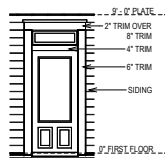


CORNICE DETAIL "A"

SCALE: 1" = 1'-0"



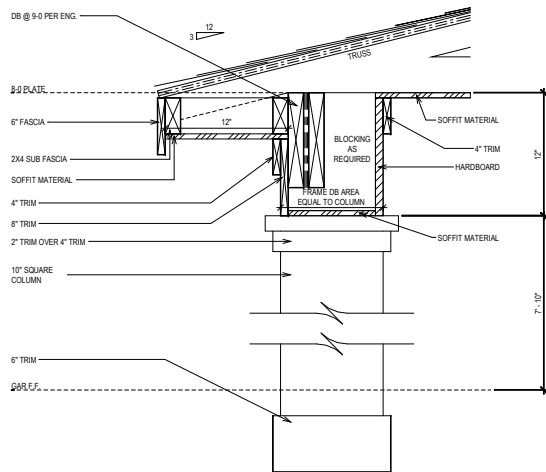
ENTRY DETAIL

SCALE: 1/8" = 1'-0"



FRONT ELEVATION "A"

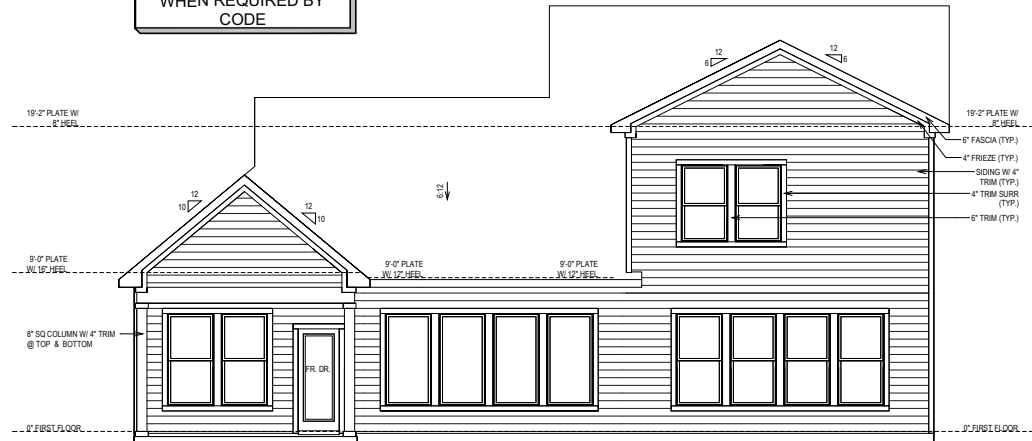
SAME W/ OPT. SUITE



CORNICE DETAIL "B"

SCALE: 1" = 1'-0"

PROVIDE HANDRAIL
WHEN REQUIRED BY
CODE



REAR ELEVATION

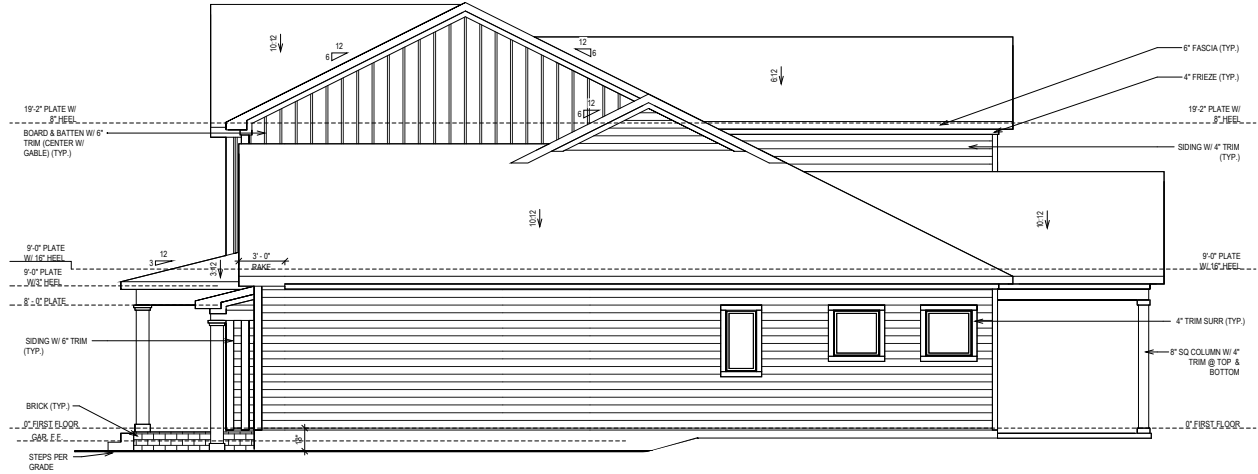
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David Weekley Homes
Scale: 1/8" = 1'-0"
Date: 09/21/2020 Rev: 12/5/23 AM

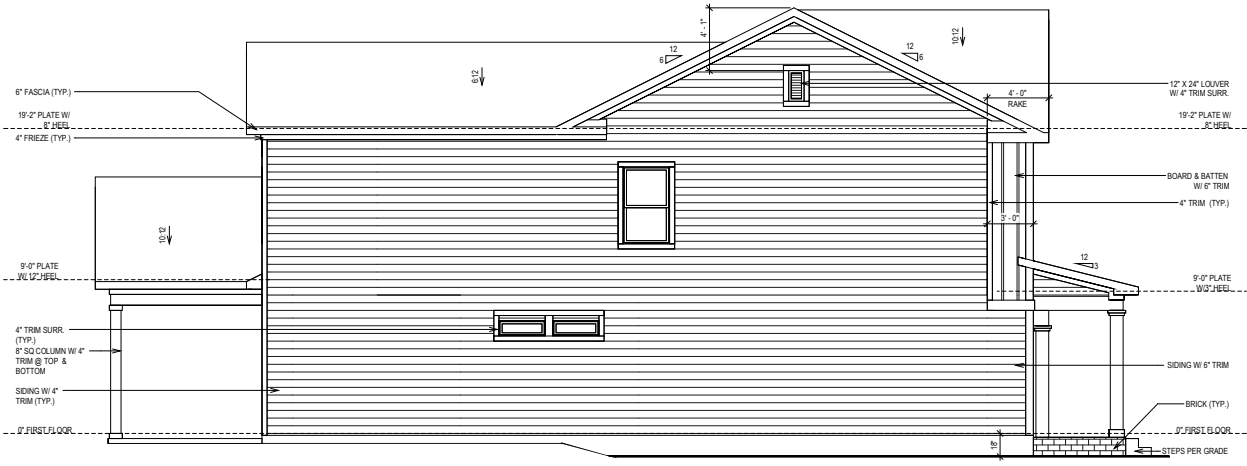
185
Proj. No.: 3277
Lot:
Block:
Job No.: 0185
Sect:

SERENITY 65
794 SERENITY WALK PARKWAY
FUQUAY VARINA, NC

NORTH B329-A
ELV-1
BUCKHORN
RALEIGH



SIDE ELEVATION



SIDE ELEVATION

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 C/N/NU/IR Scale: 1/8"=1'-0"
 Date: 09/21/2020 Rev: 12/5/23 AM

Proj. No.: 185
 Lot: 3277
 Block: 0185
 Sect:

SERENITY 65'
794 SERENITY WALK PARKWAY
FUQUAY VARINA, NC

NORTH
B329-A
ELV-2
BUCKHORN
RALEIGH

SHEET INDEX:

S-0	COVER SHEET
S-0.1	GENERAL STRUCTURAL NOTES
S-1	MONOLITHIC SLAB FOUNDATION PLAN
S-2	SECOND FLOOR FRAMING PLAN
S-3	ROOF FRAMING PLAN
SD-1	BRACED WALL DETAILS
SD-2	HOLD DOWN DETAILS
SD-3	BRACED WALL NOTES & DETAILS
SD-4	PORTAL FRAME DETAILS
SD-5	MISCELLANEOUS FRAMING DETAILS
SD-6	MISCELLANEOUS FRAMING DETAILS
SD-7	MONOLITHIC SLAB FOUNDATION DETAILS
SD-8	NOT USED
SD-9	NOT USED
SD-10	NOT USED
SD-11	NOT USED
SD-12	ADVANCED FRAMING DETAILS & NOTES



1900 AM DRIVE, SUITE 201, QUAKERTOWN, PA 18951
www.kse-eng.com (215) 804-4449

B329 BUCKHORN
SERENITY, LOT #185

RALEIGH, NORTH CAROLINA

THESE DRAWINGS ARE TO BE USED IN CONJUNCTION WITH AND COORDINATED WITH THE ARCHITECTURAL, CIVIL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS. THIS COORDINATION IS NOT THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER OF RECORD (SER). SHOULD ANY DISCREPANCIES BECOME APPARENT, THE CONTRACTOR SHALL NOTIFY KSE ENGINEERING, P.C. BEFORE CONSTRUCTION BEGINS. IT IS THE INTENT OF THE ENGINEER LISTED ON THESE DOCUMENTS THAT THESE DOCUMENTS BE ACCURATE, PROVIDING LICENSED PROFESSIONALS CLEAR INFORMATION. EVERY ATTEMPT HAS BEEN MADE TO PREVENT ERROR. THE BUILDER AND ALL SUBCONTRACTORS ARE REQUIRED TO REVIEW ALL OF THE INFORMATION CONTAINED IN THESE DOCUMENTS PRIOR TO THE COMMENCEMENT OF ANY WORK. THE ENGINEER IS NOT RESPONSIBLE FOR ANY PLAN ERRORS, OMISSIONS, OR MISINTERPRETATIONS UNDETECTED AND NOT REPORTED TO THE ENGINEER PRIOR TO CONSTRUCTION. ALL CONSTRUCTION MUST BE IN ACCORDANCE TO THE INFORMATION FOUND IN THESE DOCUMENTS.

DESIGN SPECIFICATIONS:

DESIGN BUILDING CODE (REFERRED TO HEREIN AS "THE BUILDING CODE"):
 • 2018 NORTH CAROLINA RESIDENTIAL CODE. WALL BRACING PER INTERNATIONAL RESIDENTIAL CODE 2015 EDITION.

DESIGN LIVE LOADS:
 • ROOF = 20 PSF (LOAD DURATION FACTOR=1.25)
 • UNINHABITABLE ATTICS WITH LIMITED STORAGE = 20 PSF (WHERE SPECIFIED ON PLANS)
 • HABITABLE ATTICS AND ATTICS SERVED WITH FIXED STAIRS = 30 PSF
 • FLOOR = 40 PSF
 • FLOOR (SLEEPING AREAS) = 30 PSF
 • DECK/BALCONY = 40 PSF
 • STAIRS = 40 PSF

DESIGN DEAD LOADS:
 • ROOF TRUSS = 17 PSF (TC=7, BC=10)
 • FLOOR TRUSS = 15 PSF (TC=10, BC=5)
 • FLOOR JOIST = 10 PSF
 • STANDARD BRICK = 40 PSF
 • QUEEN ANNE BRICK = 25 PSF

NOTE: STRUCTURAL FRAMING HAS NOT BEEN DESIGNED FOR TILE, GRANITE, MARBLE OR OTHER MATERIALS HEAVIER THAN THE ABOVE LOADING UNLESS SPECIFICALLY NOTED ON PLANS.

DESIGN WIND LOADS:
 • ULTIMATE WIND SPEED = 115 MPH
 • EXPOSURE CATEGORY = B

ASSUMED SOIL BEARING CAPACITY = 2000 PSF

ASSUMED LATERAL SOIL PRESSURE = 45 PCF

FROST DEPTH = 12" MINIMUM

SEISMIC DESIGN CATEGORY = B

ENGINEERED LUMBER SHALL HAVE THE FOLLOWING MINIMUM DESIGN VALUES:

- TJI 210 SERIES (SERIES AND SPACING PER PLANS)
- LSL: E=1,550,000 PSI, F_b=2,325 PSI, F_v=310 PSI, F_c=900 PSI
- LVL: E=2,000,000 PSI, F_b=2,600 PSI, F_v=285 PSI, F_c=750 PSI
- PSL: E=2,100,000 PSI, F_b=2,900 PSI, F_v=290 PSI, F_c=625 PSI

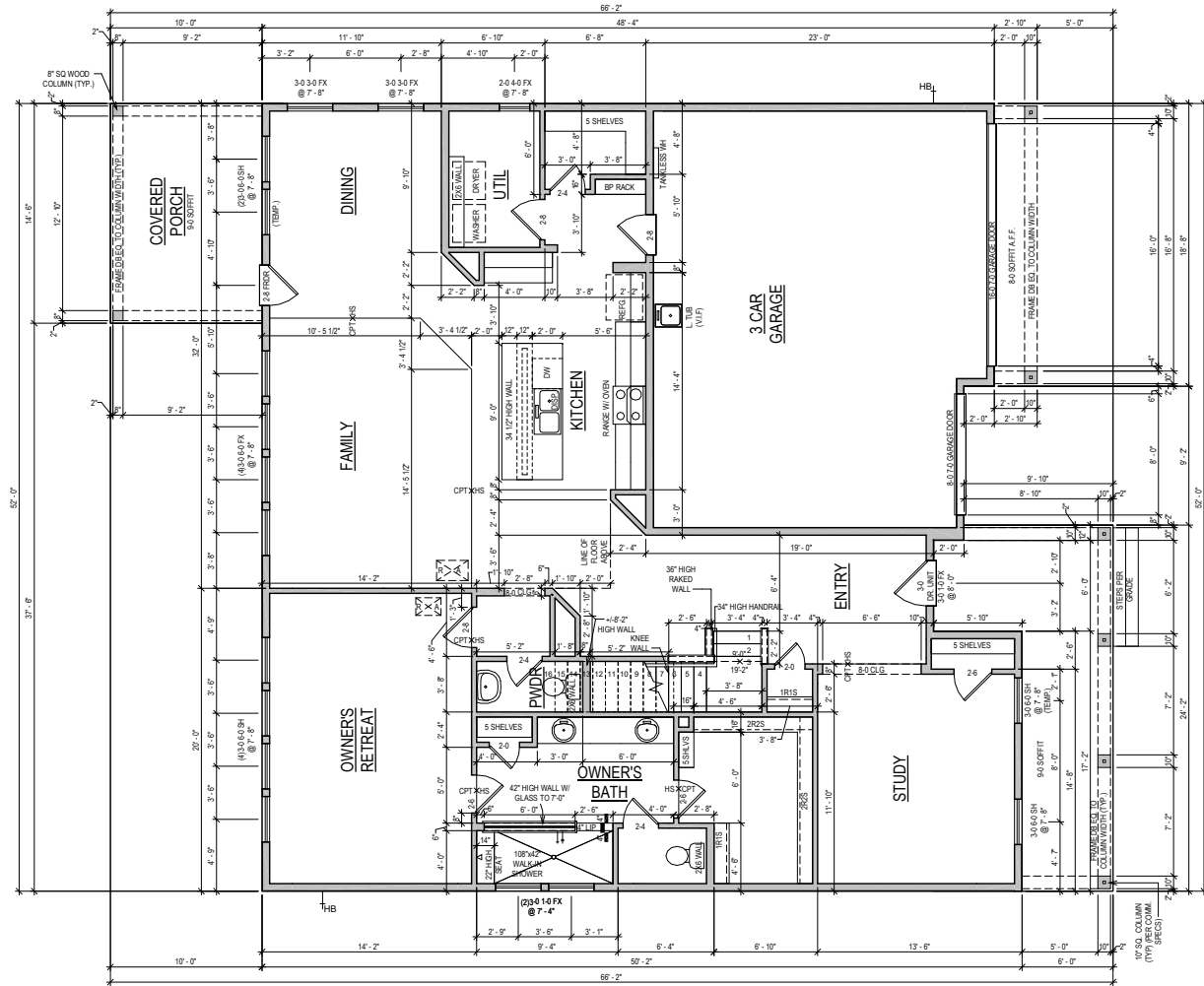


David Weekley Homes
 Raleigh, NC

Cover Sheet
 Serenity, Lot #185
 B329 Buckhorn Model
 Serenity
 Raleigh, North Carolina

Project #: 047-20009
 Designed By: JPS
 Checked By:
 Issue Date: 11/8/24
 Re-Issue:
 Scale: 1/8"=1'-0" @ 11x17
 1/4"=1'-0" @ 22x34

S-0



FIRST FLOOR

OPTION LIST	
BACKPACK RACK	
COVERED PORCH	
SUPER SHOWER @ OWNER'S BATH	
SHOWER @ BATH 2	
DOOR @ OWNER'S CLOSET	

GENERAL REQUIREMENTS

- SLOPED SURFACE REQUIREMENTS**
 ALL PATIOS TO SLOPE 1/4" PER FOOT
 GARAGE FLOOR TO BE SLOPED 1/8" PER FOOT TOWARDS VEHICLE ENTRY DOOR
 ROOF DECKS AND BALCONIES TO BE SLOPED 1/4" PER FOOT TOWARDS RELIEF POINTS
- RAILING REQUIREMENTS**
 FINISHED HANDRAIL REQUIRED AT STAIRS WITH 4 OR MORE RISERS
 FINISHED HANDRAIL HEIGHT BETWEEN 34" AND 36" MEASURED VERTICALLY ABOVE TREAD NOSING
 FINISHED GUARDRAILS REQUIRED AT DECKS, BALCONIES AND WALKWAYS THAT ARE 30" OR GREATER ABOVE GRADE AND BE AT A MINIMUM OF 36" IN HEIGHT
 FINISHED GUARDRAIL AND HANDRAIL SPINDLES MUST BE SPACED SO A 4" SPHERE WILL NOT PASS THROUGH.

NOTE: ALL 1ST FLR. CEILING HEIGHTS 9'-0" UNLESS NOTED OTHERWISE

ADVANCED FRAMING: 2X6 EXTERIOR PERIMETER WALLS & ALL INSULATED WALLS UNLESS NOTED OTHERWISE

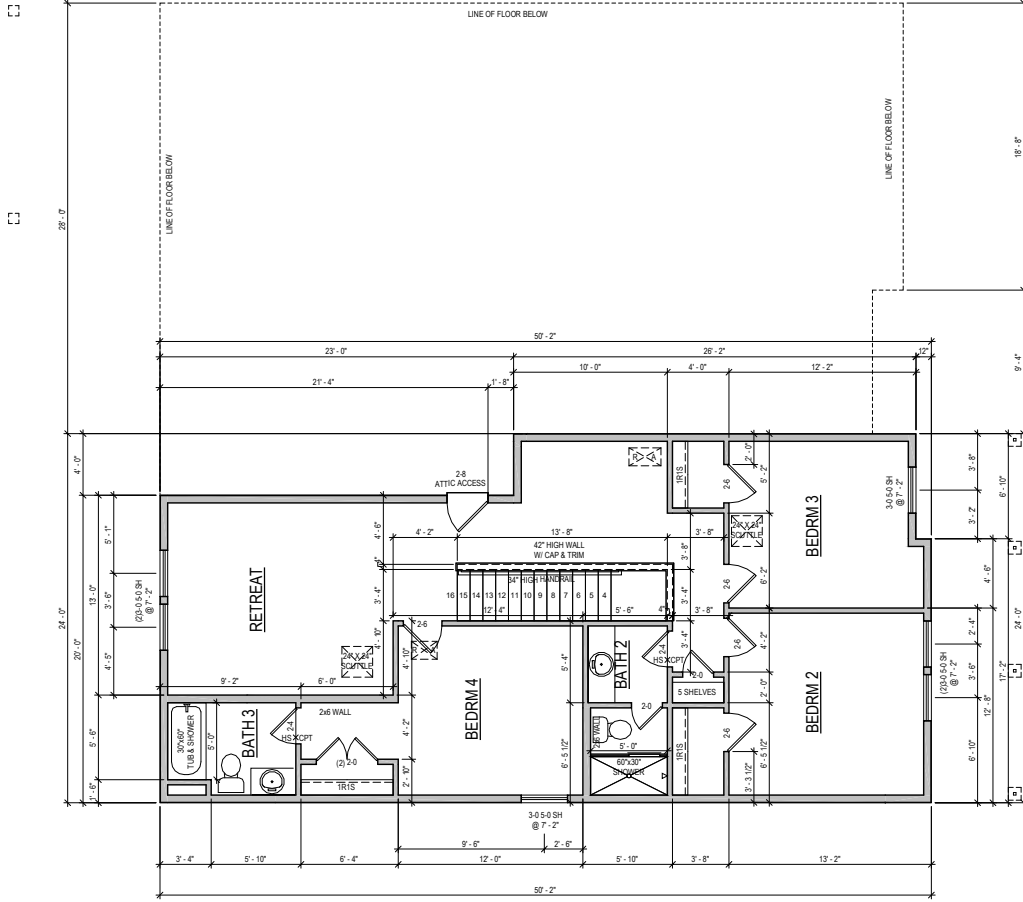
PLAN SQFT	
LIVING	
1ST FLOOR	1887 SF
2ND FLOOR	1105 SF
TOTAL LIVING	2992 SF
SLAB	
1ST FLOOR	1887 SF
COVERED PORCH	145 SF
FRONT PORCH	184 SF
GARAGE	613 SF
TOTAL SLAB	2829 SF
FRAMING	
1ST FLOOR	1887 SF
2ND FLOOR	1099 SF
COVERED PORCH	145 SF
FRONT PORCH	184 SF
GARAGE	613 SF
PORTE COCHERE	32 SF
TOTAL FRAMING	3941 SF

David Weekley Homes
 CN/NU/IR Scale: 1/8"=1'-0" Rev: 12/5/23 AM
 Date: 09/21/2020

185 Proj. No.: Lot: 794 SERENITY WALK PARKWAY Job No.: Block: Sect:
 SERENITY 65' 3277 0185 FUYQUAY VARINA, NC

NORTH B329-A PLN-1
 BUCKHORN RALEIGH

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SECOND FLOOR

NOTE: ALL 2ND FLR. CEILING HEIGHTS
9'-0" UNLESS NOTED OTHERWISE

ADVANCED FRAMING: 2X6 EXTERIOR
PERIMETER WALLS & ALL INSULATED
WALLS UNLESS NOTED OTHERWISE

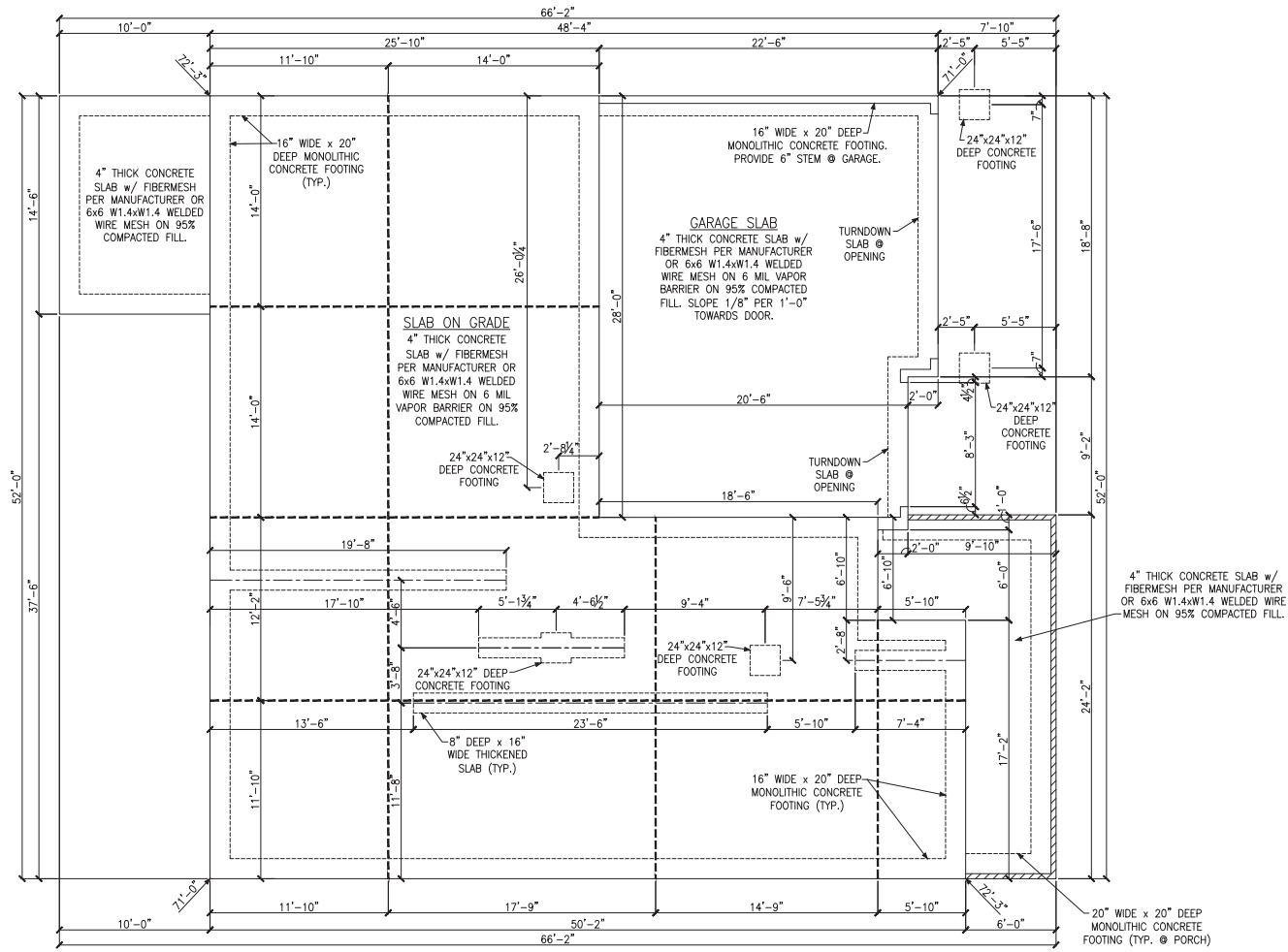
NORTH
B329-A
PLN-2
BUCKHORN
RALEIGH

SERENITY 65
794 SERENITY WALK PARKWAY
FUQUAY VARINA, NC

Proj. No.: 185
Lot: 3277
Job No.: 0185
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Sect:

David Weekley Homes
CN/NU/IR Date: 09/21/2020 Scale: 1/8"=1'-0" Rev: 12/5/23 AM

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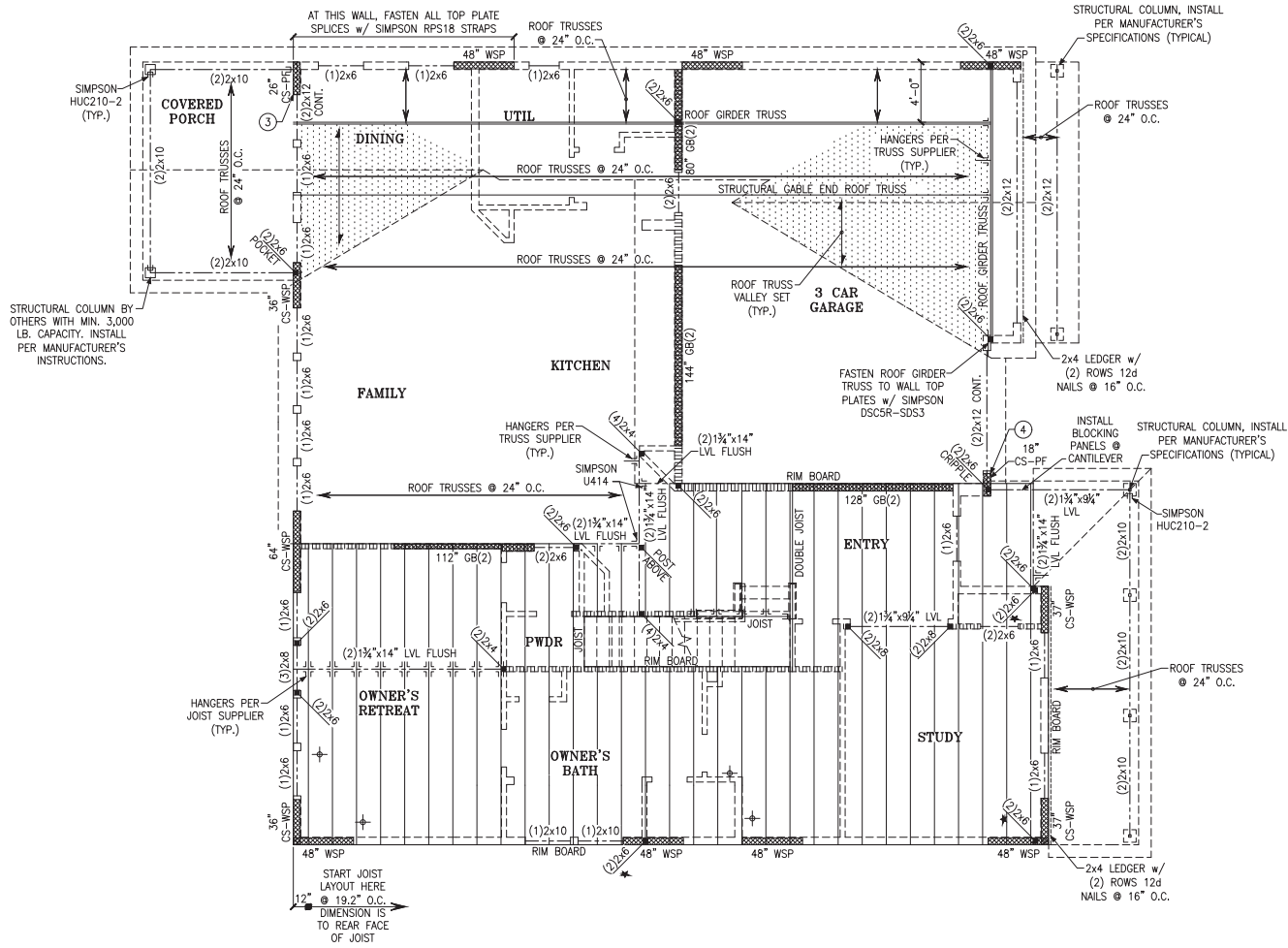
MONOLITHIC SLAB FOUNDATION PLAN

LEGEND

- PROVIDE SOLID BLOCKING WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE.
- BEARING WALL ABOVE
- INTERIOR BEARING WALL
- BRACED WALL PANEL (SEE KSE STRUCTURAL DETAILS SET FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS)
- 48" WSP

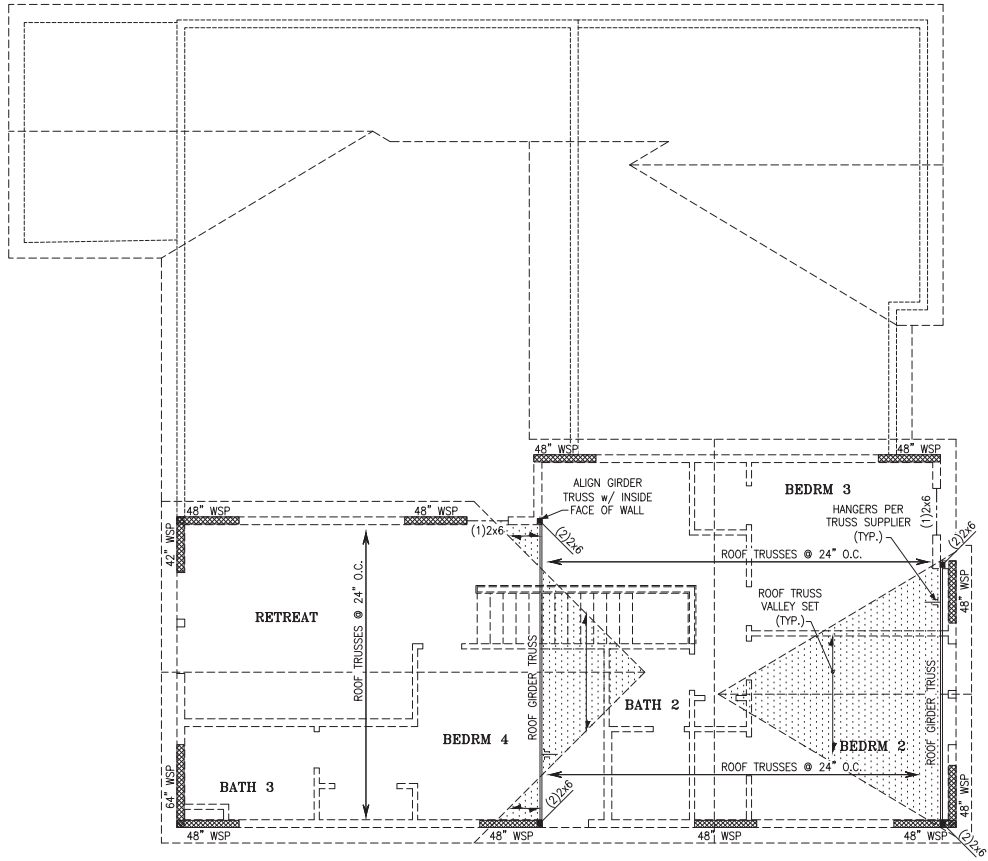
REFER TO KSE STRUCTURAL DETAILS SET FOR GENERAL STRUCTURAL NOTES, TYPICAL DETAILS AND ADVANCED FRAMING NOTES AND DETAILS





SECOND FLOOR FRAMING PLAN





ROOF FRAMING PLAN

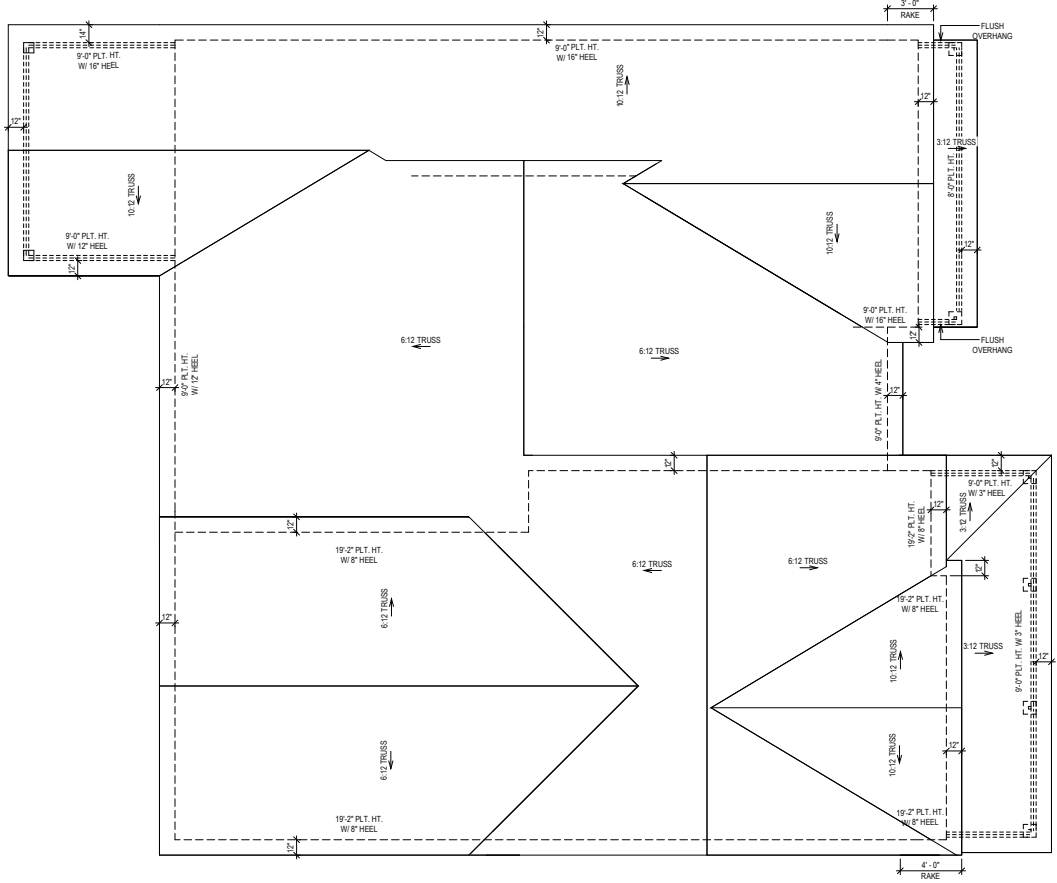
LEGEND

- PROVIDE SOLID BLOCKING WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE.
- BEARING WALL ABOVE
- INTERIOR BEARING WALL
- BRACED WALL PANEL
- 48\" WSP (SEE KSE STRUCTURAL DETAILS SET FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS)

REFER TO KSE STRUCTURAL DETAILS SET FOR GENERAL STRUCTURAL NOTES, TYPICAL DETAILS AND ADVANCED FRAMING NOTES AND DETAILS

PLAN DESIGNED WITH 9\" NOMINAL WALL PLATE HEIGHT





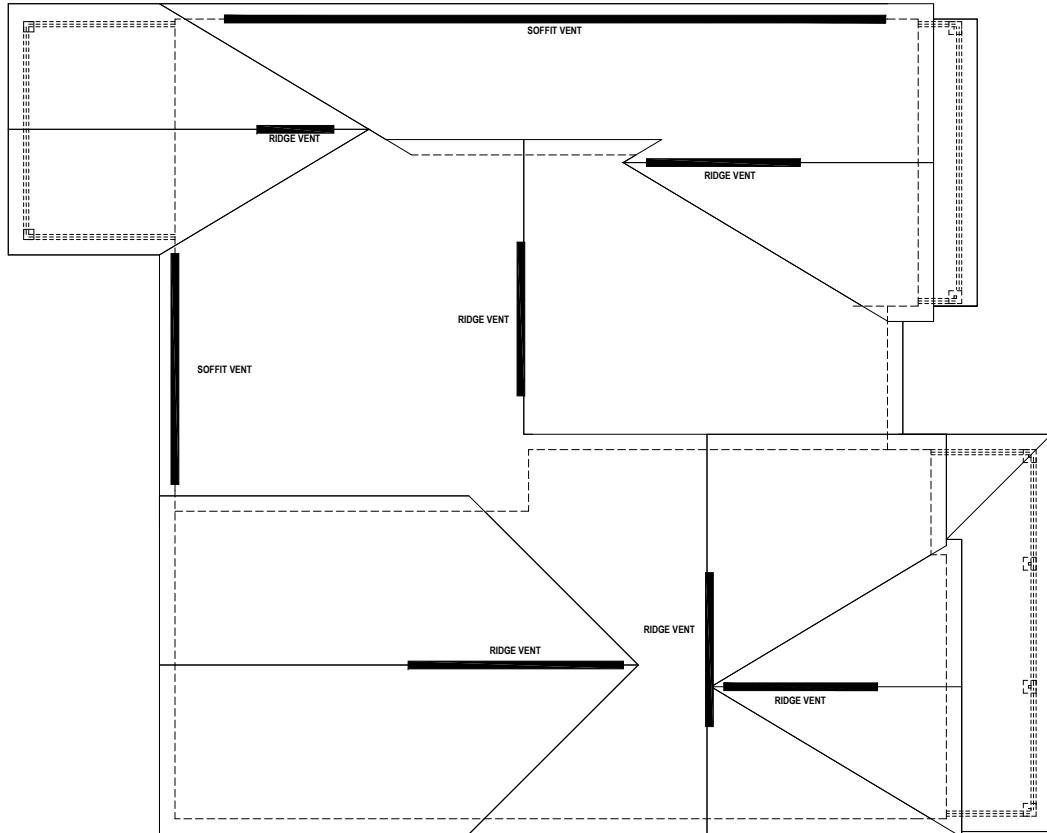
ROOF PLAN

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 CN/NU/IR Date: 09/21/2020 Scale: 1/8"=1'-0" Rev: 12/5/23 AM

SERENITY 65'
794 SERENITY WALK PARKWAY
FUQUAY VARINA, NC
 Proj. No.: 185
 Lot: 3277
 Block: 0185
 Job No.: 0185
 Sect:

NORTH
B329-A
RFP-1
 BUCKHORN
 RALEIGH



ROOF PLAN - COVERED PORCH CALCS

ROOF VENT CALCULATION:
 ATTIC SPACE: 2829 SQ.FT.
 REQUIRED VENTILATION: 1358 SQ.IN. REQ.

SOFFIT VENT PROVIDED: 60 LINEAL FEET
 RIDGE VENT PROVIDED: 59 LINEAL FEET
 AIR HAWK VENT PROVIDED: 0 UNITS

PROVIDED VENTILATION: 1362 SQ.IN.

50-80% IN UPPER PORTION: 78%

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 Rev: 12/5/23 AM

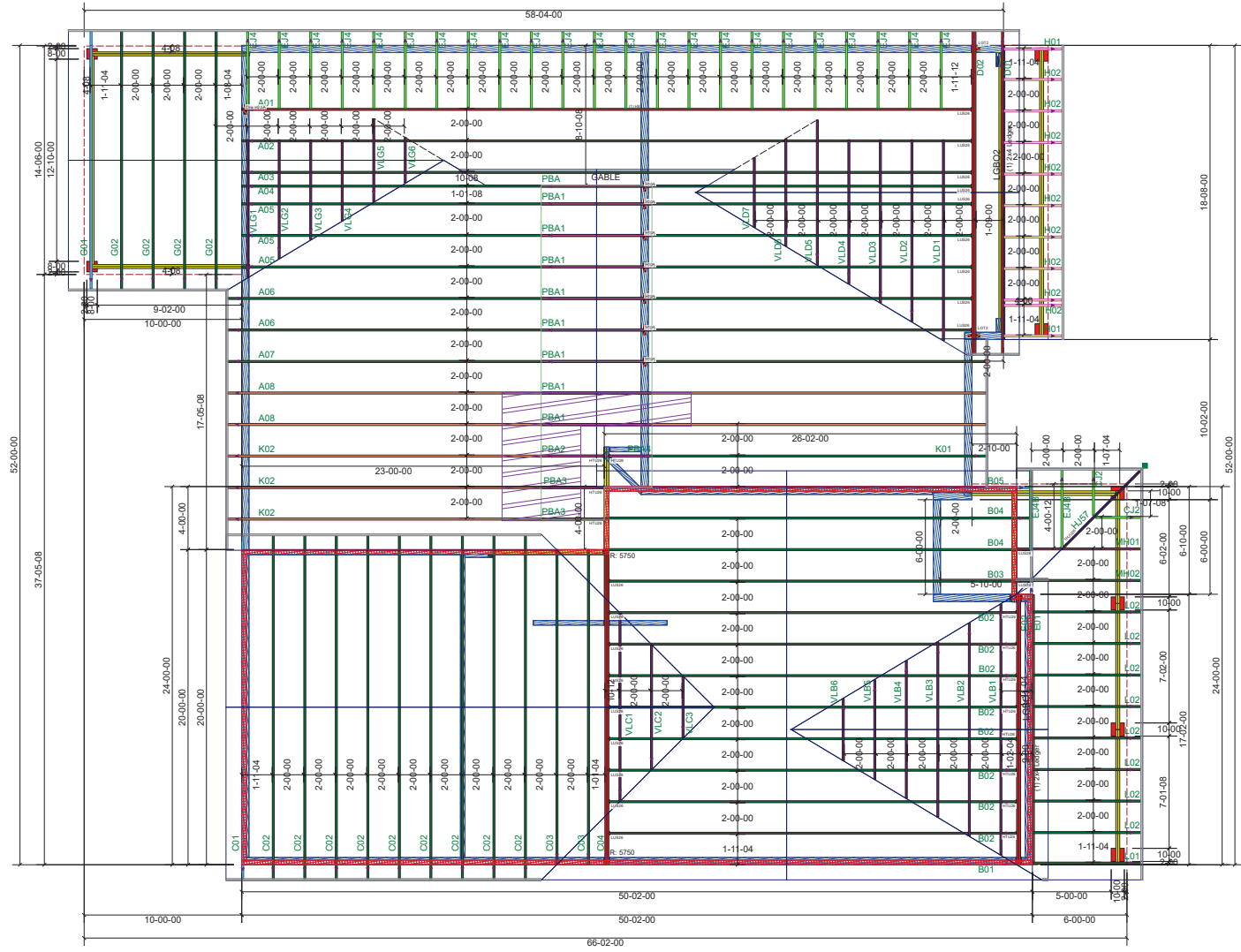
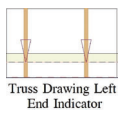
SERENITY 65'
794 SERENITY WALK PARKWAY
FUQUAY VARINA, NC

Proj. No.: 185
 Lot: 3277
 Block: _____
 Job No.: 0185
 Sect: _____

NORTH
B329-A
RFP-2
 BUCKHORN
 RALEIGH

General Notes: ** CUTTING OR DRILLING OF COMPONENTS SHOULD NOT BE DONE WITHOUT CONTACTING COMPONENT SUPPLIER FIRST. CUSTOMER TAKES FULL RESPONSIBILITY FOR COMPONENTS IF CUT BEFORE AUTHORIZATION. ** ALL BEARING POINTS MUST BE INSTALLED PRIOR TO SETTING ANY COMPONENTS.

** DAMAGED COMPONENTS SHOULD NOT BE INSTALLED UNLESS TOLD TO BY THE COMPONENT PLANT. ** TRUSSES TO TRUSS CONNECTIONS ARE TOE-NAILED, UNLESS NOTED OTHERWISE. ** FRAMER MUST REFER TO PLANS WHILE SETTING COMPONENTS. ** DIMENSIONS ARE READ AS: FOOT-INCH-SIXTEENTH. ** ALL UPLIFT CONNECTORS SHOWN WITHIN THESE DOCUMENTS ARE RECOMMENDATIONS ONLY. PER ANS/ITP 1, ALL UPLIFT CONNECTORS HAVE THE RESPONSIBILITY OF THE BIG DESIGNER AND OR CONTRACTOR.



ALL UPLIFT CONNECTORS ARE ONE H2.5A, UNLESS OTHERWISE NOTED ON LAYOUT.

Simpson	One H2.5A	88
Simpson	LUS26	20
Simpson	LGT2	2
Simpson	HTU26	12
Simpson	H10A	7
Manuf	Product	Qty
Truss Connector Total List		

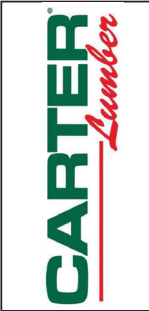
Hatch Legend

- 9' 1-1/8" BRG HGT (Lower)
- 9' 1-1/8" BRG HGT (Upper)
- ATTIC ROOM

Revisions

00/00/00	Name
00/00/00	Name
00/00/00	Name
00/00/00	Name
00/00/00	Name

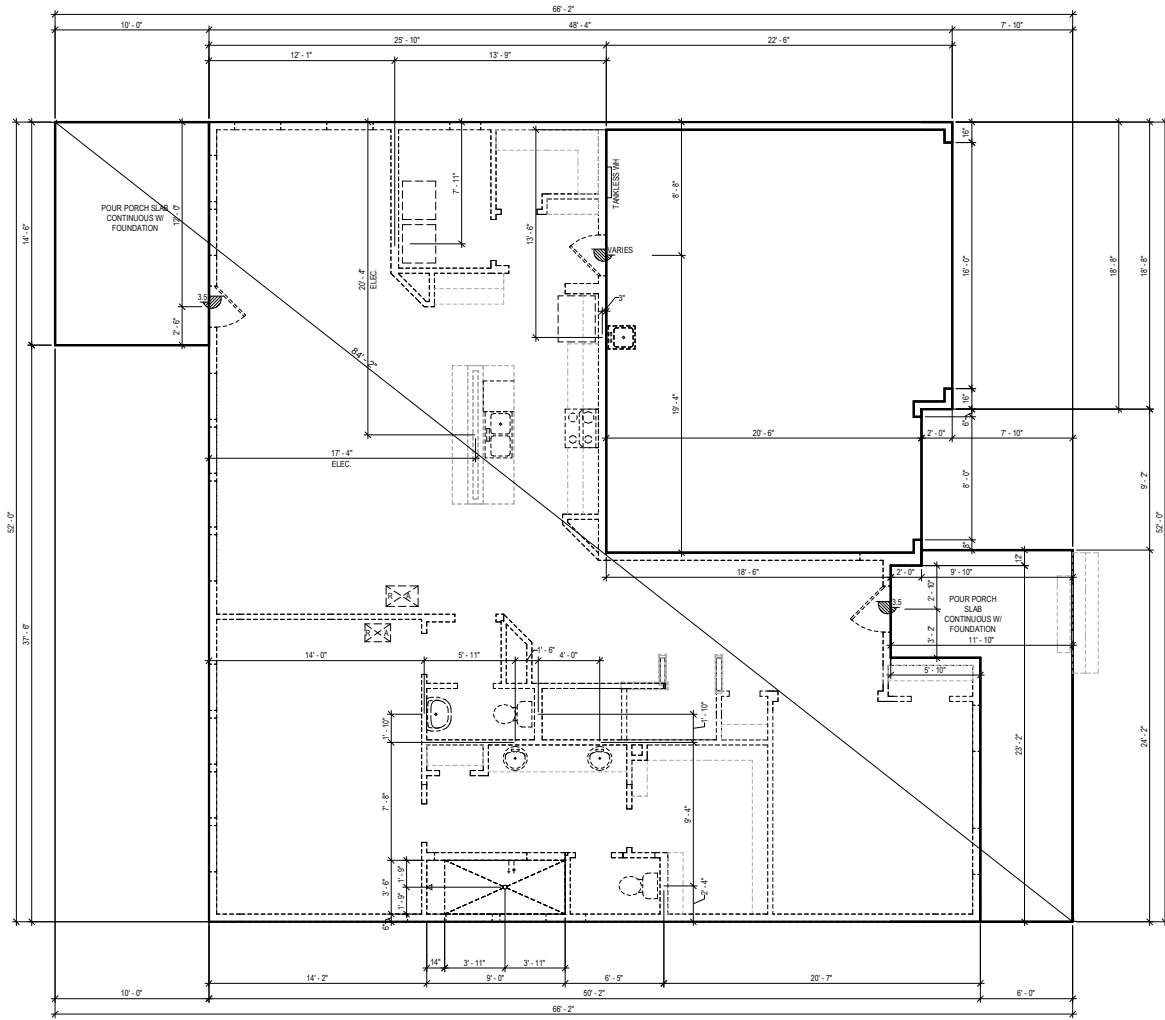
THIS IS A TRUSS PLACEMENT DIAGRAM ONLY. These trusses are designed as individual components to be incorporated into the building design at the specification of the building designer. See individual design sheets for each truss design identified on the placement drawing. The building designer is responsible for the design of the truss support structure and the overall structure. The design of the truss support structure including headers, beams, walls, and columns is the responsibility of the building designer. Wood Trusses are available from the Truss Plate Institute, 953 D'Orino Drive, Madison, WI 53719



David Weekley Homes
 185 Serenity-Roof-B329 A GRH
 CP
 ROOF PLACEMENT PLAN

Scale: NTS
 Date: 12/4/2024
 Designer: Nick Darr
 Project Number: 24110134-01
 Sheet Number:
1/1

** TRIANGULAR SYMBOL NEAR END OF TRUSS INDICATES LEFT END OF TRUSS AS SHOWN ON INDIVIDUAL TRUSS DRAWINGS. ** PLUMBING DROPS NOTED ARE IN THE APPROXIMATE LOCATIONS PER PLAN. BUILDER TO VERIFY LOCATIONS BEFORE SETTING TRUSSES. ** REFER TO FINAL TRUSS ENGINEERING SHEETS FOR PLY TO PLY CONNECTIONS.



FIRST FLOOR

SEE ENGINEERING FOR ANCHOR BOLT REQUIREMENTS

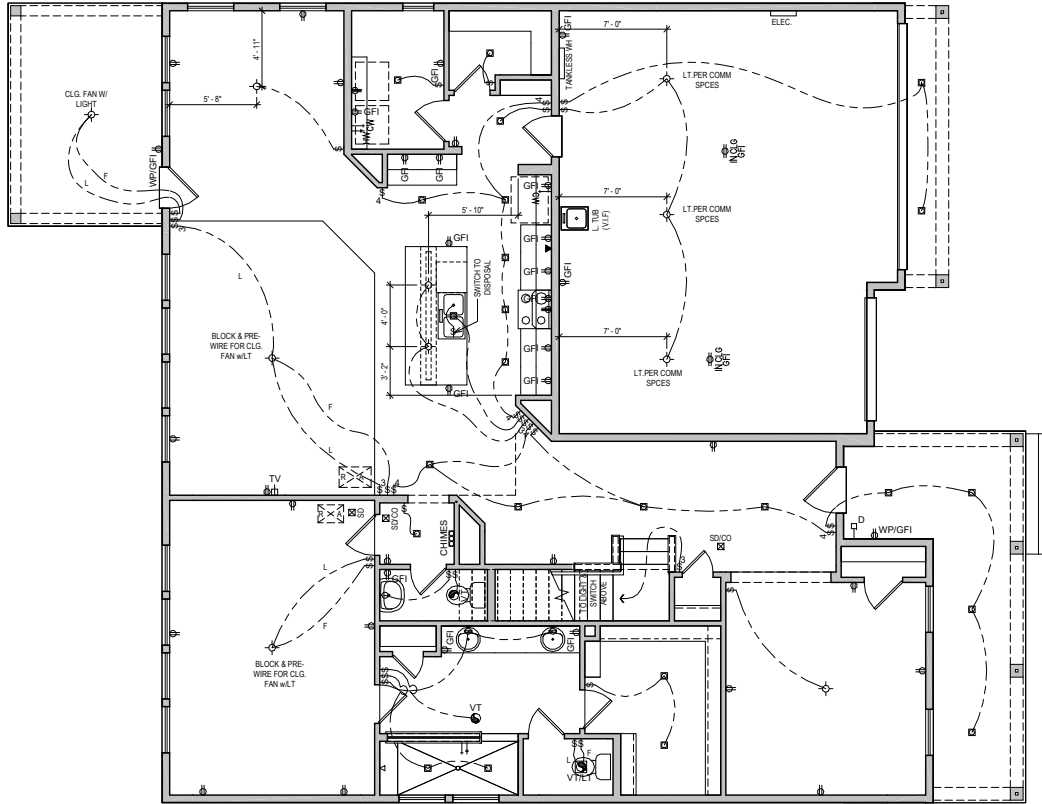
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David Weekley Homes
 C/N/NU/IR Date: 09/21/2020 Scale: 1/8"=1'-0" Rev: 12/5/23 AM

185
 Lot: 3277
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SERENITY 65'
794 SERENITY WALK PARKWAY
FUQUAY VARINA, NC

NORTH
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RALEIGH



FIRST FLOOR

ALL RECESS CANS SHOWN
ON PLAN ARE LED PER
COMMUNITY SPEC.

CITY SPECIFIC
VTLT RECESSED CAN/ EXHAUST
VENT COMBO

UTILITY LEGEND	
110V OUTLET	ELEVATOR CALL BUTTON
12" A.F.F. (U.N.O.)	RECESS CAN LIGHT (EYESBALL AS NOTED)
GROUND FAULT INTERRUPTOR (WEATHER PROOF AS NOTED)	EXHAUST VENT
1/2" HALF HOT OUTLET	SMOKE DETECTOR (CARBON MONOXIDE AS NOTED)
220V OUTLET (30" A.F.F. @ UTILITY)	PHONE LINE
PHONE LINE	CHIMES
CABLE TELEVISION	DOOR BELL
STANDARD SWITCH (3 OR 4 WAY AS NOTED)	ELEC PANELBOARD W/ CIRCUIT BREAKERS
SURFACE MOUNTED LIGHT	HOSE BIB
SURFACE MOUNTED LED DISC LIGHT	GAS TAP
WALL MOUNTED LIGHT	CW, HW COLD/HOT WATER SUPPLY

IN ALL HABITABLE ROOMS
LIGHT BOXES MUST BE FAN
RATED

MID-ATLANTIC General Notes

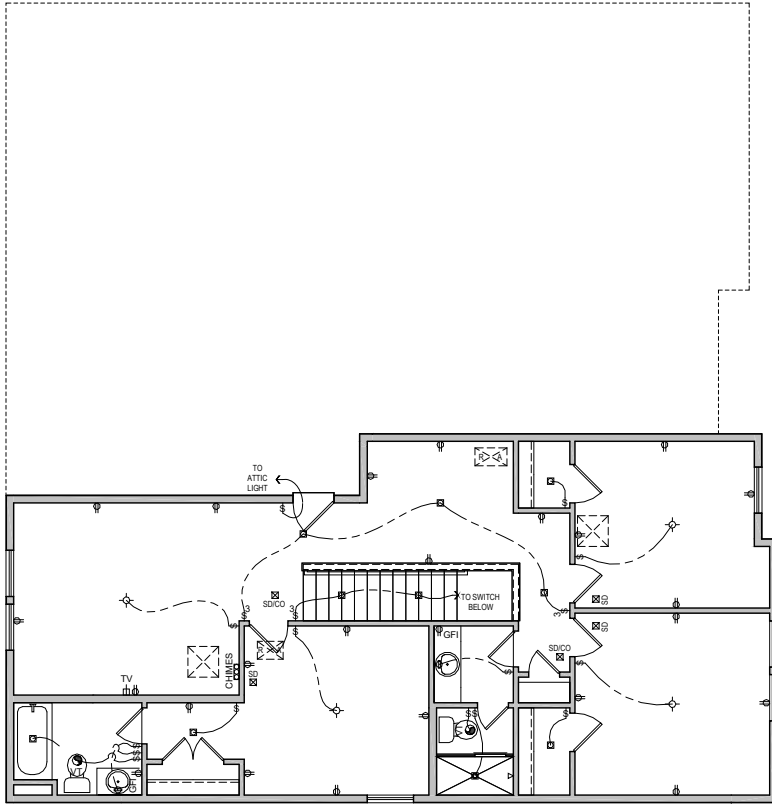
1. ALL ELECTRICAL PLUGS TO BE 9" TO TOP FROM FLOOR IN ROOMS WITH WALL MOLDINGS.
2. SWITCH FOR ATTIC LIGHT TO BE LOCATED OUTSIDE OF ATTIC SPACE, 12 INCHES FROM CEILING.
3. DO NOT RUN WIRES ON TOP OF JOISTS IN AREAS LIKELY TO HAVE DECKING IN ATTIC. (near disappearing items)
4. PROVIDE SMOKE DETECTORS IN EVERY BEDROOM. SEE SPECS FOR REQUIRED TYPE AND WIRING.
5. PROVIDE GAS AT APPLIANCES PER COMMUNITY REQUIREMENTS.
6. LOCATE ELECTRICAL PANEL IN LOCATION CLOSEST TO SERVICE.

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David Weekley Homes
CN/NU/IR Date: 09/21/2020 Scale: 1/8"=1'-0" Rev: 12/5/23 AM

185
Proj. No.: 3277
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SERENITY 65'
794 SERENITY WALK PARKWAY
FUQUAY VARINA, NC

NORTH
B329-A
ELE-1
BUCKHORN
RALEIGH



SECOND FLOOR

UTILITY LEGEND	
⊕	110V OUTLET (12" A.F.F. @ MIN.)
⊕	GROUND FAULT INTERRUPTOR (WEATHER PROOF AS NOTED)
1/2 ⊕	HALF HOT OUTLET
⊕	220V OUTLET (36" A.F.F. @ UTILITY)
▽	PHONE LINE
TV ⊕	CABLE TELEVISION
⊕	STANDARD SWITCH (3 OR 4 WAY AS NOTED)
⊕	SURFACE MOUNTED LIGHT
⊕	SURFACE MOUNTED LED LIGHT
⊕	WALL MOUNTED LIGHT
E	ELEVATOR CALL BUTTON
□	RECESS CAN LIGHT (EYEBALL AS NOTED)
VT	EXHAUST VENT
⊕	SMOKE DETECTOR (CARBON MONOXIDE AS NOTED)
D	DOOR BELL
CHIMES	DOOR BELL CHIMES
ELEC.	PANELBOARD W/ CIRCUIT BREAKERS
HB	HOSE BIB
GAS	GAS TAP
CW HW	COLD/HOT WATER SUPPLY

ALL RECESS CANS SHOWN ON PLAN ARE LED PER COMMUNITY SPEC.

MID-ATLANTIC General Notes

1. ALL ELECTRICAL PLUSSES TO BE 9" TO TOP FROM FLOOR IN ROOMS WITH WALL MOUNDINGS.
2. SWITCH FOR ATTIC LIGHT TO BE LOCATED OUTSIDE OF ATTIC SPACE, 12 INCHES FROM CEILING.
3. DO NOT RUN WIRES ON TOP OF JOISTS IN AREAS LIKELY TO HAVE DECKING IN ATTIC. (near disappearing stairs)
4. PROVIDE SMOKE DETECTORS IN EVERY BEDROOM. SEE SPECS FOR REQUIRED TYPE AND WIRING.
5. PROVIDE GAS AT APPLIANCES PER COMMUNITY REQUIREMENTS.
6. LOCATE ELECTRICAL PANEL IN LOCATION CLOSEST TO SERVICE.

IN ALL HABITABLE ROOMS LIGHT BOXES MUST BE FAN RATED

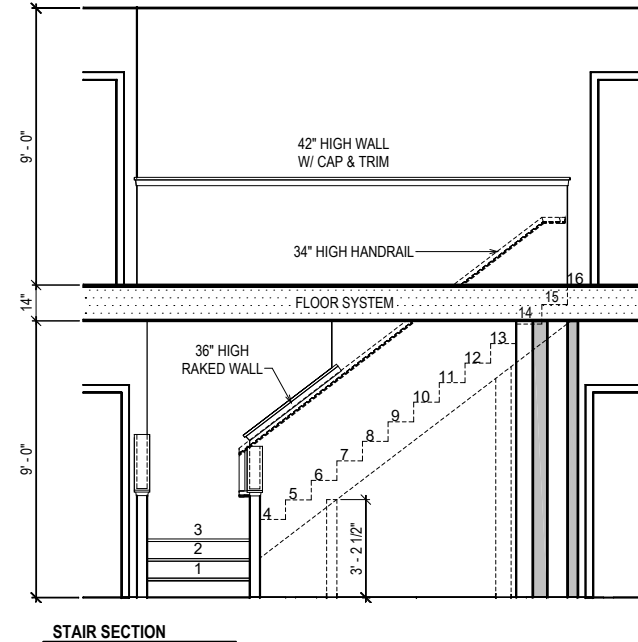
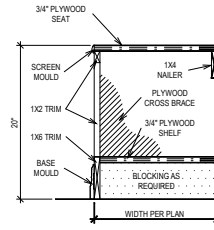
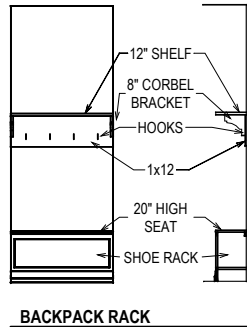
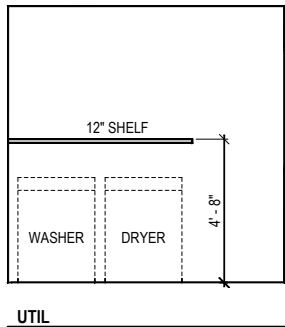
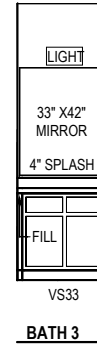
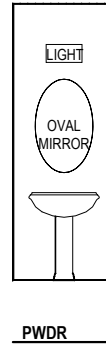
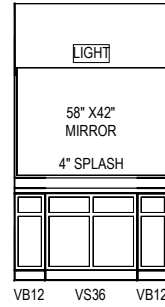
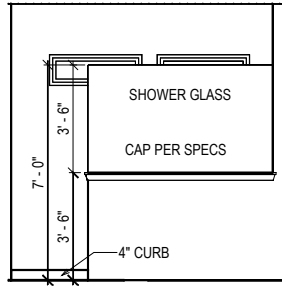
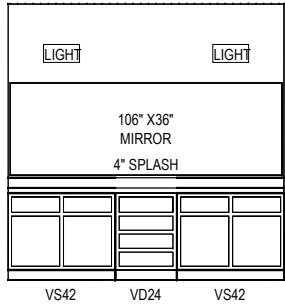
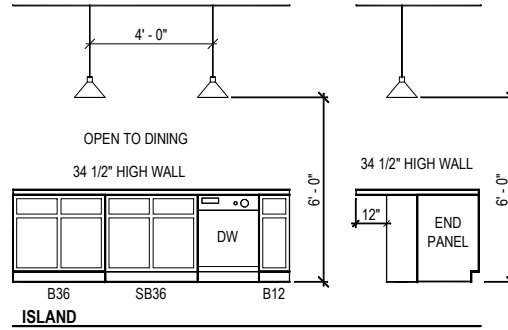
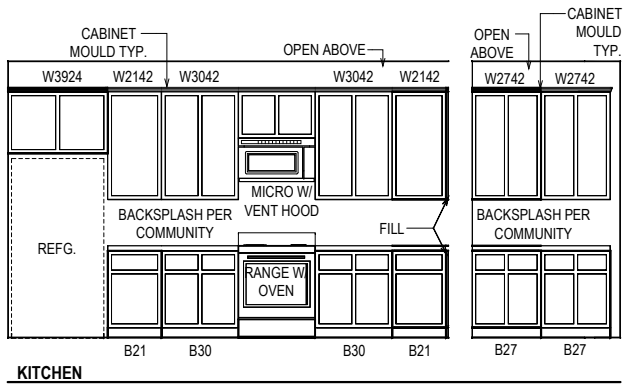
© Weekley Homes, L.P. 2020
 The measurements, dimensions, and other specifications shown on this document are guidelines for construction use only. This document may not be relied on as a representation of what the completed structure will look like.

David Weekley Homes
 Date: 09/21/2020 Scale: 1/8"=1'-0" Rev: 12/5/23 AM

Proj. No.: 185
 Lot: 3277
 Block: 0185
 Sect:

SERENITY 65'
794 SERENITY WALK PARKWAY
FUQUAY VARINA, NC

NORTH
B329-A
ELE-2
BUCKHORN
RALEIGH



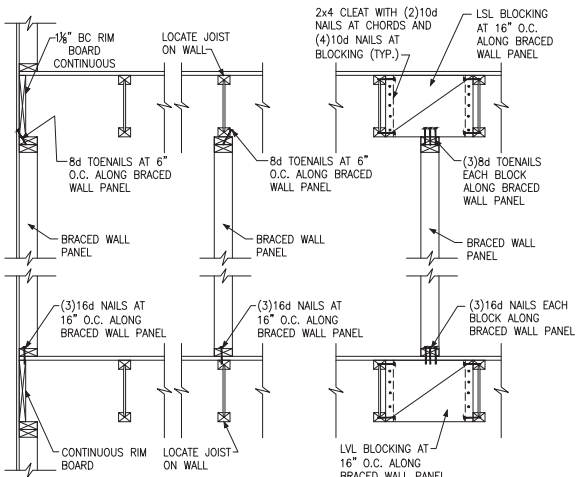
© Weekley Homes, L.P. 2020
 The measurements, dimensions, and other specifications shown on this document are guidelines for construction use only. This document may not be relied on as a representation of what the completed structure will look like.

David Weekley Homes
 C/N/NU/IR Date: 09/21/2020 Scale: 1/4"=1'-0" Rev: 12/5/23 AM

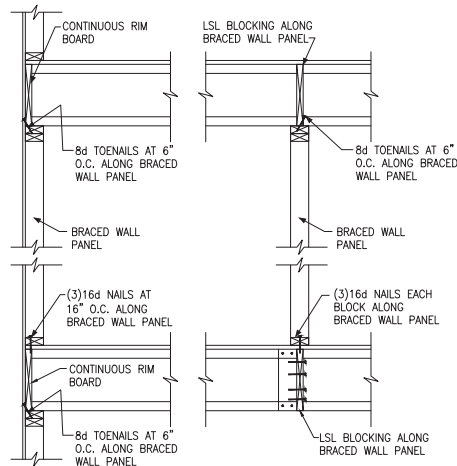
Proj. No.: 185
 Lot: 3277
 Block: 0185
 Sect:

SERENITY 65
 794 SERENITY WALK PARKWAY
 FUYQUAY VARINA, NC

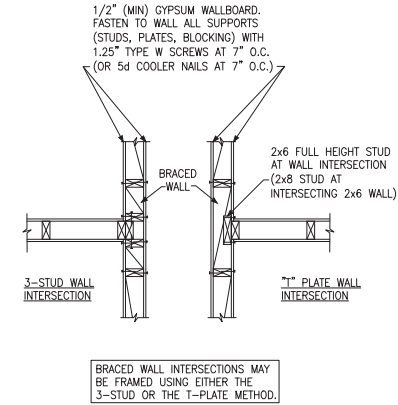
NORTH B329-A INT-1
 BUCKHORN RALEIGH



A TYPICAL BRACED WALL PANEL TO FLOOR/CEILING CONNECTION
BRACED WALL PANELS PARALLEL TO I-JOISTS

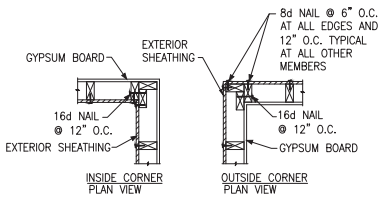


B TYPICAL BRACED WALL PANEL TO FLOOR/CEILING CONNECTION
BRACED WALL PANELS PERPENDICULAR TO I-JOISTS



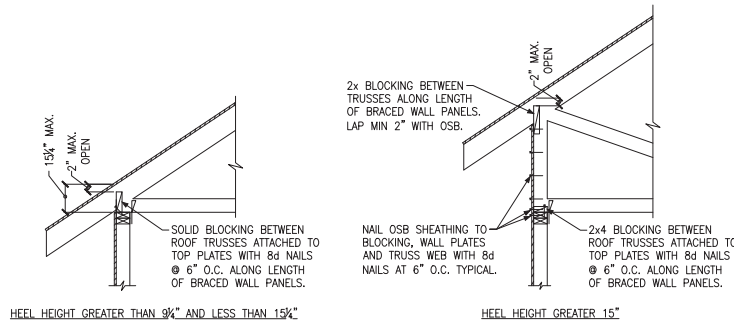
C METHOD GB(1) AND GB(2) INTERSECTION DETAILS

BRACED WALL INTERSECTIONS MAY BE FRAMED USING EITHER THE 3-STUD OR THE T-PLATE METHOD.



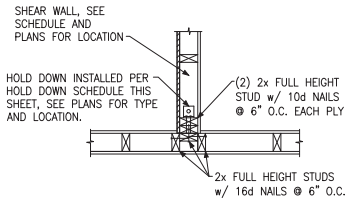
D TYPICAL EXTERIOR CORNER WALL FRAMING

NOTE: A THIRD STUD AND/OR PARTITION INTERSECTION BACKING STUDS SHALL BE PERMITTED TO BE OMITTED THROUGH THE USE OF WOOD BACKUP CLEATS, METAL DRYWALL CLIPS OR OTHER APPROVED DEVICES THAT WILL SERVE AS ADEQUATE BACKING FOR THE FACING MATERIALS.

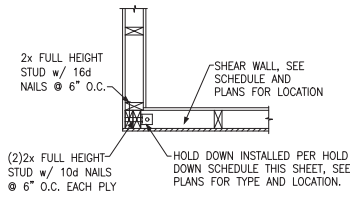


E ROOF TRUSS BEARING/BLOCKING AT BRACED WALL PANELS
ONLY REQUIRED AT BRACED WALL PANELS

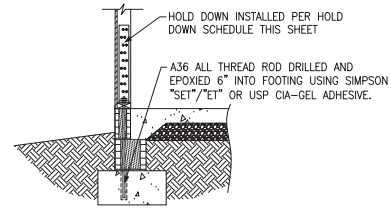




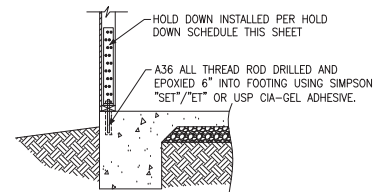
(A) TYPICAL HOLD DOWN DETAIL



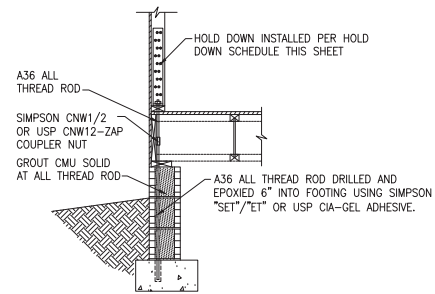
(B) TYPICAL HOLD DOWN DETAIL



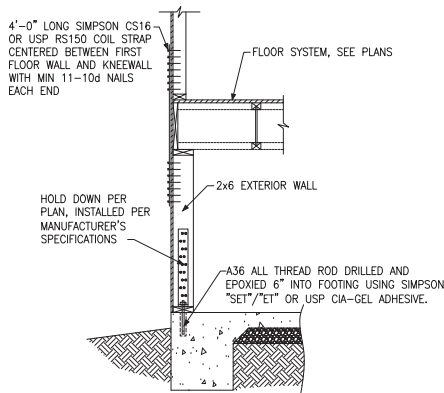
(C) HOLD DOWN AT STEMWALL SLAB



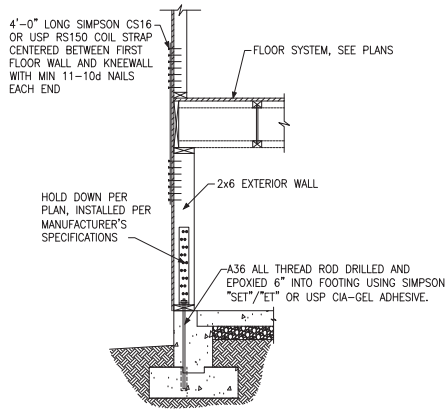
(D) HOLD DOWN AT MONOLITHIC SLAB



(E) HOLD DOWN AT CRAWL FOUNDATION



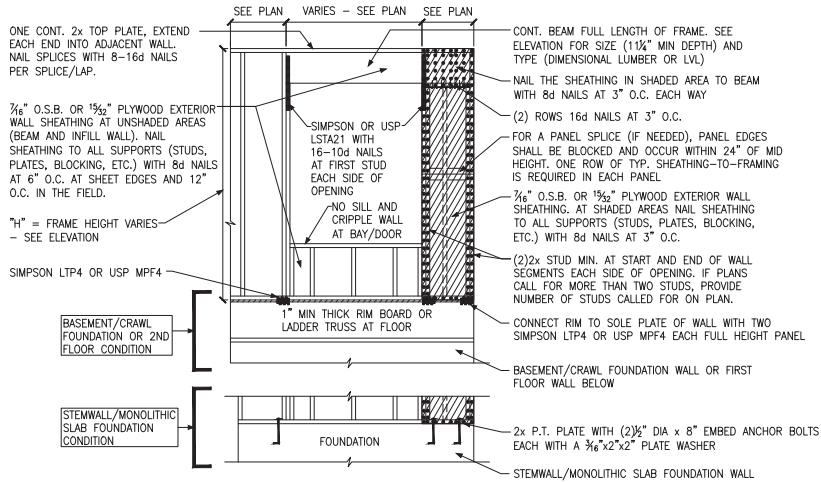
(F) HOLD DOWN AT FOUNDATION MONOLITHIC TURN-DOWN



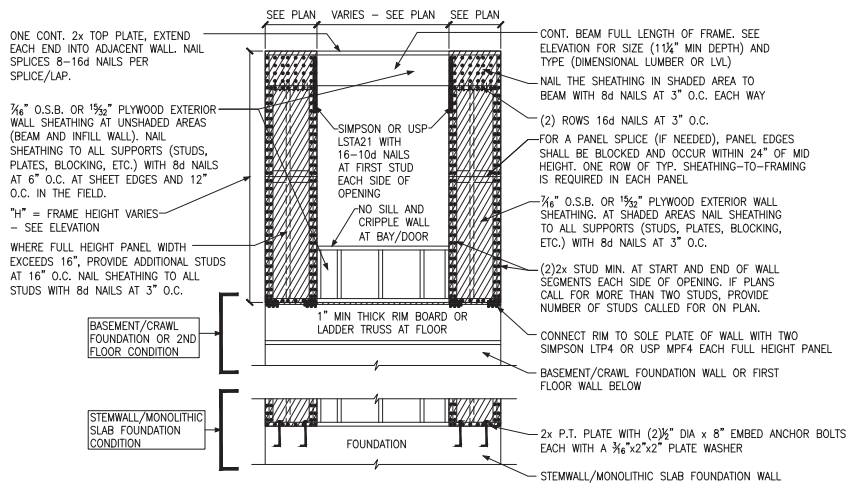
(G) HOLD DOWN AT FOUNDATION STEM WALL

HOLD DOWN SCHEDULE			
HOLD DOWN		ALL TREAD ROD	FASTENERS
SIMPSON	USP		
LTP2	LTS20B	1/2" DIA.	(10)10d NAILS
HTT4	HTT16	5/8" DIA.	(18)16dx2 1/2" LONG NAILS
HTT5	HTT45	3/4" DIA.	(26)16dx2 1/2" LONG NAILS

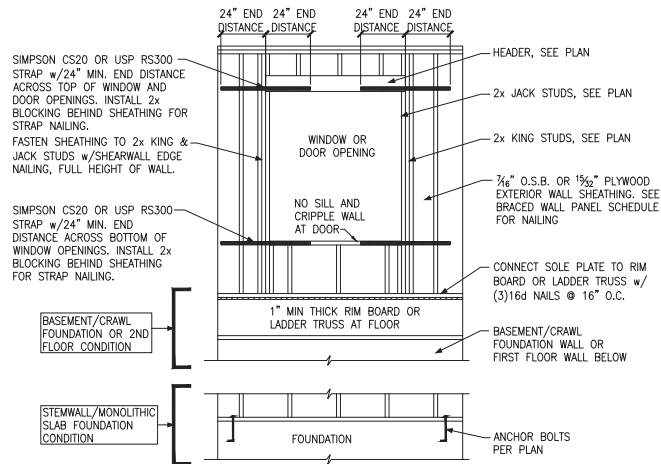




A METHOD CS-PF: CONTINUOUS PORTAL FRAME PANEL CONSTRUCTION
ONE BRACED WALL SEGMENT



B METHOD CS-PF: CONTINUOUS PORTAL FRAME PANEL CONSTRUCTION
TWO BRACED WALL SEGMENTS



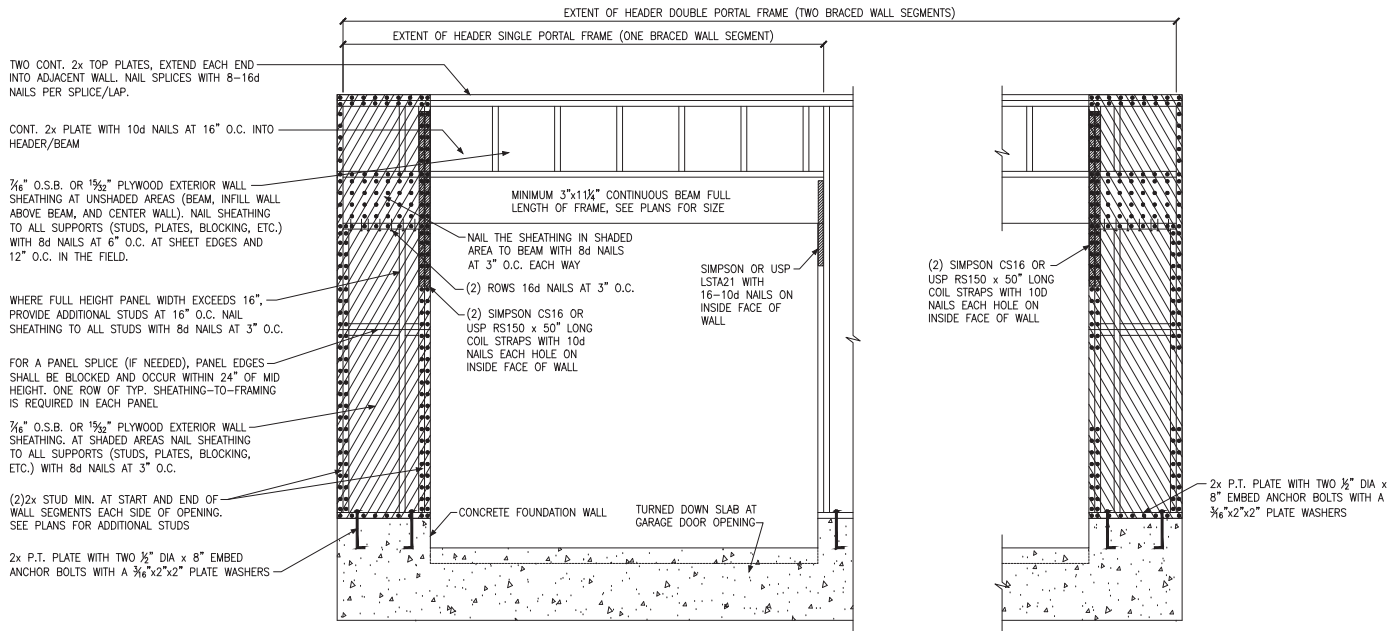
C WINDOW OR DOOR REINFORCEMENT IN ENGINEERED SHEAR WALL
ONLY REQUIRED WHERE SPECIFIED ON PLANS

BRACED WALL PANEL AND ENGINEERED SHEAR WALL SCHEDULE			
PANEL TYPES	PANEL TYPE	MATERIAL	FASTENERS
WSP	INTERMITTENT WOOD STRUCTURAL PANEL	7/16" OSB	6d OR 8d COMMON NAILS AT 6" O.C. AT SHEET EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. ENGINEERED ALTERNATIVE: 16 GAGE BY 1.75" LONG STAPLES AT 3" O.C. AT SHEET EDGES AND 6" O.C. AT INTERMEDIATE SUPPORTS
GB(1)	INTERMITTENT GYPSUM BOARD (SHEATHING ONE FACE OF WALL)	1/2" GYPSUM	1.5" LONG GAL. ROOFING NAILS, 6d COMMON NAILS, OR 1.25" LONG TYPE W DRYWALL SCREWS AT 7" O.C. AT SHEET EDGES AND INTERMEDIATE SUPPORTS.
GB(1)-4	INTERMITTENT GYPSUM BOARD (SHEATHING ONE FACE OF WALL)	1/2" GYPSUM	1.5" LONG GAL. ROOFING NAILS, 6d COMMON NAILS, OR 1.25" LONG TYPE W DRYWALL SCREWS AT 4" O.C. AT SHEET EDGES AND INTERMEDIATE SUPPORTS.
GB(2)	INTERMITTENT GYPSUM BOARD (SHEATHING BOTH FACES OF WALL)	1/2" GYPSUM	1.5" LONG GAL. ROOFING NAILS, 6d COMMON NAILS, OR 1.25" LONG TYPE W DRYWALL SCREWS AT 7" O.C. AT SHEET EDGES AND INTERMEDIATE SUPPORTS.
CS-WSP	CONTINUOUS SHEATHED WOOD STRUCTURAL PANEL	7/16" OSB	6d OR 8d COMMON NAILS AT 6" O.C. AT SHEET EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. ENGINEERED ALTERNATIVE: 16 GAGE BY 1.75" LONG STAPLES AT 3" O.C. AT SHEET EDGES AND 6" O.C. AT INTERMEDIATE SUPPORTS
CS-PF	CONTINUOUS SHEATHED PORTAL FRAME	7/16" OSB	NAILING PER DETAIL
CS-EPF	PORTAL FRAME WITH HOLD DOWNS	7/16" OSB	NAILING PER DETAIL
CS-ESW(1)	ENGINEERED SHEAR WALL, TYPE 1	7/16" OSB	8d COMMON NAILS AT 6" O.C. AT SHEET EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. CONTINUOUS OSB AROUND DOOR/WINDOW OPENINGS
CS-ESW(2)	ENGINEERED SHEAR WALL, TYPE 2	7/16" OSB	8d COMMON NAILS AT 4" O.C. AT SHEET EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. CONTINUOUS OSB AROUND DOOR/WINDOW OPENINGS
CS-ESW(3)	ENGINEERED SHEAR WALL, TYPE 3	7/16" OSB	8d COMMON NAILS AT 3" O.C. AT SHEET EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. CONTINUOUS OSB AROUND DOOR/WINDOW OPENINGS

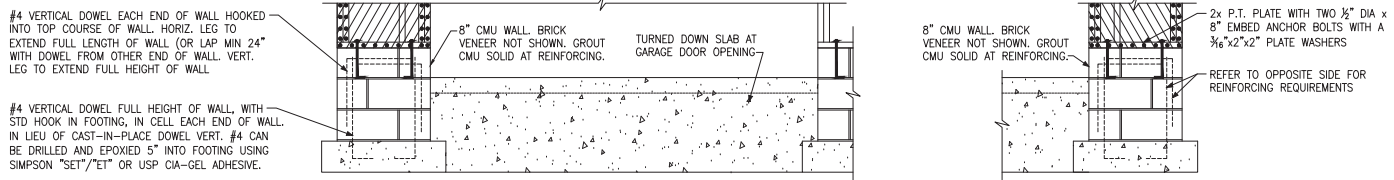
BRACED WALL PANEL NOTES:

- ALL BRACED WALL PANELS SHALL HAVE 2x BLOCKING BETWEEN WALL STUDS AT ALL HORIZONTAL SHEET EDGES, EXCEPT INTERMITTENT GYPSUM BOARD PANEL TYPES INSTALLED HORIZONTALLY.
- PROVIDE NAILING/BLOCKING ABOVE AND BELOW ALL BRACED WALL PANELS PER KSE BRACED WALL DETAILS.
- SHEATH ALL EXTERIOR WALLS OF THE HOUSE WITH 7/16" O.S.B. OR 1/2" PLYWOOD, FASTENED PER IRC. AT EXTERIOR CORNERS, SHEATHING SHALL BE FASTENED PER KSE BRACED WALL DETAILS. AT INTERIOR WALL INTERSECTIONS, FASTEN STUDS & WALL BRACING PER KSE BRACED WALL DETAILS.
- BRACED WALL PANELS AND ENGINEERED SHEAR WALLS ARE PROVIDED PER IRC. PANEL LENGTHS SHOWN ON PLANS ARE THE MINIMUM LENGTH REQUIRED.

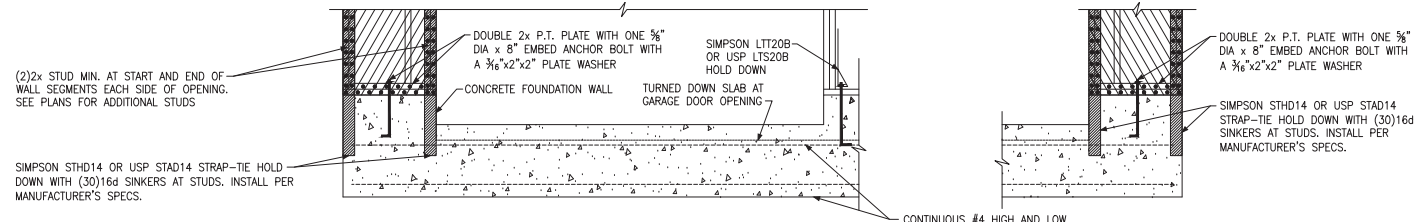




(A) METHOD CS-PF: CONTINUOUS PORTAL FRAME PANEL CONSTRUCTION
MONOLITHIC SLAB OR BASEMENT FOUNDATION

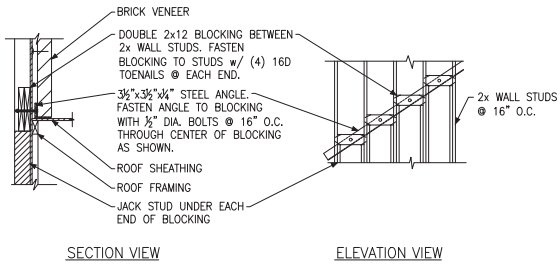


(B) METHOD CS-PF: CONTINUOUS PORTAL FRAME PANEL CONSTRUCTION
STEMWALL SLAB OR CRAWL SPACE FOUNDATION

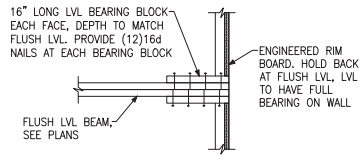


(C) METHOD CS-EPF: ENGINEERED PORTAL FRAME WITH HOLD-DOWNS
CONTINUOUS #4 HIGH AND LOW. PROVIDE MIN 24" LAPS WHERE SPICED.

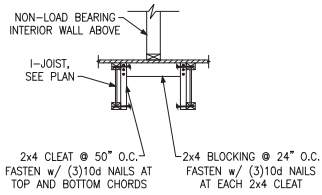




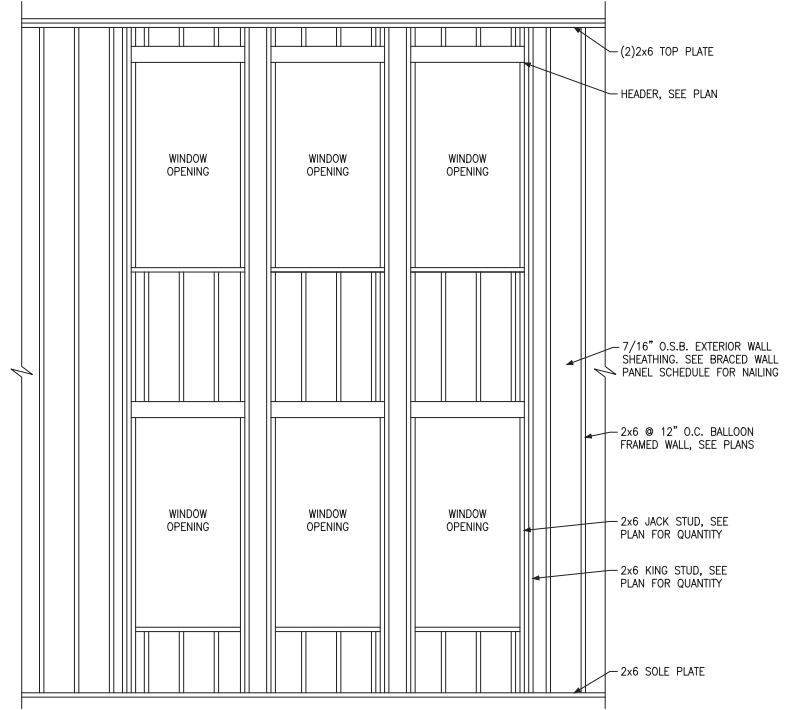
(A) BRICK LEDGER CONNECTION DETAIL



(B) BEARING ENHANCER FLUSH LVL



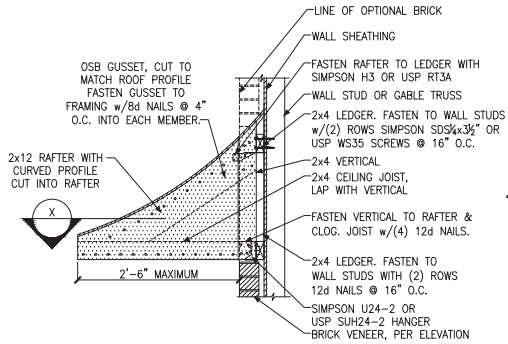
(C) I-JOIST LADDER BLOCKING AS REQUIRED @ PARALLEL WALLS



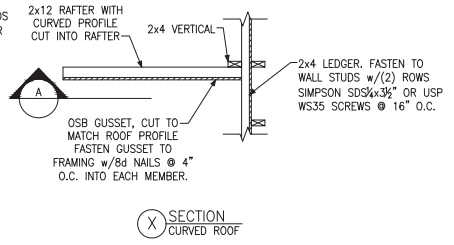
(D) BALLOON FRAMED WALL DETAIL N.T.S.

WALL STUD SIZE, HEIGHT & SPACING SCHEDULE						
STUD SIZE	BEARING WALLS				NONBEARING WALLS	
	LATERALLY UNSUPPORTED STUD HEIGHT	MAXIMUM SPACING WHEN SUPPORTING A ROOF-CEILING ASSEMBLY OR A HABITABLE ATTIC ASSEMBLY, ONLY	MAXIMUM SPACING WHEN SUPPORTING ONE FLOOR, PLUS A ROOF-CEILING ASSEMBLY OR A HABITABLE ATTIC ASSEMBLY	MAXIMUM SPACING WHEN SUPPORTING TWO FLOORS, PLUS A ROOF-CEILING ASSEMBLY OR A HABITABLE ATTIC ASSEMBLY	LATERALLY UNSUPPORTED STUD HEIGHT	MAXIMUM SPACING
2x4	10'-0"	24"	16"	-	14'-0"	24"
2x6	10'-0"	24"	24"	16"	20'-0"	24"

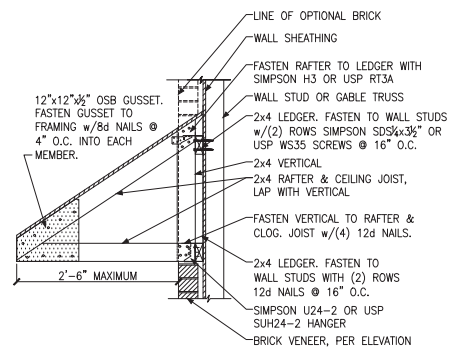




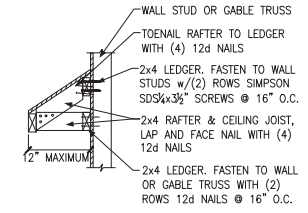
A PENT ROOF DETAIL
CURVED ROOF



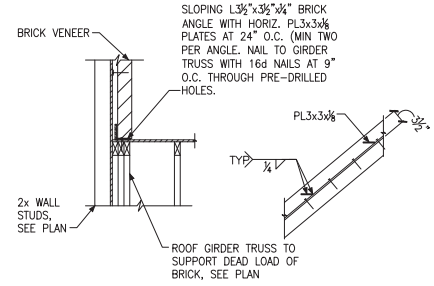
X SECTION
CURVED ROOF



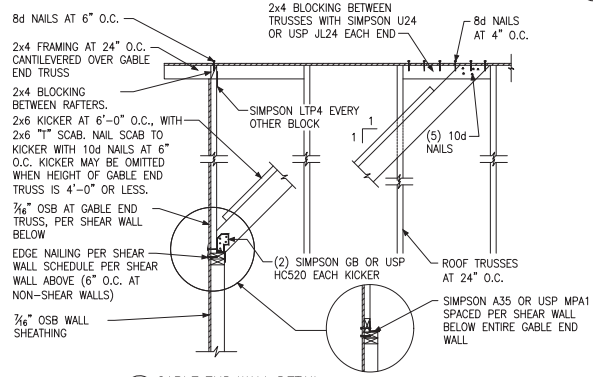
B PENT ROOF DETAIL
STRAIGHT ROOF



C EYEBROW ROOF DETAIL
STRAIGHT ROOF

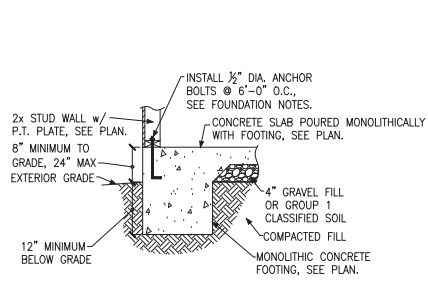


D TRUSS DETAIL

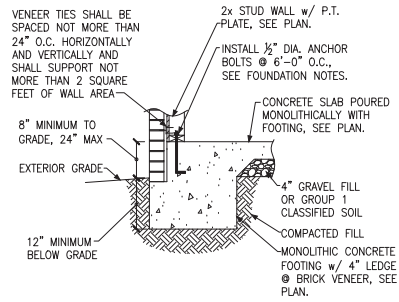


E GABLE END WALL DETAIL

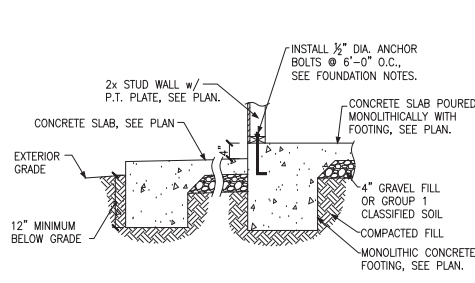




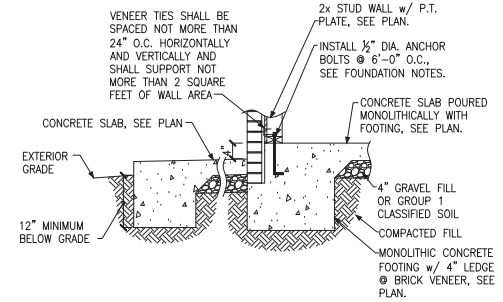
A FOUNDATION SECTION
EXTERIOR WALL



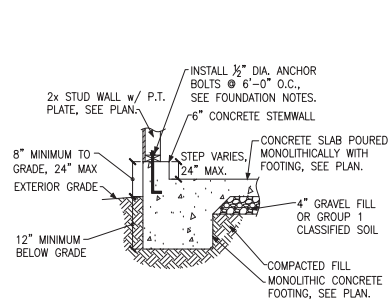
B FOUNDATION SECTION
EXTERIOR WALL @ BRICK VENEER



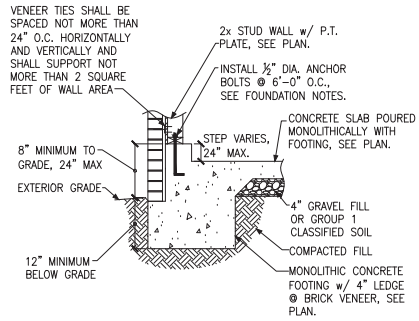
C FOUNDATION SECTION
EXTERIOR WALL AT PORCH



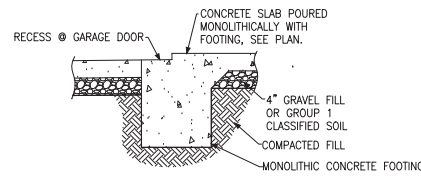
D FOUNDATION SECTION
EXTERIOR WALL AT PORCH w/ BRICK VENEER



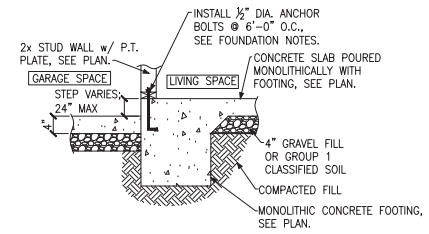
E FOUNDATION SECTION
EXTERIOR GARAGE WALL



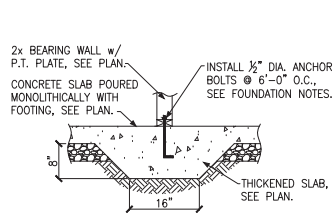
F FOUNDATION SECTION
EXTERIOR GARAGE WALL @ BRICK VENEER



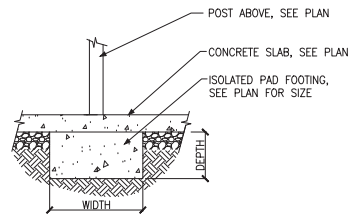
G GARAGE DOOR SECTION
GARAGE DOOR



H THICKENED SLAB
AT GARAGE

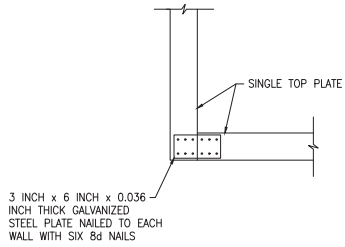


J THICKENED SLAB SECTION
INTERIOR BEARING WALL

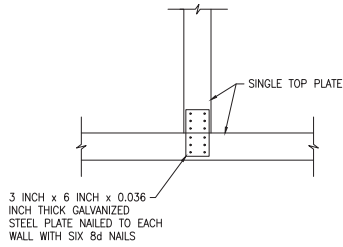


K ISOLATED PAD FOOTING
INTERIOR COLUMN

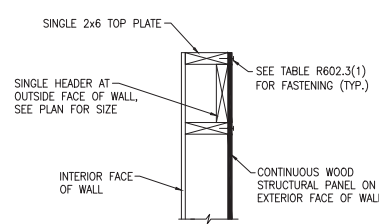




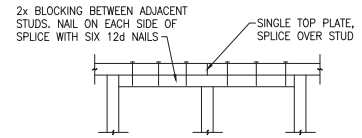
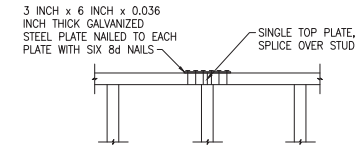
A SINGLE TOP PLATE SPLICE WALL INTERSECTION



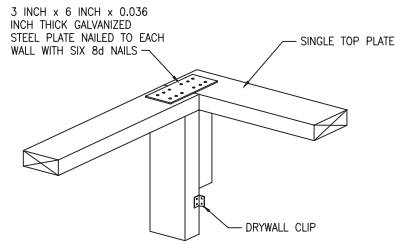
B SINGLE TOP PLATE SPLICE WALL INTERSECTION



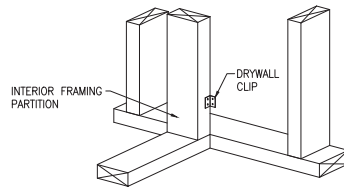
C SINGLE LOAD BEARING HEADER EXTERIOR WALL



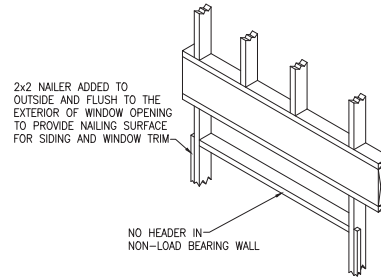
D SINGLE TOP PLATE SPLICE INTERIOR OR EXTERIOR WALL



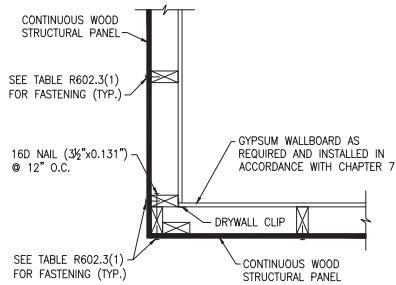
E SINGLE TOP PLATE SPLICE WALL INTERSECTION



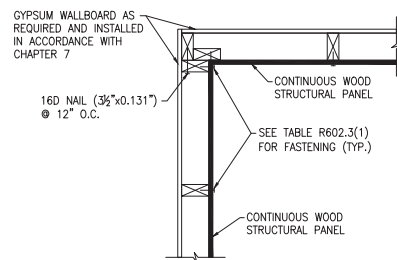
F SINGLE TOP PLATE SPLICE WALL INTERSECTION



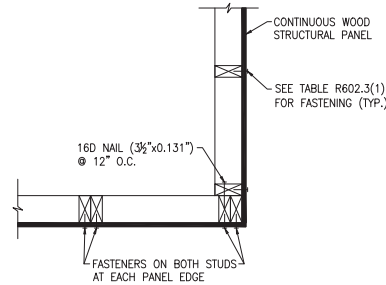
G NON-LOAD BEARING HEADER EXTERIOR WALL



H TYPICAL EXTERIOR CORNER FRAMING OUTSIDE CORNER DETAIL



J TYPICAL EXTERIOR CORNER FRAMING INSIDE CORNER DETAIL



K TYPICAL EXTERIOR CORNER FRAMING GARAGE DOOR CORNER DETAIL

ADVANCED FRAMING NOTES

- 1.) EXTERIOR WALLS TO BE 2x6 S.P.F. STUDS @ 24" O.C. WITH SINGLE TOP PLATE. TOP PLATE TO BE SPLICED PER NC RESIDENTIAL CODE.
- 2.) INTERIOR BEARING WALLS TO BE PER NC RESIDENTIAL CODE.
- 3.) ROOF TRUSSES AND FLOOR JOISTS ARE TO BE STACKED AND CENTERED OVER STUDS WITH A TOLERANCE OF NO MORE THAN 1 INCH. ADDITIONAL STUDS ARE TO BE ADDED WHERE THE ROOF TRUSSES AND FLOOR JOISTS ARE NOT STACKED OVER STUDS WITHIN 1" TOLERANCE.
- 4.) INTERIOR NON-LOAD BEARING WALLS TO BE 2x4 S.P.F. STUDS @ 24" O.C. WITH SINGLE TOP PLATE. TOP PLATE TO BE SPLICED PER NC RESIDENTIAL CODE.
- 5.) LOAD-BEARING HEADERS ARE NOT REQUIRED IN INTERIOR OR EXTERIOR NONBEARING WALLS. A SINGLE FLAT 2x MEMBER MAY BE USED AS A HEADER IN INTERIOR OR EXTERIOR NONBEARING WALLS FOR OPENINGS UP TO 8 FEET IN WIDTH IF THE VERTICAL DISTANCE TO THE PARALLEL NAILING SURFACE IS NOT MORE THAN 24 INCHES. FOR SUCH NONBEARING HEADERS, NO CRIPPLES OR BLOCKING ARE REQUIRED ABOVE THE HEADER.

