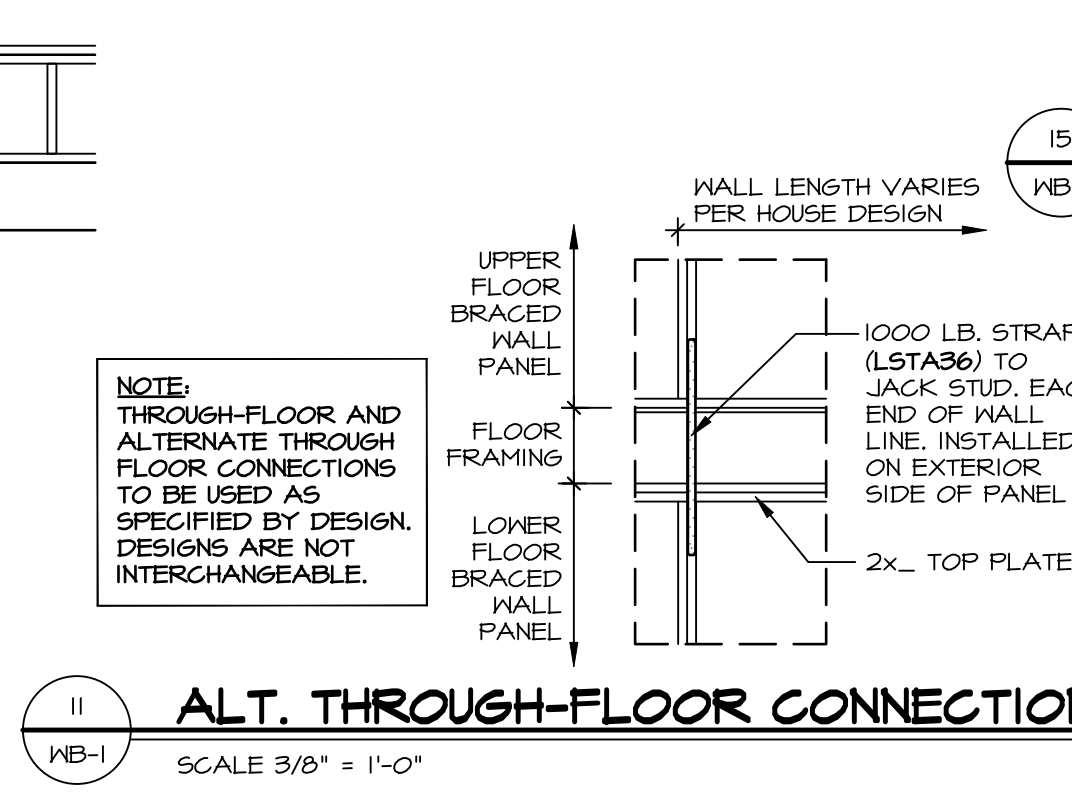
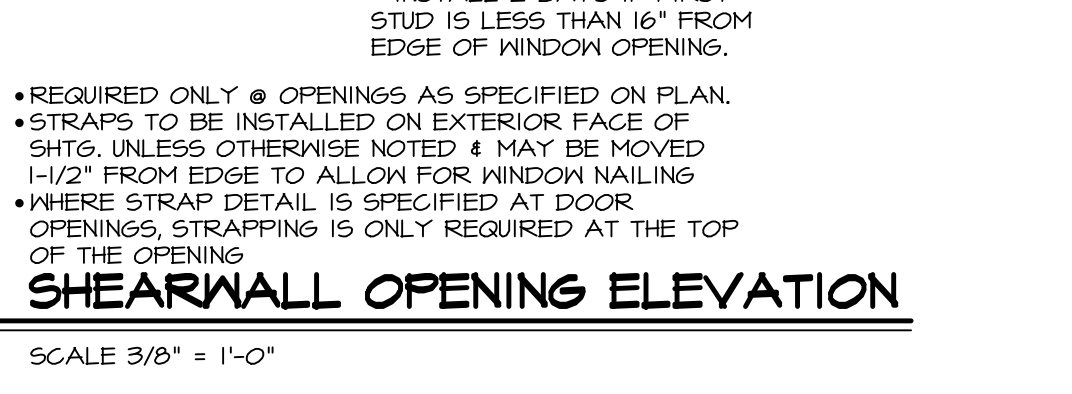
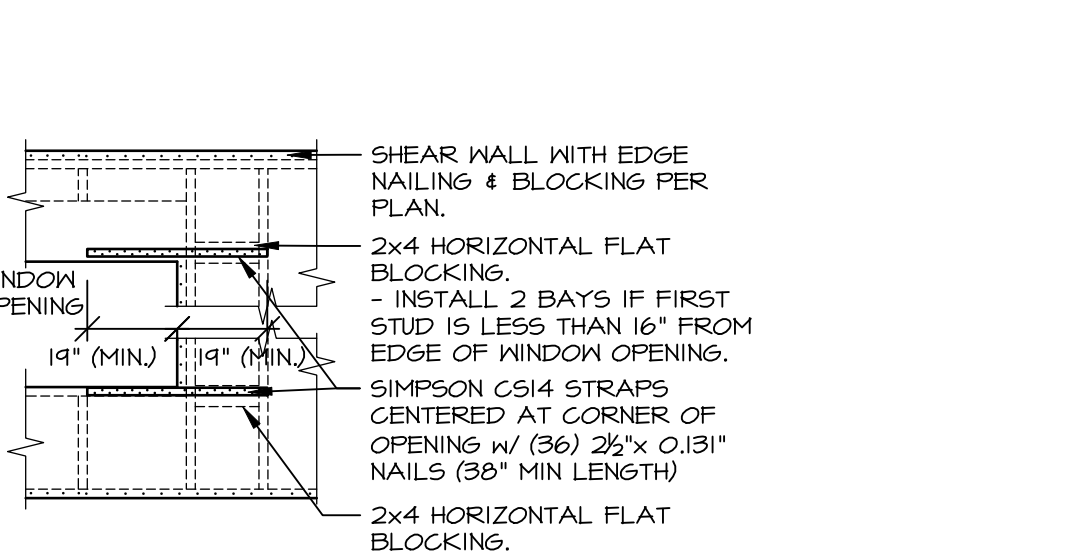
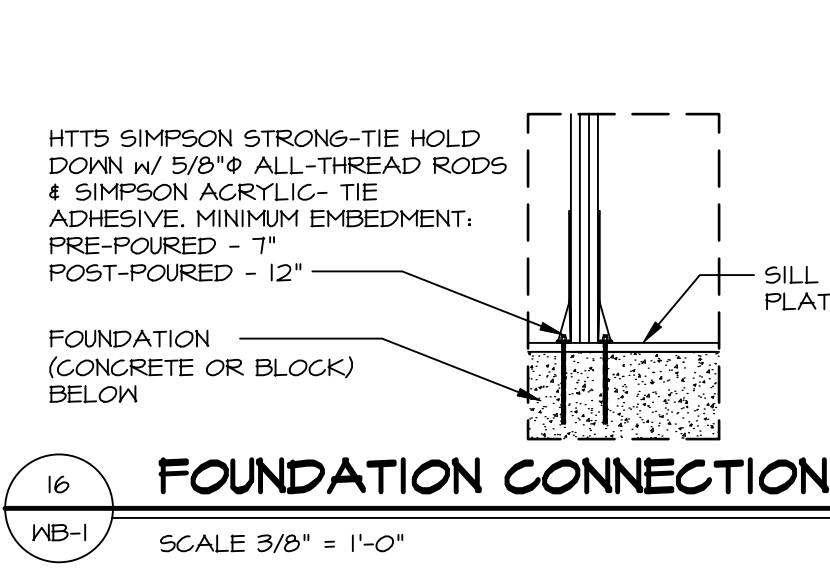
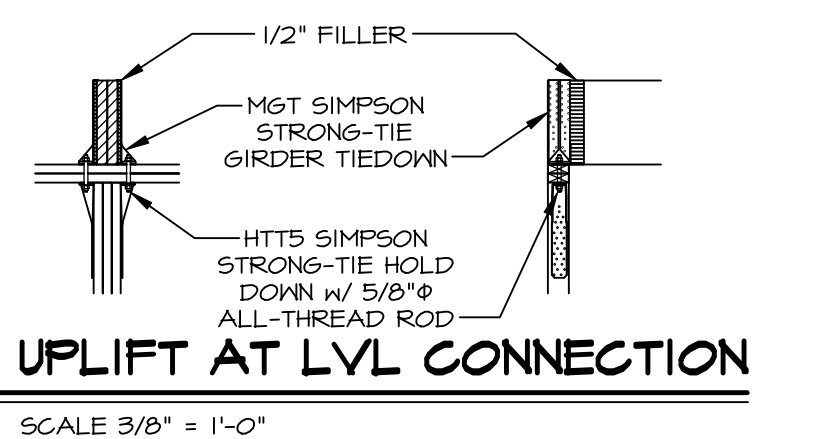
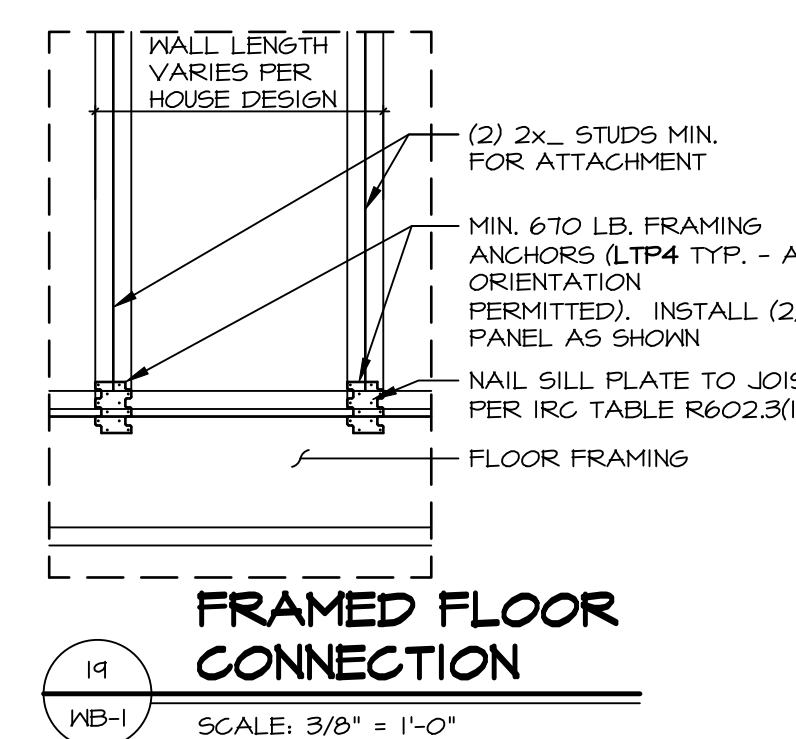
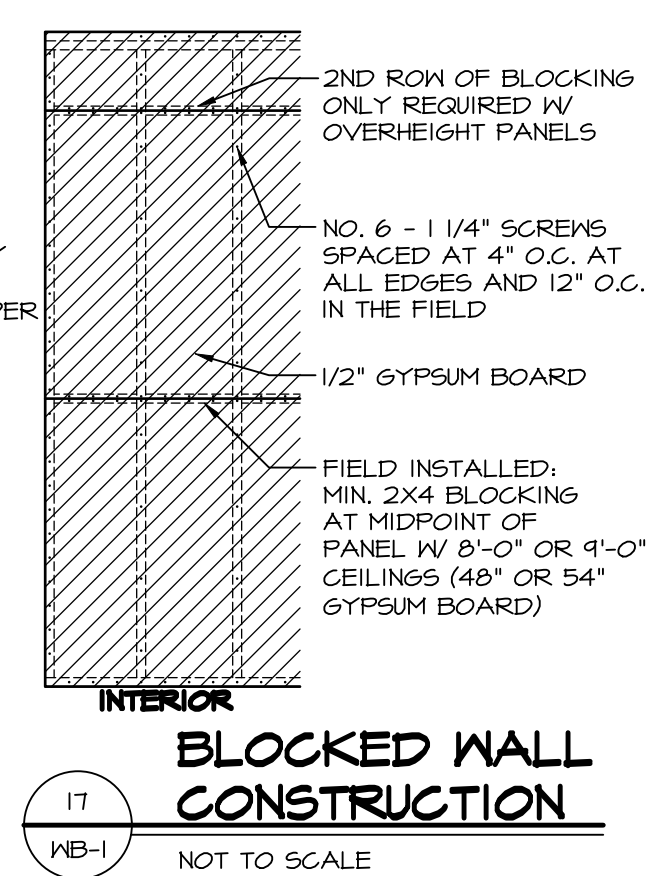
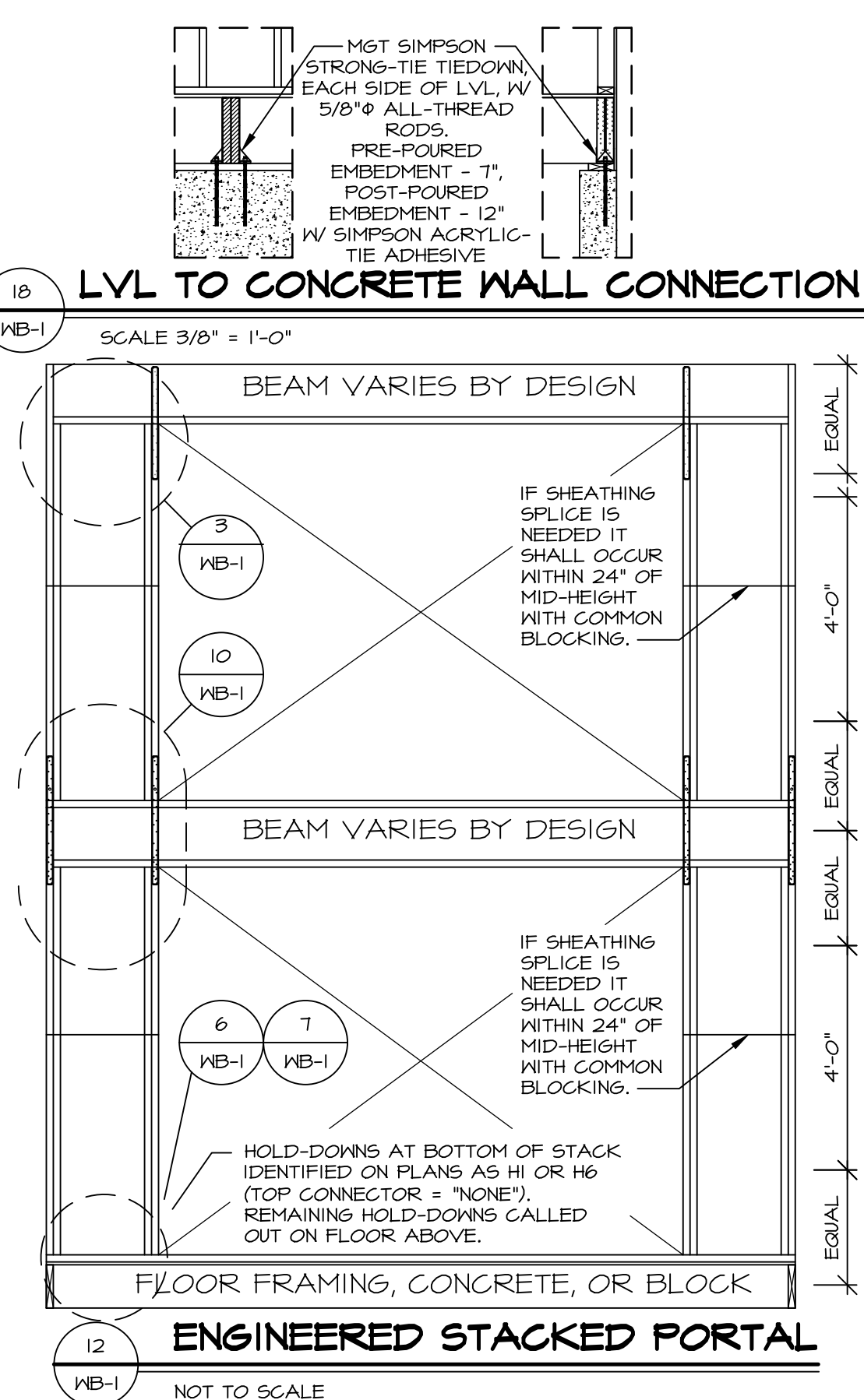
REV. NO.	DATE	REMARKS
14	2/6/22	NS - REVISED DETAIL 5WB-1, ADDED 15B
20	2/6/22	ADM - (GC #1403) REVISED DETAILS UTILIZING SHD14 TO INCLUDE REBAR
21	5/14/23	CEL - ADDED DETAIL 20, HST, H5B
22	4/6/23	IDR - ADDED DETAIL 21, H84
23	4/6/23	DLR - REVISED CONNECTOR CHART, REMOVED PART NUMBERS
24	11/17/23	DLR - ADDED DETAIL 22, H40
25	11/17/23	ARS - ADDED INTERIOR NOTE TO H5C66 STRAPS DETAIL #8 (ARC-11959)
17	3/10/20	CEL - ADDED INTERIOR WALL NOTES TO 4WB-1 FOR STRAP
18	11/6/21	CEL - REVISED 12WB-1 TO REFERENCE 3WB-1

11/17/2024
 NORTH CAROLINA PROFESSIONAL SEAL 44932
 EDWARD J. BEYER, ENGINEER
 Firm license # 0477



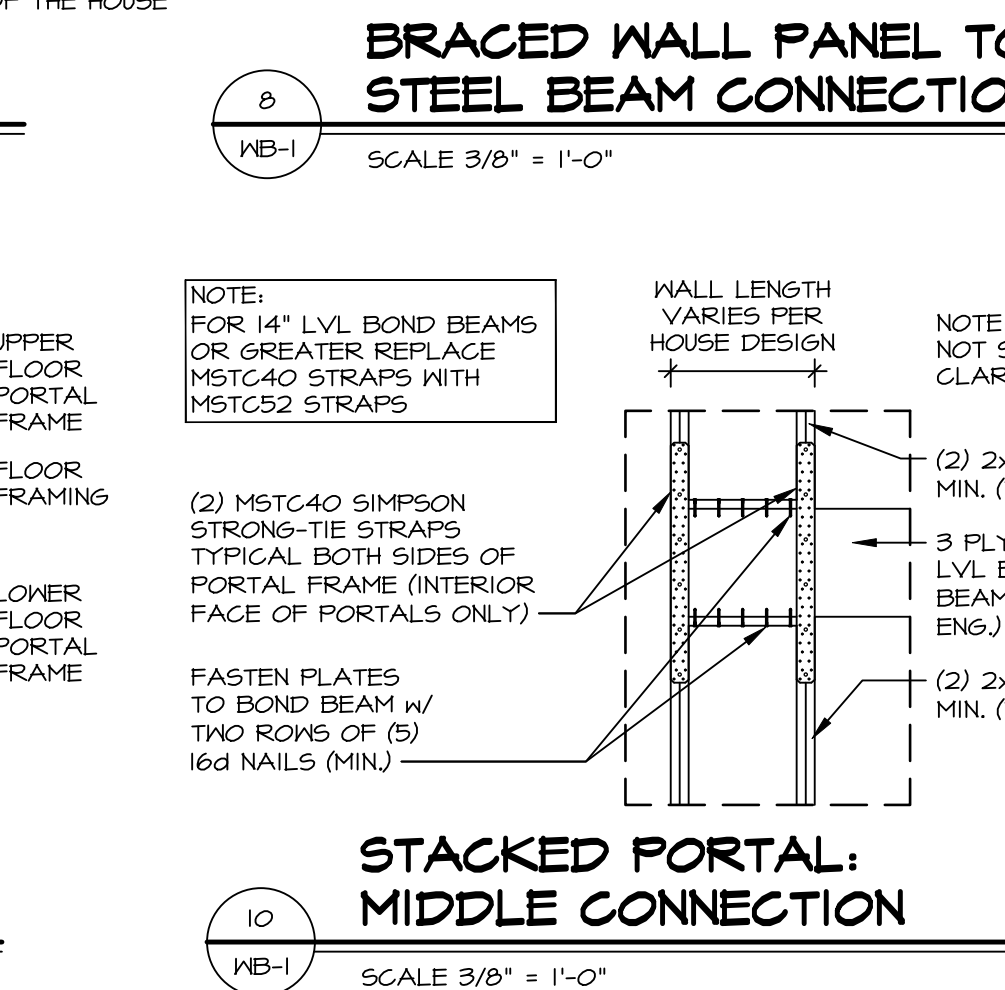
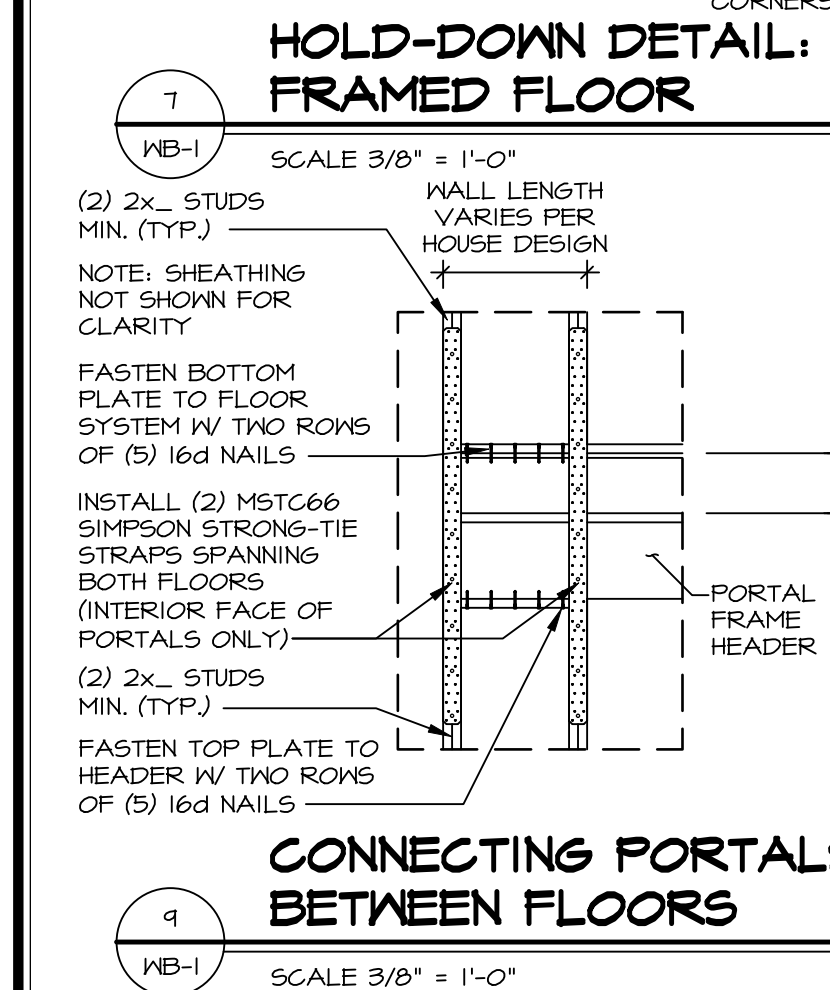
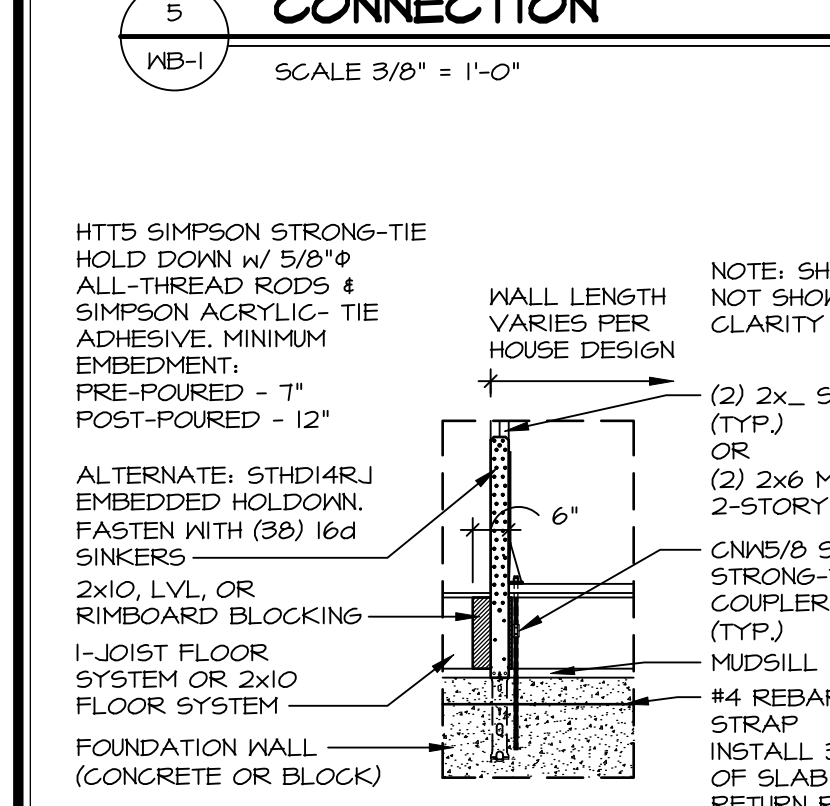
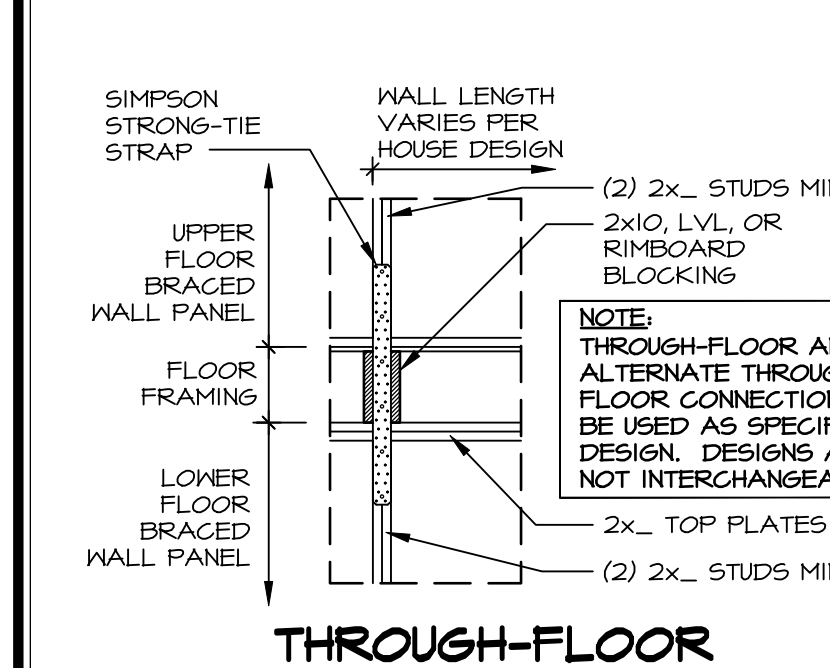
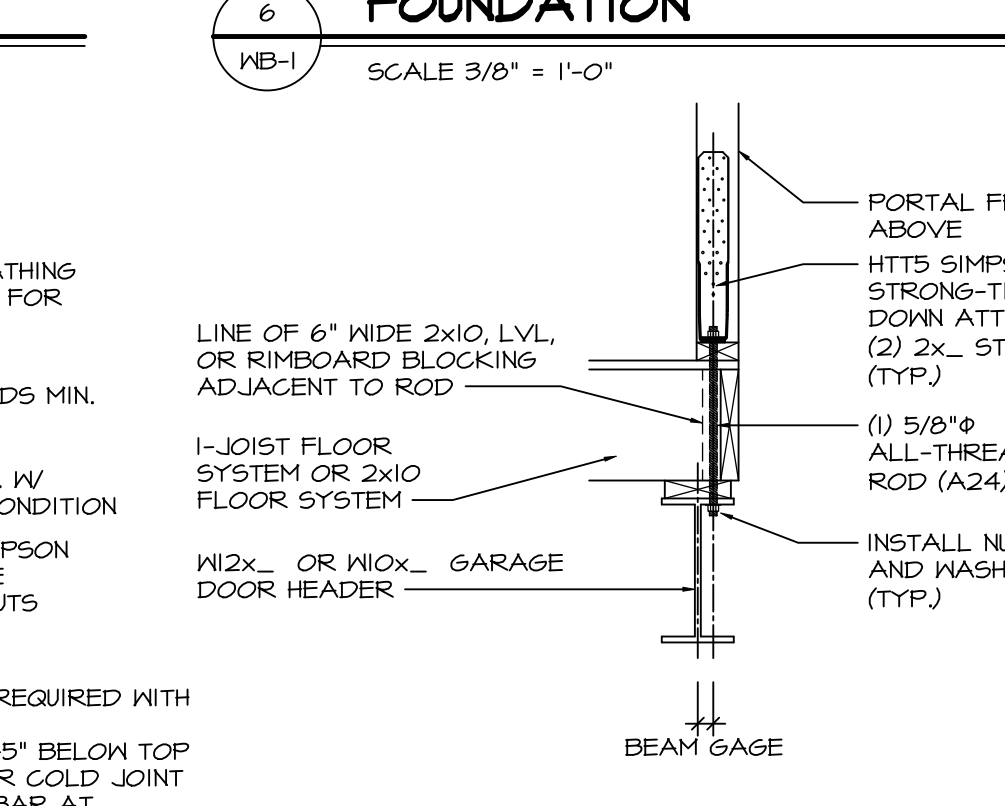
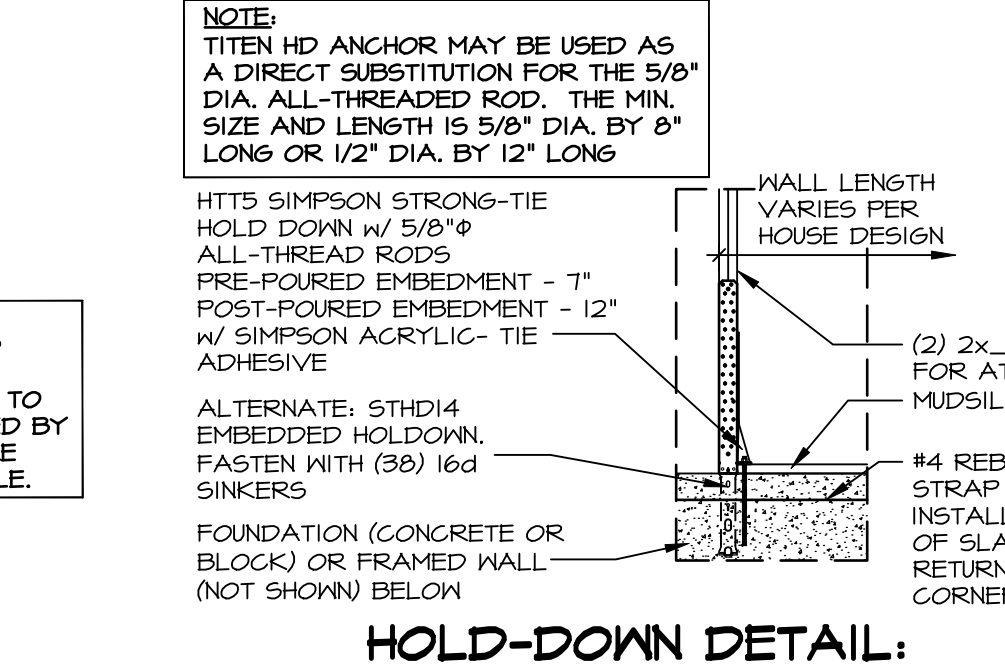
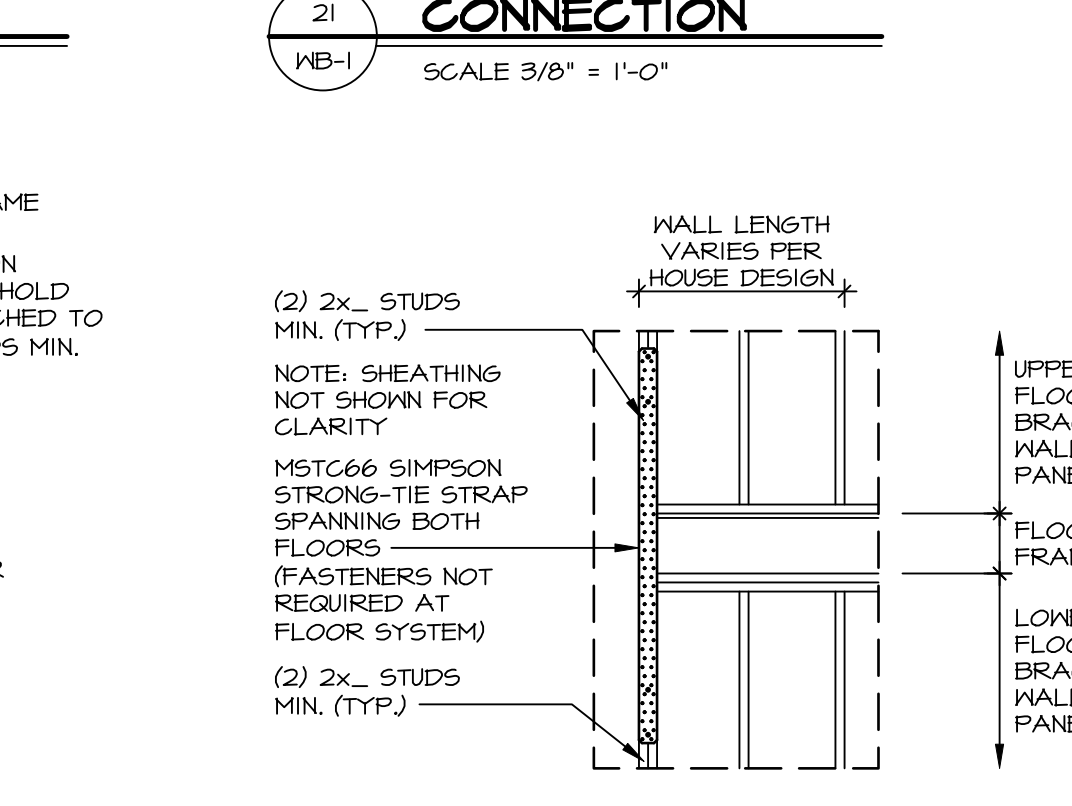
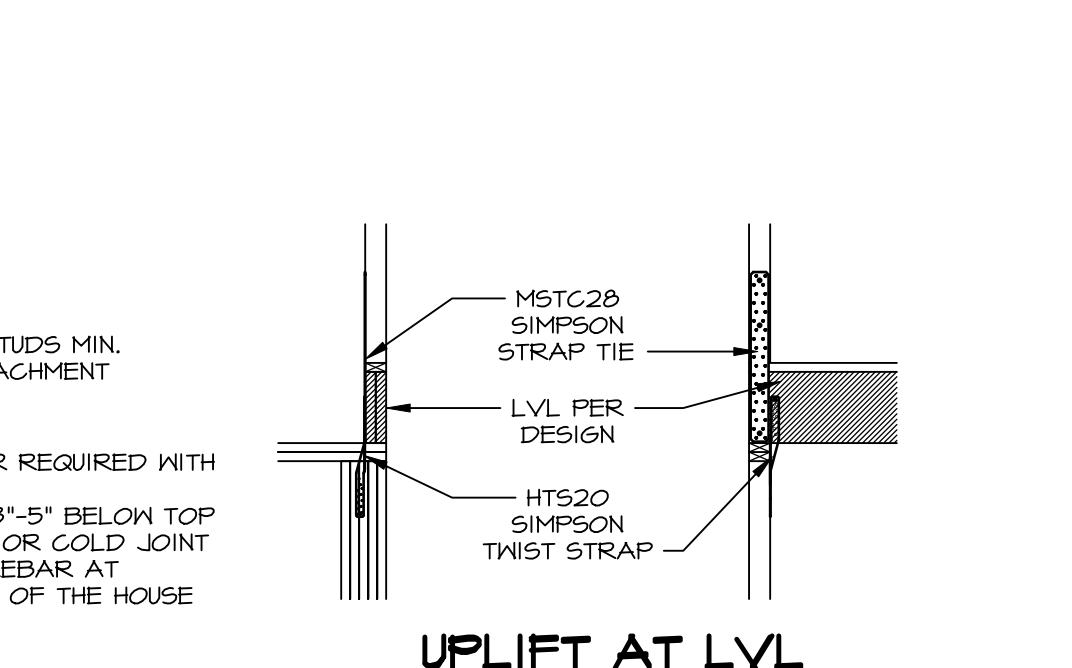
SET NO.	VERSION	DRAWN BY	DATE	OPTION
1	1	KFT	2/16/12	

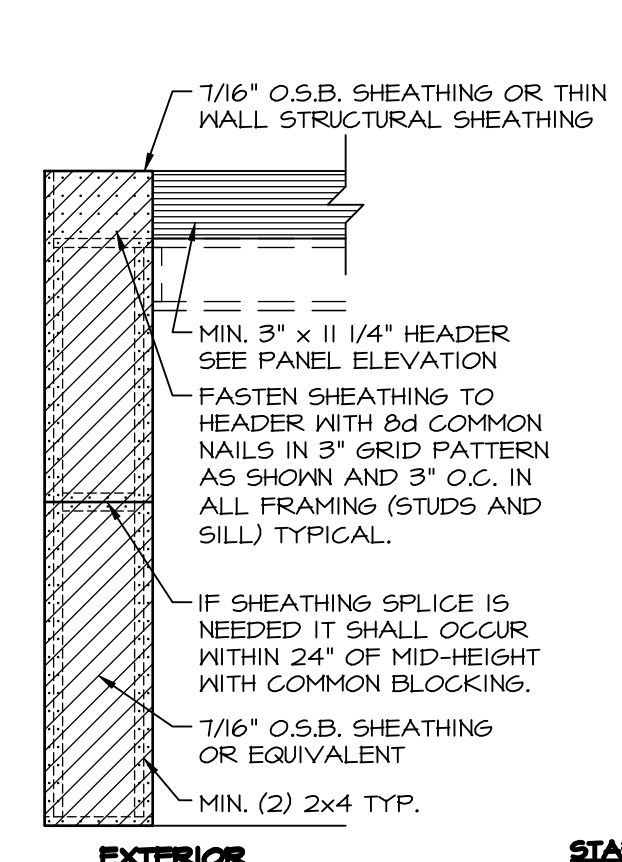
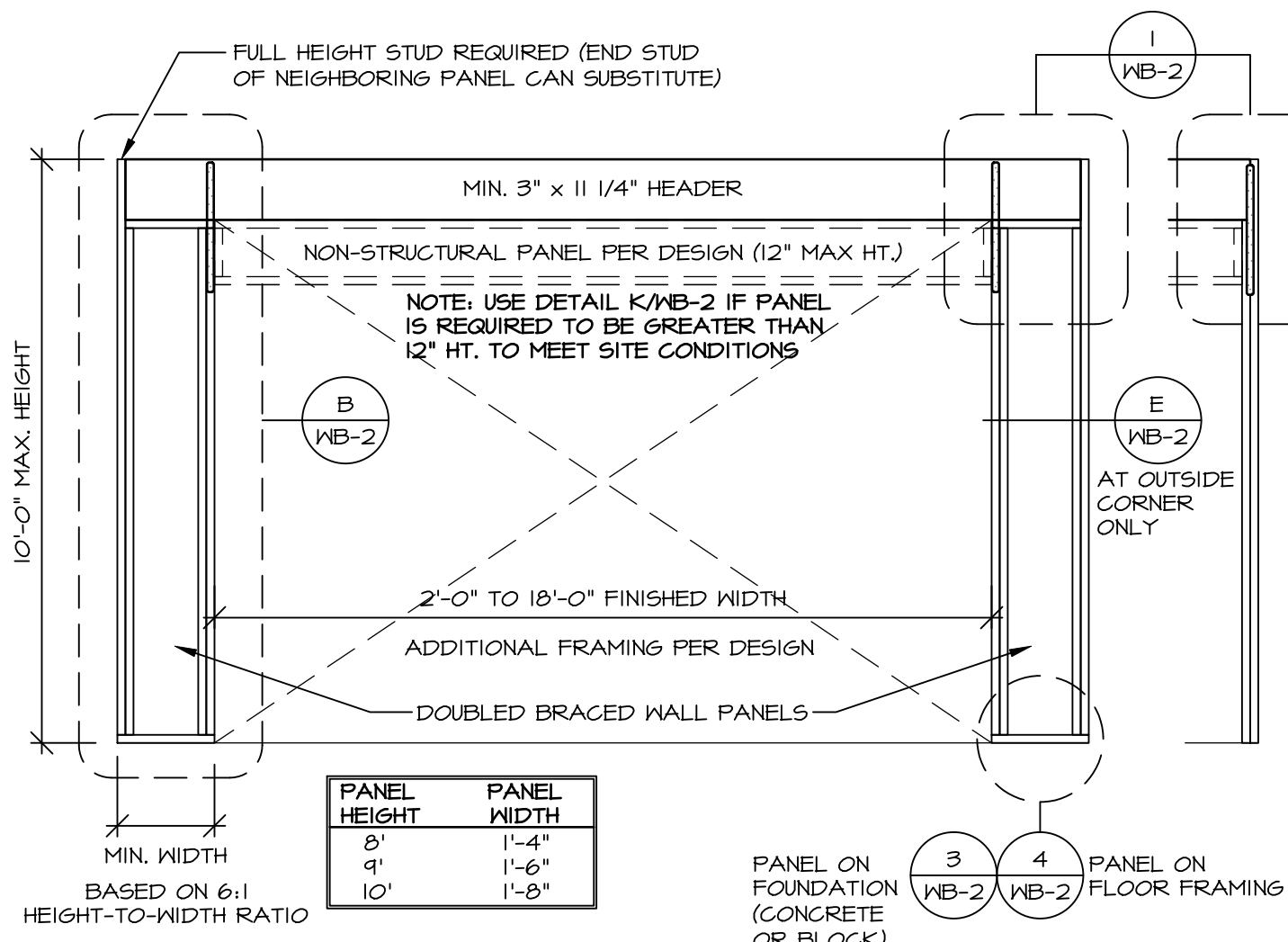
PROJECTS\DETAILS\NVR_Wall_Bracing\WB1_Braced Wall Eng.dwg 07/03/24 - 1:13 pm



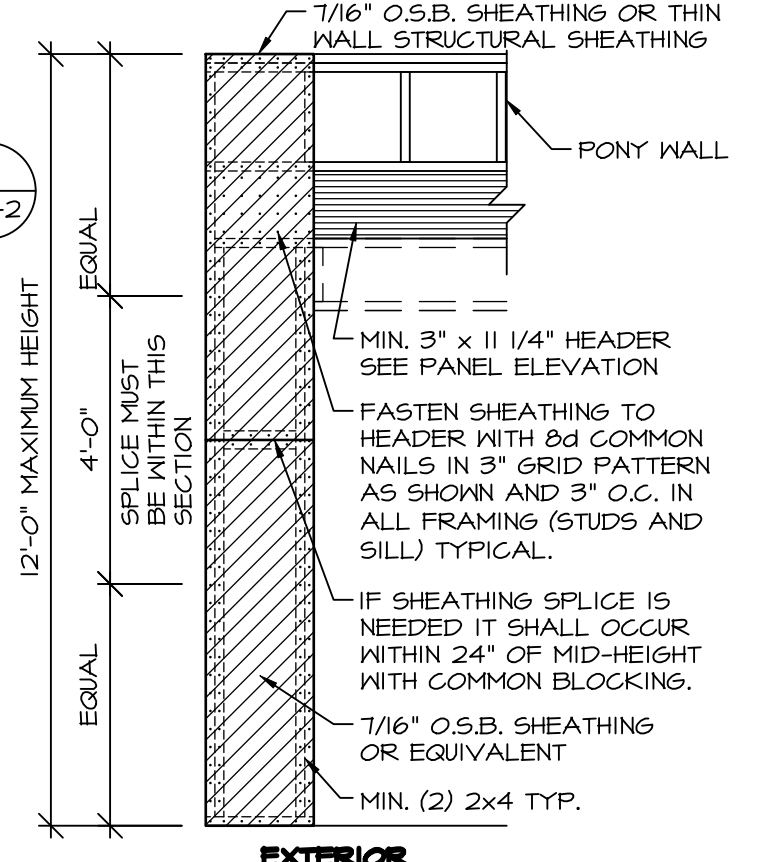
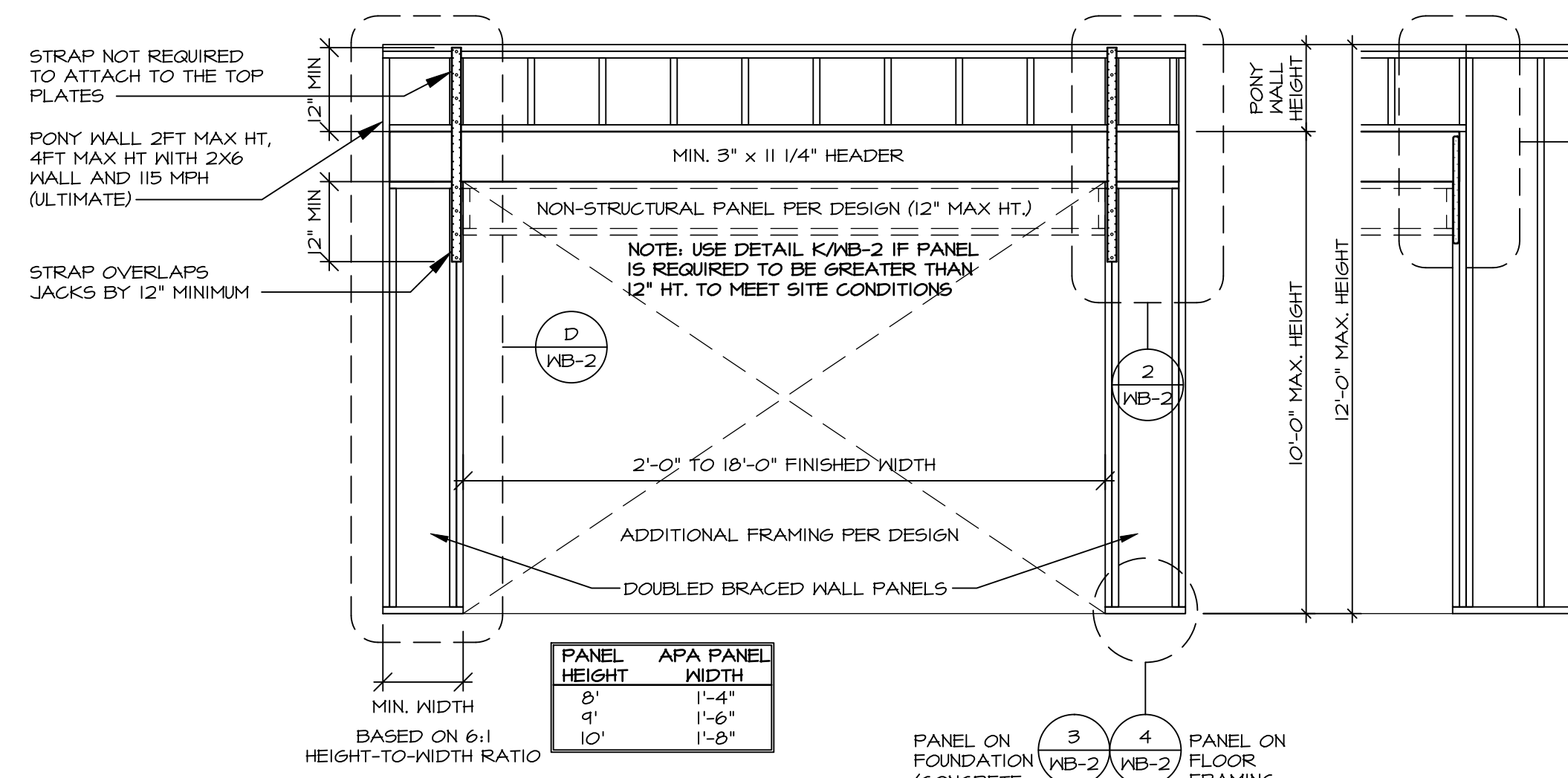
ID	BOTTOM CONNECTOR	QTY.	DETAIL	TOP CONNECTOR	QTY.	DETAIL	ID	BOTTOM CONNECTOR	QTY.	DETAIL	TOP CONNECTOR	QTY.	DETAIL
H1	HTT5	1	6 WB-1	NONE	N/A	N/A	H21	MSTC52	1	10 WB-1	LSTA24	1	2 WB-1
H2	HTT5	1	6 WB-1	LSTA24	1	2 WB-1	H22	MSTC52	1	10 WB-1	LSTA24	1	3 WB-1
H3	HTT5	1	6 WB-1	LSTA24	1	3 WB-1	H23	MSTC52	1	10 WB-1	MST48	1	4 WB-1
H4	HTT5	1	6 WB-1	MST48	1	4 WB-1	H24	MSTC40	1	10 WB-1	LSTA24	1	2 WB-1
H5	HTT5	1	6 WB-1	MSTC40	1	5 WB-1	H25	MSTC40	1	10 WB-1	LSTA24	1	3 WB-1
H6	HTT5 5/8" A24 THR. ROD C/N5/8 COUPLER	1	7 WB-1	NONE	N/A	N/A	H26	MSTC40	1	10 WB-1	MST48	1	4 WB-1
H7	HTT5 5/8" A24 THR. ROD C/N5/8 COUPLER	1	7 WB-1	LSTA24	1	2 WB-1	H27	LSTA36	1	11 WB-1	NONE	N/A	N/A
H8	HTT5 5/8" A24 THR. ROD C/N5/8 COUPLER	1	7 WB-1	LSTA24	1	3 WB-1	H28	MSTC40	1	14 WB-1	NONE	N/A	N/A
H9	HTT5 5/8" A24 THR. ROD C/N5/8 COUPLER	1	7 WB-1	MST48	1	4 WB-1	H29	MSTC40	1	14 WB-1	LSTA24	1	3 WB-1
H10	HTT5 5/8" A24 THR. ROD C/N5/8 COUPLER	1	7 WB-1	MSTC40	1	5 WB-1	H30	HTT5	2	16 WB-1	M&T HTT5 5/8" A24 THR. ROD	1	15 WB-1
H11	HTT5 5/8" A24 THR. ROD	1	8 WB-1	NONE	N/A	N/A	H31	MSTC40	1	5 WB-1	NONE	N/A	N/A
H12	HTT5 5/8" A24 THR. ROD	1	8 WB-1	LSTA24	1	2 WB-1	H32	MSTC40	1	5 WB-1	LSTA24	1	3 WB-1
H13	HTT5 5/8" A24 THR. ROD	1	8 WB-1	LSTA24	1	3 WB-1	H33	NONE	N/A	N/A	M&T	2	18 WB-1
H14	HTT5 5/8" A24 THR. ROD	1	8 WB-1	LSTA24	1	4 WB-1	H34	LTP4	1	19 WB-1	NONE	N/A	N/A
H15	HTT5 5/8" A24 THR. ROD	1	8 WB-1	MSTC40	1	5 WB-1	H35	LTP4	1	19 WB-1	LSTA24	1	3 WB-1
H16	MSTC66	1	9 WB-1	NONE	N/A	N/A	H36	MSTC52	1	5 WB-1	NONE	N/A	N/A
H17	MSTC66	1	9 WB-1	LSTA24	1	2 WB-1	H37	CS14	1	20 WB-1	CS14	1	20 WB-1
H18	MSTC66	1	9 WB-1	LSTA24	1	3 WB-1	H38	NONE	N/A	N/A	CS14	1	20 WB-1
H19	MSTC66	1	9 WB-1	MST48	1	4 WB-1	H39	MSTC2B HTS20	1	21 WB-1	NONE	N/A	N/A
H20	MSTC52	1	10 WB-1	NONE	N/A	N/A	H40	MSTC66	1	22 WB-1	NONE	N/A	N/A

NOTES: THREADED ROD PART INCLUDES (2) NUTS AND (2) WASHERS FOR CMU FOUNDATIONS SEE 12/FD-1.





STAPLE FASTENERS ENGINEERED ALTERNATIVE FOR OSB
 FASTEN SHEATHING TO HEADER USING 16 GAUGE, 1 3/4\"/>



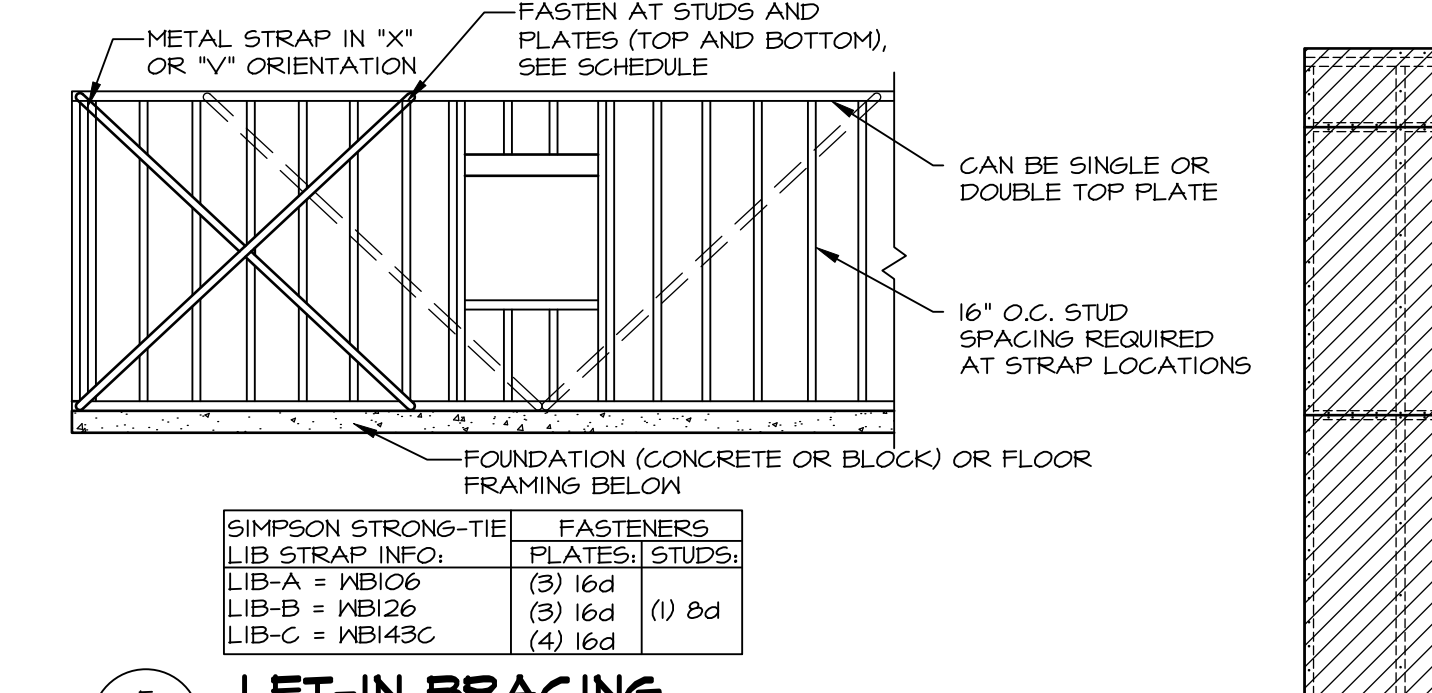
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 SCALE: 3/8\"/>

A CONTINUOUSLY SHEATHED PORTAL FRAME
 SCALE: 3/8\"/>

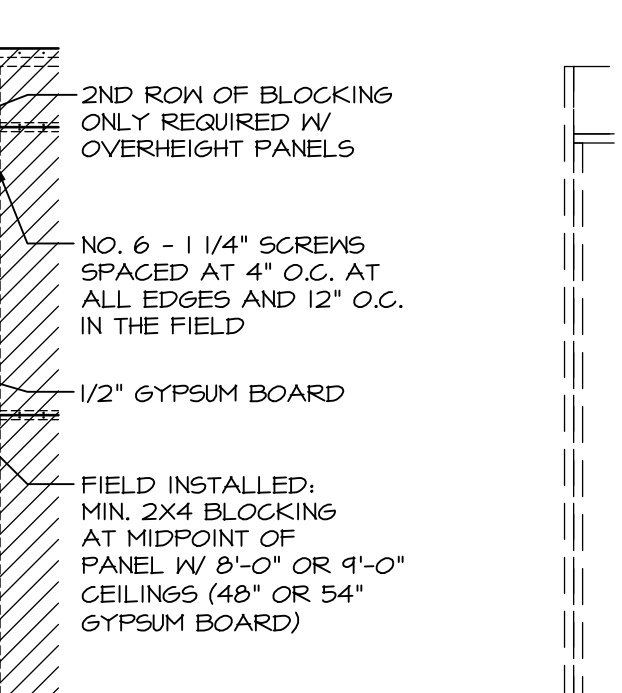
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 SCALE: 3/8\"/>

C ALTERNATE PORTAL FRAME
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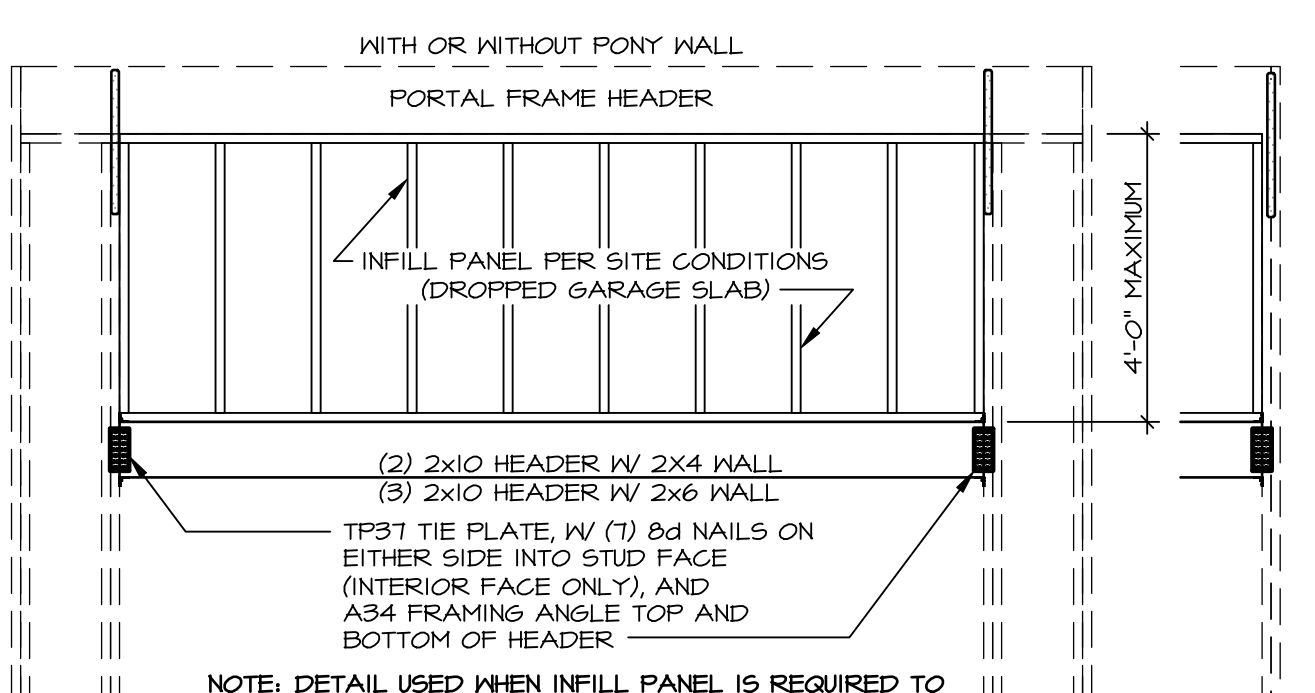
D ALTERNATE PORTAL FRAME: SHEATHING APPLICATION DETAIL
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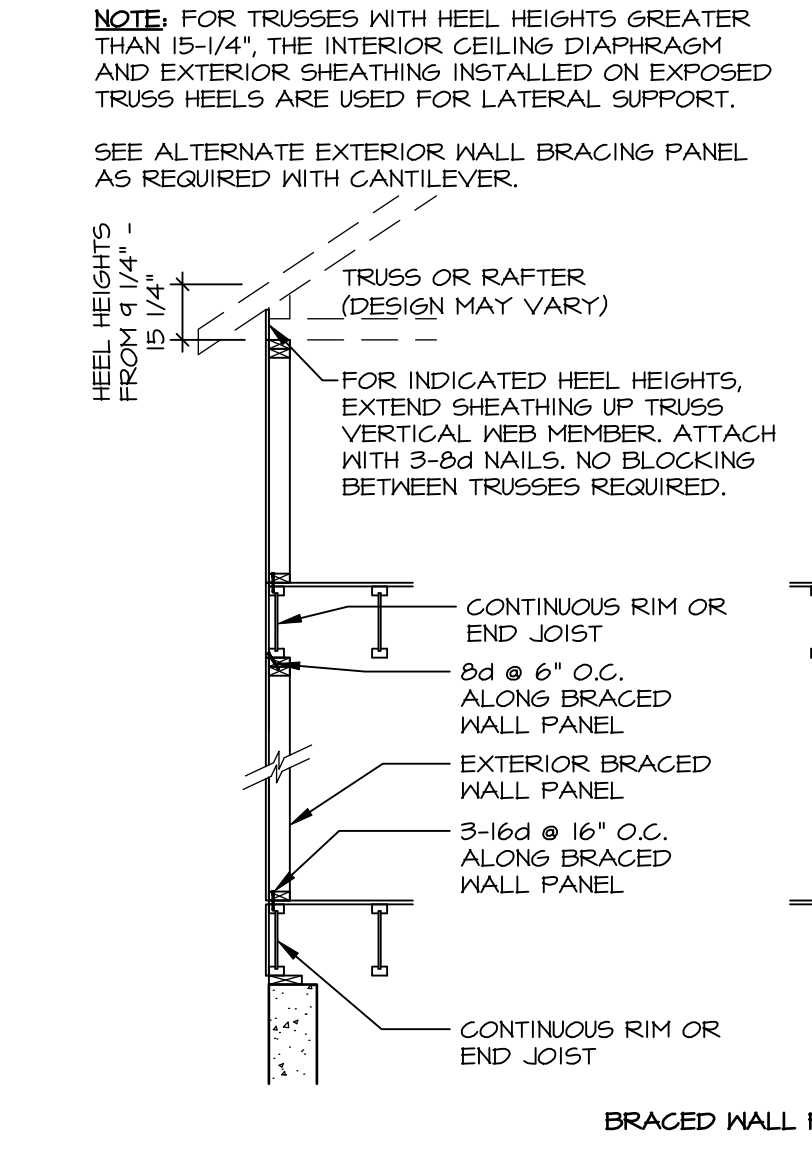
E LET-IN BRACING
 NOT TO SCALE



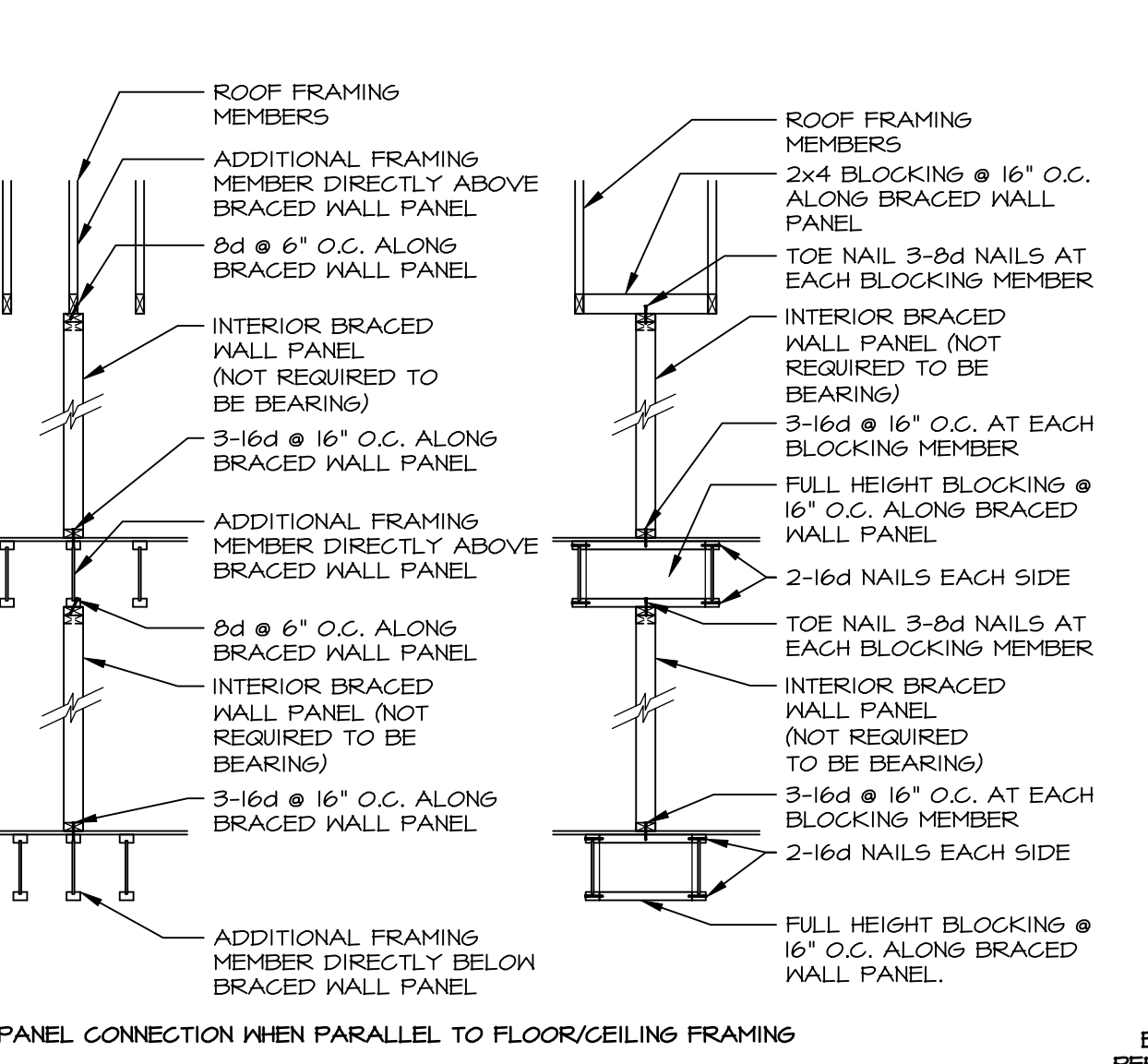
F BLOCKED WALL CONSTRUCTION
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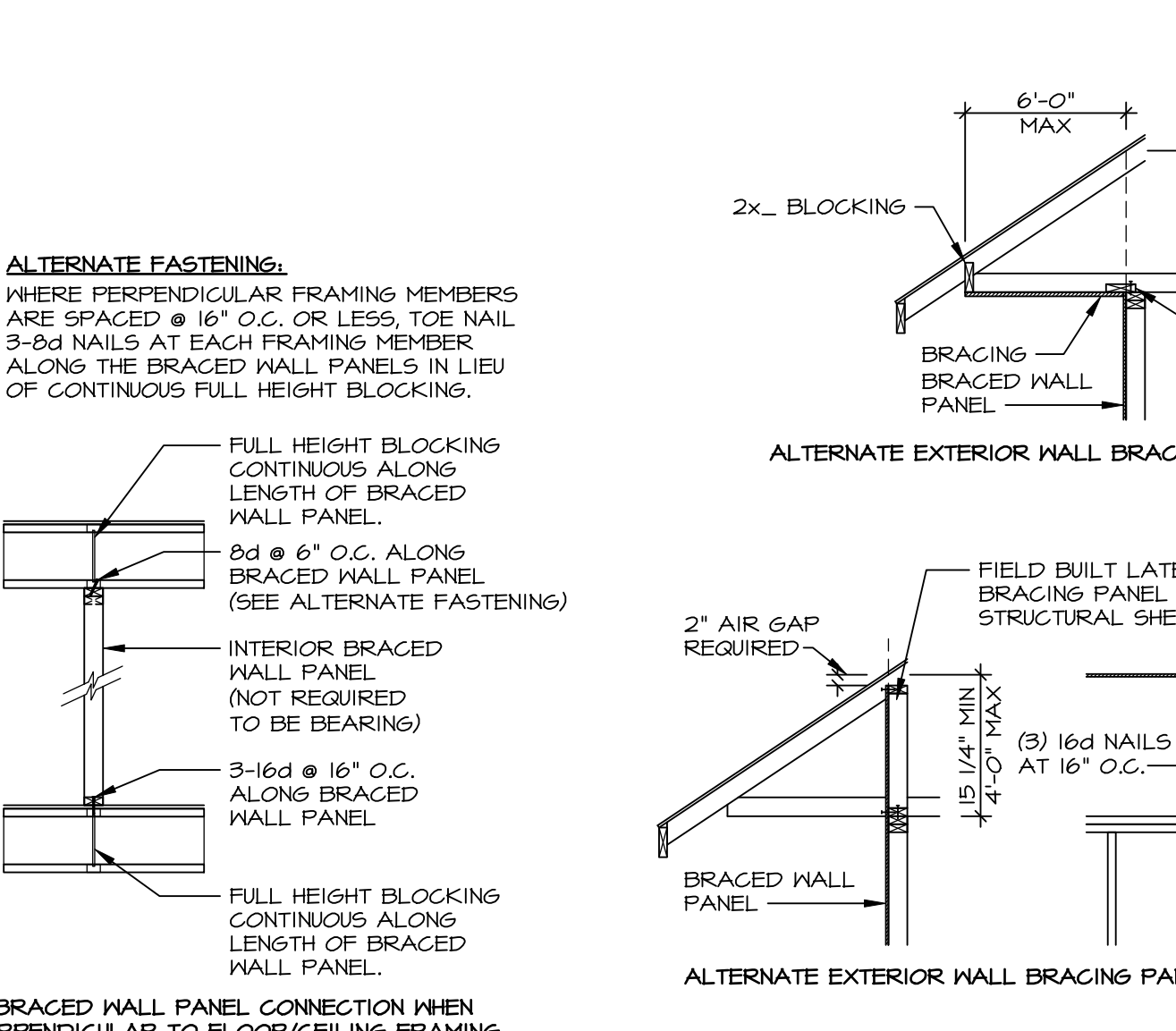
G INFILL PANEL DETAIL
 NOT TO SCALE



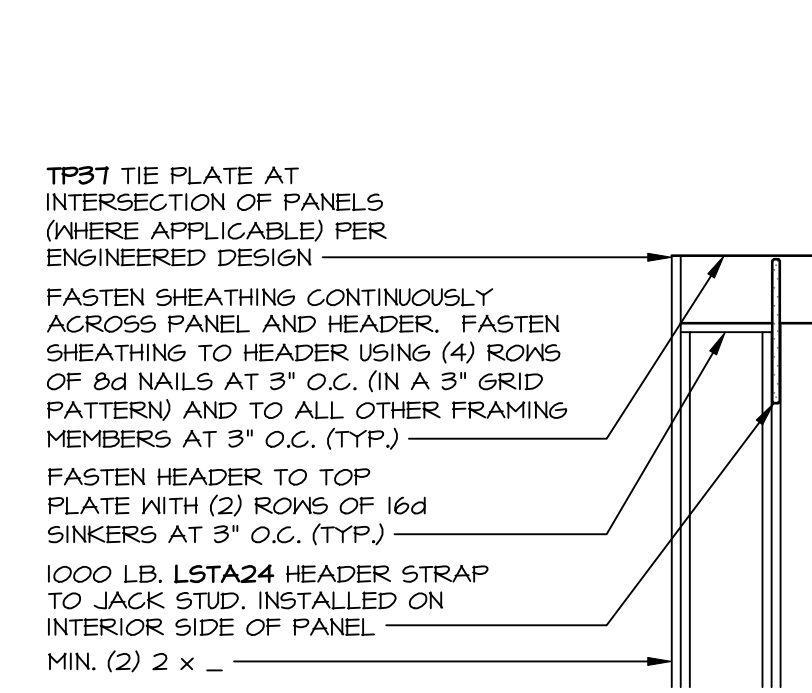
H WALL BRACING PANEL CONNECTION DETAILS
 SCALE: 3/8\"/>



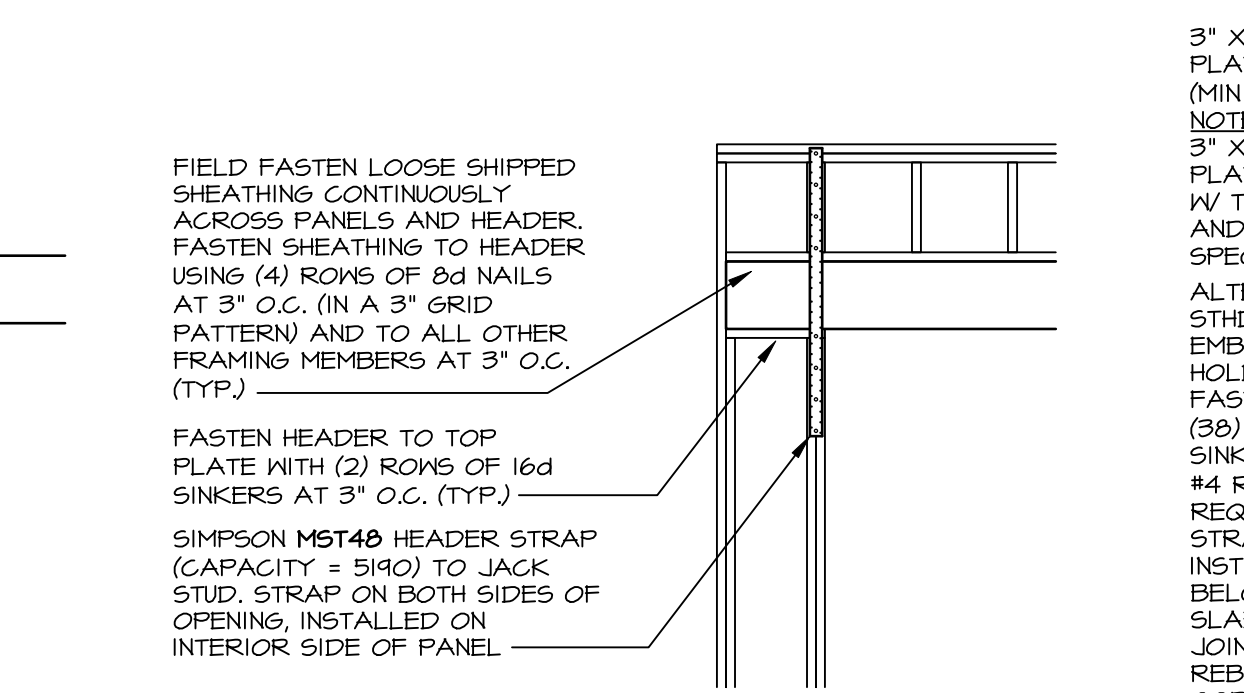
I BRACED WALL PANEL CONNECTION WHEN PARALLEL TO FLOOR/CEILING FRAMING
 APPLIES TO 1-JOIST, NOMINAL LUMBER AND FLOOR TRUSS FLOOR SYSTEMS



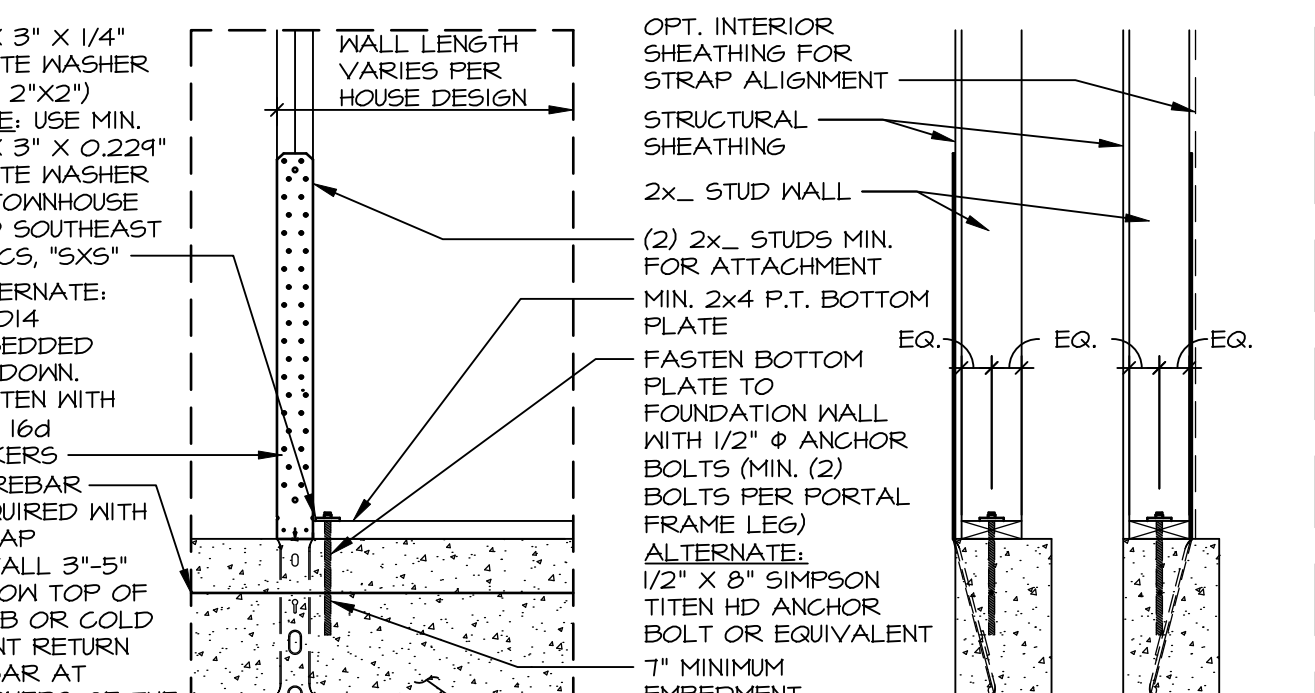
J BRACED WALL PANEL CONNECTION WHEN PERPENDICULAR TO FLOOR/CEILING FRAMING
 NOTE: 5/16\"/>



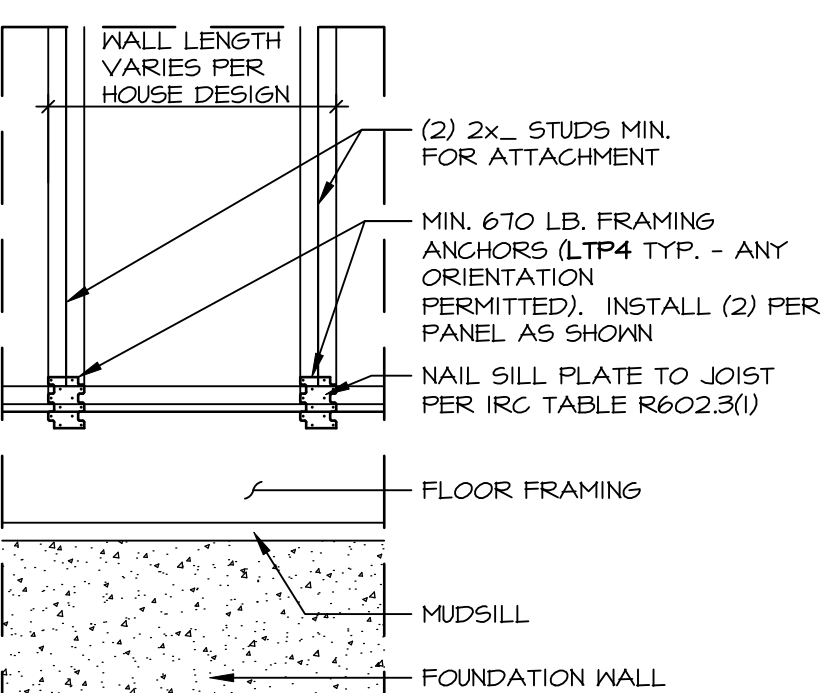
K CONTINUOUSLY SHEATHED PORTAL: TYP. HEADER / PANEL CONNECTION
 SCALE: 3/8\"/>



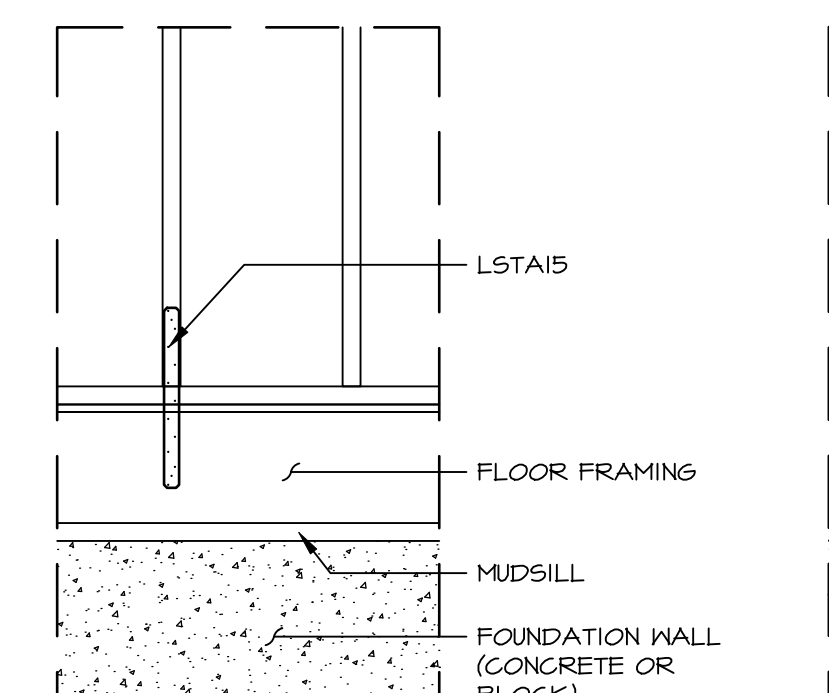
L ALTERNATE PORTAL FRAME: HEADER / PANEL CONNECTION
 SCALE: 3/8\"/>



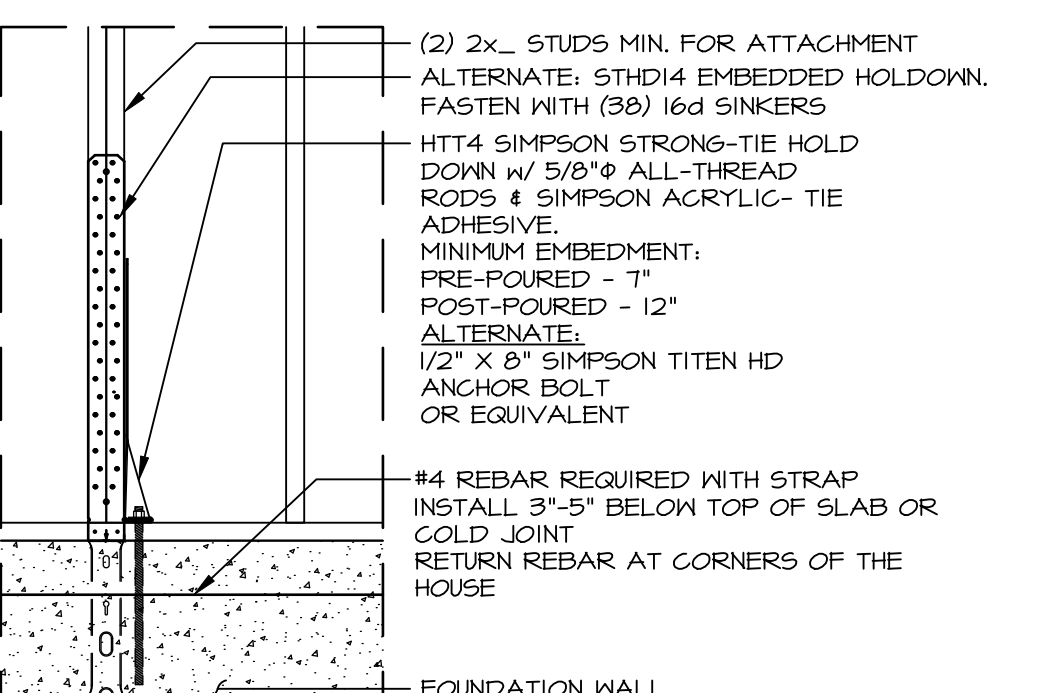
M HOLD-DOWN DETAIL: FOUNDATION
 SCALE: 3/4\"/>



N HOLD-DOWN DETAIL: FRAMED FLOOR
 SCALE: 3/4\"/>



O HOLD-DOWN DETAIL: FRAMED FLOOR
 SCALE: 3/4\"/>



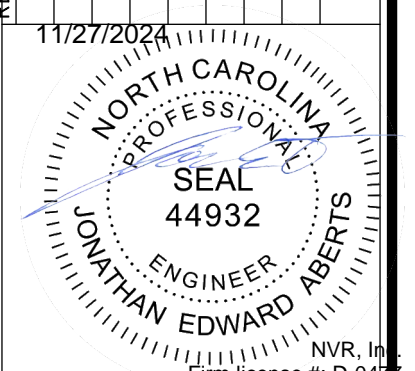
P HOLD-DOWN DETAIL: FOUNDATION
 SCALE: 3/4\"/>

ID	BOTTOM CONNECTOR	QTY.	DETAIL	TOP CONNECTOR	QTY.	DETAIL
P1	3"x3"x1/4" PLATE WASHER	1	(3) (WB-2)	NONE	N/A	N/A
P2	1/2" THREADED ROD	1	(3) (WB-2)	LSTA24	1	(1) (WB-2)
P3	3"x3"x1/4" PLATE WASHER	1	(3) (WB-2)	MST48	1	(2) (WB-2)
P4	LTP4	1	(4) (WB-2)	NONE	N/A	N/A
P5	LTP4	1	(4) (WB-2)	LSTA24	1	(1) (WB-2)
P6	LTP4	1	(4) (WB-2)	MST48	1	(2) (WB-2)
P7	LSTA15	1	(5) (WB-2)	NONE	N/A	N/A
P8	HTT 5/8" A24 THR. ROD	1	(6) (WB-2)	NONE	N/A	N/A
P9	NONE	N/A	N/A	LSTA24	1	(1) (WB-2)
P10	NONE	N/A	N/A	MST48	1	(2) (WB-2)

NOTES: THREADED ROD PART INCLUDES (2) NUTS AND (2) WASHERS

As directed by the North Carolina Board of Architecture and Registered Interior Designers, architectural seals are not required - and should not be placed by NVR on - these plans and specifications.

REV. NO.	DATE	DESCRIPTION
31	1/12/24	AS5 - 0249038 DETAIL B REVISED STABLE SIZE FROM 1/4" TO 1 3/4"
32	1/23/24	DLR - 02490764 - REMOVED DETAIL E/WB-2 CORNER DETAIL
33	4/28/24	DLR - 02490764 - PLATE WASHERS CHANGED TO 3"x3" WITH 1/2" THREADED ROD
34	10/25/20	CEL - REVISED WB-2 TO INCLUDE FLOOR TRUSSES
35	10/25/20	CEL - ADDED NOTES/DETAILS WHEN TO USE K/WB-2
36	4/7/21	ARS - REV. DET. C PONY WALL NOTED
37	6/29/21	ARS - REVISED WB-2 TO REMOVE USE OF FLAT BLOCKING
38	12/19/22	DLR - 02492561 - ADDED PERIF. WALL BRACING DETL. AND ALT. FASTEN. TO HWB-2
39	4/9/23	DLR - 02492561 - REVISED CONNECTOR CHART, REVISED PART NUMBERS



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SET NO.	VERSION	DRAWN BY	DATE	OPTION
		ELH	4/8/14	

MODEL: WALL BRACING DETAILS
DRAWING TITLE: PRESCRIPTIVE WALL BRACING DESIGN
OPTION DESCRIPTION