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GRAND BAHAMA

Page	Sheet	Description	Page Sheet	Description	Page	Sheet	Description	
1	CS-1	COVERSHEET						
1.1	SS-1	SPEC SHEET						
2	CA-1	ROOF VENT AND VOLUME CALCULATIONS						
5	NC-1	ELEVATIONS						
7	NC-3	FOUNDATIONS						
9	NC-4	FOUNDATION HOLD DOWNS						
10	NC-5	PLUMBING						
12	NC-7	FIRST FLOOR PLAN						
13	NC-8	BUILDING SECTIONS						
14	NC-9	BUILDING SECTIONS						
21	S-2	ROOF FRAMING						
22	S-3	TRUSS BRACING						
23	S-4	WALL BRACING						
	AD-1	HOUSE DETAILS						
	DR-1	DOOR DETAILS						
	DR-1B	DOOR DETAILS						
	DR-3	DOOR DETAILS						
	ET-1	EXTERIOR TRIM DETAILS						
	ET-1B	EXTERIOR TRIM DETAILS						
	ET-1C	EXTERIOR TRIM DETAILS						
	ET-1D	EXTERIOR TRIM DETAILS						
	ET-1H	EXTERIOR TRIM DETAILS						
	ET-3	EXTERIOR TRIM DETAILS						
	ET-3B	EXTERIOR TRIM DETAILS						
	ET-3C	EXTERIOR TRIM DETAILS						
	F-1	FLASHING DETAILS						
	F-1B	FLASHING DETAILS						
	F-1C	FLASHING DETAILS						
	F-1D	FLASHING DETAILS						
	F-3	FLASHING DETAILS						
	F-3B	FLASHING DETAILS						
	FA-1B	FIRE SEPARATION ASSEMBLY DETAILS						
	FC-1	FRAMING AND FASTENER DETAILS						
	FC-1B	FRAMING AND FASTENER DETAILS						
	FC-2	FRAMING AND FASTENER DETAILS						
	FC-3	FRAMING AND FASTENER DETAILS						
	FC-4	FRAMING AND FASTENER DETAILS						
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	FD-1	FOUNDATION DETAILS						
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	FD-7	FOUNDATION DETAILS						
	GB-1	GARAGE GRADE BEAM DETAILS						
	RF-1	ROOF FRAMING DETAILS						
	RF-1B	ROOF FRAMING DETAILS						
	RF-1C	ROOF FRAMING DETAILS						
	SEP-1	STANDARD ENERGY PACKAGE DETAILS						
	SEP-2	STANDARD ENERGY PACKAGE DETAILS						
	SEP-3	STANDARD ENERGY PACKAGE DETAILS						
	SEP-4	STANDARD ENERGY PACKAGE DETAILS						
	SP-1	SAFETY PROCEDURES DETAILS						
	SP-2	SAFETY PROCEDURES DETAILS						
	SP-3	SAFETY PROCEDURES DETAILS						
	WB-2	WALL BRACING DETAILS						
	WD-1	WINDOW DETAILS						
	WD-3	WINDOW DETAILS						
	WS-1B	WALL SECTION DETAILS						

DIV-COM

COMM-LO

STREET A

----- ----CITY -----

ST	RUCT	URAL	DES

ALL LOCAL AND STATE CODES ROOF LIVE LOAD 20 psf ULTIMATE WIND SPEED 130 mph WIND EXPOSURE CATEGORY B SEISMIC DESIGN CATEGORY A / B

M-LOT-UNIT	

тс			
ADDRESS		APT.	NO.
	STATE	ZIP	



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NVR, Inc. 5285 Westview Drive, Suite 100 Frederick, MD 21703

FIRST FLOOR SQUARE FOO	
	TOTAL SQ. FT.
IST FLOOR CRAWL / SLAB FOUNDATION (BASE SF)	1338 SF 1338 SF
	1550 55
GARAGE SQUARE FOOT	AGE
DESCRIPTION	TOTAL SQ. FT.
TWO CAR GARAGE CRAWL / SLAB FOUNDATION	431 SF
	431 SF
UNFINISHED SQUARE FOO	
DESCRIPTION	TOTAL SQ. FT.
REAR COVERED PORCH (ADD. SF) FRONT COVERED PORCH	140 SF
	25 SF
TOTAL FINISHED SQUARE FO	TOTAL SQ. FT.
IST FLOOR CRAWL / SLAB FOUNDATION (BASE SF)	1338 SF
	1338 SF
SET NO. – VERSION SHEET	NO. PAGE NO.
GBH00 - 01 CS	b -1
RELEASE NO	

BIGN CRITERIA

GENERAL

- These plans and specifications are designed for the exclusive use by NVR, Inc. for the purpose of residential construction. As such, these products are offered for sale in NVR, Inc. communities only. NVR, Inc. is a production homebuilder and does not provide the opportunity to customize these plans. The respective drawings contained here in shall only be used as construction assembly drawings by NVR, Inc. and their sub-contractors. Any unauthorized use of these plans without the written consent of NVR, Inc. is prohibited. All standard notes, section markers, elevation markers and title markers that reference "A-#" shall be considered "NC-#" for sheet reference.
- 2. These plans are subjected to modification as necessary to meet code requirements or to facilitate mechanical/plumbing installations or to incorporate design improvements.
- 3. These plans are not to be scaled for construction purposes. Dimension lines and notes supersede all scale references.
- Single Family Attached/Detached Automatic residential fire sprinkler systems shall be installed in accordance with NCRBC P2904 or NFPA I3D where required. 5. This note sheet only covers major code requirements. The plans are intended to
- conform to all current applicable codes or engineering design in accordance with Section 301.1.3.

CODE ANALYSIS

- I. This note sheet only covers major code requirements. The plans are intended to conform to all current applicable codes including, but not limited to: NCRC 2018, NCMC 2018, NCPC 2018, NCFGC 2018, NEC 2020 w/ NC Amendments,
- NCEC 2018, NCFPC 2018 2. Constr. Type: V-B
- 3. Max Stories: 3

ENERGY AND MECHANICAL

I. Insulation requirements per 2018 NCRC Chapter II, Energy Efficiency, or Chapter 4 of the 2018 North Carolina Energy Conservation Code (NCECC), or Chapter 4 of the 2015 International Energy Conversation Code (IECC), Residential Energy Efficiency by the prescriptive method. See NVR "Standard Energy Package" for field procedures and details.

R-values shown below are the minimum used.

CLIMATE ZONE	FENESTRATION U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	FRAME WALL R-VALUE 2x4 / 2x6	FL <i>OO</i> R R-VALUE	BASEMENT WALL R-VALUE UNFIN. / FIN.	SLAB R-VALUE & DEPTH	CRAWL SPACE WALL R-VALUE
З	0.35	0.30	38	15 / 19	19	5 / 15	NA	5 / 15
4	0.35	0.30	38	15 / 19	19	10 / 15	10	10 / 15

2. All HVAC equipment is sized based on ACCA Manual J calculations. Ductwork is sized using ÁCCA Manual D. Minimum efficiencies of equipment are as listed below. Upgrades for improved energy performance may be installed.

- Air conditioner 14 SEER
- Gas furnace 92% / 96% - Heat Pump - 8.2 HSPF
- Winter interior design temperatures shall be 70°F and summer interior design temperatures shall be 75°F. Exterior design temperatures vary based on geographic location and are listed on the Manual J calculations.
- 4. Roof ventilation calculations are based on the following specifications: Minimum 18 sq. in. of vent per linear foot Ridae vent: Soffit vent: Minimum 9.9 sq. in. of vent per linear foot
- Roof jack (box vent): Minimum 45 sq. in. of vent per unit
- 5. See NVR "Standard Energy Package" for field procedures and details.

DESIGN LOADS

Table of Loads for House Structure. Per Table 301.5

Elecality	ha haar	
Floor Livi	ing Areas	- 40# P.S.F. (Live) - 10# P.S.F. (Dead) unless noted otherwise
Floor Sle	eping Areas	by calculations - 30# P.S.F. (Live) unless noted otherwise
		by calculations
		- 10# P.S.F. (Dead) unless noted otherwise by calculations
Garage F	loors	- 50# P.S.F. (Live)
		- 50# P.S.F. (Dead)
Roof Areas	- Top Chord	- 20# P.S.F. (Live)
		- 10# P.S.F. (Dead)
	- Bottom Chord	- IO# P.S.F. (Live) (Attics without storage)
		- 20# P.S.F. (Live) (Attics with limited storage)
		- 10# P.S.F. (Dead)
Habitable	Attics	- 30# P.S.F. (Live)
Trusses		- Areas up to 130 mph ultimate wind speed per Table R301.2(4)
		- Exposure category 'B'
Walls		- Areas up to 130 mph ultimate wind speed per Table R301.2(4)
		Vult 115 mph 130 mph Vasd 89 mph 101 mph
		Note: Linear interpolation between contour lines permitted.
Stairs		- 40# P.S.F. (Live)
		- 10# P.S.F. (Dead)
Allowable	e deflection of struc	ctural members per IRC T able R301.7

<u>Design Criteria</u>

Design Codes:

- National Design specification for Wood Construction by National Forest Products Associatio
- 2. Specification for the Design Fabrication and Erection of Structural Steel for Buildings by American Institute of Steel Construction.

Materials

- Headers* Southern Pine (KD-19), No. I Grade Spruce-Pine-Fir, Stud Grade Studs Spruce-Pine-Fir, Stud Grade Jacks Beams** Southern Pine (KD-19), No. 1 Grade
- 2x10 Hem-Fir (KD-19), No. 2 Grade or better (WCLIB & WWPA) Joists
- 2x8 Southern Pine (KD-19), No. 1 Grade or better 2x10 Spruce-Pine-Fir (KD-19), No. 2 Grade or better (NLGA) 1.9E Minimum LVL
- Where required, Laminated Veneer Lumber may be used per Engineering ** Structural Steel - A.S.T.M. A36

FOUNDATIONS

- I. All plain and reinforced concrete shall comply with requirements in ACI 318. 2. Concrete footings shall be poured a maximum 5" slump, 5 bag mix, and 2,500 psi minimum strength per Table R402.2. Concrete walls shall be poured a maximum 5" slump, 5 1/2-bag or wall height conditions may require a higher psi mix.
- 3. Walls and footings designed as unreinforced unless otherwise specified on foundation plans or
- 4. Footing frost depth to be no less than 12" per R403.1.4 and Table R301.2(1).
- 5. Minimum Soil Bearing Capacity shall be 2,000 PSF per Table R401.4.1.
- 6. Slab requirements: Interior slabs on grade (excluding garage slabs) to be minimum 3-1/2" concrete (may be as required per Section 506 and a minimum 2,500 PSI per Table R402.2. Non-structural garage slabs shall be nominal 3-1/2" thick and shall be installed on compacted
- Structural garage slabs utilizing grade beams shall be nominal 4" thick. Slabs shall be 3,500 PSI air-entrained concrete. Porch slab and exterior concrete work shall be nominal 4" minimum 3,500 PSI air-entrained
- concrete with 6x6 WI.4xWI.4 mesh or equivalent fiber mesh reinforcement 7. Unconditioned crawl spaces shall have a minimum net area of ventilation not less than I square foot for each 150 square feet of area, unless the ground surface is covered by a Class 1 vapor retarder, in which case the minimum net area of ventilation shall not be less than 1 feet (914 mm) of each corner of the building, per R408.1.2.
- 8. Foundation drains shall be located per local codes and according to local site conditions. Drain discharge by gravity or mechanical means to conform with approved site plan and installed per Section R405.1.
- 9. The top course of block of foundation walls shall be semi-solid block or open cores of hollow block shall be filled with mortar
- 10. Block piers to be solid block or mortar-filled hollow block. II. A poured concrete foundation wall designed to withstand an equivalent fluid weight of 30#
- 12. Concrete and masonry foundation walls shall be dampproofed with min. 3/8" portland cement
- approved bituminous material applied at the recommended rate per R406.1. 13. Where required, concrete and masonry foundation walls shall be waterproofed with an
- membrane shall be lapped and sealed with an adhesive compatible with the waterproofing membrane. Waterproofing to be in accordance with R406.2. 14. Reserved for future use.
- 15. Foundation framing anchors shall be 1/2"x18" anchor bolts with 7" minimum embedment or Simpson Strong-Tie MASA / USP FA3 (16 gauge steel, galvanized) or equivalent set in installed without anchor straps. Townhouses in seismic design category "C" shall require a .229" x 3" x 3" plate washer per R403.1.6.1 and maximum anchor bolt spacing for buildings over two stories shall be 4'.

16. Steel columns and bases shall be given a shop coating of rust-inhibitive paint or equivalent to provide corrosion resistance per R407.2.

- 17. For masonry veneers:
- and shall support not more than 2.67 square feet of wall area. For townhouses in Seismic tie shall support not more than 2 square feet of wall area.
- than 3 feet (9144 mm) on center and placed within 12 inches (305 mm) of the wall opening. be provided behind brick.
- immediately above the flashing.
- Per R103.8.5 When veneer of brick, clay tile, concrete, or natural or artificial stone are moisture penetration behind the veneer. See NVR Flashing Details.
- 18. Reserved for future use.
- 19. Foundation wall strip footing thickness to be 8" (or 6" with a single story) unless otherwise wall shall not to exceed the footing thickness. Bump out footings, pier pads, and any other footing identified as being greater than 8" in thickness shall not be reduced.
- 20. Block foundation walls may be substituted for poured foundation walls shown on foundation plans provided all requirements of Section R404 are met. 21. Termite treatment provided below slabs or to framing members per R318.1

FOUNDATION WALL DESIGN(c)

NCRBC PRESCRIPTIVE CODE OR ENGINEERED DESIGN PER ACI 332							
MALL HEIGHT	WALL THICKNESS	LATERAL SOIL LOAD (a)	UNBALANCED FILL	VERTICAL REINFORCING (b)	HORIZONTAL REINFORCING (b)		
		45	6'-0"	NOT REQUIRED	2- #4 BARS (f)		
	8"	45	יד-0"	NOT REQUIRED (d)	3- #4 BARS (d,e)		
	0	60	6'-0"	NOT REQUIRED (d)	3- #4 BARS (d,e)		
8'-0"		20	ד'-0"	#4 @ 22" <i>O</i> .C. (d)	3- #4 BARS (d,e)		
		45	6'-0"	NOT REQUIRED	2- #4 BARS (f)		
	10"	-+5	7'-0"	NOT REQUIRED	2- #4 BARS (f)		
		10" 60	6'-0"	NOT REQUIRED	2- #4 BARS (f)		
			7'-0"	NOT REQUIRED	2- #4 BARS (f)		
		45	7'-0"	NOT REQUIRED (d)	4- #4 BARS (d,e)		
	8"	CT	8'-0"	#4 @ 19" O.C. (d)	4- #4 BARS (d,e)		
		(0)	ר'ד-0"	#4 @ 19" O.C. (d)	4- #4 BARS (d,e)		
q'-0"		60	8'-0"	#4 @ 15" <i>O.</i> C. (d)	4- #4 BARS (d,e)		
		45	7'-0"	NOT REQUIRED	3- #4 BARS (g)		
	10"	45	8'-0"	NOT REQUIRED (d)	4- #4 BARS (d,e)		
		60	ד'-0"	NOT REQUIRED (d)	4- #4 BARS (d,e)		
			8'-0"	#4 @ 19" O.C. (d)	4- #4 BARS (d,e)		

NOTE: BACKFILLING OF THE FOUNDATION SHALL NOT TAKE PLACE BEFORE THE BASEMENT SLAB IS IN PLACE AND THE FLOOR FRAMING IS ERECTED OR UNLESS WALLS ARE ADEQUATELY BRACED.

- a. SOIL CLASSES GM, GC, SM, SM-SC AND ML 45 PSF
- SOIL CLASSES SC, MH, ML-CL AND CL 60 PSF b. SPACING SHOWN IS BASED UPON Fy = 60,000 PSI
- STEEL FOR Fy = 40,000 PSI STEEL, REDUCE SPACING BY 0.67 C. CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF NOT LESS THAN 3000 PSI
- d. ENGINEERED DESIGN PER ACI 332-14, REQUIREMENTS FOR RESIDENTIAL CONCRETE CONSTRUCTION
- e. FOR ALL WALL HEIGHTS, ONE HORIZONTAL BAR SHALL BE LOCATED WITHIN THE TOP 24", ONE IN THE BOTTOM 24" WITH THE REMAINING BARS EQUALLY SPACED. HORIZONTAL BARS.
- g. ONE BAR WITHIN 12" OF TOP AND ONE EACH AT THIRD POINT OF WALL HEIGHT PER TABLE 404.1.2(1).

mix, and 3,000 psi minimum strength per Foundation Wall Design table below. Special soil and

details. Special soil and/or site conditions may require the addition of reinforcing.

represented on plans as nominal 4") over 4" sub-base, with vapor barrier (6-mil polyethylene)

/ undisturbed soil per Table R402.2. Slabs shall be 3,500 PSI air-entrained concrete.

square foot for each 1,500 square feet of area. One such ventilating opening shall be within 3

per cubic ft. may be substituted where masonry units (block) are shown on plans. parging from footing to top of finished grade. The parging shall be covered with a coat of

approved membrane extending from footing to top of finished grade. The joints in the

concrete or grouted cell, I'-O" maximum from corners and spaced at a maximum of 6' o.c. and in the middle third of the width of the plate. For walls connecting offset braced wall panels, those 24" in length or shorter shall have min. (I) anchor strap and those 12" or shorter can be

Per R703.8.4.1 - Corrugated sheet metal veneer ties shall be a minimum of No. 22 U.S. gauge by 7/8 inch. Each tie shall be spaced not more than 32" o.c. horizontally and 24" o.c. vertically Design Category C and in wind areas of more than 30 pounds per square foot pressure, each

Additional metal ties shall be provided around all wall openings greater than 16 inches (406 mm) in either dimension. Metal ties around the perimeter of openings shall be spaced not more Per R103.2 - One layer of No. 15 asphalt felt or other approved water-resistive barrier shall

Per Table R703.8.4 - Provide minimum I-inch air space between brick veneer and sheathing. Per R703.8.6 - Provide minimum 3/16" diameter weep holes at 33" on center maximum, located

used, 6 mil plastic flashing shall be attached to the sheathing wherever necessary to prevent

noted as specified by engineering. Strip footing projections beyond the face of the foundation

NCREC PRESCRIPTIVE CODE OR ENGINEERED DESIGN PER ACI 332

MAINTAIN 2" OF CONCRETE COVER BETWEEN INSIDE FACE OF WALL AND FACE OF

F. ONE BAR WITHIN 12" OF TOP AND AT MID-HEIGHT OF WALL PER TABLE R404.1.2(1).

PLANS

- I. Habitable attics and sleeping rooms shall have a window or door as a second means of egress that shall be minimum 5.7 sq. ft. openable area (5.0 sq. ft. if at grade level) with maximum sill height 44" above finish floor (min. hqt. 24", min. width 20") per R310.1.
- 2. All emergency escape and rescue openings shall have a minimum net clear openable area of 4 sq ft. The minimum net clear opening height shall be 22" and a minimum net clear opening width of 20". Emergency escape and rescue openings must have a minimum total glazing area of not less than 5 sq ft in the case of a ground window and not less than 5.7 sq ft in the case of an upper story window per R310.2.1. Window wells where required, shall be installed per R310.2.3 with a minimum of 9 sq ft and a minimum horizontal projection and width of 36". Wells with a greater depth of 44" shall have permanently affixed ladder or steps per R310.2.3.1.
- 3. Clear opening heights for exterior doors to be 6'-6" minimum per R311.2. All interior doors providing eqress from habitable rooms shall have nominal minimum dimensions of 2'-6" by 6'-8" per R31.61. Habitable rooms with double doors less than 5'-O" in total width (less than 2'-6" per door slab) shall have a total opening width of at least 2'-6" with no slide bolts or locking devices installed on either door.
- 4. Sliding glass drs/patio drs/wdws must be safety glazed per R308.4.
- 5. Interior stairway shall have minimum head room of 6'-8" per 311.7.2 and minimum tread depth of 9" and maximum riser height of 8 1/4". Handrails are required for stairs with four or more risers and shall have minimum height of 34" and maximum height of 38" above treads and landings. Handrail to have maximum 4 1/2" projection into width of stair per Section R311.7. Enclosed accessible space under stairs shall have walls, under stair surface and any soffits protected on the enclosed side with 1/2" gypsum board per R302.7.
- 6. Guard rails to have minimum height of 36" and shall not have openings from the walking surface to the required guard height which allow passage of a sphere 4 inches in diameter per R312.
- 7. The triangular openings at the open side of stair, formed by the riser, tread and bottom rail of a guard, shall not allow passage of a sphere 6 inches (153 mm) in diameter per R312.1.3.
- 8. Where exterior landings or floors serving the required egress door are not at grade, they shall be provided with access to grade by means of a a stairway in accordance with Section R311.7 (see item #5 above) or a ramp in accordance with Section R311.8.
- 9. Handrails shall be installed on exterior stairs having (4) or more risers per R311.7.8. Guards shall be installed at exterior porches / decks that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 36 inches (914 mm) horizontally to the edge of the open side. Insect screening shall not be considered as a quard.
- 10. All flashing used (including at windows, doors, and with stone or masonry veneer) shall be corrosion-resistive per RTO3.4. See NVR Flashing Details.
- II. Wood framed bearing walls shall 2 x 6 at 24" o.c. maximum or 2 x 4 at 16" o.c. maximum per Table R602.3(3) and Table R602.3(5) unless otherwise noted on plans.
- 12. All exterior sheathing to be structural sheathing designed in accordance with R602.10.
- 13. An approved water-resistive barrier shall be applied over sheathing of exterior walls per Section
- 14. Interior sheathing shall be 1/2" gypsum wall board unless otherwise noted. Exceptions may include, but are not limited to, special requirements for wall bracing and fire separation.
- 15. Screw fastening is typical for gypsum installation and nailing will only be permitted at the perimeter of the board. All screws shall be corrosion-resistant Type W I-1/4" drywall screws.

SCF	REM FAS	STENING SCHEI	DULE
		TH ADHESIVE	
Framing Spacing	Ceilings	Load-brg. walls	Non-load-brg. walls
16	16	24	24
24	16	16	24
	MITI	HOUT ADHESIVE	
Framing Spacing	Ceilings	Load-brq. walls	Non-load-brq. walls
16	12	16	16 -
24	12	2	2

For 1/2" wallboard, nails shall be 1-1/4" long, 1/4" head and .098 diameter shanks with annular ring or acceptable equivalent and comply with ASTM C514.

- For 5/8" wallboard, nails shall be 1-3/8" long, 1/4" head and .098 diameter shanks. 17. Garages shall be completely separated from the residence and attic area by not less than 1/2" aupsum board applied to the garage side. Garages beneath habitable rooms shall be separated from all habitable rooms above by not less than 578" type X gyp. board. Where a structure is supporting a
- floor-ceiling assembly due to living space above the garage, the structure shall also be protected by not less than 1/2" gypsum board per Section R302.6.. Openings and penetrations through the separation shall be protected by sealing the area around the penetration per Section R302.5. The garage door shall be a 20-minute fire-rated door and be equipped with a self-closing device installed per Section R302.5.1. 18. Asphalt shingles shall be installed per section R905.2. For roof slopes of 2:12 through 4:12, in lieu of two
- layers of underlayment, a self-adhering polymer-modified bitumen underlayment shall be used per section R905.1.1 Exception #1.
- 19. Attic spaces shall be ventilated w/ ridge and soffit vents unless otherwise noted. Venting provided per R806.2
- 20. Fireblocking shall be installed between ceiling and floor openings per R302. II. Draftstopping to be installed in accordance with R302.12.
- 21. Water closet, lavatory or bidet shall not be set closer than 15 inches from its center to any side wall, partition or vanity or closet than 30 inches center-to center-between adjacent fixtures. There shall be a clearance of not less than 21 inches in front of the water closet, lavatory or bidet to any wall, fixture or door per **P2705.**
- 22. Heating and cooling equipment installation shall be in accordance with IRC Chapter 14 and the International Mechanical Code.
- 23. Mechanical fireplaces shall be installed per Section RIOO4 and IOO5.
- 24. Single family attached structures to have 2-hour dwelling unit separation wall continuous to roof deck. Roofing material to be minimum class "C" over approved fire retardant wood decking extending 4' each side of dwelling unit separation wall per R302.2 and R302.3.
- 25. Untreated wood shall be minimum 8" above finish grade per R317.1 Item #2.
- 26. Bottom plates on slabs and any wood in contact w/ concrete or masonry to be pressure treated material per Section R317.
- 27. Exterior eqress swing doors shall open onto a landing not more than 8 1/4" below the top of the threshold when door swings in and 1 1/2" below the top of the threshold when the door swings out. The landing shall extend a minimum of 36" in the direction of travel and be at least the width of the doorway served per
- 28. Air exhaust and intake openings that terminate outdoors shall be protected with corrosion-resistant screen, louvers, or grills having a min. opening size of 1/4" and maximum of 1/2" in any dimension per R303.6.
- 29. Fasteners and connectors for pressure preservative-treated wood shall be hot-dipped galvanized steel. 30. Windows that have an operable opening more than 72" above finished grade or surface below, the lowest part of the clear opening of the window shall be a minimum of 24" above the finished floor of the room in which the window is located. Glazing between the floor and 24" shall be fixed or have openings through
- which a 4" dia. sphere cannot pass per Section R312.2. 31. The final grade shall fall a minimum of 6 inches within the first 10 feet of the foundation per R401.3.
- 32. One- and two-family dwelling construction (R302.1.1): Vinyl or aluminum soffit material shall be securely attached to framing members and use an underlayment material of either fire retardant treated wood, 3/4-inch wood sheathing or 5/8-inch gypsum board. Venting requirements shall apply to both soffit and underlayment and shall be per Section R806. Where the property line is 10 feet or more from the building face, the provisions of this code section shall not apply
- Townhouse construction (R302.2.5):
- Projections extending into the fire-separation distance shall have not less than I-hour fire-resistive construction on the underside. Vinul or aluminum soffit material shall be securely attached to framing members and use an underlayment material of either fire retardant treated wood, 3/4-inch wood sheathing or 5/8-inch gypsum board. Venting requirements shall apply to both soffit and underlayment. Vents shall be nominal 2-inch continuous or equivalent intermittent and shall not exceed the minimum net free air requirements of Section R806.2 by more than 50%. Vents in soffit are not allowed within 4 feet of fire walls or property lines per R302.2.5 and R302.2.6.
- 33. I-hour fire-rated construction required on projections within 2' to 3' of lot line per R302. I. No projections allowed within 2' of property line.
- I-hour fire-rated construction required on townhouse eaves within 3' of the property line. Note: Single Family Detached product will NOT be built within 3' of the property line.
- 34. Wall bracing is designed in compliance with Section R602.10. When wall bracing is beyond the criteria for a prescriptive approach, the structure is analyzed utilizing engineering in compliance with the North Carolina Building Code (NCBC). Refer to house-specific wall bracing detail sheets and wall bracing standard details. Adhesive attachment of wall sheathing, including Method GB, shall not be permitted in Seismic Design Category C.
- 35. Minimum floor sheathing shall be 5/8" tongue & groove decking underlayment grade plugged and sanded, exterior glue, glued and nailed on joists to meet. "American Plywood Association" approved glued floor system, unless otherwise specified.

per NFPA 70 (National Electric Code). Sicle 408 Section III. Location may outside each separate sleeping area y of the dwelling, including basements attics. Where more than one smoke anner that the actuation of one alarm ors shall receive their primary power	Architecture and Registered Interio Designers, architectural seals are not required for – and should not be placed by NVR on – these plans and specifications.
be installed at least 10 feet from a aining a tub or shower, at least 3 ip of a ceiling fan blade. In sleeping entrance. They shall be installed at or within 12 inches vertically from the	
icinity of each landing or directly gs to a level not less than Ifc	
ch separate sleeping area in the blocated within a bedroom or its the bedroom. R315.3.	REV. NO. DATE REV. N
	, Inc., expressly reserves owner, expressly reserves ight and other property righ es plans are re- ereproduced, changed, a in any form or mann oever, nor are they to ned to any third party, with obtaining the expressed writh obtaining the expressed writh obtaining the expressed writh 11/26/24 - 3:29
	5285 Westview Drive, Suite 100 Frederick, MD 21703 0 R VK. 0010\2015_IRC_2018_NCRC.dwg
	SHET NO. MODEL SET NO. SG-1 NCRC 2018 SPEC SHEET SET NO. SG-1 NCRC 2018 SPEC SHEET VERSION DRAWING TITLE DRAWING TITLE DRAWIN BY SINGLE FAMILY ATTACHED DATE DATE: SINGLE FAMILY DETACHED DATE: DATE: OPTION DESCRIPTION OPTION DESCRIPTION OPTION NC State Building Code - Residential Code 2018 OPTION V:\As-Sold/2-Jobs\2024 2ndHalf-Complete\RLH\DETACHED\GRAND BAHAMA_GBHOO_01\ELK_R

As directed by the North

ELECTRICAL

I. Ground-fault and arc-fault circuit interrupter protection is provided p 2. Electric panel box installation to be in accordance with NFPA 70, Art vary by design.

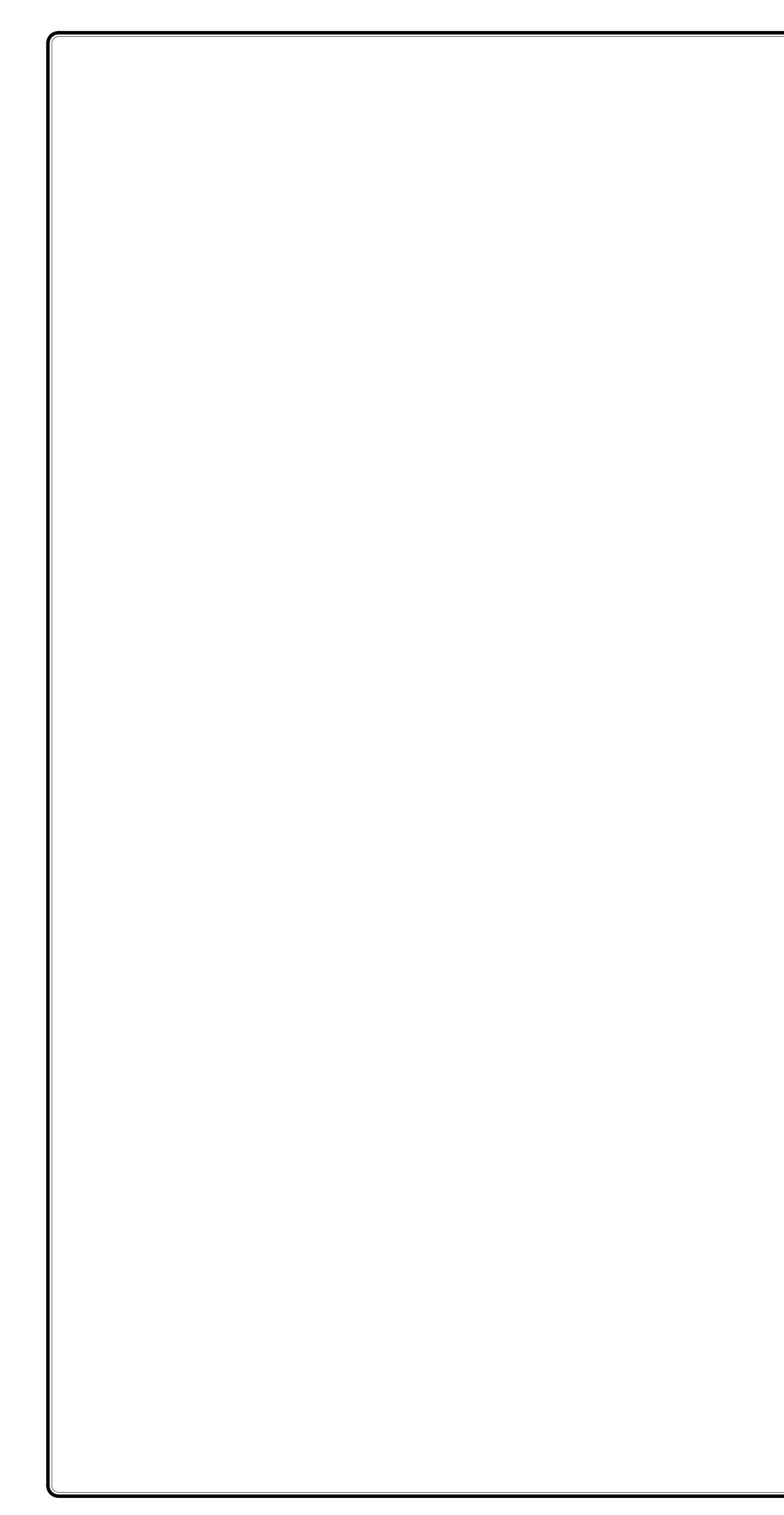
3. Approved smoke detectors shall be installed in each sleeping room; in the immediate vicinity of the bedrooms; and on each additional storu and habitable attics but not including crawl spaces and uninhabitable of detector is required, the devices shall be interconnected in such a ma will activate all of the alarms in the individual unit. All smoke detector from the building wiring and be equipped with a battery backup.

4. Unless listed for installation in such locations, smoke detectors shall b cooking appliance, at least 3 feet from the door to a bathroom conto feet from forced air supply registers, and at least 3 feet from the tip rooms, smoke detectors should be located in the vicinity of the room the highest portion of the ceiling (including tray or coffered ceilings) highest point in rooms with sloped ceilings.

5. Interior stairs shall be provided with an artificial light source in the via over each stair section and capable of illuminating treads and landing measured at the center of the tread or landing per R303.7.

6. Outlets within 6' of a sink must be GFI protected.

7. An approved carbon monoxide alarm shall be installed outside of eac immediate vicinity of the bedrooms. Where a fuel-burning appliance is attached bathroom, a carbon monoxide alarm shall be installed within 8. Outlets installed in laundry areas must be GFI protected.



NVR

ROOF VENT		ALUU	LAIIU	Cric												
OUSE NAME		GRAND BAH						Г				(any)		(any)	VENT OK	No action reg'd.
OUSE VERSION	GBH00_01										. ,,		,	VENT OK	No action reg'd.	
	SOFFIT:	9.9	sq in of vent	per lf					USER G	UIDE					FAIL	Increase ridge
ENTILATION VALUES	RIDGE:	18 :	sq in of vent	per If											FAIL	Decrease ridge
	BOX / GABLE VENT:	45	sq in of vent	per unit										(any)	FAIL	Increase total vent
		Developed	Desulation										A (200			,
	Area (A)	Required:	Required:	Coffi+	Soffit Vent	Pidgo			Lower Box	TOTAL	OK 4/150	0K A/200	A/300 % vent at	A/300		
Location / Options	Area (A) (sq in)	Required: A/150 (sq in)	Required: A/300 (sq in)	Soffit (If)	Soffit Vent (sq in)	Ridge (If)		Upper Box / Gable Vent (qty)	Lower Box Vent (qty)	TOTAL (sq in)	OK A/150	OK A/300	A/300 % vent at ridge			Notes
Location / Options IAIN - NO REAR PORCH		A/150 (sq in)	A/300 (sq in)	(lf)	(sq in)		Ridge Vent	Gable Vent	Vent		OK A/150	ОК А/300 YES	% vent at	A/300 40%-50%		Notes
IAIN - NO REAR PORCH	(sq in)	A/150 (sq in) 1681.93 1681.93	A/300 (sq in) 840.96 840.96	(lf)	(sq in) 831.60 851.40	(If)	Ridge Vent (sq in) 360.00 360.00	Gable Vent	Vent	(sq in) 1191.60 1211.40	NO NO	YES	% vent at ridge	A/300 40%-50%		Notes
AIN - NO REAR PORCH	(sq in) 252289	A/150 (sq in) 1681.93 1681.93 0.00	A/300 (sq in) 840.96 840.96 0.00	<i>(lf)</i> 84	(sq in) 831.60 851.40 0.00	(<i>lf</i>) 20	Ridge Vent (sq in) 360.00 360.00 0.00	Gable Vent	Vent	(sq in) 1191.60 1211.40 0.00	NO NO NO	YES YES NO	% vent at ridge 42.81%	A/300 40%-50%		Notes
Location / Options MAIN - NO REAR PORCH MAIN - W/ REAR PORCH	(sq in) 252289	A/150 (sq in) 1681.93 1681.93	A/300 (sq in) 840.96 840.96 0.00	<i>(lf)</i> 84	(sq in) 831.60 851.40	(<i>lf</i>) 20	Ridge Vent (sq in) 360.00 360.00	Gable Vent	Vent	(sq in) 1191.60 1211.40	NO NO	YES YES NO NO	% vent at ridge 42.81%	A/300 40%-50%		Notes

NVR

HOUSE VOLUME HOUSE NAME HOUSE VERSION PRODUCT LINE

Note: The volume of the structure has been computed in acordance with "Title 5. of the Community Affairs, Chapter 23. Uniform Construction Code, Subchapter 2. Administration and enforcement: Process." (5;23-2.28. Volume computation)

Location / Area of house Main section of the house Gable at front of the house Garage bump out from main house

Additional areas of Location / Area of house / option Covered Porch "EPE" Full Basement "FBA" Crawl space "FCA"

As directed by the North Carolina Board Architecture ar Registered Inter Designers, architectural seals are not required for – and should not be placed by NVR ch these plans and specifications COMM-LOT ---- ----STREET ADDRESS ---- -----COMM-LOTrves its y rights are not ged, or manner to be without written 2 급 강 pressly other p These uced, form third he expl © NVR, Inc., The owner, expr copyright and oth in these plans. The to be reproduc copied in any whatsoever, nor assigned to any first obtaining the consent of NVR, I VR Inc. Drive, Suite MD 21703 Z ∀e Fre 5 2 SET NO. GBHOO VERSION OI RELEASE NO. ----DRAWN BY DATE: OPTION $|\rangle$ - V | — 4 \square V

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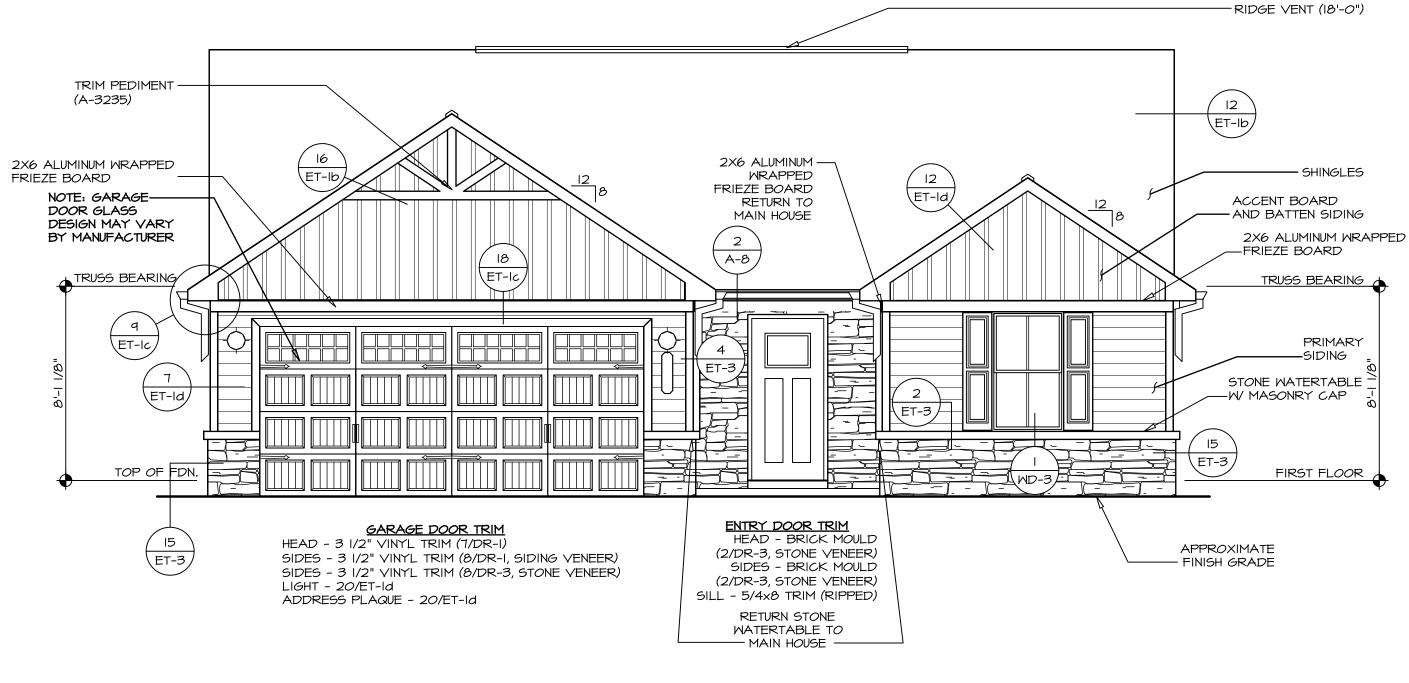
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Version 2.0 (Last Revised 04/26/19)

\E	CALCULATIONS	
	GRAND BAHAMA	
	GBH00 / 01	
	RYANHOMES	

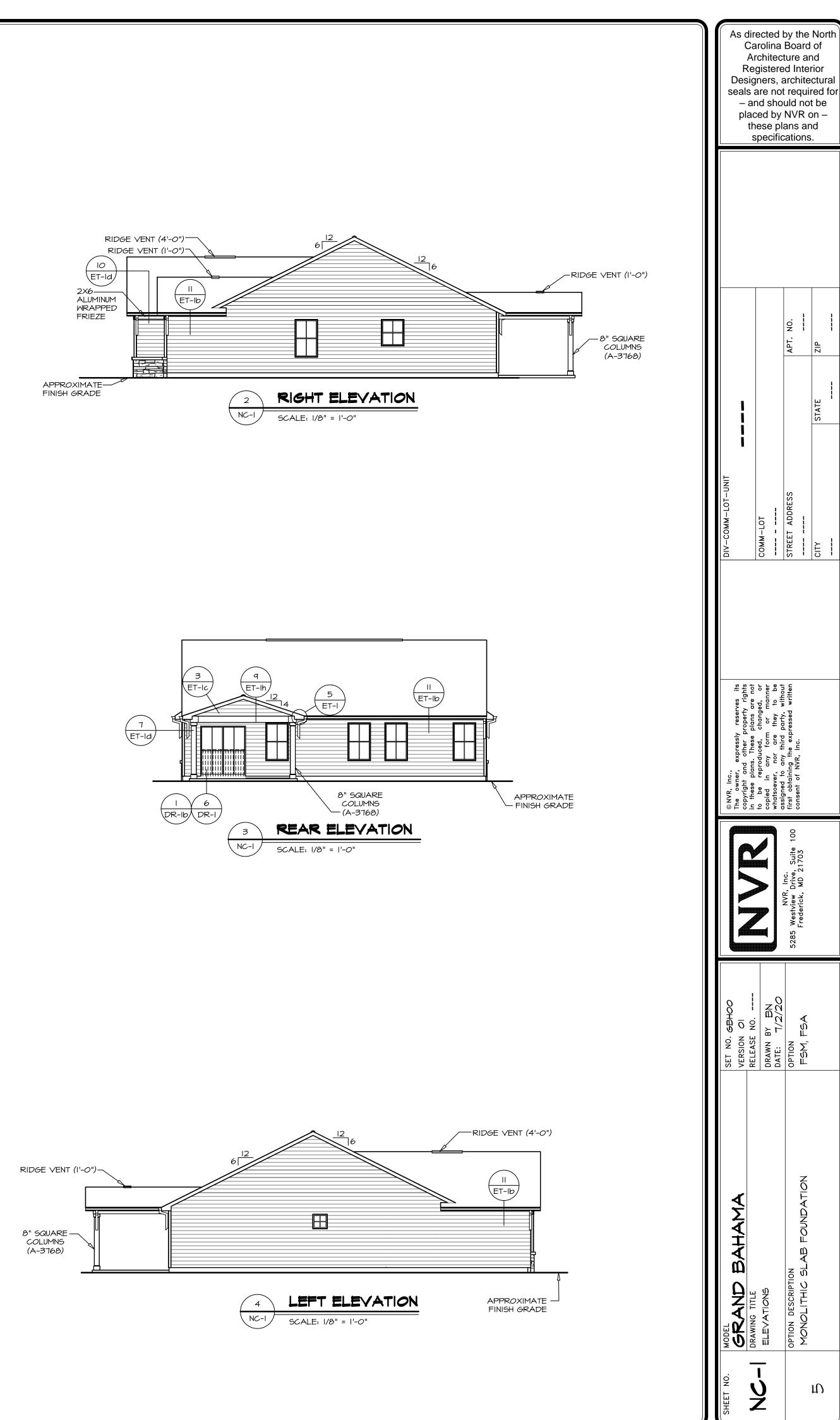
	ELEVATION "K", '	'L"	
	Floor Area (sq. ft.)	Mean height (ft.)	Total volume (cu. Ft.)
	1524.01	12.80	19511
	70.50	10.05	708
	197.50	10.53	2079
		Total House Volume	22298
volume	e to be added to t	otal house volume	e as needed
	Floor Area (sq. ft.)	Mean height (ft.)	Total volume (cu. Ft.)

Floor Area (sq. ft.)	iviean neight (ft.)	Total volume (cu. Ft.)
140.00	9.38	1313
1393.88	8.63	12022
1393.88	0.80	1115



FRONT ELEVATION "K" NC-I





	FOOT	ING/THICK	ENED SLA	B SCHEI	DULE
IDENTIFIER	LENGTH	MIDTH	HEIGHT	ENG. NUM.	REMARKS
F007	2'-0"	2'-0"	I'-O"	50001	
F007	2'-0"	2'-0"	I'-O"	50002	
FOOB	2'-0"	2'-0"	I'-O"	50001	

FOUNDATION DIAGONALS

	A		В
A	0"	A	40'-2 3/8"
В	40'-2 3/8"	в	0"
C	20'-4 3/4"	С	20'-0"
D	59'-5 9/16"	D	48'-0"
E	44'-0"	E	62'-5 3/ 6"

FOUNDATION NOTES - SLAB

- I. SEE STANDARD DETAIL CATEGORY **"FD"** SHEET(S). I.I. CONCRETE SLAB ON VAPOR BARRIER OVER
- SUB-BASE (SEE SPEC SHEET FOR SLAB NOTES)
- 2. FOUNDATION UNDER GARAGE: 2.1. UNEXCAVATED WITH CONCRETE SLAB ON VAPOR
- BARRIER OVER SUB-BASE **(SEE SPEC SHEET FOR SLAB NOTES)** OR
- 2.2. STRUCTURAL CONCRETE SLAB ON VAPOR BARRIER OVER SUB-BASE (SEE SPEC SHEET FOR SLAB NOTES)
 3. SEE FOUNDATION HOLD DOWN SHEET FOR CONNECTION
- INFORMATION. 4. SLAB LEDGE LOCATIONS VARY W/ GRADE BEAM(S)
- 4. SLAB LEDGE LOCATIONS VART W GRADE BEAM(S) ORIENTATION. SEE **GB-I** FOR DETAILS.
- 5. THE DIRECTION OF THE ARROW IS THE DIRECTION OF REBAR, AS REQUIRED.
- 6. ALL FOOTINGS ARE PLAIN, NON-REINFORCED CONCRETE
- UNLESS NOTES OTHERWISE. 7. SEE MS- DETAILS FOR FOOTER SLEEVE INFORMATION.
- 8. THICKEND SLAB DEPTHS MEASURE FROM TOP OF SLAB. PAD FOOTING DEPTHS MEASURE 4" BELOW TOP OF SLAB.

LEGEND

	BEARING WALL
	NON BEARING WALL
\otimes	INDICATES BEARING FROM POINT-LOAD ABOVE
J_	JACKS
B_	BEAM/HEADER
T_ /F_	FOOTING/THICKENED SLAB
$\langle c_{-} \rangle$	STEEL COLUMN

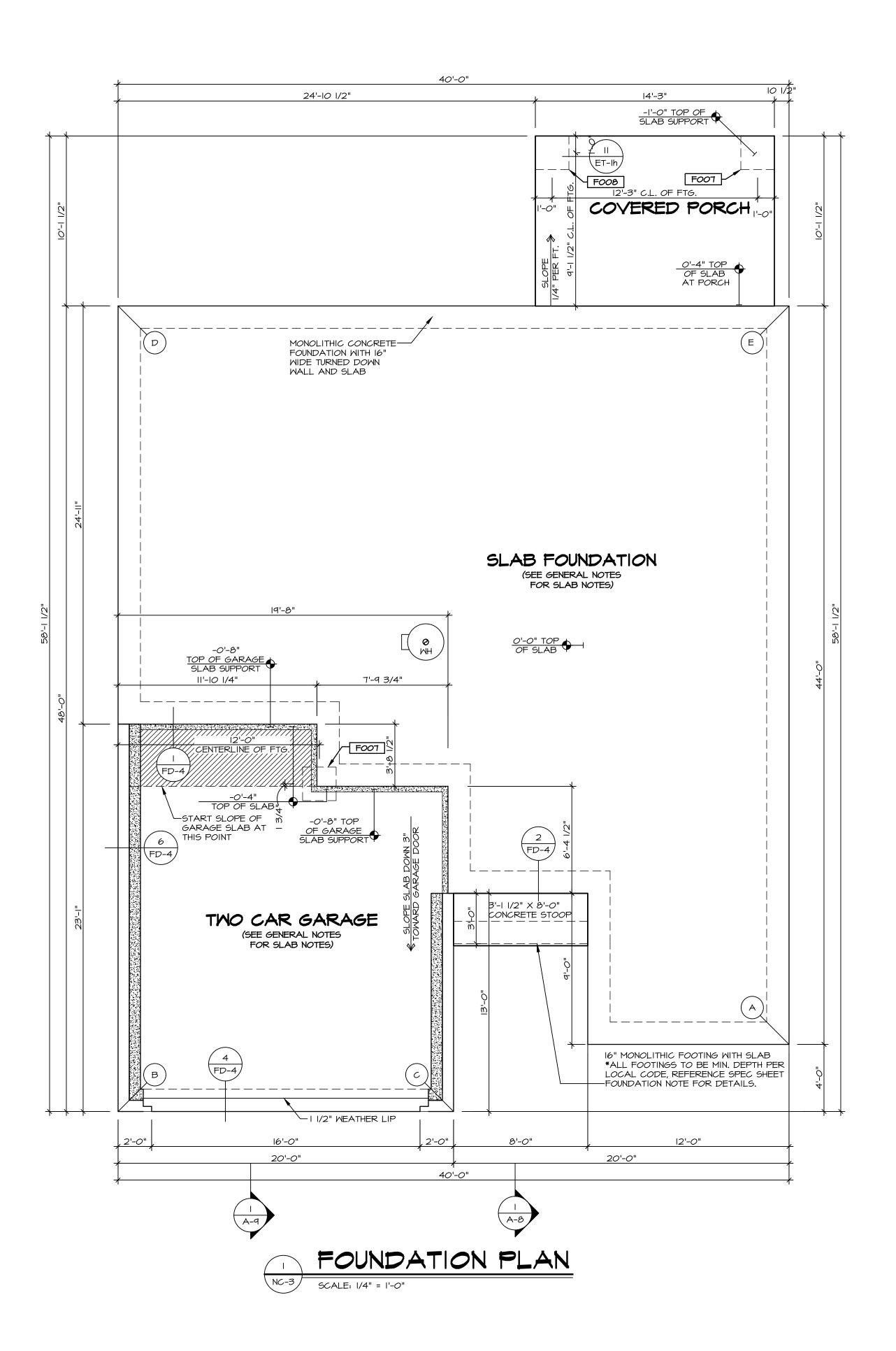
X TRUSS TIE DOWN

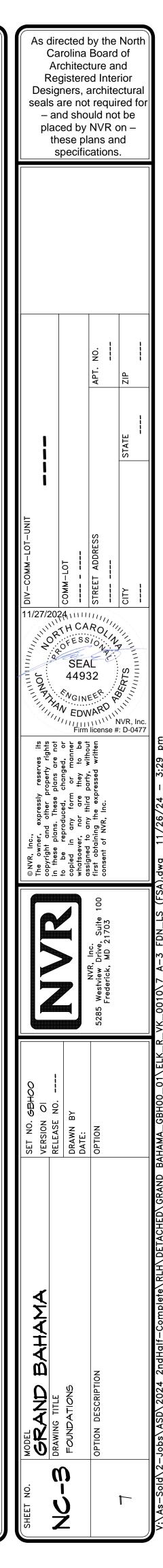
- X JOIST/TRUSS
- L__- LVL

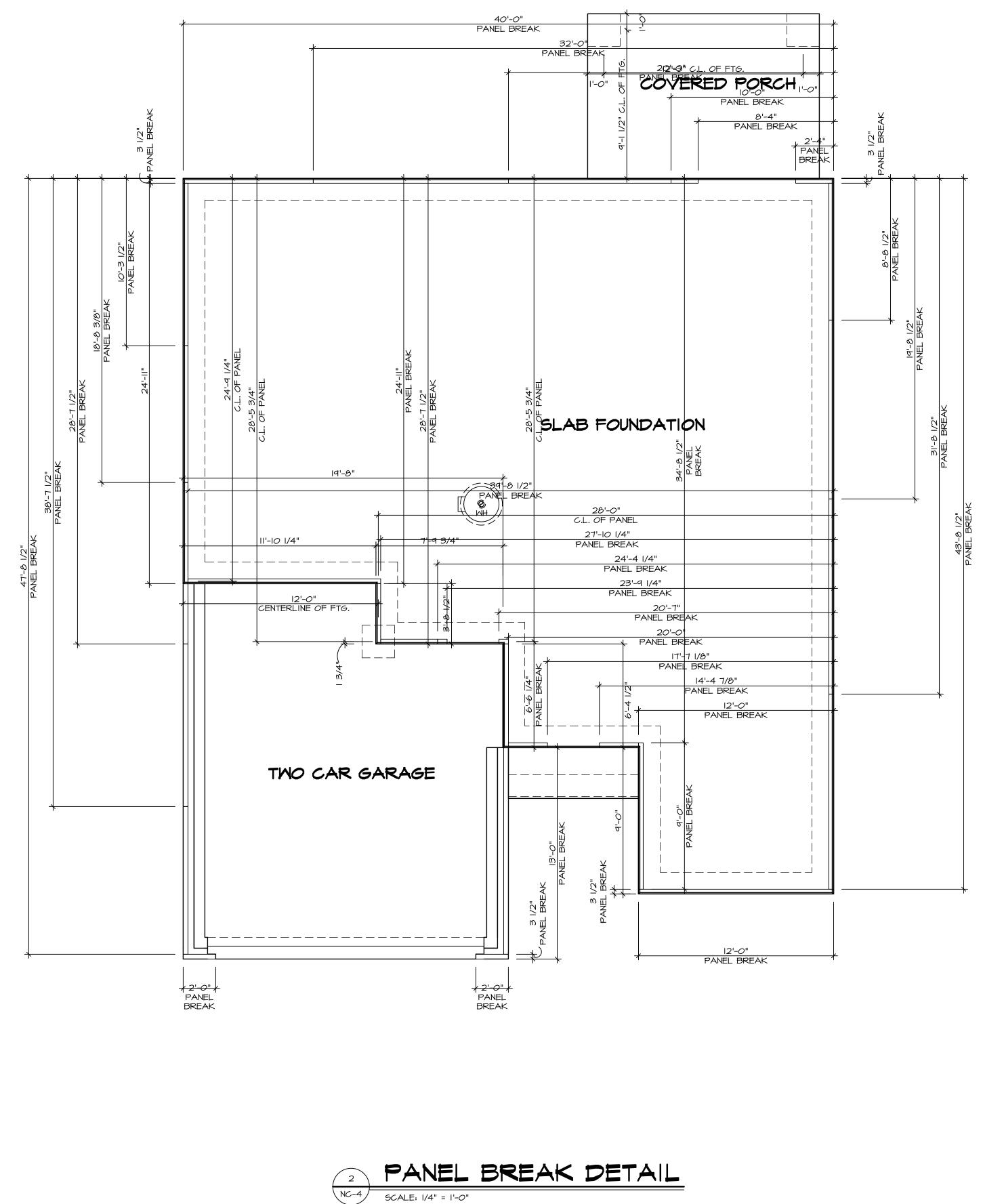
X ENGINEERING PAGE NUMBER

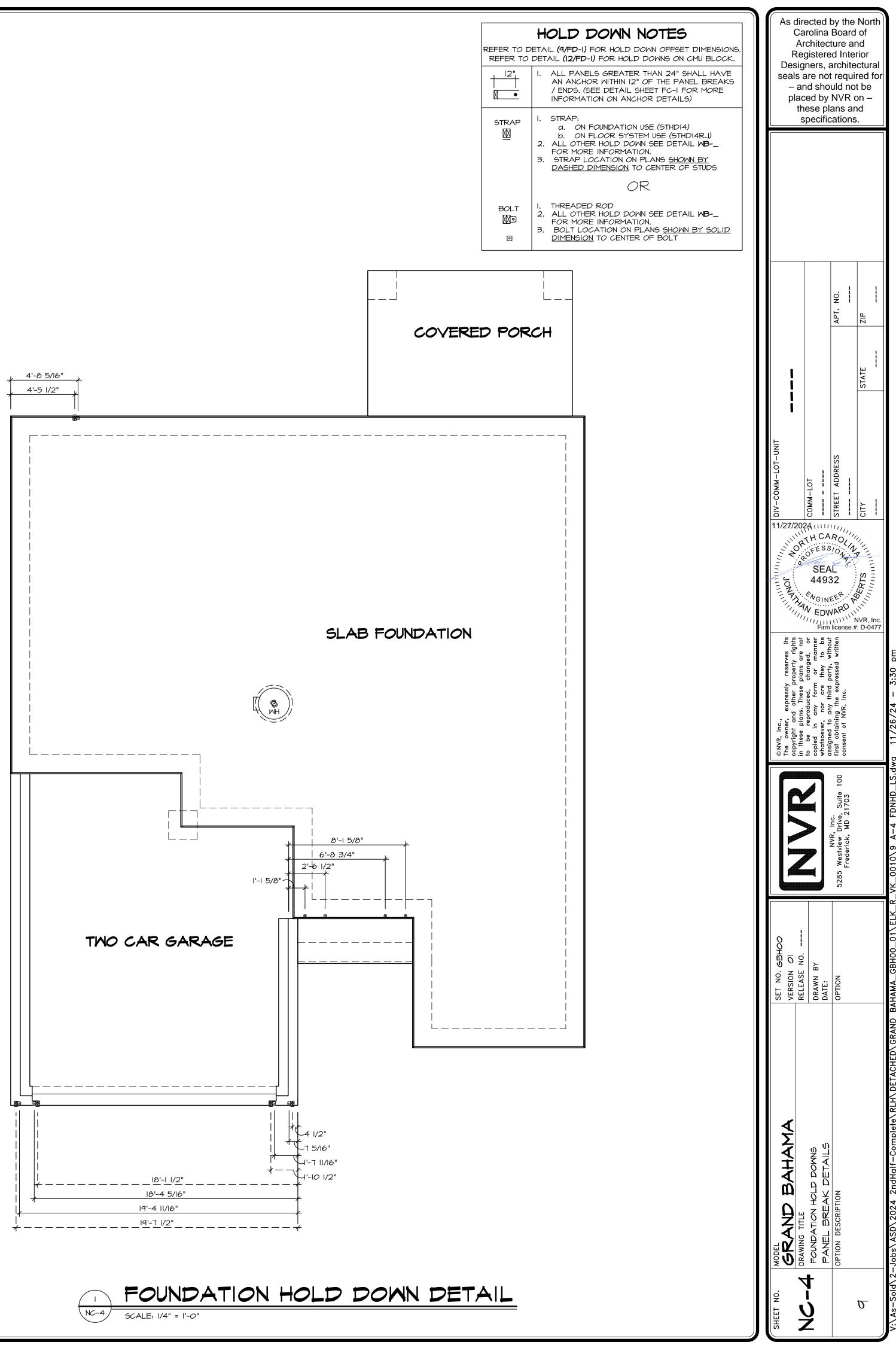
-SEE FA DETAILS FOR FIRE

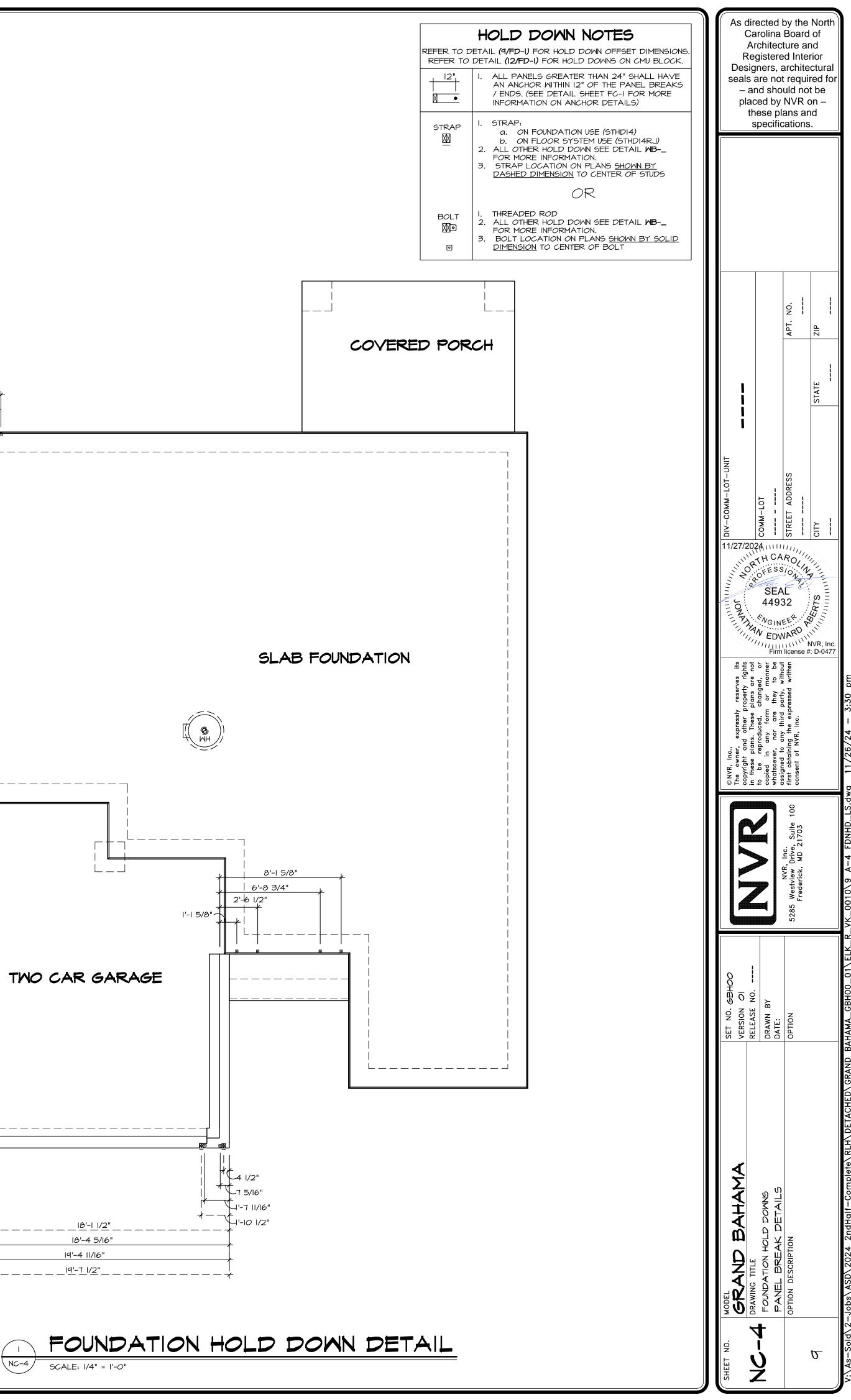
ASSEMBLIES -SEE FC DETAILS FOR FRAMING CONNECTORS AND MATERIAL USAGE



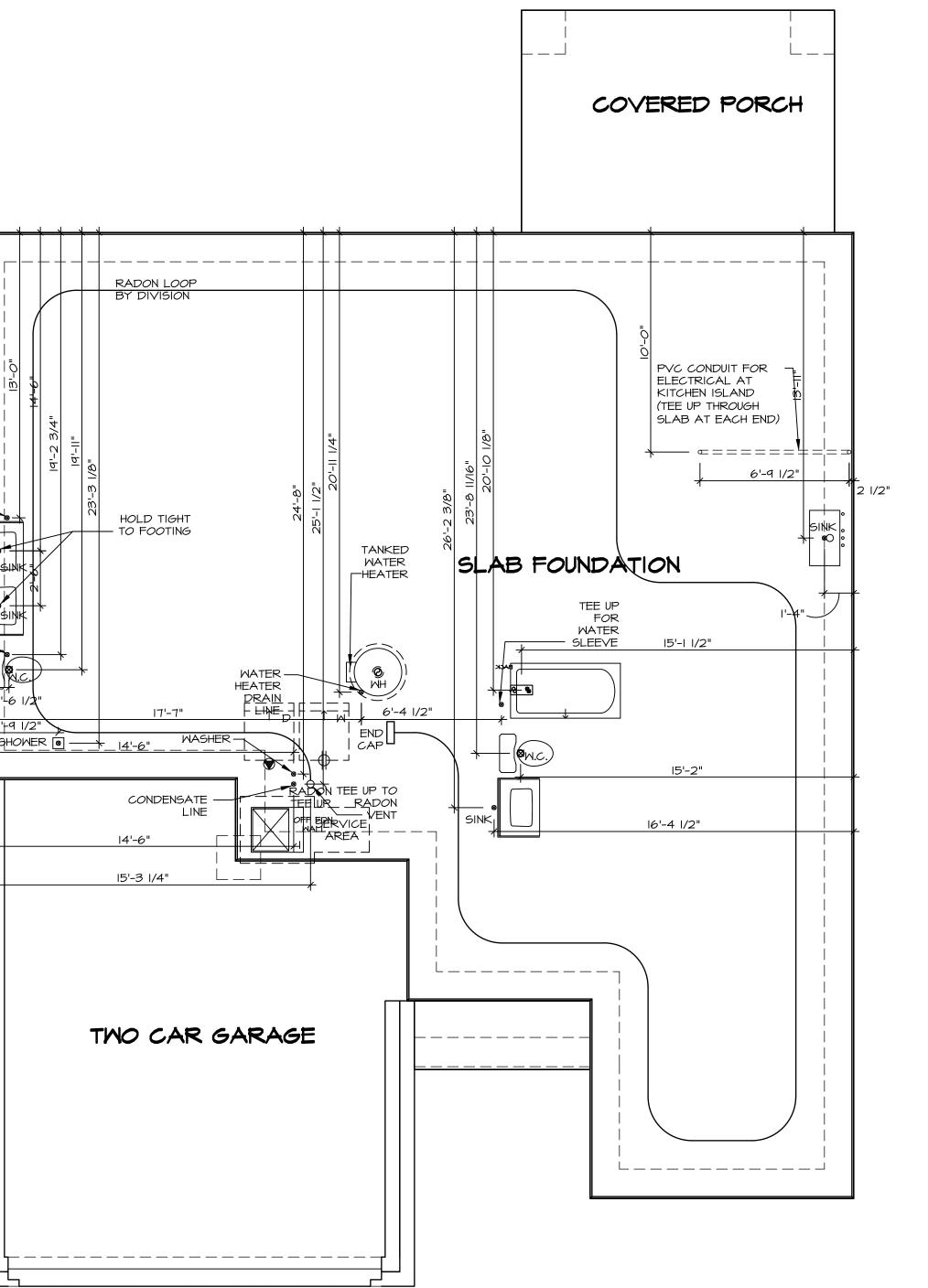








		J
		<u> </u> <u> </u>
		TEE UP FOR WATER SLEEVE
		SLEEVE
		TEE UP FOR WATER SLEEVE





INSTALLATION OF RADON STACK AND LOOP TO BE DETERMINED BY DIVISION

- PLUMBING NOTES: RADON REMEDIATION RADON LOOP: (4") PERFORATED HDPE "LOOP" MUST BE PLACED IN STONE BED SLIGHTLY HIGHER THAN ANY INTERIOR DRAINTILE LOOP TO BE SEPARATE FROM ANY DRAINTILE ELEMENTS TO BE CORRUGATED HDPE PIPE SCREWS TO BE INSTALLED THROUGH LOOP AT TEE UP INTO STACK STACK REQUIREMENTS:
- STACK REQUIREMENTS:
- 3" PVC STACK (4" IF BASEMENT IS GREATER THAN 2200 SQFT.) NO PART OF STACK IS TO BE HORIZONTAL (45° ELBOWS PERMITTED AS REQUIRED)
- PIPE TO BE PHYSICALLY LABELED IN THE FIELD AS "RADON VENT" OR OTHER JURISDICTIONALLY REQUIRED LANGUAGE (ON EVERY LEVEL OF HOUSE)
- ROOF TERMINATION TO BE IN TOP 1/3 OF ROOF SCREEN OR VENT CAP INSTALLED TO KEEP PESTS OUT OF RADON VENT AT ROOF TERMINATION.

Re Desig seals a – ar plac th		red Ir arch ot reo ould y NV plans	nte nite qui no R (ar	rior ectur red t be on – nd	for e
DIV-COMM-LOT-UNIT	COMM-LOT	STREET ADDRESS		СІТҮ	
© NVR, Inc., The owner, expressly reserves its copyright and other property rights in these plans. These plans are not	to be reproduced, changed, or copied in any form or manner whatsoever, nor are they to be	5285 Westview Drive, Suite 100			
SET NO. GBHOO Image: Construction of the		VNR, Inc. 5285 Westview Drive, Suite 100			

	FIRST FLOOR JACK	SCHEDUL	E	
IDENTIFIER	DESCRIPTION	ENG. NUM.	REMARKS	
IOIL	JACK - (3) 2X4 SP#I	1000	EXTEND THRU TOP PLATE	
JIO2	JACK - (3) 2X4 SP#I	1000	EXTEND THRU TOP PLATE	
SOIL	JACK - (2) 2X4 SPF STUD GRADE	1000		
JIO4	JACK - (2) 2X4 SPF STUD GRADE	1000		
JI05 JI06	JACK - (2) 2X4 SPF STUD GRADE JACK - (2) 2X4 SPF STUD GRADE	1003 1003		
TOIL	JACK - (2) 2X4 SPF STUD GRADE	1003		
4 OIL	JACK - (2) 2X4 SPF STUD GRADE	1001		
SIIL	JACK - (2) 2X4 SPF STUD GRADE	1005		
JII4	JACK - (2) 2X4 SPF STUD GRADE	1005		
JII5	JACK - (3) 2X4 SPF STUD GRADE	1018		
911L	JACK - (3) 2X4 SPF STUD GRADE	1018		
LVL PL	Y TO PLY FASTENING SC	HEDULE		BLE BASED ON LVL USAGE
3.A - (2) PL LVL F 4.A - (3) PL FROM EACH 5.A - (3) PL FROM EACH 6.A - (3) PL OR A 7.A - (4) PL	1/2" WIDE LVL FASTEN PLIES W/ (4) I Y 20" TALL AND OVER: FASTEN PLIE ASTEN PLIES W/ (5) ROWS 12D NAILS Y UP TO AND INCLUDING II 7/8" TALL 1 EACH SIDE OR ALT I 1/2" WIDE LVL SIDE. Y 14" UP TO AND INCLUDING 18": FAS 1 EACH SIDE OR ALT I 1/2" WIDE LVL SIDE. Y 20" TALL AND OVER: FASTEN PLIE LT I 1/2" WIDE LVL FASTEN PLIES W/ Y (ALL SIZES): FASTEN PLIES W/ (2) SHOP DRAWING FOR ADDITIONAL INFO	ES W/ (4) RC AT I2"O.C. FASTEN PLI FASTEN PLIES M FASTEN PLIES M FASTEN PLII ES W/ (4) RC (5) ROMS I2I ROMS I/2" D	DWS 16D NAILS AT 12 LIES W/ (2) ROWS 16D ES W/ (3) ROWS 12D 1 V (3) ROWS 16D NAIL ES W/(4) ROWS 12D N DWS 16D NAILS AT 12 D NAILS AT 12"O.C. F	NAILS AT 12" O.C. NAILS AT 12"O.C. FROM S AT 12"O.C. AILS AT 12"O.C. FROM " O.C. FROM EACH SIDE ROM EACH SIDE.
FLOO	R PLAN NOTES:			
I. ALL HEA 2x6 WA 2. ALL HEA STUD EA MULTI-O INTERME ADDITIC LOAD F	ADERS ARE (2) 2x6 w/ 2x4 WALLS OF LLS, UNLESS OTHERWISE NOTED. ADERS TO HAVE (1) 2x4 OR 2x6 JACH ACH END, UNLESS OTHERWISE NOTED. PENING HEADERS TO HAVE (2) JACKS EDIATE BEARING, UNLESS OTHERWISE DNAL FLOOR SYSTEM BLOCKING OR (ATH JACKS ARE REQUIRED UNLESS (< AND KING S AT NOTED. NO CONTINUOUS		
	TERIOR WALLS TO BE 4" OR 6" AND .			
4. HATCHE DROPPE SEE AR	R WALLS TO BE 3 1/2", UNLESS OTHER D AREAS INDICATE DROPPED CEILIN ED CEILINGS ARE 12" UNLESS OTHERW CHITECTURAL DETAIL 8/IT-IB FOR 3/4	GS. ALL IISE NOTED.	2.	
5. SEE "BR	NG AT BULKHEAD / CEILING PANELS 2ACED WALL PANEL DETAIL SHEET" F RAMING LOCATIONS AND HEADER SIZ ABLE.		-	
INTERIO	ANDARD DETAIL CATEGORY "IT" SHEE R TRIM DETAILS.			
SPECIFI	CHITECTURAL DETAIL SHEET "AD" FO C INTERIOR TRIM OPTION TABLE.			
SINGLE ABOVE,	ADERS IN NON-BEARING WALLS SHAL FLAT 2X4 OR 2X6 ATTACHED TO CR UNLESS OTHERWISE NOTED. 9 WATER HEATER SHOWN AS BASE CC	IPPLES		
OPTION, LIEU OF	AL TANKLESS WATER HEATER IS AVA TANKED WATER HEATER.	ALABLE IN		

- IO. INTERIOR HEADER HEIGHT FOR 8' CEILING WILL BE 6'-II", 9' CEILING WILL BE 7'-II", IO' CEILING WILL BE 8'-3", UNLESS OTHERWISE NOTED.
- BASEMENT FINISH DIMENSIONS ASSUME A 1/2" GAP BETWEEN FRAME WALL AND CONCRETE WALL.
- ALL INTERIOR BEARING WALLS SHALL HAVE GYPSUM APPLIED TO AT LEAST ONE SIDE OR HAVE MID-HEIGHT
- BLOCKING INSTALLED. NON-BEARING WALLS OVER CONCRETE TO BE HELD 1/2" SHORT OF FRAMING ABOVE.

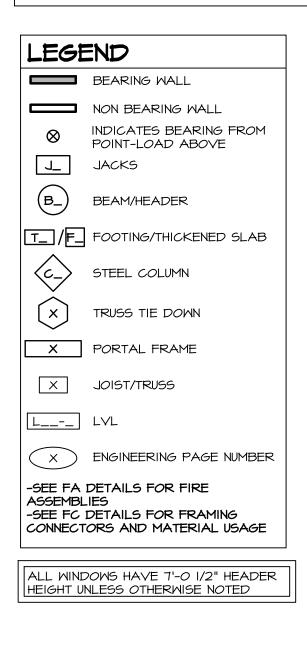
GYPSUM NOTES:

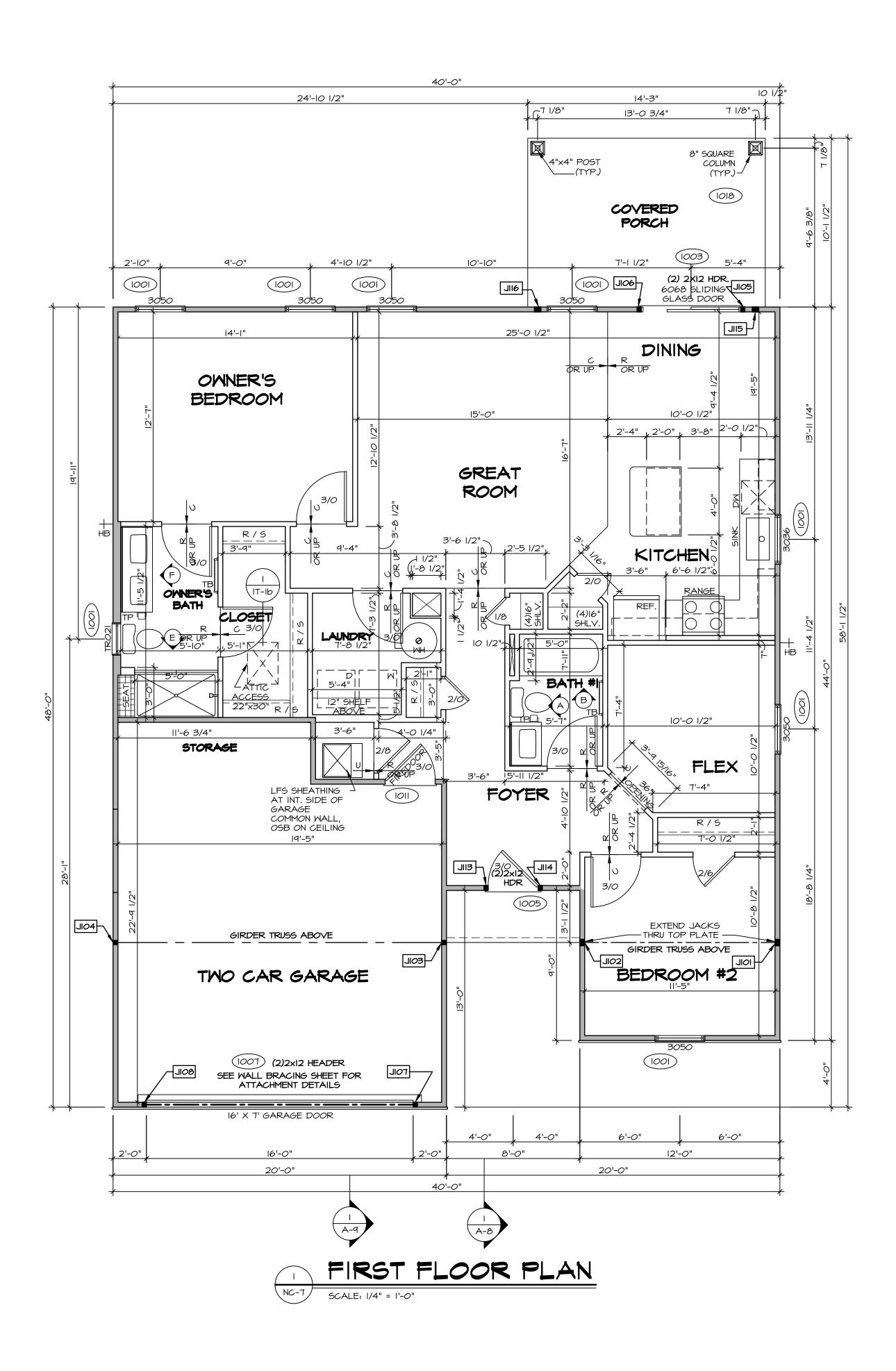
AT GARAGE:

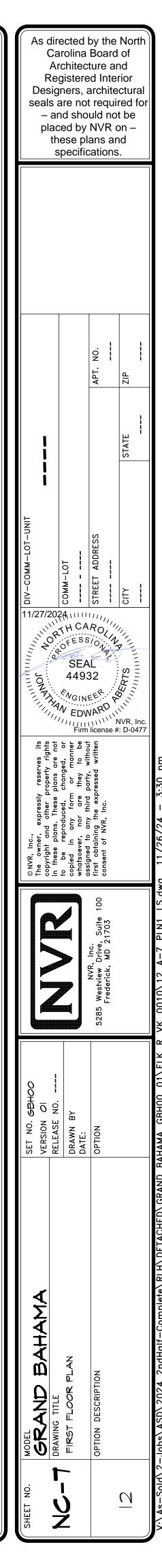
GYPSUM BOARD AT COMMON WALLS, CEILINGS, BEAM WRAPS AND SUPPORTS PER STANDARD DETAIL FA-1(b) FIRE ASSEMBLIES OR AS REQUIRED BY LOCAL CODE.

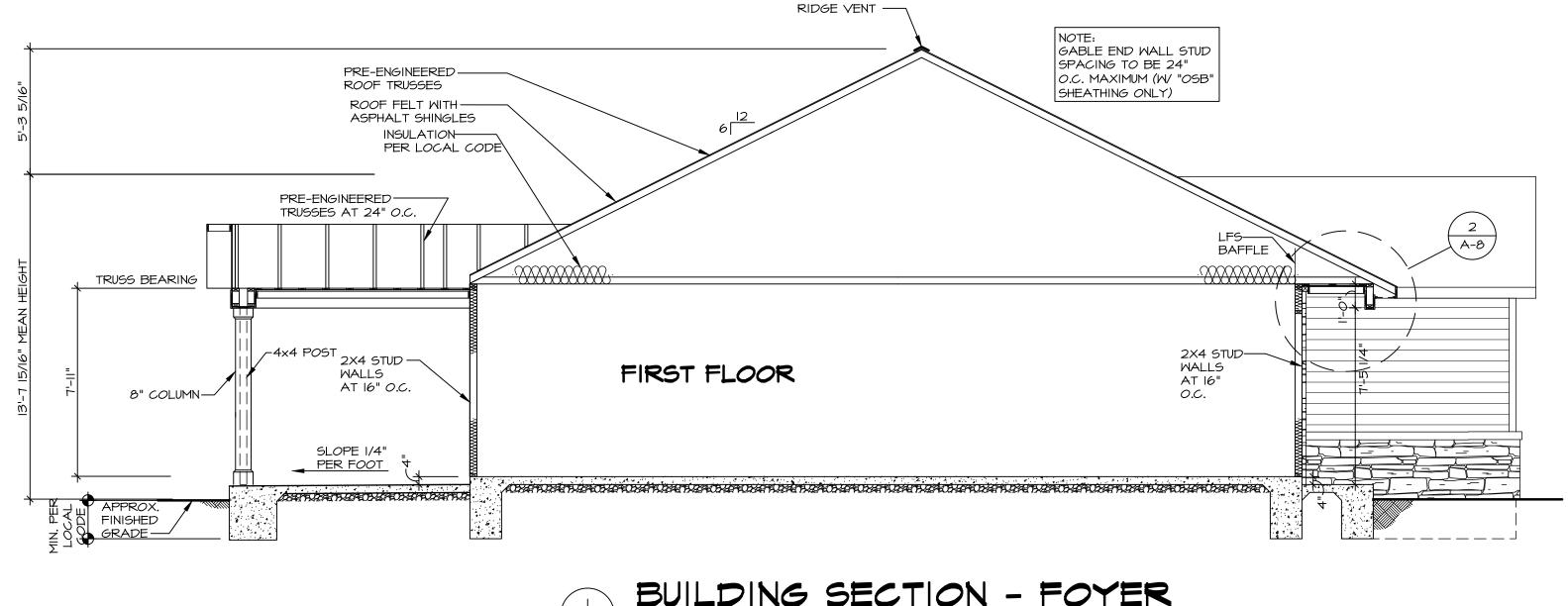
AT STAIRS:

1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET



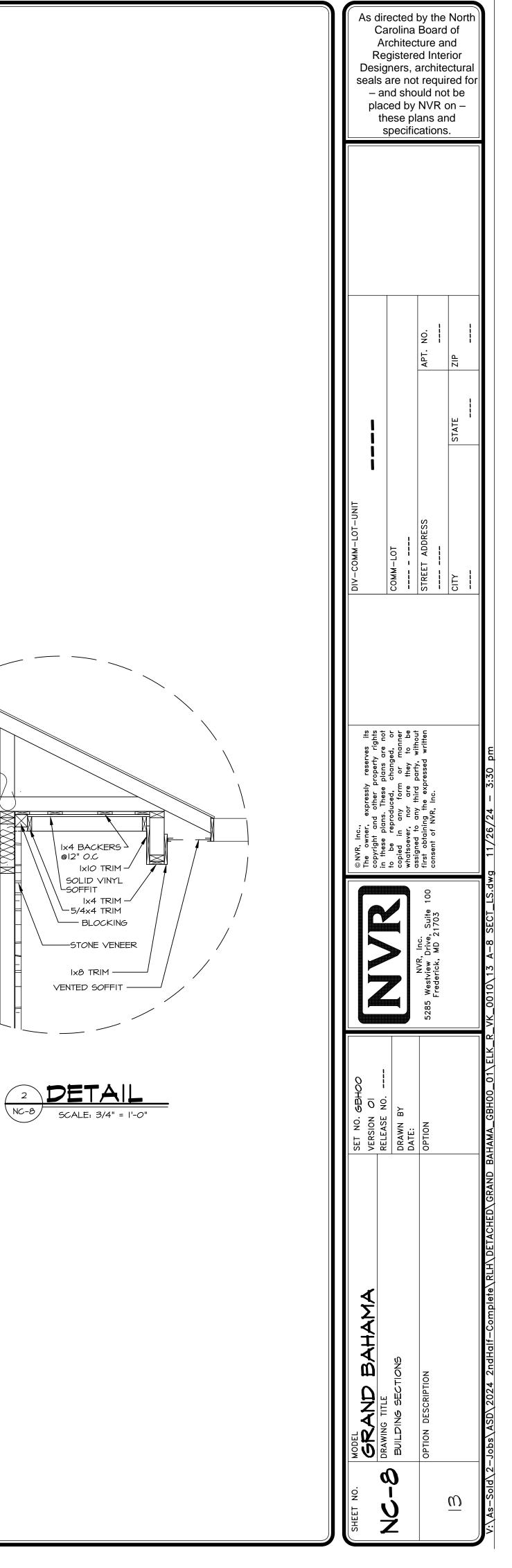


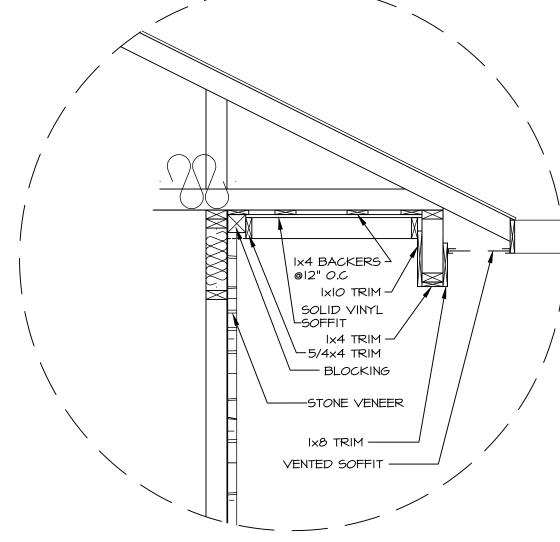


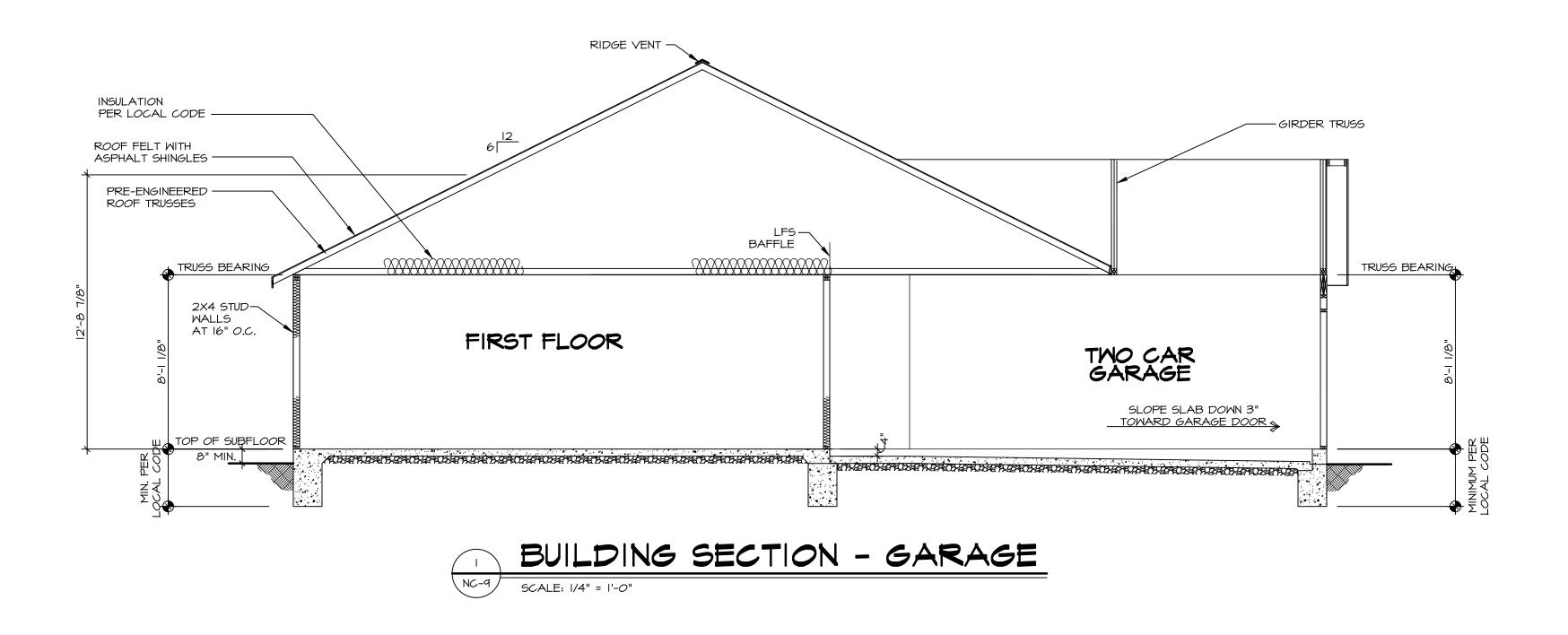




BUILDING SECTION - FOYER







SET NO. GBHOO		© NVR, Inc.,	DIV-COMM-LOT-UNIT	
VERSION OI		The owner, expressly reserves its copyright and other property rights		
RELEASE NO				
DRAWN BY		to be reproducea, cnangea, or copied in any form or manner	COMM-LOT	
DATE:				
OPTION 5.	NVK, Inc. 5285 Westview Drive, Suite 100		STREET ADDRESS	APT. NO.
	Frederick, MD 21703			
			CITY STATE	ZIP

		TRUS	S SCHE	DULE	
QUANTITY	SPECS	TRUSS NUMBER	LENGTH	ROOF PITCH (X/I2)	REMARKS
2	SE	14544	12'-0"	8/12	COMMON
4	SE	14545	20'-0"	8/12	COMMON
I	SE	14546	12'-0"	8/12	COMMON
	SE	14547	20'-0"	8/12	COMMON
1	SE	14549	12'-0"	8/12	COMMON
	SE	17641	20'-0"	8/12	COMMON
5	SE	18423	14'-0"	4/12	COMMON
5	SE	18424	38'-0"	6/12	COMMON
I	SE	18425	38'-0"	6/12	COMMON
I	SE	18426	38'-0"	6/12	COMMON
2	SE	18453	38'- <i>0</i> "	6/12	COMMON
I	SE	18454	38'-0"	6/12	COMMON
9	SE	18455	38'- <i>0</i> "	6/12	COMMON
I	SE	18456	38'-0"	6/12	COMMON
I	SE	18457	38'-0"	6/12	COMMON
I	SE	18591	14'-0"	4/12	COMMON
2	VT	00861	3'-0"	8-6/12	COMMON
2	VT	00862	6'-0"	8-6/12	COMMON
2	VT	00863	9'-0"	8-6/12	COMMON
2	VT	00864	12'-0"	8-6/12	COMMON
	VT	00865	15'-0"	8-6/12	COMMON
	VT	00866	18'-0"	8-6/12	COMMON
	VT	95510	6'-0"	4-6/12	COMMON
	VT	95511	12'-0"	4-6/12	COMMON

FIELD INSTALLED ROOF FRAMING BEAM/HEADER

SCHEDULE					
IDENTIFIER	DESCRIPTION	LENGTH	ENG. NUM.	REMARKS	
LI01-2	LVL 1.75 - 09-04	10'-0"	1018	I.A	
LI02-2	LVL 1.75 - 09-04	10'-0"	1018		
L102-2	LVL 1.75 - 09-04	10'-0"	1018	I.A	

LVL PLY TO PLY FASTENING SCHEDULE: (WHERE APPLICABLE BASED ON LVL USAGE) I.A - (2) PLY UP TO AND INCLUDING II 7/8" TALL: FASTEN PLIES W/ (2) ROWS I6D NAILS AT 12" O.C. OR ALT I 1/2" WIDE LVL FASTEN PLIES W/ (3) ROWS 12D NAILS AT 12" O.C.

- 2.A (2) PLY 14" UP TO AND INCLUDING 18": FASTEN PLIES W/ (3) ROWS 16D NAILS AT 12" O.C. OR
- ALT I I/2" WIDE LVL FASTEN PLIES W/ (4) ROWS I2D NAILS AT I2"O.C. 3.A - (2) PLY 20" TALL AND OVER: FASTEN PLIES W/ (4) ROWS I6D NAILS AT I2" O.C. OR ALT I I/2" WIDE LVL FASTEN PLIES W/ (5) ROWS I2D NAILS AT I2"O.C.
- 4.A (3) PLY UP TO AND INCLUDING II 7/8" TALL: FASTEN PLIES W/ (2) ROWS I6D NAILS AT 12" O.C. FROM EACH SIDE OR ALT I 1/2" WIDE LVL FASTEN PLIES W/ (3) ROWS 12D NAILS AT 12"O.C. FROM EACH SIDE.
- 5.A (3) PLY 14" UP TO AND INCLUDING 18": FASTEN PLIES W/ (3) ROWS 16D NAILS AT 12"O.C. FROM EACH SIDE OR ALT I 1/2" WIDE LVL FASTEN PLIES W/(4) ROWS 12D NAILS AT 12"O.C. FROM EACH SIDE.

6.A - (3) PLY 20" TALL AND OVER: FASTEN PLIES W/ (4) ROWS 16D NAILS AT 12" O.C. FROM EACH SIDE OR ALT I 1/2" WIDE LVL FASTEN PLIES W/ (5) ROWS 12D NAILS AT 12"O.C. FROM EACH SIDE.
7.A - (4) PLY (ALL SIZES): FASTEN PLIES W/ (2) ROWS 1/2" DIAMETER A307 BOLTS AT 12" O.C. SEE SHOP DRAWING FOR ADDITIONAL INFORMATION.

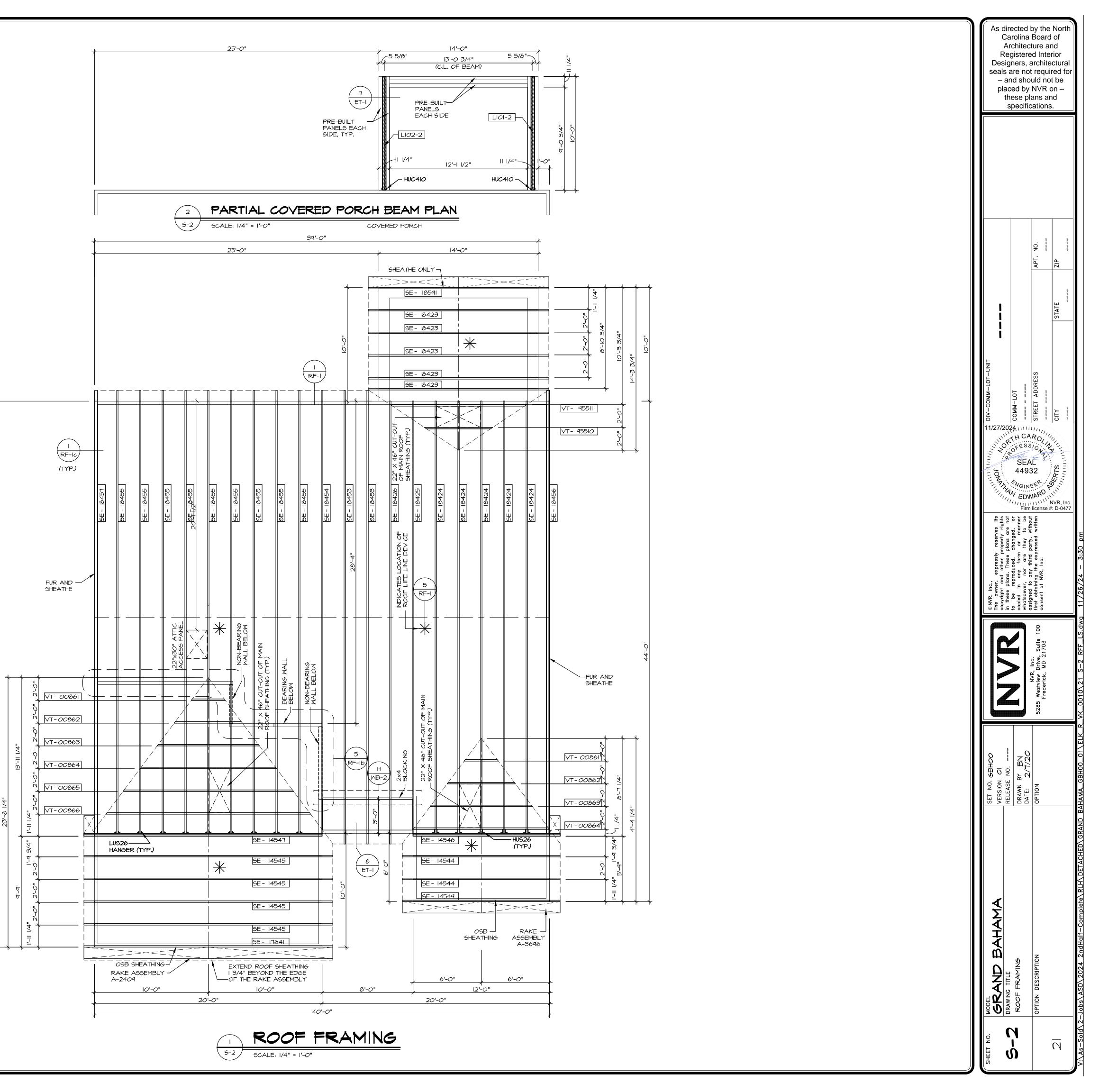
ROOF FRAMING NOTES:

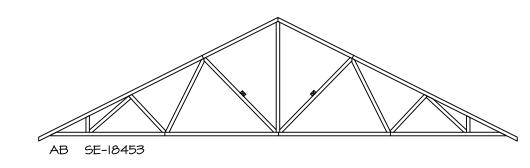
- . REFER TO THE STANDARD DETAILS FOR THE FOLLOWING:
- I.I. TRUSS TIE-DOWNS (I/RF-I) I.2. PIGGYBACK TRUSS ATTACHMENT (2/RF-I)
- I.3. VALLEY GABLE TRUSS BRACING (3/RF-I)
- I.4. GABLE BRACING (I/RF-IC)
- I.5. TURN GABLE BRACING (1/RF-I) I.6. TRUSS LATERAL BRACING (2/RF-IC)
- I.7. LIFELINE ATTACHMENT (5/RF-I)
- I.8. FALL PROTECTION ON PLATFORM TRUSS (II/RF-I)
- 2. IF TRUSS DOES NOT APPEAR ON THE TRUSS BRACING SHEET, NO ADDITIONAL LATERAL BRACING REQUIRED
- 3. ALL FINISHED ROOF OVERHANGS ARE TO BE 12" FROM FRAMED WALL UNLESS OTHERWISE NOTED.

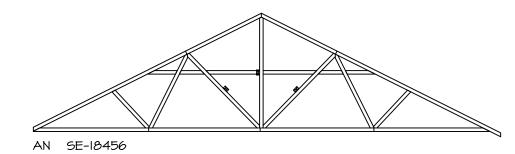
LEGEND

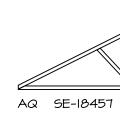
BEARING WALL INDICATES BEARING FROM \otimes POINT-LOAD ABOVE J_____JACKS (B_ BEAM/HEADER T_/F_ FOOTING/THICKENED SLAB $\langle - \rangle$ STEEL COLUMN $\left[\times \right]$ TRUSS TIE DOWN X PORTAL FRAME X JOIST/TRUSS L___ LVL X ENGINEERING PAGE NUMBER -SEE FA DETAILS FOR FIRE

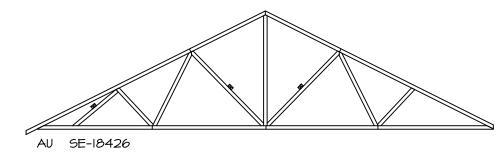
ASSEMBLIES -SEE FC DETAILS FOR FRAMING CONNECTORS AND MATERIAL USAGE

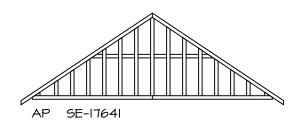


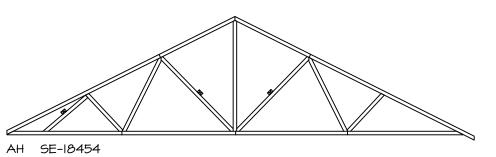


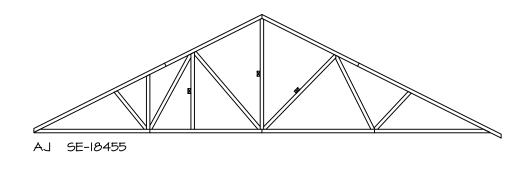


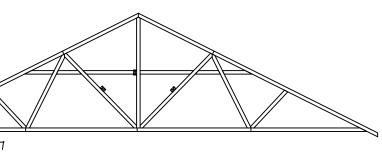


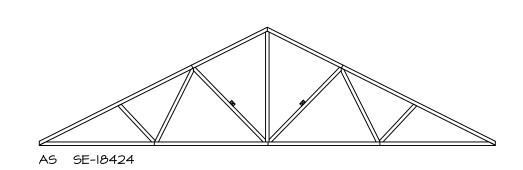










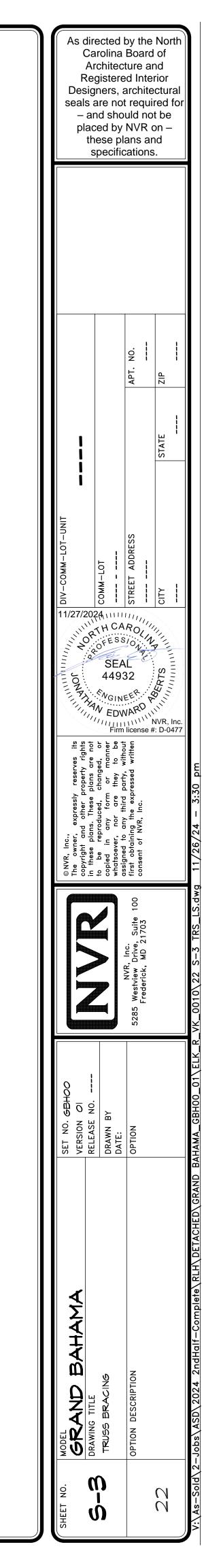


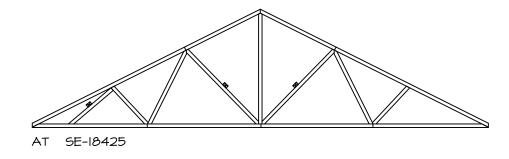
TRUSS BRACING DETAILS 5-3

SCALE: 1/4" = 1'-0"

TRUSS BRACING NOTES:

- IF TRUSS DOES NOT APPEAR ON THIS TRUSS BRACING SHEET, NO ADDITIONAL LATERAL BRACING IS REQUIRED. 2. 2X4 SPF#2 LATERAL BRACES SHALL BE NAILED TO MINIMUM (3) TRUSS MEMBERS WITH MINIMUM (2) IOD
- NAILS. PROVISIONS MUST BE MADE AT ENDS OR SPECIFIED INTERVALS TO RESTRAIN OR ANCHOR LATERAL BRACING.
- WEB "T" BRACE, DETAIL **3/RF-IC**, IS REQUIRED WHERE LATERAL BRACING IS NOT CONTINUOUS ACROSS THREE (3) OR MORE TRUSSES AND MAY BE USED IN LIEU OF 2X4 LATERAL BRACING. DIAGONAL BRACING REQUIRED WHEN LATERAL
- BRACING IS REQUIRED (4/RF-Ic)
- STUDDED GABLE BRACING DETAIL (I/RF-IC) TO BE
- UTILIZED FOR TRUSSES 6'-9" IN HEIGHT OR GREATER. PARTIALLY SHEATHED GABLES, SEE (5/RF-IC) FOR "L"
- BRACING WHEN REQUIRED. LATERAL BRACING CAN BE APPLIED TO EITHER SIDE
- OF THE WEB MEMBER IDENTIFIED IN THE DRAWING. OF SHEATHING (OSB OR GYPSUM) REPLACES LATERAL AND DIAGONAL TRUSS BRACING.





EASTENING SCHEDULE

FAS	tening schel	JULE	
	EACTENED	SPA	CING
SHEATHING	FASTENER	EDGES	FIELD
PRESCRIPTIVE 7/16" WOOD STRUCTURAL	8d COMMON NAILS	6" O.C.	6" O.C.
PANELS OR EQUIVALENT (W/ METHOD WSP, CS-WSP, CS-G)	ALTERNATIVE FASTENER I-3/4" I6-GAUGE CORROSION RESISTANT STAPLES	3" <i>O</i> .C.	6" O.C.
	A - 8d COMMON NAILS	4" <i>O</i> .C.	6" O.C.
	A - I-3/4" I6-GAUGE CORROSION RESISTANT STAPLES	3" O.C.	6" O.C.
ENGINEERED 7/16" WOOD STRUCTURAL	B - 8d COMMON NAILS*	3" O.C.	6" O.C.
PANELS (W/ METHOD ENG-WSP-A, ENG-WSP-B,	B - I-3/4" I6-GAUGE CORROSION RESISTANT STAPLES	N/A	6" O.C.
ENG-WSP-C)	C - 8d COMMON NAILS* SHEATHING ON BOTH SIDES OF THE WALL	3" O.C.	6" O.C.
	C - I-3/4" I6-GAUGE CORROSION RESISTANT STAPLES SHEATHING ON BOTH SIDES OF THE WALL	N⁄A	6" O.C.
I/2" GYPSUM WALLBOARD (W/ METHOD	I-1/4" LONG, I/4" HEAD, .098" DIA. ANNULAR-RINGED NAILS	7" О.С.	7" O.C.
GB-I, GB-2, ENG-GBI-A)	CORROSION RESISTANT TYPE W I-I/4" DRYWALL SCREWS	7" O.C.	7" O.C.
I/2" GYPSUM WALL BOARD BLOCKED AT THE EDGES (W/ METHOD GB-BW-I, GB-BW-2, ENG-BW)	BLOCKING REQUIRED AT ALL GYPSUM EDGES. USE CORROSION RESISTANT TYPE W I-I/4" DRYWALL SCREWS	4" <i>O</i> .C.	12" O.C.
NOTES:			5

- NOTES:
 MINIMUM 7/16" CROWN WIDTH FOR STAPLES IN WOOD STRUCTURAL PANEL.
 SPECIFIED GYPSUM FASTENING REQUIRED ONLY WHERE METHOD GB IS IDENTIFIED. SEE PHASE SPECS FOR TYPICAL GYPSUM FASTENER SPACING.
 USE OF STAPLES IN WOOD STRUCTURAL PANEL AS FASTENING METHOD ON WALLS PER ENGINEERED AL TERNATIVE
- ALTERNATIVE. STAPLE ALTERNATIVE FOR USE IN FIELD ONLY WALL PANELS NOT IDENTIFIED AS BRACED WALL PANELS SHALL BE FASTENED IN ACCORDANCE WITH THE 4 WSP/ENG-WSP-A METHOD.

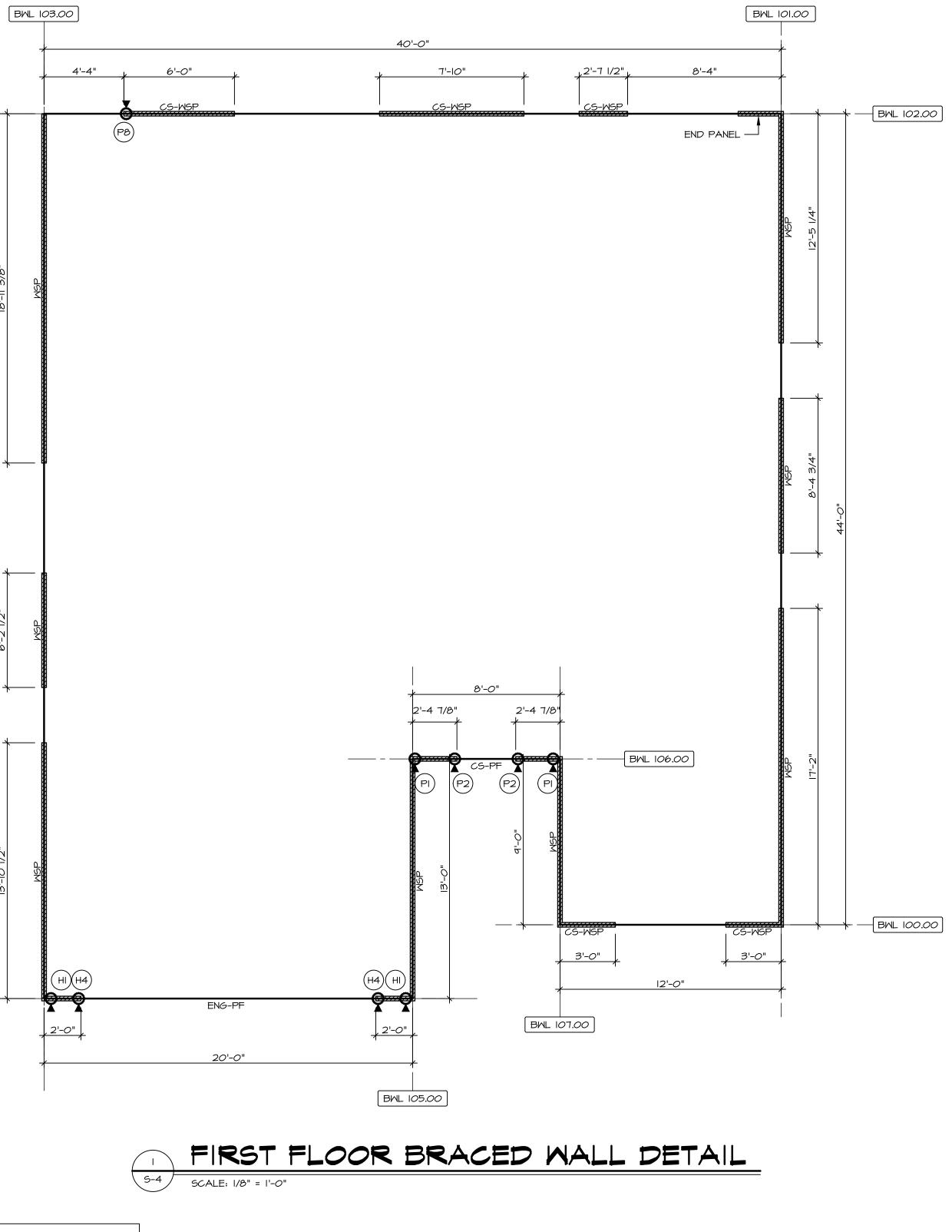
BRACING LEGEND

BML XXX.XX	BRACED WALL LINE I.D.
	BRACED WALL LINE
	HOUSE WALL
7///////	BRACED WALL PANEL
X	ENGINEERING PAGE NUMBER
WSP	WOOD STRUCTURAL PANEL
GB	GYPSUM BOARD (I) SIDED OR (2) SIDED
GB-BW	GYPSUM BOARD BLOCKED WALL CONSTRUCTION (I) SIDED OR (2) SIDED (SEE STANDARD DETAIL G /WB-2)
LIB	LET-IN BRACING (SEE STANDARD DETAIL F /WB-2)
CS-WSP	CONTINUOUS SHEATHING - WOOD STRUCTURAL PANEL
CS-PF	CONTINUOUS SHEATHING - PORTAL FRAME, SEE FLOOR PLANS FOR PORTAL FRAME HEADER INFORMATION (SEE STANDARD DETAIL A, C/ MB-2)
CS-G	CONTINUOUS SHEATHING - WOOD STRUCTURAL PANEL ADJACENT TO GARAGE OPENINGS
ENG-WSP-A	ENGINEERED DESIGN W/ WALL STRUCTURAL PANEL SHEATHING TYPE 'A FASTENING REQUIREMENTS (NO HOLD DOWNS REQUIRED UNLESS NOTED)
ENG-WSP-B	ENGINEERED DESIGN W/ WALL STRUCTURAL PANEL SHEATHING TYPE 'E FASTENING REQUIREMENTS (NO HOLD DOWNS REQUIRED UNLESS NOTED)
ENG-WSP-C	ENGINEERED DESIGN W/ WALL STRUCTURAL PANEL SHEATHING ON BOT SIDES OF THE WALL TYPE 'C' FASTENING REQUIREMENTS (NO HOLD DOWNS REQUIRED UNLESS NOTED)
ENG-PF	ENGINEERED DESIGN W/ PORTAL FRAME, SEE FLOOR PLANS FOR PORTAL FRAME HEADER INFORMATION (SEE STANDARD DETAIL PAGE WB-I)
ENG-GBI-A	ENGINEERED DESIGN W/ (I) SIDED GYPSUM BOARD TYPE "A" FASTENING REQUIREMENTS
ENG-GBI-B	ENGINEERED DESIGN W/ (1) SIDED GYPSUM BOARD TYPE "B" FASTENING REQUIREMENTS
ENG-BW	ENGINEERED DESIGN W/ (I) SIDED GYPSUM BOARD W/ BLOCK WALL CONSTRUCTION (SEE STANDARD DETAIL I7/WB-I)
ю	 HOLD-DOWN: I. SEE SHEET MB-2 FOR "P_" INDICATOR SCHEDULE AND DETAILS 2. SEE SHEET MB-I FOR "H_" INDICATOR SCHEDULE AND DETAILS 3. ARROW INDICATES LOCATION.
ETHOD IN COMF ODES (IRC) UNL	I ANALYZED UTILIZING A PRESCRIPTIVE PLIANCE WITH INTERNATIONAL RESIDENTIA ESS OTHERWISE NOTED. ENGINEERED WAL MPLIANCE WITH INTERNATIONAL BUILDING

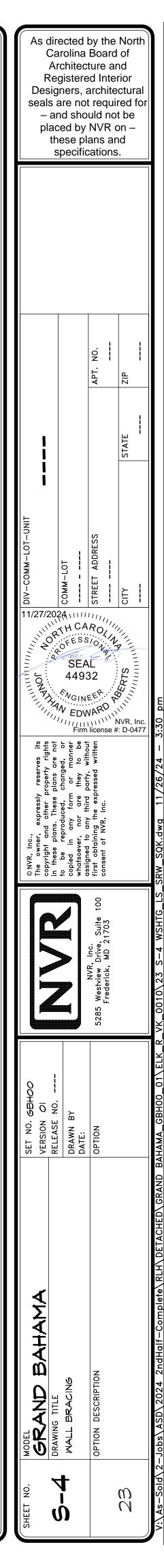
BRACED WALL LINE SCHEDULE										
WIND SPEED (ULT)	IDENTIFIER	REQUIRED (FT)	ACTUAL (FT)	ME						
130 MPH	BWL 100.00	3.89'	6.00'	CONTINUO						
I30 MPH	BWL 101.00	8.38'	38.00'	WSP (1						
130 MPH	BWL 102.00	11.75'	16.46'	CONTINUO						
I30 MPH	BWL 103.00	9.70'	39.00'	WSP (1						
I30 MPH	BWL 104.00	7.38'	6.00'	ENG						
130 MPH	BWL 105.00	5.40'	13.00'	WSP (1						
130 MPH	BWL 106.00	6.21'	8.16'	CONTINUO						
I30 MPH	BWL 107.00	2.33'	9.00'	WSP (1						

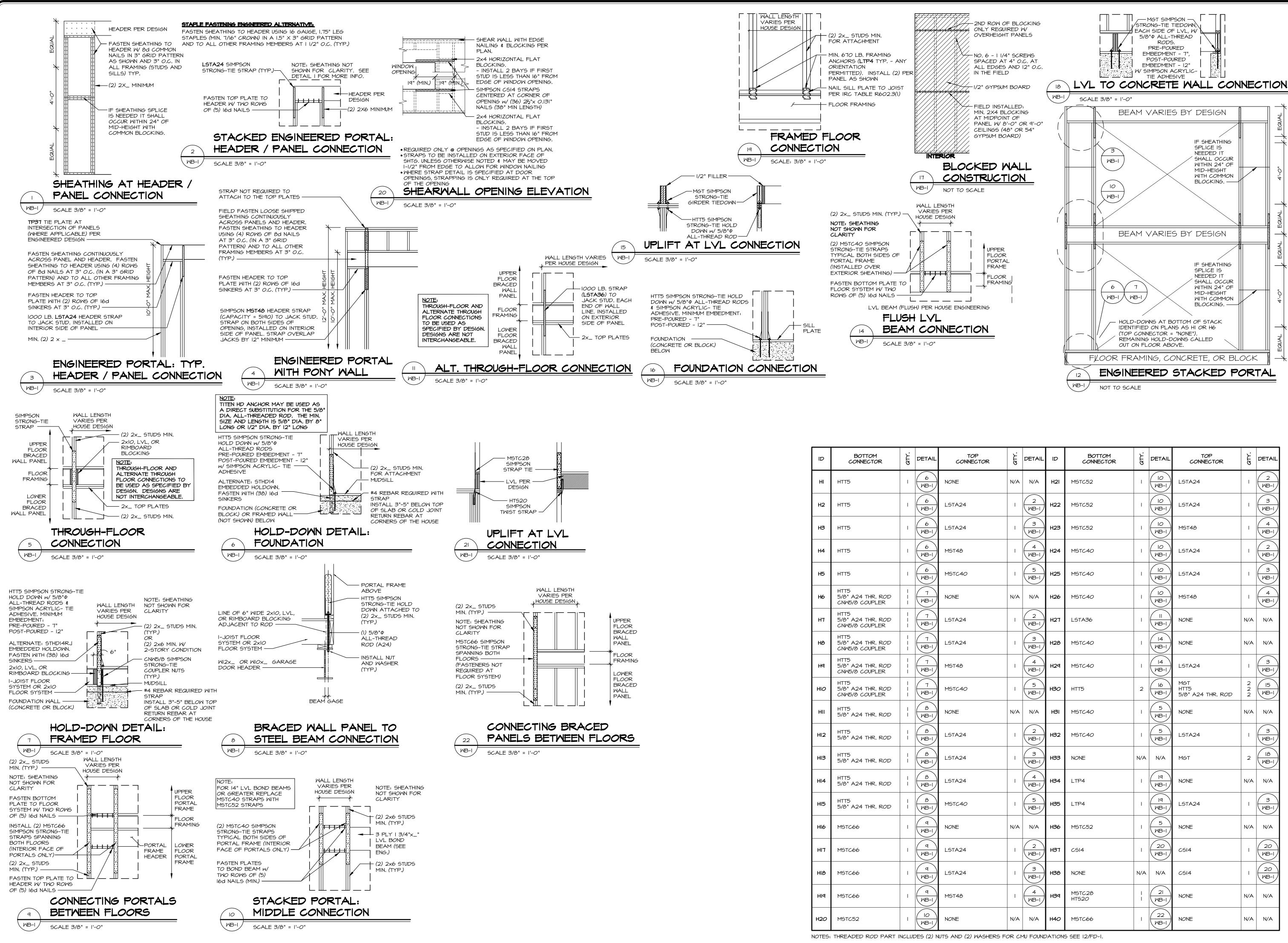
(1305H-001) BWL 104.00

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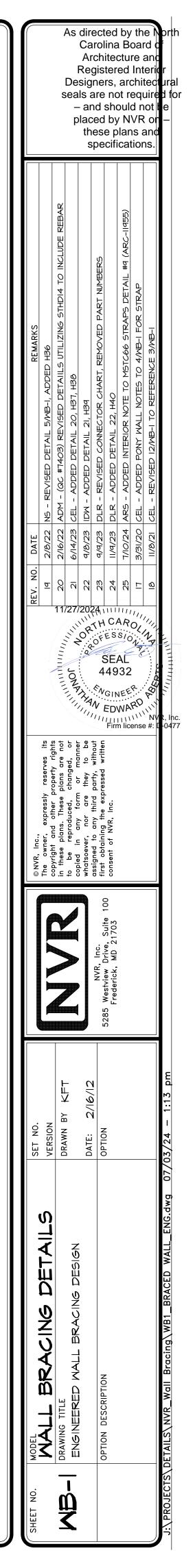
METHOD IOUS (WITH GWB) (WITH GMB) (WITH GMB) (WITH GMB) (WITH GMB) (GINEERED (WITH GMB) (WITH GMB) (WITH GMB)

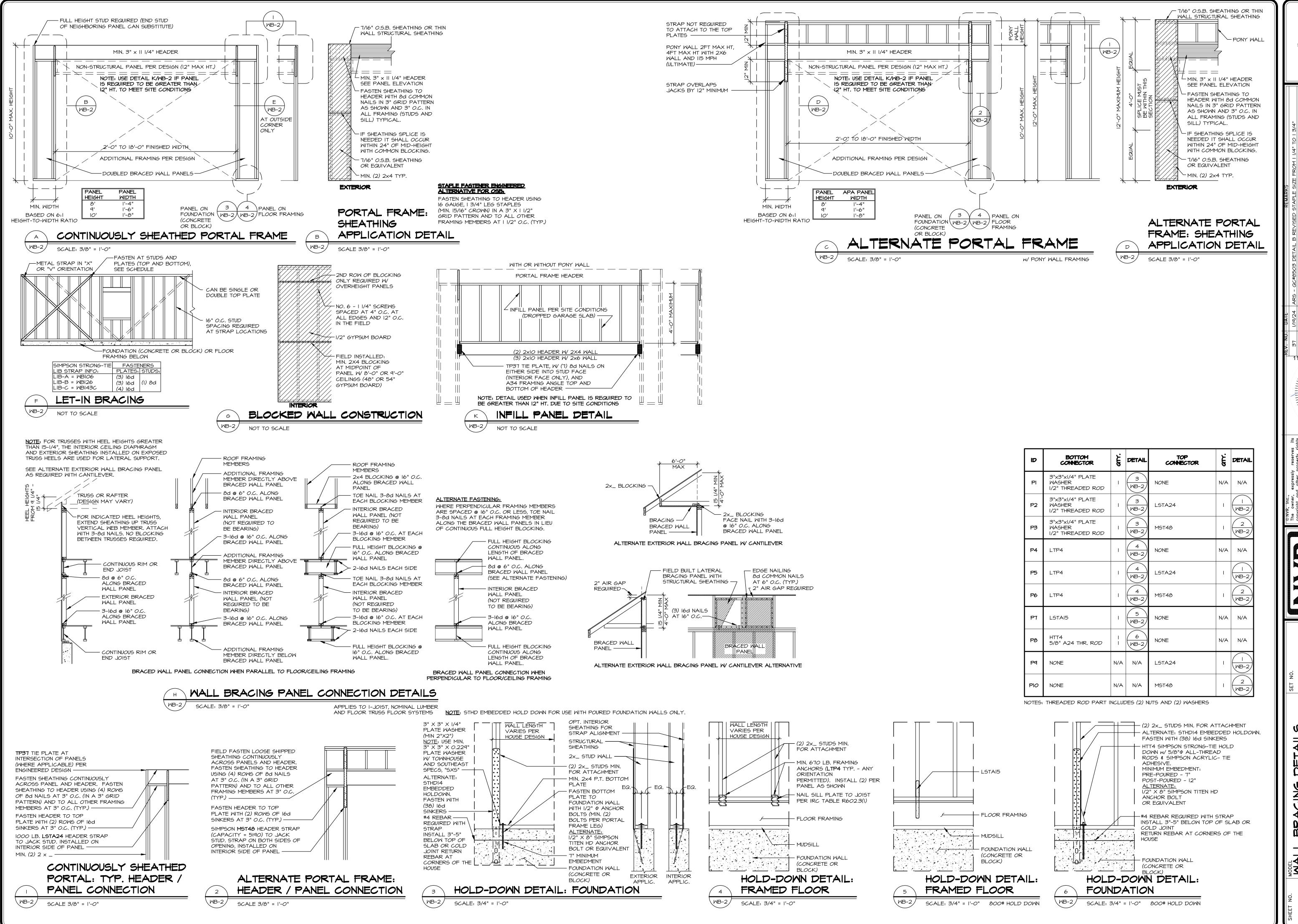




2	PANELS BETWEEN FLOORS
3-1/	SCALE 3/8" = I'-0"

D	BOTTOM CONNECTOR	αту.	DETAIL	TOP CONNECTOR	α17.	DETAIL	םו	BOTTOM CONNECTOR	ату.	DETAIL	TOP CONNECTOR	αту.	DETAIL
н	HTT5	1	6 WB-I	NONE	N/A	N/A	H2I	MSTC52	1	IO MB-I	LSTA24	1	2 WB-I
H2	HTT5	I	6 WB-I	LSTA24	I	2 WB-I	H22	MSTC52	I	IO MB-I	LSTA24	1	3 WB-I
HЗ	HTT5	I	6 MB-I	LSTA24	I	3 WB-I	H23	MSTC52	Ι	IO MB-I	MST48	I	4 WB-I
H4	HTT5	I	6 WB-I	MST48	I	4 WB-I	H24	MSTC40	Ι	IO MB-I	LSTA24	I	2 WB-I
H5	HTT5	I	6 WB-I	MSTC40	I	5 WB-I	H25	MSTC40	I	IO MB-I	LSTA24	I	3 WB-I
Нб	HTT5 5/8" A24 THR. ROD CNW5/8 COUPLER		T WB-I	NONE	N/A	N/A	H26	MSTC40	I	IO WB-I	MST48	1	4 MB-I
H7	HTT5 5/8" A24 THR. ROD CNW5/8 COUPLER		T WB-I	LSTA24		2 WB-I	H27	LSTA36	I		NONE	N/A	N/A
нø	HTT5 5/8" A24 THR. ROD CNW5/8 COUPLER		T WB-I	LSTA24		3 WB-I	H28	MSTC40	I	H4 MB-I	NONE	N/A	N/A
Hq	HTT5 5/8" A24 THR. ROD CNW5/8 COUPLER		7 WB-I	MST48	I	4 WB-I	H29	MSTC40	I	H4 MB-I	LSTA24	I	3 WB-I
ню	HTT5 5/8" A24 THR. ROD CNW5/8 COUPLER		T WB-I	MSTC40		5 WB-I	нзо	НТТБ	2	I6 MB-I	MGT HTT5 5/8" A24 THR. ROD	2 2 2	I5 WB-I
нп	HTT5 5/8" A24 THR. ROD		B WB-I	NONE	N/A	N/A	H3I	MSTC40	I	5 WB-I	NONE	N/A	N/A
HI2	HTT5 5/8" A24 THR. ROD		B WB-I	LSTA24	I	2 WB-I	H32	MSTC40	Ι	5 MB-I	LSTA24	I	3 WB-I
HI3	HTT5 5/8" A24 THR. ROD		B WB-I	LSTA24	I	3 WB-I	нзз	NONE	N/A	N/A	MGT	2	IB WB-I
HI4	HTT5 5/8" A24 THR. ROD		B WB-I	LSTA24	I	4 WB-I	H34	LTP4	I	I9 WB-I	NONE	N/A	N/A
HI5	HTT5 5/8" A24 THR. ROD		B WB-I	MSTC40	I	5 WB-I	H35	LTP4	I	I9 WB-I	LSTA24	I	3 WB-I
HI6	MSTC66		(q WB-I)	NONE	N/A	N/A	H36	MSTC52	I	5 WB-I	NONE	N/A	N/A
HI7	MSTC66	I	(q) WB-I	LSTA24	I	2 WB-I	нзт	C514	Ι	20 MB-I	C514	I	20 WB-1
HIB	MSTC66	I	(q) (MB-I)	LSTA24	1	3 WB-I	НЗӨ	NONE	N/A	N/A	C514	I	20 WB-1
HIA	MSTC66	I	(q WB-I	MST48	I	4 WB-I	НЗЧ	MSTC28 HTS20		21 MB-1	NONE	N/A	N/A
H20	MSTC52	1	IO WB-I	NONE	N/A	N/A	H40	MSTC66	1	22 MB-1	NONE	N/A	N/A
OTES:	THREADED ROD PART I	NCLUI	DES (2) N	UTS AND (2) WASHERS	FOR CN	1U FOUNI	DATION	6 SEE 12/FD-1.					





סו	BOTTOM CONNECTOR	<u>बा</u> र.	DETAIL	top connector	α Υ.	DETAIL
PI	3"x3"x1/4" PLATE WASHER I/2" THREADED ROD	I	B-2	NONE	N/A	N/A
P2	3"x3"x1/4" PLATE WASHER I/2" THREADED ROD	I	B-2	LSTA24	I	I WB-2
P3	3"x3"x1/4" PLATE WASHER I/2" THREADED ROD	1	3 WB-2	MST48	1	2 WB-2
P4	LTP4	I	4 WB-2	NONE	N/A	N/A
P5	LTP4	I	4 WB-2	LSTA24	I	I WB-2
P6	LTP4	Ι	4 WB-2	MST48	Ι	2 WB-2
ΡŢ	LSTAI5	I	5 XB-2	NONE	N/A	N/A
Pð	HTT4 5/8" A24 THR. ROD		6 WB-2	NONE	N/A	N/A
Pq	NONE	N/A	N/A	LSTA24	I	- MB-2
PIO	NONE	N/A	N/A	MST48	I	2 WB-2

	As directed by the Nort Carolina Board of Architecture and Registered Interior Designers, architectura										
	seals are not required fo – and should not be placed by NVR on – these plans and specifications.										
╞											
3710 * 11.10	UATE REMARKS 1/19/24 ARS - QC#8503 DETAIL B REVISED STAPLE SIZE FROM 1 1/4" TO 1 3/4"	1/23/24 DLR - QC#8764 - REMOVED DETAIL E/MB-2 CORNER DETAIL 9/29/20 CEL - QC#6559 - PLATE WASHERS CHANGED TO 3"x3" WITH 1/2" THREADED ROD	10/5/20 CEL - REVISED H/WB-2 TO INCLUDE FLOOR TRUSSES	IO/I3/20 CEL - ADDED NOTES DETAILING MHEN TO USE K/MB-2	4/1/2I ARS - REV. DTL C PONY WALL NOTES	6/3/21 CEL - QC#1328 - REVISED H/WB-2 TO REMOVE USE OF FLAT BLOCKING	12/13/22 DLR - QC#0261 - ADDED PERP. WALL BRACING DTL. AND ALT. F5TNG. TO H/WB-2	9/4/23 DLR - QC#0628 - REVISED CONNECTOR CHART, REMOVED PART NUMBERS			
	H ARS - QC	4 DLR - QC 0 CEL - QCI	O CEL - REV	O CEL - ADI	ARS - RE	I CEL - QCI	2 DLR - QC	3 DLR - QC			
	2	38 1/23/2· 30 q/2q/2	31 10/5/20	32 10/13/2	33 4/7/2	34 6/3/2	35 12/13/2	36 9/9/23			
	117	27/20)2A 2 ⁷¹								
		JONAT	<	449 V _{GI} EC	93: NE WI	2	Se #	SLUS NR, 0	In		
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				NVR, Inc.	Frederick, MD 21703						
	SET NO. VEDSION	DRAWN BY ELH		DATE: 4/8/14	OPTION				1970 John John John John John John John John		
	SHEET NO. MODEL BRACING DETAILS	DRAWING TITLE	PRESCRIPTIVE WALL BRACING DESIGN		OPTION DESCRIPTION				<u>i (no ireici drimi ci nun dradis) und practo uni poreenni</u>		