#### CYPRESS COVE **ABBREVIATIONS** A A PRESSURE TREATED WD H.R. HALF ROUN HWD HARDWOOD (FL ILLO. N LIEU OF ISUL NSULATED(TION INT NTERIOR ITC N THE CLEAR KIT KITCHEN R&M RANGE W/MICROWAY LIV LIVING LTL LINTEL LVR LOUVER MAX MAXIMUM DRY DRYER MACHINE TEMP TEMPERED (GLASS MISC MISCELLANE MULL MULLION(ED U.N.O. UNLLGGOTHERWISE EXTERIOR OA OVERALL F.F. FINISH FLOOR (LINE OBS OBSCURE (GLA FLR FLOOR(ING WH WATER HEATER FP FIREPLACE OPT OPTIONAL WIC WALK-IN CLOSE FURRED(ING) PEDESTAL (SINK) W/ W/O WITH or WITHOUT ROHND FAIL TERPROOF(ING) CIRCUIT INTERRU

## **GENERAL NOTES**

### 1 - GENERAL BUILDING & DESIGN REQUIREMENTS

1) THE ATTACHED PLANS & SPECIFICATIONS ARE THE SOLE PROPERTY OF TRI POINTE HOMES ANY UNAUTHORIZED USE OF THESE PLANS WITHOUT PRIOR WRITTEN CONSENT OF TRI POINTE HOMES IS STRICTLY

2) TRI POINTE HOMES DESIGNS & BUILDS HOUSING AS SET FORTH BY THE FORMAT AND PROVISIONS OF TH INTERNATIONAL RESIDENTIAL CODE (IRC), AND THE NATIONAL ELECTRIC CODE (NEC). ANY NON-CONFORMING DOCUMENTS DISCOVERED BY THE CONTRACTOR OR HIS AGENTS SHALL BE CALLED TO THE IMMEDIATE ATTENTION OF TRI POINTE HOMES BY CALLING (469)329-0470.

). THESE PLANS ARE SUBJECT TO MODIFICATIONS TO MEET CODE REQUIREMENTS AND/OR TO FACILITATE MECHANICAL/ ELECTRICAL/ PLUMBING INSTALLATION AND/ OR TO IMPLEMENT DESIGN IMPROVEMENTS. ANY

INTENTION TO MODIFY THESE PLANS MUST BE APPROVED IN WRITING BY TRI POINTE HOMES
4) CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AFFECTING CONTRACTOR'S PRODUCTS, INSTALLATIONS, OR FABRICATIONS IN THE FIELD PRIOR TO EXPEDITING THE CONSTRUCTION OF SUCH WORK. FIELD VERIFY ALL DIMENSIONS — DO NOT SCALE DRAWINGS!! CONTRACTOR IS RESPONSIBLE FOR SURVEYING THE PROJECT AND BECOMING FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK

INCLUDING BUT NOT LIMITED TO SITE AND SOIL BEARING CONDITIONS.
5) ERRORS AND OMISSIONS WHICH MAY OCCUR IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, IN WRITING, AND WRITTEN INSTRUCTION SHALL BE OBTAINED PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ERRORS, DISCREPANCIES, OR OMISSIONS FOR WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT PRIOR TO

### 2 - SITE CONSTRUCTION

BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS

) BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS BACKFILL TO NOT DAMA THE FOUNDATION WALLS OR ANY WATERPROOFING/ DAMPPROOFING MATERIALS.

# 3 - CONCRETE

1) SLOPE ON GARAGE SLAB SHALL BE 1/8" PER FOOT TOWARDS VEHICLE DOOR. SLOPE ON PORCH AND

#### 4 - MASONRY

ALL EXTERIOR BRICK MUST MEET ASTM C-216 FOR "SW" CONDITIONS

2) MASONRY VENEER SHALL BE ATTACHED TO SUPPORTING WALLS w/ CORRUGATED METAL TIES IN ACCORDANCE WITH R703.7.4.1 - I.R.C. OR LOCAL CODE REQUIREMENTS

) WEEPHOLES SHALL BE PROVIDED ALONG THE OUTSIDE WYTHE OF EXTERIOR MASONRY WALLS AT 33" O.C. MAX, SHALL BE A MIN. OF 3/16" IN DIAMETER, AND LOCATED IMMEDIATELY ABOVE THE FLASHING PER 18703.7.6 – LR.C.

### 5 - METALS

### 6 - WOOD AND PLASTICS

### 7 - THERMAL & MOISTURE PROTECTION

) Fire stopping and/ or draft stopping shall meet the requirements of IRC R602.8. 2) Attic ventilation shall be provided at 1/300 th of the Area of the Space ventilated. Cross VANILATION WITH HALF OF THE VENTILATED AREA SHALL BE PROVIDED BY ROOF VENTS AND THE OTHER HALF BY SOFFIT VENTS. VENTS SHALL BE PLACED SO AS TO NOT ALLOW INFILTRATION OF RAIN OR SNOW. ) PROVIDE APPROVED TILE BACKER DRYWALL FOR ALL SHOWER AND BATH SPACE ) PROVIDE ATTIC VENTILATION PER IRC-R806.1

### 8 - DOORS AND WINDOWS

- ) REVIEW ALL WINDOW HDR HEIGHTS PER PLATE HT. AND VERIFY W/ ELEVATIONS AND CORNICE DETAILS TEMPERED GLASS SHALL BE USED IN HAZARDOUS AREAS AS DESCRIBED IN SECTION R308.4 - LR.C.
- FRONT DOOR WIDTH PER IRC-R311.3
- GARAGE DOOR PER IRC-R309.1

) EMERGENCY EGRESS SHALL MEET REQUIREMENTS OF SECTION R310 - LR C 2018 - SLEEPING ROOMS HALL HAVE AT LEAST ONE EGRESS OPENING OF NOT LESS THAN 5.7 SF AND A CLEAR OPENING OF NOT IFSS THAN 20" WIDE X 24" HIGH AND SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR

### 15 - MECHANICALS

WOOD BUILT CHIMNEYS AND FIREPLACES SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND RE SUBJECT TO MECHANICAL INSPECTION PER IRC SECTION R1002.1 ) EXTERIOR AIR INTAKE FOR COMBUSTION AIR PER IRC SECTION AS REQUIRED BY LOCAL MUNICIPALITY

### 16 - ELECTRICAL

ALL FLECTRICAL INSTALLATION SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE (NEC). MATERIAL AND EQUIPMENT SHALL BEAR THE LABEL OF APPROVAL OF THE UNDERWRITERS ABORATORIES, INC.

) ELECTRICAL CONTRACTOR SHALL VERIFY SPACE REQUIRED FOR METER INSTALLATION BEFORE ONSTRUCTION AND SHALL NOTIFY GENERAL CONTRACTOR OF ANY DISCREPANCIES.

VERIFY LOCATION OF ALL RECEPTACLES FOR APPLIANCES WITH MANUFACTURER SPECIFICATIONS.

GROUND FAULT INTERRUPTS SHALL BE LOCATED PER THE NEC ALL SWITCHES SHALL BE INSTALLED AT 3'-6" ABOVE FINISHED FLOOR TO CENTERLINE OF SWITCH

VLESS NOTED OTHERWISE ) ALL CONVENIENCE OUTLETS SHALL BE INSTALLED W/ CENTERLINE OF OUTLET LOCATED 1'-3" ABOVE

INISHED FLOOR UNLESS NOTED OTHERWISE ALL CONVENIENCE OUTLETS WITH SWITCHES TO BE SWITCH AT TOP ONLY.

ALL EXTERIOR WALL BRACKET FIXTURES SHALL BE INSTALLED AS NOTED ON PLANS.

APPROVED SMOKE DETECTORS SHALL BE LOCATED ON EVERY STORY OF THE DWELLING UNIT AS PER IRC CTION R317 (SEE SHEET B1.1 FOR LOCATIONS). WHERE MORE THAN ONE DETECTOR IS REQUIRED THEY SHALL BE INTERCONNECTED. POWER SOURCE SHALL BE BUILDING POWER w/ BATTERY BACKUP. )) CONDUCTORS SHALL BE OF COPPER.

### GENERAL FRAMING SPECS AND CONSTRUCTION NOTES STAIRS:

1) THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4 INCHES AND THE MINIMUM TREAD DEPTH SHALL BE 10 CHES IN ACCORDANCE WITH SECTION I.R.C.

HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34 INCHES AND 38 INCHES SHALL BE OVIDED ON AT LEAST. ONE SIDE OF STAIRWAYS IN ACCORDANCE WITH SECTION R315.1 — I.R.C HANDRAIL AND BALUSTRADE (WHERE PRESENT) SHALL BE CONSTRUCTED. ACCORDING TO IRC. ALL REQUIRED HAND RAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS W/ 2 OR MORE SERS FROM A POINT ABOVE THE THE TOP RISER OF A FLIGHT TO A POINT ABOVE THE LÓWEST RISER OF THE FLIGHT. ENDS SHALL BE RETURNED OR SHALL TERMINATE AT NEWEL POSTS OR SAFETY TERMINALS. ANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1.5" BETWEEN THE WALL

### WALLS:

) ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD. ALL STUDS ARE 3 1/2" UNLESS NOTED. ALL DIMENSIONS PRESENTED HERE ARE FRAME DIMENSIONS ONLY.

I SEPARATION BETWEEN THE RESIDENCE AND THE GARAGE SHALL BE MAINTAINED BY INSTALLATION OF  $rac{1}{2}"$ GYPSUM BOARD ON ALL COMMON WALLS. 2-STORY HOMES REQUIRE 5/8" TYPE X GYPSUM BOARD AT CARAGE CEILINGS WHERE HABITABLE ROOMS ARE PRESENT ABOVE.

### FLOORS:

STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORED, OR NOTCHED IN EXCESS OF THE LIMITATIONS ECIFIED IN IRC

) THE ENDS OF EACH JOIST, BEAM, OR GIRDER SHALL HAVE NOT LESS THAN 1.5 INCHES OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3 INCHES ON MASONRY OR CONCRETE OR AS OTHERWISE SPECIFIED

) ALL DIMENSIONAL FLOOR JOISTS TO BE PER ENGINEER STRUCTURAL PLANS.

### FRAMING:

ALL FRAMING DIMENSIONS TO FACE OF MEMBER.

ALL BEARING HEADERS TO BE PER ENGINEERING PLANS. FIRE STOPPING AND / OR DRAFT STOPPING SHALL MEET THE REQUIREMENTS OF IRC R602.8.

### **ROOF**

HIP AND VALLEY RAFTERS SHALL BE SUPPORTED AT RIDGE DOWN TO BEARING PARTITION. CUT ENDS OF RAFTERS SHALL BE FULLY SUPPORTED WALL AND RIDGE

REQUIRED VENTILATION AREAS CALCULATED AT 1/300 RATIO

### SQUARE FOOTAGE

### Elevation "B" (Slah S.F.)

(SIAU 3.F.)		
Slab Area	Sq. Ft.	
FIRST FLOOR	1767	
2 BAY GARAGE	428	
PORCH	172	
COVERED OUTDOOR LIVING	153	
Total Slab Area	2520	

## (Outside of Frame S.F.)

A/C Area	Sq. Ft.
FIRST FLOOR	1767
Total A/C Area	1767
Non-A/C Area	Sq. Ft.
2 BAY GARAGE	428
PORCH	172
COVERED OUTDOOR LIVING	153
Total Non-A/C Area	753

### (Inside of Frame S.F.)

A/C Area	Sq. Ft.
FIRST FLOOR	1718
Total A/C Area	1718

NOTE: ALL OPTIONAL SQUARE FOOTAGES LISTED ARE INDEPENDENT OF AND IN ADDITION TO BASE SQUARE FOOTAGES

OPTIONS

BUILDING CODE COMPLIANCE

LECTRICAL PLANS DESIGNED TO MEET OR EXCEED MINIMUM

CONSTRUCTION PLANS DESIGNED TO MEET OR EXCEED

MINIMUM CODE REQUIREMENTS OF 2018 LR (

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	"01.E21"	2ND FLR. ELECTRICAL PLAN UPGRADE OPTION		

### Serenity - Lot 280 - 5920-04 (Cypress Cove) - Elevation B

\*Gourmet Kitchen 1

\*Bed 3 ILO Flex Space

\*Great Room Fireplace

\*Great Room Tray Ceiling

\*12080 Sliding Glass Door at Great Room

\*Primary Suite Tray Ceiling

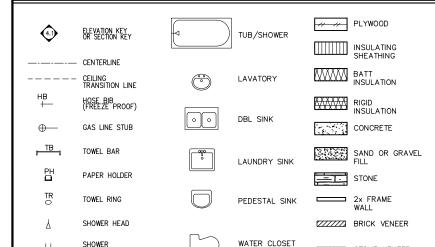
\*Primary Bath 1 (Shower Seat)

\*Cabinets ILO Linen by Primary Suite

# SYMBOLS

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SHOWER CONTROLS



**Dointe**HOMES

BIVd Business Operation 5440 Wade Park Blv Suite 400 Raleigh, NC 27607

NOTES SERENITY GENERAL @ SEF XING SERENE ALTIS ઝ

SHE SUBDIVISION: ADDRESS:

11-17-24 Issue Date: ACC

5920-04

CYPRESS COVE

G0.01

STONE VENEER

REL. #	REVISION INDEX REL. # DESCRIPTION DATE		DRAWN B
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HOMES

5440 WADE PARK BLVD, SUITE 400, RALEIGH, NG 27607

Business Operations 5440 Wade Park Blvd Suite 400 Raleigh, NC 27607

SUBDIVISIONS & SYMBOLS
SUBDIVISION: ALTIS ® SERENITY
ADDRESS: 80 SERENE XING
LOT: 280 BLOCK:

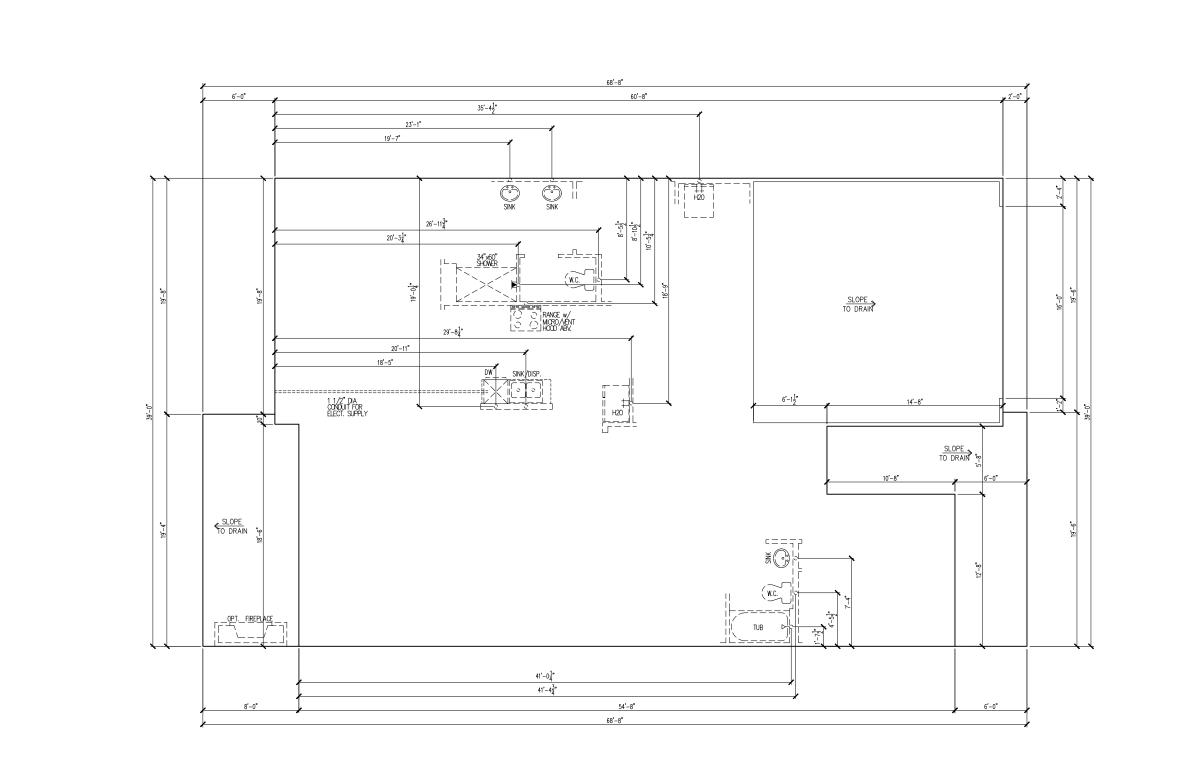
Issue Date: 11-17-24

Drawn By: ACC

5920-04

PLAN NAME:
CYPRESS COVE

G0.11



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H O M E \$
5440 WADE PARK BLVD, SUITE 400, RALFIGH, NG 27807

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BASE FOUNDATION PLAN

SUBDIVISION: ALTIS ® SERENITY ADDRESS: 80 SERENE XING LOT: 280 BLOCK:

Issue Date: 11-17-24

Drawn By: ACC

5920-04

CYPRESS COVE

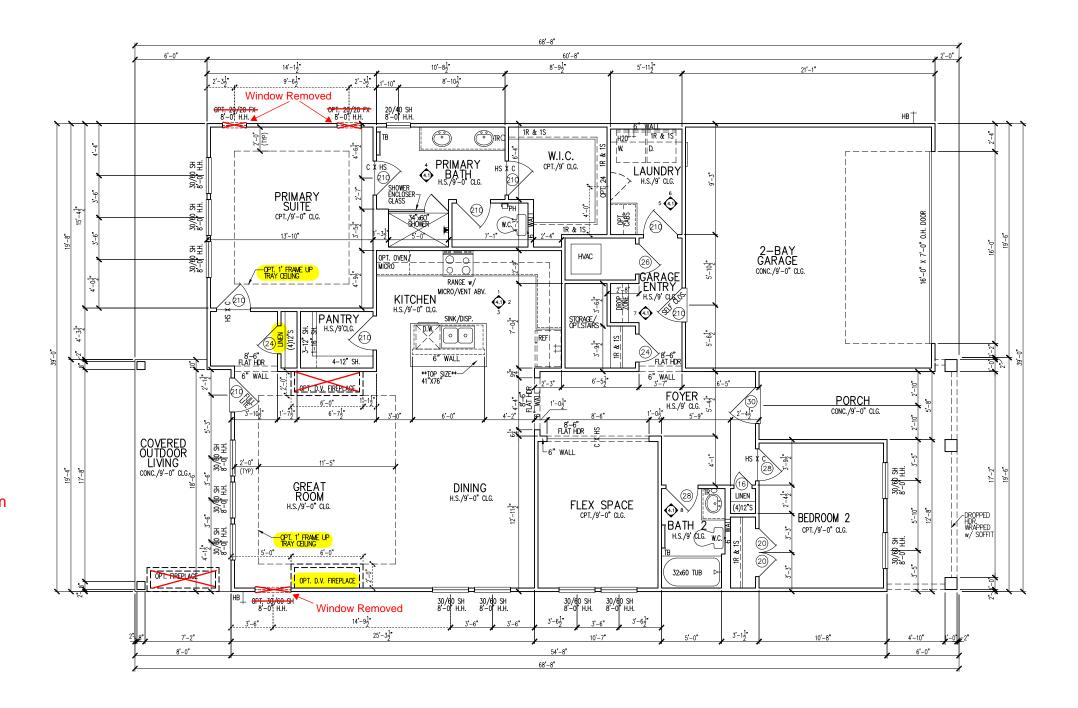
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### MAIN FLOOR NOTES # EXPLANATION ALL NON-DIMENSIONED PARTITIONS ARE 3-1/2" ROUGH ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS NOTED PROVIDE MIN. 2-2x12's w/ 1/2" PLYWD. FLITCH PLATE AT ALL EXTERIOR WALL OPENINGS & INTERIOR BEARING WALL OPENINGS ALL EXTERIOR DIM'S ARE TO FACE OF STUDS U.N.O. ALL TRUSSES TO BEAR ON EXTERIOR WALLS AND/OR GIRDER TRUSS MFG. TO SIZE MEMBERS, FASTENERS, HANGERS & SET SPACING FOR ALL TRUSSES WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS TO HAVE A CLEAR EGRESS OPENING OF 5.7 SQ. FT. w/MIN DIM'S OF 24" IN HT AND 20" IN WIDTH; SILL HT NOT TO EXCEED 44" AFF ALL BALUSTER TO BE SPACED SUCH THAT A 4" SPHERE CANNOT PASS BETWEEN BALUSTER ALL ELEC. & MECH. EQUIPMENT & METERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS; CONTRACTOR TO FOR ADDITIONAL NOTES, SEE GENERAL NOTES ON TITLE SHEET & DETAILS ALL TYP. WINDOWS 6'-0" IN HT AND SMALLER, THE HEAD HEIGHT SHALL BE 8'-10" ABOVE FINISHED FLOOR (U.N.O.) STRUCTURAL ENGINEERING PROVIDED BY OTHERS REFER TO INTERIOR ELEVATIONS SHEET TO VIEW BUBBLE

### **Options**

- \*Gourmet Kitchen 1
- \*Bed 3 ILO Flex Space
- \*Great Room Fireplace
- \*Great Room Tray Ceiling
- \*12080 Sliding Glass Door at Great Room
- \*Primary Suite Tray Ceiling
- \*Primary Bath 1 (Shower Seat)
- \*Cabinets ILO Linen by Primary Suite

PATIO DOOR TO BE 8'



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H O M E S
5440 WADE PARK BLVD, SUITE 400, RALEGH, NO 27807

Business Operations 5440 Wade Park Blvd Suite 400 Raleigh, NC 27607

1st FLOOR PLAN

ON: ALTIS ® SERENITY

80 SERENE XING

SUBDIVISION:
ADDRESS: 86
LOT: 280 E

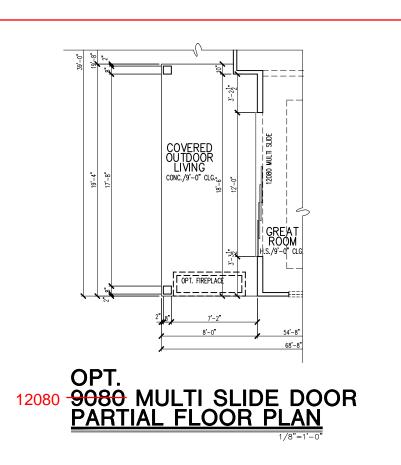
Issue Date: 11-17-24

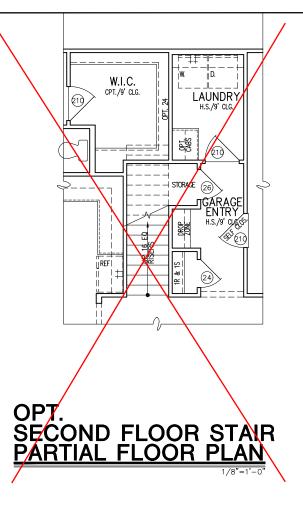
Drawn By: ACC

5920-04

CYPRESS COVE

A1.10







### MAIN FLOOR NOTES

# EXPLANATION

1. ALL NON-DIMENSIONED PARTITIONS ARE 3-1/2" ROUGH

ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS NOTED OTHERWISE (U.N.O.)

PROVIDE MIN. 2-2x12's w/ 1/2" PLYWD. FLITCH PLATE AT ALL EXTERIOR WALL OPENINGS & INTERIOR BEARING WALL OPENINGS U.N.O.

4. ALL EXTERIOR DIM'S ARE TO FACE OF STUDS U.N.O.

5. ALL TRUSSES TO BEAR ON EXTERIOR WALLS AND/OR GIRDER TRUSS U.N.O.

6. TRUSS MFG. TO SIZE MEMBERS, FASTENERS, HANGERS & SET SPACING FOR ALL TRUSSES

7. WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS TO HAVE A CLEAR EGRESS OPENING OF 5.7 SQ. FT. W/MIN DIM's OF 24" IN HT AND 20" IN WIDTH; SILL HT NOT TO EXCEPT AND AN AFE

8. ALL BALUSTER TO BE SPACED SUCH THAT A 4" SPHERE CANNO PASS BETWEEN BALUSTER

ALL ELEC. & MECH. EQUIPMENT & METERS ARE SUBJECT TO
9. RELOCATION DUE TO FIELD CONDITIONS; CONTRACTOR TO

10. FOR ADDITIONAL NOTES, SEE GENERAL NOTES ON TITLE SHEET

11. ALL TYP. WINDOWS 6'-0" IN HT AND SMALLER, THE HEAD HEIGH SHALL BE 8'-10" ABOVE FINISHED FLOOR (U.N.O.)

2. STRUCTURAL ENGINEERING PROVIDED BY OTHERS

3. REFER TO INTERIOR ELEVATIONS SHEET TO VIEW BUBBLE CALLOUTS

4. INTERIOR DOOR HEIGHTS ARE PER SPEC - FRONT & REAR PATIO DOOR TO BE 8'

OPT. STUDY
PARTIAL FLOOR PLAN
1/8'=1'-0'

STUDY CPT./9'-0" CLG.

30/60 SH 8'-0" H.H. 8'-0" H.H.



tri pointe H O M E S 5440 WADE PARK BLVD, SUITE 400, RALEGGH, NO 22807

Business Operations 5440 Wade Park Blvd Suite 400 Raleigh, NC 27607

R PLAN – OPTIONS

N: ALTIS ® SERENITY

80 SERENE XING

FLOOR

SUBDIVISION:
ADDRESS: 80
LOT: 280 B)

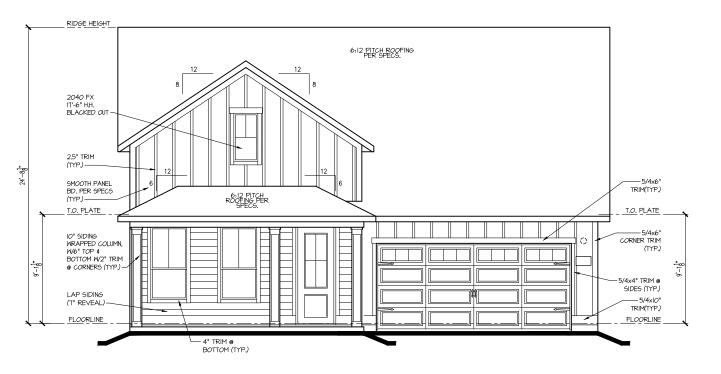
Issue Date: 11-17-24

Drawn By: ACC

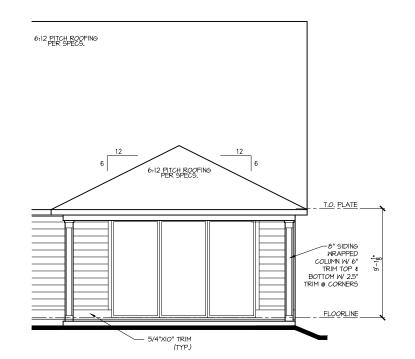
5920-04

CYPRESS COVE

01.A10



# FRONT ELEV. "B"



OPT. 12'x8' SLIDING GLASS DOOR @ GREAT ROOM / DINING PARTIAL REAR ELEVATION



REAR ELEV. "B"

tri pointe.
HOMES

6440 WADE PARK BLVD, SUITE 400, RALEIGH, NC 27807

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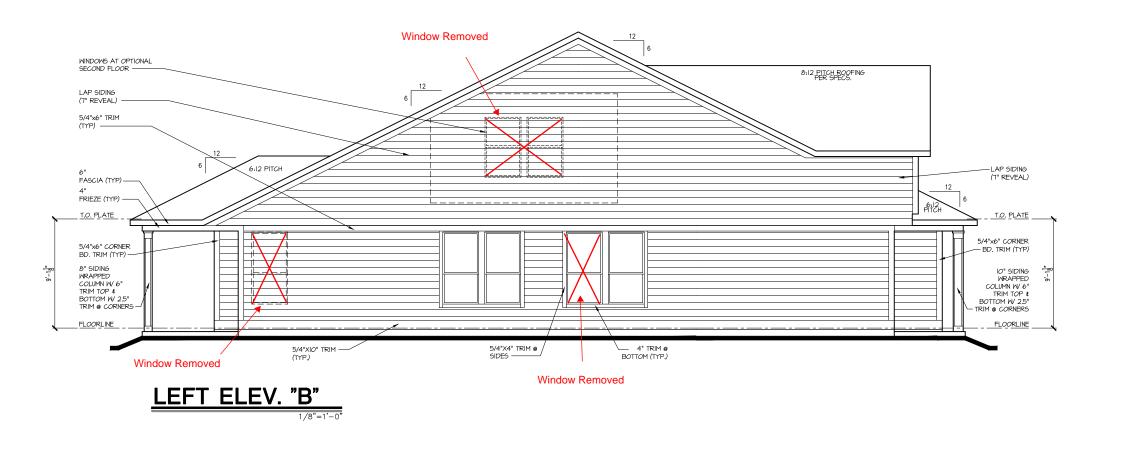
EXTERIOR ELEVATIONS
SUBDIVISION: ALTIS ® SERENITY
ADDRESS: 80 SERENE XING
LOT: 280 BLOCK:

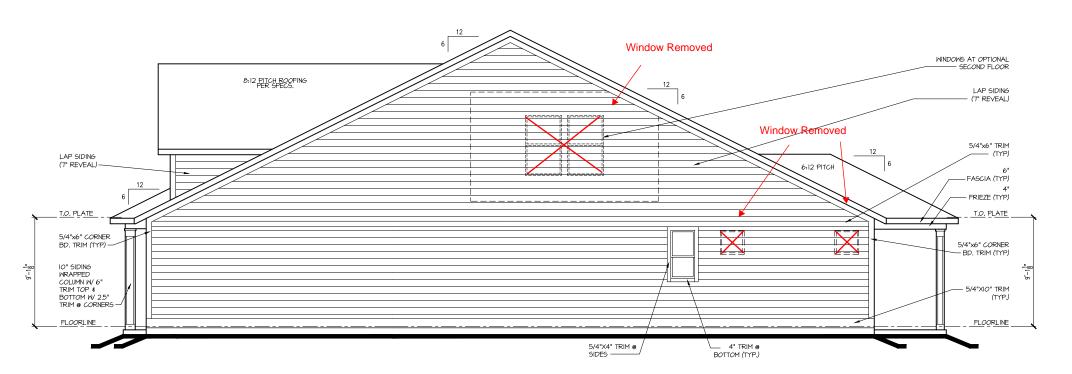
Issue Date: 11-17-24
Drawn By: ACC

5920-04

CYPRESS COVE

A2.01B





RIGHT ELEV. "B"

tribointe HOME S 5440 WADE PARK BLVD, SUITE 400, RALEIGH, NC 27607

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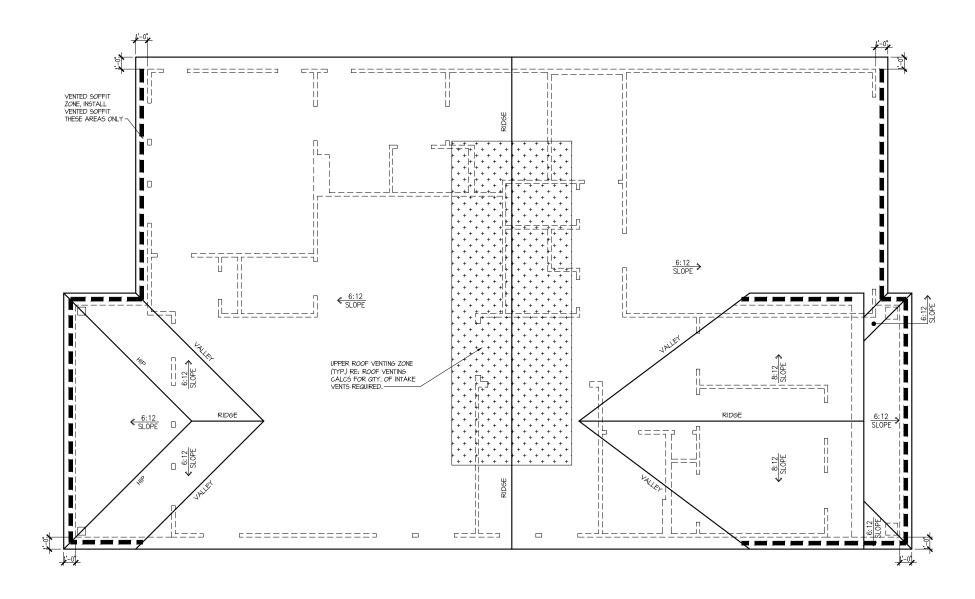
SUBDIVISION: ALTIS © SERENITY
ADDRESS: 80 SERENE XING
LOT: 280 BLOCK:

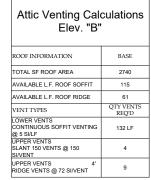
Issue Date: 11-17-24
Drawn By: ACC

5920-04

CYPRESS COVE

A2.02B





NOTE:
OTY OF UPPER VENTS SHOWN COVERS 100% OF UPPER VENTING. NO MIXING OF VENT TYPES FOR UPPER VENTING IS FIGURED FOR IN THIS TABLE.



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N: ALTIS @ SERENITY 80 SERENE XING ROOF PLAN

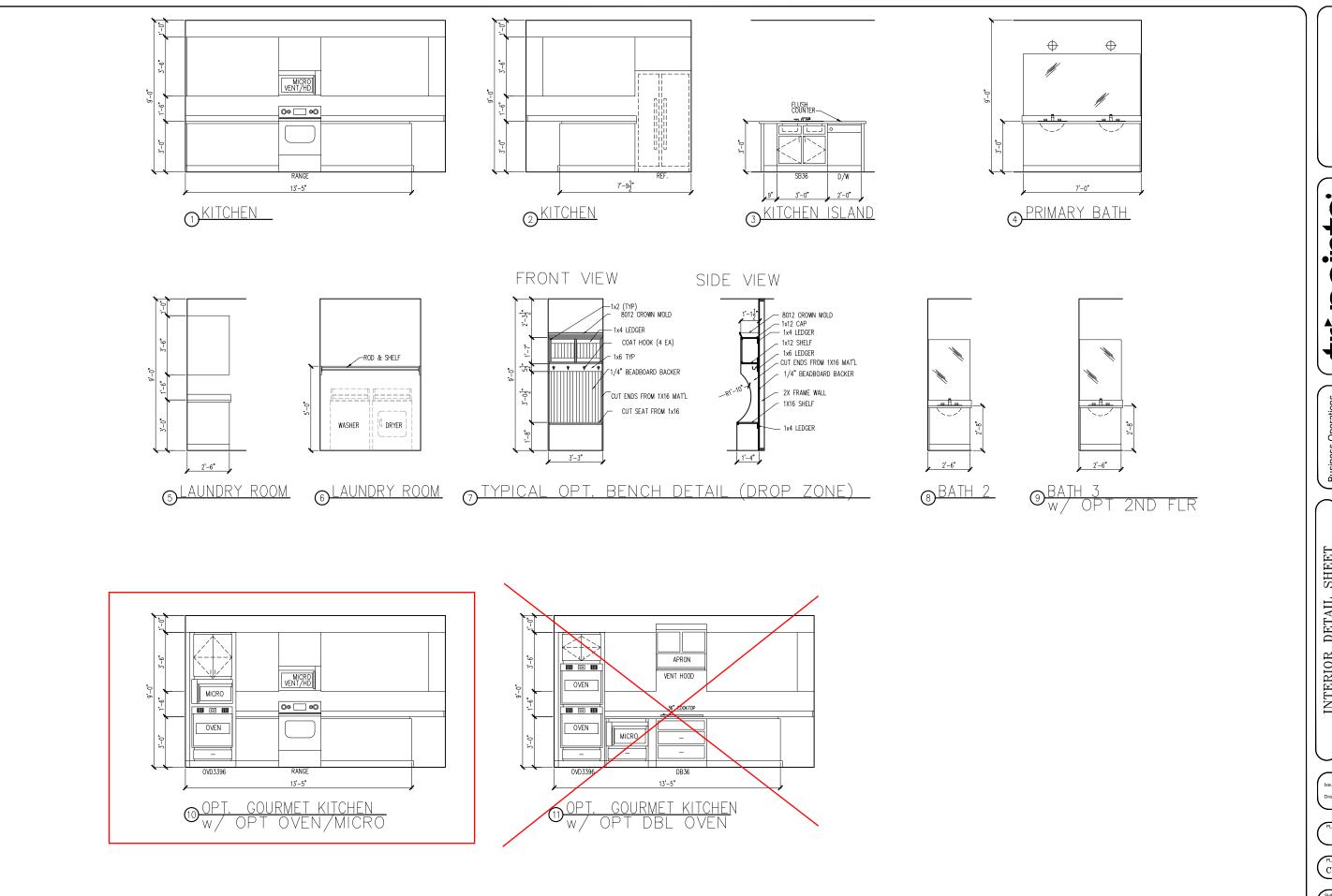
SUBDIVISION:
ADDRESS: 80
LOT: 280 BI

Issue Date: 11-17-24 Drawn By: ACC

5920-04

CYPRESS COVE

A3.01B



tri pointe HOMES 5440 WADE PARK BLVD, SUITE 400. RALEIGH, NG 27607

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INTERIOR DETAIL SHEET

SUBDIVISION: ALTIS ® SERENITY
ADDRESS: 80 SERENE XING
LOT: 280 BLOCK:

Issue Date: 11-17-24 Drawn By: ACC

5920-04

CYPRESS COVE

A4.01

ELECTRICAL I SCHEDU	FIXTURE LE
DESCRIPTION	SYMBOL
110V OUTLET	ф
220V OUTLET	<b>\$</b> 220
1/2 HOT OUTLET	₩
GFI OUTLET	∜\$ GFI
WP GFI OUTLET	₩P/GFI
GARAGE DOOR OPENER OUTLET	Ø GDO
SECURITY SYSTEM	♦ SEC SYS
DISHWASHER	●DW
JUNCTION BOX	9
CEILING MOUNTED LIGHT	- <b>-</b> -
CEILING FAN w/ LIGHT KIT	BRAYING
RECESSED CEILING LIGHT	Ø
RECESSED WATER PROOF LIGHT	<b>™</b> MP
WALL MOUNTED LIGHT	Q
WALL MOUNTED PUSH BUTTON	₫ PB
TWO WAY SWITCH	\$
THREE WAY SWITCH	<b>*\$</b>
FOUR WAY SWITCH	\$
DIMMER SWITCH	\$ <sup>DIM</sup>
EXHAUST VENTS	<b>S</b> VENT TO EXT
LOW VOLTAGE PANEL	
PHONE OUTLET	<b>⊕</b> PH
TV OUTLET	<b>⊕</b> TV
DATA & RG6 COMBO BOX	
SMOKE DETECTOR	<u>(S</u>
CARBON MONOXIDE SMOKE DETECTOR COMBO	⊚ CM/SD
DOOR CHIMES	CHIMES
ELECTRICAL PANEL	EP EP
SURFACE MOUNT LED	-
EXTERIOR WALL MOUNT UPLIGHT	8
SOFFIT MOUNT FLOOD LIGHT	442
UNDER COUNTER LIGHTING	-coo- UCL
SMURF TUBE	

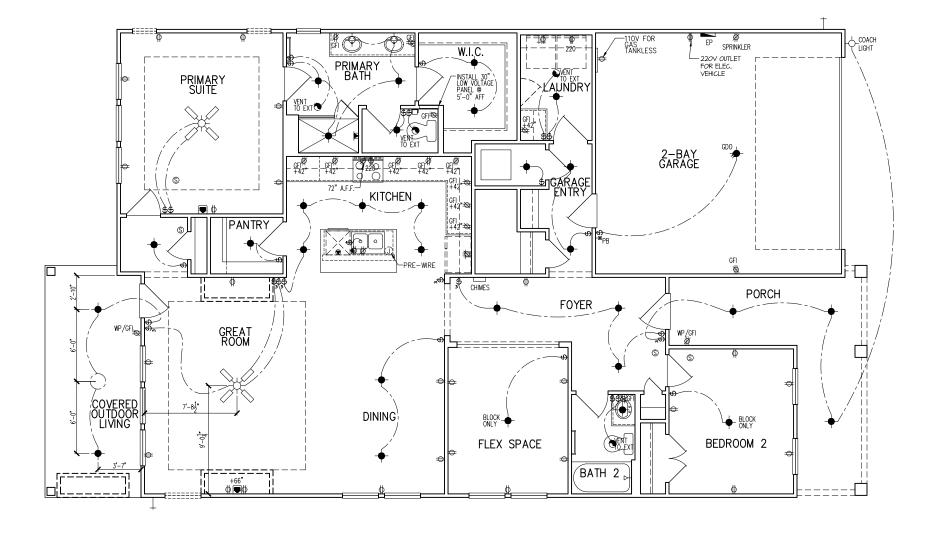
### **ELECTRICAL NOTES:**

- PROVIDE AND INSTALL LOCALLY CERTIFIED

  SMOKE AND CARBON MONOXIDE DETECTORS AS
  REQUIRED BY NATIONAL FIRE PROTECTION
  ASSOCIATION (NFPA) AND MEETING THE
  REQUIREMENTS OF ALL GOVERNING CODES
  PROVIDE AND INSTALL GROUND FAULT
  CIRCUIT—INTERRUPTERS (GT) AS REQUIRED BY
  NATIONAL ELECTRIC CODE (NEC) AND MEETING
  THE REQUIREMENTS OF ALL GOVERNING CODES.
  ELECTRICAL CONTRACTOR TO PROVIDE
  REQUIRED DIRECT HOOK—UPS/CUTOFFS.
  HVAC CONTRACTOR TO VERIFY THERMOSTAT
  LOCATIONS.
  ALL ELECTRICAL AND MECHANICAL EQUIPMENT
  (I.E. FURNACES, A/C UNITS, ELECTRICAL PANELS,
  SANITARY SUMP PITS, DRAIN TILE SUMP, AND
  WATER HEATERS) ARE SUBJECT TO REJOCATION
  WATER HEATERS) ARE SUBJECT TO REJOCATION

SANITARY SUMP PITS, DRAIN TILE SUMP, AN WATER HEATERS) ARE SUBJECT TO RELOCAT DUE TO FIELD CONDITIONS.		
ELECTRICAL DEVICES: ABOVE FINISHED	FLOOR	:
SWITCHES OVER COUNTER	8". TO.	
WALL OUTLETS OVER COUNTER		
+42" TO BOTTOM OF HORIZONTAL OUTLET(TYP. @ COL		
REMAINING SWITCHES		
WALL OUTLETS		CL.
BATH VANITY BRACKET OUTLET		
WATER SOFTENER AND SUMP OUTLETS 4		
EXTERIOR GFI OUTLETS		
GARAGE GFI (ABOVE GARAGE FLOOR) 4		
FRONT DOOR COACH LIGHT		
GARAGE DOOR COACH LIGHT, (ABOVE GARAGE FLOOR)	4" TO	CI.
THERMOSTAT	4 · IU	CL
DOORBELL CHIMES		
DOORBELL BUTTON	aaH. A	IDLE
KITCHEN HOOD FAN "WHIP" 6	6". TQ	CL
KITCHEN WALL HUNG MICROWAVE OUTLET 7	2" TO	CL
KITCHEN DISHWASHER RECEPTACLE		
KITCHEN RANGE		
KITCHEN REFRIGERATOR		
WASHER/DRYER OUTLET	8". TO.	CL

CL = CENTER LINE 1 = FIELD VERIFY 2 = MASTER BATH STANDARD 30" HIGH VANITY TO BE RAISED 4"



Dointe HOMES RR BLD. SUITE 400, FALEIGH, NG 27607

Business Operations 5440 Wade Park Blvd Suite 400 Raleigh, NC 27607

ALTIS @ SERENITY
0 SERENE XING ELECTRICAL PLAN 1st FLOOR SUBDIVISION:
ADDRESS: 80
LOT: 280 BL

Issue Date: 11-17-24 Drawn By: ACC

BLOCK:

5920-04

CYPRESS COVE

E1.10B

ELECTRICAL EIVTLIRE		
ELECTRICAL I SCHEDU	LE	
DESCRIPTION	SYMBOL	
110V OUTLET	Ф	
220V OUTLET	Ф 220	
1/2 HOT OUTLET	•	
GFI OUTLET	₩ GFI	
WP GFI OUTLET	₩P/GFI	
GARAGE DOOR OPENER OUTLET	Ø GDO	
SECURITY SYSTEM	♦ SEC SYS	
DISHWASHER	<b>⊕</b> DW	
JUNCTION BOX	Ū	
CEILING MOUNTED LIGHT	÷	
CEILING FAN w/ LIGHT KIT	PROVIDE	
RECESSED CEILING LIGHT	Ø	
RECESSED WATER PROOF LIGHT	)⊠(WP	
WALL MOUNTED LIGHT	9	
WALL MOUNTED PUSH BUTTON	<b>d</b> PB	
TWO WAY SWITCH	\$	
THREE WAY SWITCH	*\$	
FOUR WAY SWITCH	*\$	
DIMMER SWITCH	\$ <sup>DIM</sup>	
EXHAUST VENTS	SVENT TO EXT	
LOW VOLTAGE PANEL		
PHONE OUTLET	<b>●</b> PH	
TV OUTLET	<b>●</b> TV	
DATA & RG6 COMBO BOX		
SMOKE DETECTOR	<u>(S)</u>	
CARBON MONOXIDE SMOKE DETECTOR COMBO	⊚ CM/SD	
DOOR CHIMES	CHIMES	
ELECTRICAL PANEL	EP EP	
SURFACE MOUNT LED	•	
EXTERIOR WALL MOUNT UPLIGHT	8	
SOFFIT MOUNT FLOOD LIGHT	₹\$	
UNDER COUNTER LIGHTING	UCL	
SMURF TUBE		

### **ELECTRICAL NOTES:**

- 1. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE AND CARBON MONOXIDE DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES 2. PROVIDE AND INSTALL GROUND FAULT ORCULT—INTERRUPTERS (GF) AS REQUIRED BY NATIONAL ELECTRIC CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.

  3. ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK—UPS/CUTOFFS.

  4. HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.

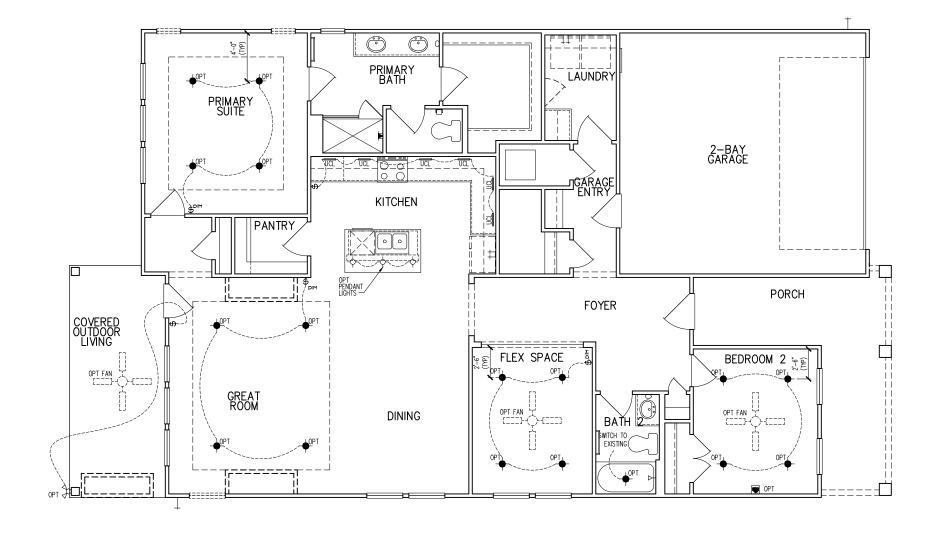
  5. ALL ELECTRICAL AND MECHANICAL EQUIPMENT (I.E. FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS, DRAIN TILE SUMP, AND WATER HEATERS) ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS.

DUE TO FIELD CONDITIONS.
ELECTRICAL DEVICES: ABOVE FINISHED FLOOR:
SWITCHES OVER COUNTER
WALL OUTLETS OVER COUNTER
+42" TO BOTTOM OF HORIZONTAL OUTLET(TYP. @ COUNTER)
REMAINING SWITCHES
WALL OUTLETS
BATH VANITY BRACKET OUTLET 1,2 (1" ABOVE TOP OF VANITY)
WATER SOFTENER AND SUMP OUTLETS 48" TO CL
EXTERIOR GFI OUTLETS
GARAGE GFI (ABOVE GARAGE FLOOR) 48" TO CL
FRONT DOOR COACH LIGHT
GARAGE DOOR COACH LIGHT, (ABOVE GARAGE FLOOR) 84".TO CL
THERMOSTAT
DOORBELL CHIMES
DOORBELL BUTTON
KITCHEN HOOD FAN "WHIP"
KITCHEN WALL HUNG MICROWAVE OUTLET 72" TO CL
KITCHEN DISHWASHER RECEPTACLE JNDER SINK
KITCHEN RANGE
KITCHEN REFRIGERATOR
WASHER/DRYER OUTLET
CL = CENTER LINE

CL = CENTER LINE

1 = FIELD VERIFY

2 = MASTER BATH STANDARD 30" HIGH
VANITY TO BE RAISED 4"



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Business Operations 5440 Wade Park Blvd Suite 400 Raleigh, NC 27607

1st FLOOR ELEC. PLAN – OPITONS
SUBDIVISION: ALTIS © SERENITY
ADDRESS: 80 SERENE XING

SUBDIVISION:
ADDRESS: 80
LOT: 280 BL Issue Date: 11-17-24

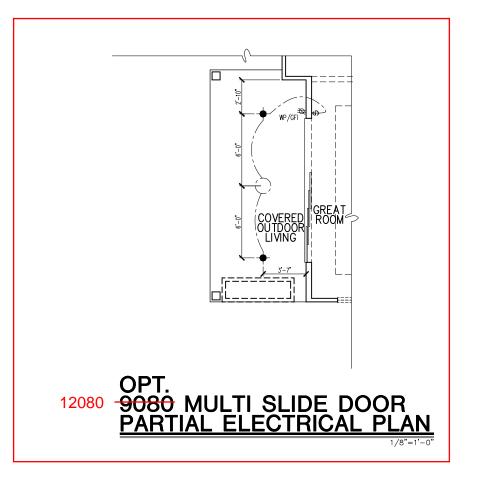
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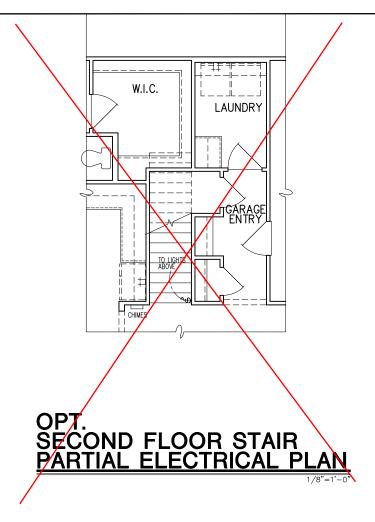
Drawn By: ACC

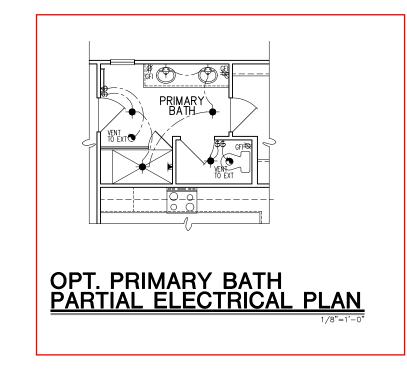
5920-04

CYPRESS COVE

E1.11B









### **ELECTRICAL NOTES:**

PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE AND CARBON MONOXIDE DETECTORS REQUIRED BY ANDIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES PROVIDE AND INSTALL GROUND FAULT GROUND FAUL

WALL OUTLETS.

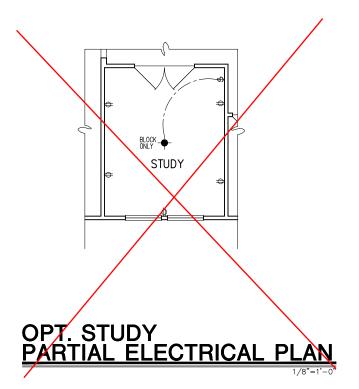
BATH VANITY BRACKET OUTLET.
(1' ABOVE TOP OF VANITY)

WATER SOFTENER AND SUMP OUTLETS.

EXTERIOR GFI OUTLETS.

CARAGE GFI (ABOVE CARAGE FLOOR).

FRONT DOOR COACH LIGHT. 84". TO CL 54". TO CL 84". TO CL BY HANDLE 66". TO CL 72" TO CL UNDER SINK 24". TO CL 48". TO CL 48". TO CL GARAGE DOOR COACH LIGHT, (ABOVE GARAGE FLOOR). . . DOORBELL CHMES. 484
DOORBELL BUTTON. 566
KITCHEN HOOD FAN "WHP" 666
KITCHEN WALL HING MICROWAVE OUTLET. 72
KITCHEN DISHONSHER RECEPTALE. UN
KITCHEN FROM ENERGER RECEPTALE. 48
CI = CENTER LINE
1 = FELD VERFY
2 = MASTER BATH STANDARD 30" HIGH
VANITY TO BE RASED 4"





Dointe HOMES RR RI VD. SUITE 400, RALEIGH, NC 22607

Business Operations 5440 Wade Park Blvd Suite 400 Raleigh, NC 27607

N: ALTIS @ SERENITY 80 SERENE XING OPTIONS

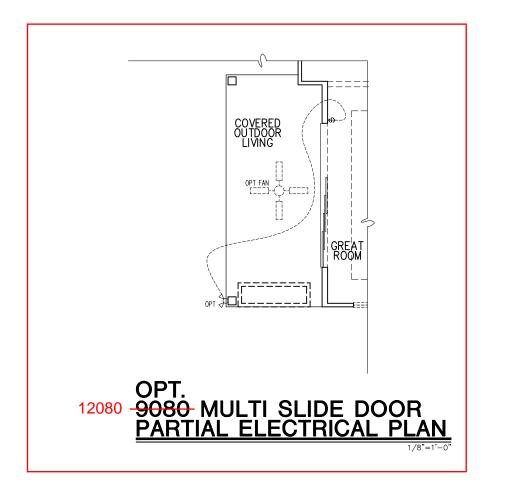
SUBDIVISION: ADDRESS: LOT: 280

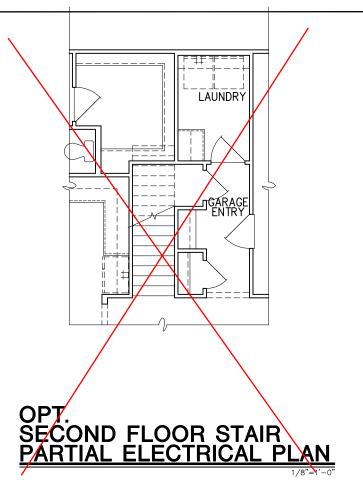
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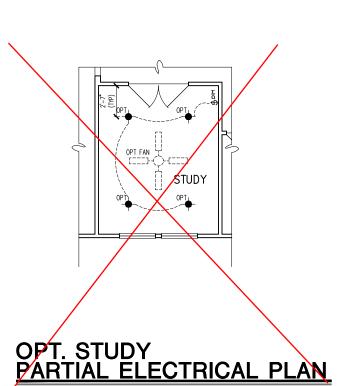
5920-04

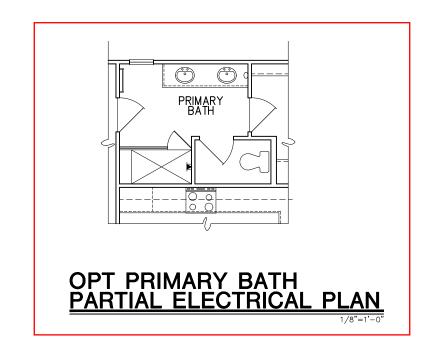
CYPRESS COVE

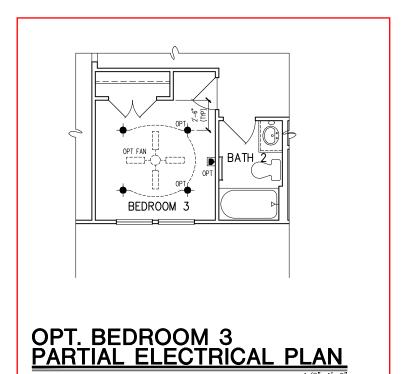
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1st FLOOR ELEC. PLAN - OPTIONS N: ALTIS @ SERENITY 80 SERENE XING

SUBDIVISION:
ADDRESS: 80
LOT: 280 BL

Issue Date: 11-17-24

Drawn By: ACC

5920-04

PLAN NAME:
CYPRESS COVE

01.E11

#### GENERAL STRUCTURAL NOTES

#### FLOOR FRAMING

- L- IOISTS/TRUSSES SHALL BE DESIGNED BY MANUE TO MEET OR EXCEED L/480 LIVE LOAD DEFLECTION CRITERIA. (EXCLUDES STONE/MARBLE OR WET BED CONSTRUCTED FLOORS - CONTACT M&K FOR EXCLUDED FLOOR DESIGNS)
- PER THE GUIDELINES OF THE TILE COUNCIL OF NORTH AMERICA (TCNA HANDBOOK), IT SHALL BE THE FLOOR FINISH INSTALLER'S RESPONSIBILITY TO VERIEY THAT THE FINISHES TO BE INSTALLED MATCH THE DESIGN CRITERIA NOTED ABOVE (UNDER "DESIGN
- FLOOR SYSTEMS & SHEATHING HAVE BEEN DESIGNED TO SUPPORT ADDITIONAL DEAD LOAD FROM CERAMIC TILE (EXCLUDING MARBLE OR STONE). HOWEVER, IT SHALL BE THE FLOOR FINISH INSTALLER'S RESPONSIBILITY TO PROVIDE PROPER UNDERLAYMENT, UNCOUPLING MEMBRANE AND MORTAR/GROUT PER THE ASSEMBLY DESIGNATIONS IN THE TONA HANDBOOK (TILE COUNCIL OF NORTH AMERICA).
- AT I-JOIST FLOORS, PROVIDE I 1/8" MIN. OSB RIM BOARD.
- METAL HANGERS SHALL BE SPECIFIED BY MANUFACTURER, U.N.O.
- I-JOIST/TRUSS SHOP DWGS. SHALL BE SUBMITTED TO ARCH. & ENG. FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY
- FLOOR SHEATHING SHALL BE 23/32" A.P.A. RATED 'STURD-I-FLOOR' 24" O.C, EXPOSURE I (OR APPROVED EQUAL) WITH TONGUE AND GROOVE EDGES. FASTEN TO FRAMING MEMBERS W GLUE AND
- 2 ½" x 0.131" NAILS @ 6"o.c. @ PANEL EDGES \$ @ 12"o.c. FIELD.
- 2 3 × 0.120 NAILS 4 O.C. PANEL EDGES € 8 O.C. FIELD. - 2 3 × 0.113" NAILS @ 3" O.C. @ PANEL EDGES \$ @ 6" O.C. IN FIELD

### ROOF FRAMING

- ROOF SHEATHING SHALL BE 1/16" A.P.A. RATED SHEATHING 24/16 EXPOSURE I (OR APPROVED EQUAL). FASTEN TO FRAMING MEMBERS
- W/ 2 1 × 0.131" NAILS @ 6"O.C. @ PANEL EDGES \$ @ 12" O.C. FIELD.
- · w/ 2 🖁 × 0.120" NAILS 👁 4"o.c. 👁 PANEL EDGES 🕏 🕫 8" O.C. FIELD. - w/ 2 🖁 × 0.113" NAILS @ 3"o.c. @ PANEL EDGES \$ @ 6" O.C. FIELD.
- WITHIN 48" OF ALL ROOF FDGES RIDGES & HIPS FASTEN ROOF SHEATHING FIELDS PER EDGE NAILING SPEC.
- FASTEN FACH ROOF TRUSS TO TOP PLATE W/ SIMPSON H25T CLIP (OR APPROVED EQUAL) • ALL BEARING POINTS. PROVIDE (2) H2.51 CLIPS AT 2-PLY GIRDER TRUSSES, (3) H2.5T CLIPS AT 3-PLY GIRDER TRUSSES & ROOF BEAMS - AT ALL BEARING POINTS.
- METAL HANGERS SHALL BE SPECIFIED BY THE MANUFACTURER, U.N.O. ROOF TRUSS SHOP DWGS SHALL BE SUBMITTED TO ARCH & ENG.
- FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY
- ERECT AND INSTALL ROOF TRUSSES PER WTCA & TPI'S BCSI I "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING & BRACING OF METAL PLATE CONNECTED WOOD TRUSSES."
- SUPPORT SHORT SPAN ROOF TRUSSES w/2x4 LEDGER FASTENED TO

FRAMING w/(2) 3" x 0.120" NAILS @ 16" O.C. (UP TO 7' SPAN).

### CONNECTION SPECIFICATIONS (TYP. U.N.O.)

DESCRIPTION OF BLDG, ELEMENT	3"x0.131" NAILS	3"x0.120" NAILS	
JOIST TO SOLE PLATE	(3) TOENAILS	(3) TOENAILS*	
SOLE PL. TO JOIST/RIM OR BLK'G	NAILS @ 4" o.c.	NAILS @ 4" o.c.	
STVD TO PLATE	(4) TOENAILS/ (3)END NAILS	(4) TOENAILS/ (4)END NAILS*	
RIM TO TOP PLATE	TOENAILS @ 6" o.c.	TOENAILS @ 4" o.c.*	
BLK'G. BTWN. JOISTS TO TOP PL.	(3) TOENAILS EA. END	(3) TOENAILS EA. END*	
DOUBLE STUD	NAILS @ 16" O.C.	NAILS @ 16" o.c.	
DOUBLE TOP PLATE	NAILS @ 12" O.C.	NAILS @ 8" O.C.	
DOUBLE TOP PLATE LAP SPLICE	(I2) NAILS IN LAPPED AREA (24" MIN.)	(15) NAILS IN LAPPED AREA (24" MIN.)	
TOP PLATE LAP @ CORNERS \$ INTERSECTING WALLS	(3) NAILS	(3) NAILS	
RAFTER/TRUSS TO TOP PLATE	(4) TOENAILS + (1) SIMPSON H2.5T	(4) TOENAILS + (1) SIMPSON H2.5T	
GAB. END TRUSS TO DBL. TOP PL.	TOENAILS @ 8" O.C.	TOENAILS @ 6" o.c.	
R.T. w/ HEEL HT. 9 1/4" TO 12"	2xIO BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE W/ TOENAILS @ 6" O.C.	2xIO BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE W/ TOENAILS @ 4" O.C.	
R.T. w/ HEEL HT. 12" TO 16"	2x12 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE W/ TOENAILS @ 6" O.C.	2xI2 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE W/ TOENAILS @ 4" O.C.	
R.T. w/ HEEL HT. UP TO 24"	LAP WALL SHTG. W/ DBL. TOP PL. \$ INSTALL ON TRUSS VERT FASTEN W/ NAILS @ 6" O.C.	LAP WALL SHTG, W/ DBL, TOP PL. \$ INSTALL ON TRUSS VERT FASTEN W/ NAILS @ 6" O.C.*	
R.T. w/ HEEL HT. 24" TO 48"	LAP WALL SHTG, W/ DBL, TOP PL. & INSTALL ON TRUSS VERT FASTEN W/ NAILS @ 6" O.C. PROVIDE 2x BLK @ EA. BAY AT TOP OF HEEL	LAP WALL SHTG, W DBL. TOP PL. & INSTALL ON TRUSS VERT FASTEN W NAILS @ 6" O.C. PROVIDE 2x BLK @ EA. BAY AT TOP OF HEEL *	
WALL TO FOUNDATION	WALL SHTG. LAP W/ SILL PL. \$ FASTENED PER SHEAR WALL FASTENING SPEC.		
<ul> <li>2½"x0.113 IS AN ACCEPTABLE ALTERNATIVE TO A 3"x0.120", SAME SPACING OR NUMBER OF NAILS.</li> <li>(ONLY ACCEPTABLE WHERE * ARE SHOWN)</li> </ul>			

#### GENERAL STRUCTURAL NOTES

#### DESIGN LOADING

- DESIGN IS BASED ON 2018 NORTH CAROLINA STATE BUILDING CODE: RESIDENTIAL CODE.
- WOOD FRAME ENGINEERING IS BASED ON NDS, "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" - LATEST EDITION
- DESIGN LOADS ROOF

SNOW = 15 PSF (12 PSF GROUND SNOW, TRUSSES) LIVE = 20 PSF (REDUCIBLE BASED ON ROOF PITCH) DEAD = 7 PSE TG. TO PSE BG. LOAD DURATION FACTOR = 1.25

LIVE = 40 PSE (30 PSE @ SLEEPING AREAS)

DEAD = 10 PSF (I-JOISTS), 15 PSF (FLOOR TRUSSES) ADD'L TO PSE @ CERAMIC TILE IN KITCHEN. SUNROOMS, BATHS, FOYER, LAUND. & MUDRIN

2,000 PSF ASSUMED ALLOWABLE BEARING PRESSURE (TO BE VERIFIED BY BUILDER)

115 MPH, EXPOSURE B

#### GENERAL FRAMING

- ALL TYP. NAIL FASTENER REQUIREMENTS ARE NOTED IN STANDARD CONNECTIONS TABLE (IRC TABLE R602.3(I)) OR ON PLANS. ALL NAILS SPECIFIED ARE MIN DIAMETER AND LENGTH REQUIRED FOR CONNECTION. ALL HANGER NAILS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS FOR MAX CHARTED CAPACITY NOTE: HANGERS USE COMMON NAIL DIAMETERS NOT TYPICAL FRAMING GUN NAILS.
- EXT. & INT. BEARING WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) @ 16" O.C. SPF/SP #2 GRADE LUMBER, OR BETTER, U.N.O.. . WALLS OVER 12' TALL SHALL BE PER PLAN.
- ALL INTERIOR BEARING WALLS ARE ASSUMED TO BE SHEATHED W/ GYP WALL BOARD (ONE SIDE MIN.) OR PROVIDE MID HT. BLOCKING.
- ALL HEADERS, BEAMS & OTHER STRUCTURAL MEMBERS SHALL BE SPRUCE-PINE-FIR #2 (SPE) OR SOUTHERN PINE #2 (SP) LUMBER OR BETTER, SUPPORT ALL HEADERS/ BEAMS W/ (1)2x JACK STUD & (1)2x KING STUD MINIMUM
- THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK STUDS REQUIRED, U.N.O.,
- ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 2x 'STUD' GRADE MEMBERS SPACED 24" O.C. (MAX., U.N.O.)

  ◆ HEADERS IN NON-LOAD BEARING WALLS SHALL BE: (1)2x4/6 FLAT @ OPENINGS UP TO 4', (2)2x4/6 FLAT UP TO 8'.
- ALL FRAMING LUMBER SHALL BE DRIED TO 15% MC (KD-15).
- ENGINEERED LUMBER BEAMS TO MEET OR EXCEED THE FOLLOWING: • 'LVL' - Fb=2600 psi; Fv=285 psi; E=2.0x10^6 psi
- ENGINEERED LUMBER POSTS TO MEET OR EXCEED THE FOLLOWING 'LVL' - Fb=2400 psi; FcII=2500 psi; E=I.8xI0^6 psi
- FOR 2 \$ 3 PLY BEAMS OF EQUAL 134" MAX, WIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF 3"X0.120" NAILS @ 8" O/C OR 2 ROWS K"x3K" SIMPSON SDS SCREWS (OR 3K" TRUSSI OK SCREWS) @ 16" GREATER APPLY EASTENING AT BOTH FACES FOR 3-PLY CONDITION. LOCATE TOP & BOTTOM NAILS/SCREWS 2" FROM EDGE. SOLID 3 1/2" OR 5 1/2" BEAMS ARE ACCEPTABLE LISE 2 ROWS OF NAILS FOR 2x6 \$ 2x8 MEMBERS
- FOR 4 PLY BEAMS OF FOUAL 13/4" MAX, WIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF 1/2 x6" SIMPSON SDS SCREWS (OR 6 3/4" TRUSSLOK SCREWS) @ 16" O/C. USE A MINIMUM OF 4 ROWS FOR BEAM DEPTHS OF 14" OR GREATER, APPLY EASTENING AT BOTH FACES (ONE SIDE ONLY FOR TRUSSLOK SCREWS). LOCATE TOP AND BOTTOM SCREWS 2" FROM EDGE, A SOLID 7" BEAM IS ACCEPTABLE
- PROVIDE SOLID BLOCKING IN FLOOR SYSTEM UNDER ALL POSTS CONTINUOUS TO FND./BEARING, BLOCKING TO MATCH POST ABOVE.
- ALL EXTERIOR 4x4 WOOD POSTS SHALL HAVE SIMPSON BCS2-2/4
- CORROSION NOTES
- BUILDER RESPONSIBLE TO DETERMINE CORROSION-RESISTANCE REQUIREMENTS AND COMPATIBILITY OF HARDWARE FASTENERS AND CONNECTORS FOR ENVIRONMENTAL EXPOSURE AND IN CONTACT W/ PRESERVATIVE-TREATED WOOD OF ACTUAL FINAL CONDITIONS AND SOURCED MATERIALS. CONTACT LUMBER \$ HARDWARE SUPPLIERS TO COORD.

### GENERAL STRUCTURAL NOTES

#### **FOUNDATION**

- DESIGN IS BASED ON 2018 NORTH CAROLINA STATE BUILDING CODE:
- FOOTING DESIGN 2,000 PSF ALLOWABLE SOIL BEARING
- FASTEN 2x4/6 SILL PLATES TO CONC FND WITH A MINIMUM OF 2
- ANCHORS PER PLATE 12" MAX FROM PLATE ENDS UTIL 17ING I/2" DIA. ANCHOR BOLTS 6'-0" O.C,7" MIN. EMBEDMENT
- I/2" DIA. x 6" LONG SIMPSON TITEN HD @ 6'-0" O.C. • SIMPSON MASA ANCHOR STRAPS @ 6'-0" O.C. (CONCRETE)
- ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT W/ PERIMETER
- FOUNDATION SHALL BE PRESERVATIVE TREATED SOUTHERN PINE #2. BUILDER TO VERIEY CORROSION-RESISTANCE COMPATIBILITY OF HARDWARE & FASTENERS IN CONTACT W/ PRESERVATIVE-TREATED WOOD, CONTACT LUMBER & HARDWARE SUPPLIERS TO COORD.
- FOOTINGS SHALL BE PLAIN CONCRETE, U.N.O.
- CONCRETE DESIGN BASED ON ACL 318, CONCRETE SHALL ATTAIN THE FOLLOWING MIN, COMPRESSIVE STRENGTHS IN 28 DAYS, U.N.O. f'c = 3,000 psi: ...... FOOTINGS & INTERIOR SLABS ON GRADE 3,500 psi: ...... GARAGE & EXTERIOR SLABS ON GRADE fu = 60.000 psi
- ALL CONCRETE EXPOSED TO THE WEATHER SHALL NOT HAVE LESS THAN 5% OR MORE THAN 7% AIR ENTRAINMENT
- ALL FOOTINGS SHALL BEAR BELOW FROST LINE (TYP.) OR 12" MIN IN REGIONS WHERE CODE FROST DEPTH IS NOT APPLICABLE. CONSULT SOILS REPORT OR BUILDING DEPT. FOR MINIMUM DEPTH BELOW GRADE
- FOOTINGS AND SLABS ON GRADE SHALL BEAR ON VIRGIN SOIL OR
- PROVIDE CONTROL JOINTS AT ALL INSIDE CORNERS OF SLAB EDGES, AND OTHER LOCATIONS WHERE SLAB CRACKS ARE LIKELY
- . JOINTS SHALL BE LOCATED @ 10'-0" O.C. (RECOMMENDED) OR 15'-0" O.C. (MAXIMUM)
- LOINT GRID PATTERN SHALL BE AS CLOSE TO SQUARES AS POSSIBLE (I:I RATIO), WITH A MAXIMUM OF I:1.5 RATIO
- · CONTROL JOINTS SHALL NOT BE INSTALLED IN STRUCTURAL
- DIMENSIONS BY OTHERS, BUILDER TO VERIFY.

### HOLD-DOWN SCHEDULE

SYMBOL	SPECIFICATION	
HD-I	SIMPSON CSI6 STRAP TIE W/ 14" END LENGTH	
HD-2	SIMPSON MGTC66 STRAP TIE W 24" END LENGTH	
<b>▶</b> HD-3	SIMPSON HTT4 HOLD-DOWN *	
► HD-4	SIMPSON HDU5-SD52.5 HOLD-DOWN *	
HD-5	SIMPSON STHDI4RJ HOLD-DOWN *	

UTIL IZE SIMPSON "SET-36" FPOXY SYSTEM TO FASTEN %" DIA, THREADED ROD INTO CONCRETE FOUNDATION, PROVIDE 12" MIN. EMBEDMENT INTO CONCRETE. INSTALL PER MANUE RECOMMENDATIONS DO NOT LOCATE ANCHORS WITHIN I 3/4" OF EDGE OF FOUNDATION

### MEANS & METHODS NOTES

THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FINISHED AND ALL PLAN, DETAIL, AND NOTE SPECIFICATIONS HAVE BEEN COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCE TO THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION. THIS INCLUDES BUT IS NOT LIMITED TO, THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS, AND TIE-DOWNS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING REQUIRED TO STABILIZE AND PROTECT EXISTING AND ADJACENT STRUCTURES AND SYSTEMS DURING COURSE OF DEMOLITION AND CONSTRUCTION OF THE PROJECT

STRUCTURAL DESIGN AND SPECIFICATIONS ASSUME THAT ALL SUPPORTING AND NON-SUPPORTING ELEMENTS IN CONTACT WITH FLOOR FRAMING ARE LEVEL, INCLUDING, BUT NOT LIMITED TO: FOUNDATIONS. SLABS ON GRADE, BEAMS, WALLS, AND NON-BEARING ELEMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIEY LEVELNESS AND MAKE ADJUSTMENTS AS NECESSARY, INCLUDING CONSIDERATION OF THOSE AREAS THAT MAY BE WITHIN CONTRACTUAL, INDUSTRY OR WARRANTY TOLERANCES

### VENEER LINTEL SCHEDULE

1						
		SPAN (MAX)	HEIGHT OF VENEER ABOVE LINTEL	STEEL ANGLE SIZE		
		3'-0"	20 FT. MAX	L3"x3"x¼"		
			3 FT. MAX	L3"x3"x¼"		
		6'-0"	I2 FT. MAX	L4"x3"x¼"		
			20 FT. MAX	L5"x3½"x¾6"		
		8'-0"	3 FT. MAX	L4"x4"x¼" *		
			I2 FT. MAX	L5"x3½"x¾6"		
			l6 FT. MAX	L6"x3½"x¾6"		
		9'-6"	I2 FT. MAX	L6"x3½"x%6"		
		16'-0"	2 FT. MAX	L7"x4"x½" **		
L			2 ET MAY	1 41		

- LI LINTELS

  94LL SIPPORT 2 % 3 ½ Y VENETR W 40 PAR MAXIMIM MEIGHT,

  16' SHALL HAVE 4" MIN. BEARING

  16' SHALL HAVE 9" MIN. BEARING

  16' SHALL HAVE 9" MIN. BEARING

  16' SHALL BET ASTREDE PLACE TO MEADER IN MALL 448"02. W ½" DIA. x 3 ½"

  LONG LAG 5/CREPE BIA 2" LONG YERTICALLY \$LOTTED HALES.

  MAX YSHEER RIT APPLIES TO ANY FORTION OF PRICK, OVER THE OPENING.

  ALL LAITLES SHALL BE LONG LIEG VERTICAL.

  MAY BEC OF IN THE PRIED TO BE 3 ½" MICE OVER THE BEARING LINGHT ONLY. THIS

  SEES SHIJKLIFLAN, AND FOR ANY LINTEL CANDITION NOT ENCOMPASSED BY THE

  RADOVE PRAMMETERS.

FOR QUEEN VENEER USE  $L4x36/4^{\circ}$ , FOR  $35/2^{\circ}$  VENEER ONLY, SEE PLAN FOR VENEER SUPPORT IF VENEER  $<35/2^{\circ}$  THICK

# ADDITIONAL NOTES FOR TRUSS &

I-JOIST MANUFACTURER

ROOF TRUSS, FLOOR TRUSS AND ENGINEERED JOISTS SHALL BE DESIGNED TO MEET THE DEFLECTION CRITERIA BELOW, UNLESS NOTED OTHERWISE ON PLAN. MULHERN & KULP CANNOT BE HELD RESPONSIBLE FOR ANY STRUCTURAL ISSUES
RELATED TO ANY BUILDING COMPONENT IF COMPONENT SHOP DRAWINGS ARE NOT SUBMITTED TO M&K FOR REVIEW PRIOR TO FABRICATION, DELIVERY, OR INSTALLATION.

TRUSSES/LIGISTS SHALL BE DESIGNED SO THAT DIFFERENTIAL DEFLECTION BETWEEN ADJACENT PARALLEL TRUSSES/JOISTS OR GIRDER TRUSSES/FLUS BEAMS DO NOT EXCEED THE FOLLOWING: A ROOF TRUSSES.

1/4" DEAD LOAD

B. FLOOR TRUSSES, ATTIC TRUSSES, \$ 1-JOISTS: 1/8" DEAD LOAD

ABSOLUTE DEAD LOAD DEFECTION OF FLOOR

TRUSSES/ATTIC TRUSSES WHEN ADJACENT TO FLOOR FRAMING BY OTHERS SHALL BE LIMITED TO 3/16". (NO DIFFERENTIAL DEFLECTION

#### FLOOR JOIST NOTES

- ALL FLOOR JOISTS SHALL BE THE DEPTI SPECIFIED ON PLAN - FLOOR JOISTS SERIES & SPACING IS PER THE FLOOR JOIST MANUF.
  - SPACING SHALL NOT EXCEED 19.2" O.C. (MAX.) @ LOCATION OF TILE: SPACING SHALL NOT EXCEED 16" O.C. (MAX.)

### LATERAL/WALL BRACING & WALL

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM:

SHEATHING SPECIFICATIONS

## MPH WIND IN 2018 NCSBC:RC

(115 MPH WIND SPEED IN ASCE 7-10 WIND MAP, PER IRC R301,2,1,1) EXP. B, RISK CAT. 2 & SEISMIC CAT. A/B.

THE DESIGN WAS COMPLETED PER 2015 IBC (SECTION 1609) & ASCE 7-10. AS PERMITTED BY R301,1,3 OF THE 2018 NCSBC:RC, ACCORDINGLY, THIS MODEL, AS DOCUMENTED AND DETAILED HEREWITHIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES.

DESIGN WIND UPLIET LOADS HAVE BEEN CALCULATED UTILIZING ASCE 7-10 (ACCEPTED ENGINEERING PRACTICE) AS ALLOWED PER 2018 NCSBC:RC SECTION R802.II.I.I. THIS MODEL HAS BEEN DETAILED WHERE REQUIRED & ENGINEERED TO RESIST THE WIND UPLIET LOAD PATH PER SECTIONS R602.3.5¢ R802.II.

#### EXT. WALL SHEATHING SPECIFICATION

- 7/16" OSB OR 15/32" PLYWOOD: FASTEN SHEATHING W/ 2 ₹ "x0.113 NAILS @ 6" O.C. AT EDGES & @ 12" O.C. IN THE PANEL FIELD. (TYP, U.N.O.)
- ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUDS) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES & EDGE
- <u>ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED</u> AND ARE CONSIDERED SHEAR WALLS.
- ALT. STAPLE CONNECTION SPEC: 1 3/4" 16 GA STAPLES (1/6" CROWN) @ 3" O.C. AT EDGES \$ @ 6" O.C IN FIELD.

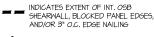
#### 3" O.C. EDGE NAILING

AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING W 2 3" × 0.113" NAILS @ 3" O.C. AND 12" O.C. IN THE PANEL FIELD NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC. ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUD) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. EDGE FASTENING.

#### TYP. UNIT SEPARATION WALL SHEATHING SPECIFICATION

1/2" OR 5/8" GYPSUM WALL BOARD: FASTEN GWB SHEATHING TO FRAMING W/ 1 3"X0.086" COOLER NAILS OR I &" DRYWALL SCREWS @ 7" O.C. PANEL EDGES & PANEL FIELD (INCLUDING T&B PLATES

- SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING, IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN. T WILL BE SPECIFICALLY NOTED ON PLAN
- DESIGN ASSUMES 16" O.C MAX. STUD SPACING, U.N.O.
- ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.
- PRE-MANUFACTURED PANELIZED WALLS: FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED W/ OSB OR PLYWOOD W/ 3" x 0.120" NAILS @ 4" O.C. (THRU ONE SIDE ONLY)



NDICATES HOLDOWN

MULHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERING



lulhern+Kulp project number 243-24030

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REVISIONS:

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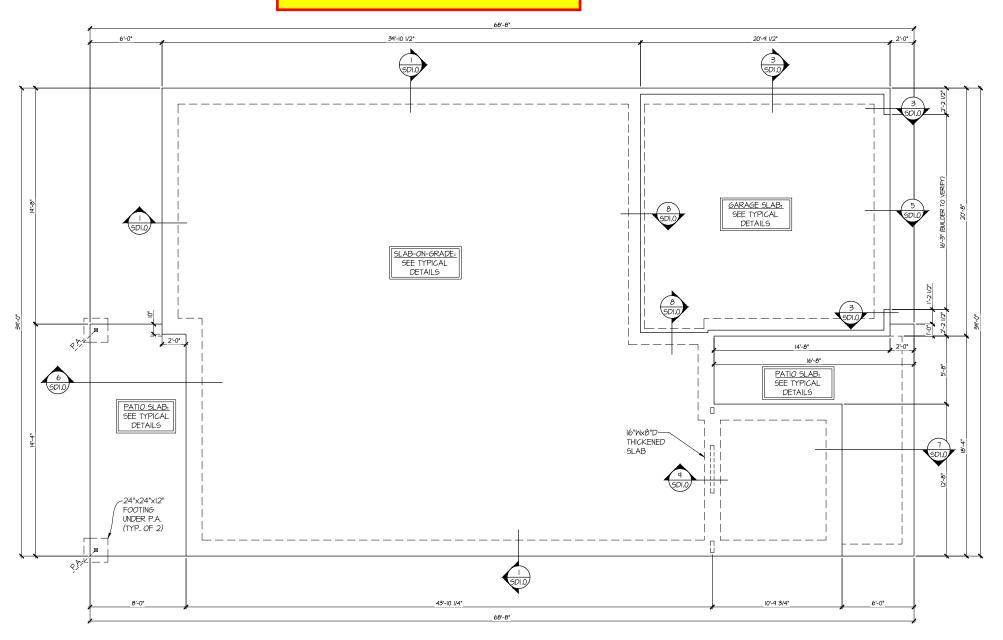
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SERENITY MASTER RALEIGH

GENERAL

**S0.0** 

### Reference S1.1 For Elevation B Details



SLAB FOUNDATION PLAN SCALE: 1/4"=1'-0" (22x24 SHEET) ELEV. A 1/8"=1'-0" (IIxIT SHEET)

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NC Licence # C-36.25

Mulhern+Kulp project number: 243-24030

SMK SMM drawn by: issue date: 11-07-24

initial:

REVISIONS:

tri pointe

5920-04 MODEL SERENITY MASTER SET RALEIGH, NC

FOUNDATION PLAN

LEGEND

• INTERIOR BEARING WALL

• ==== BEARING WALL ABOVE (B.W.A.)

BEAM / HEADER

INDICATES EXTENT OF INT.

OSB SHEARWALL AND/OR
3" O.C. EDGE NAILING

EXTENT OF VALLEY TRUSS OVERFRAMING

• 24" O.C. (MAX.)

EXTENT OF FLOOR SYSTEM TO BE DESIGNED FOR TILE

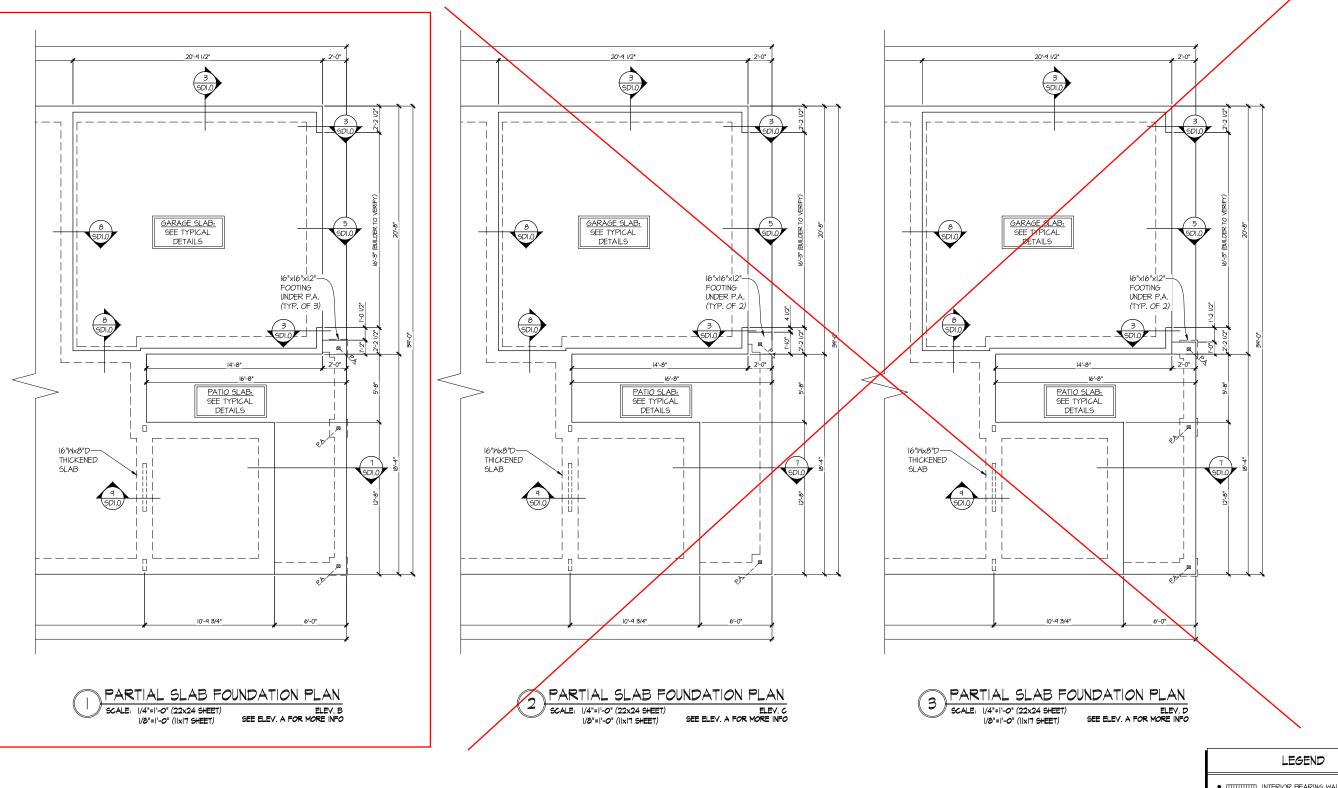
NDICATES HOLDOWN

JL METAL HANGER

\* INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES # SCHEDULES

**S1.0** 



REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES # SCHEDULES

- INTERIOR BEARING WALL
- □===□ BEARING WALL ABOVE (B.W.A.)
- BEAM / HEADER
- INDICATES EXTENT OF INT. OSB SHEARWALL AND/OR 3" O.C. EDGE NAILING
- EXTENT OF VALLEY TRUSS OVERFRAMING

  2 24" O.C. (MAX.)
- EXTENT OF FLOOR SYSTEM TO BE DESIGNED FOR TILE
- ► INDICATES HOLDOWN
- JL METAL HANGER
- \* INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

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FOUNDATION PLAN 5920-04 MODEL

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FOR 9'-1" PLATE HEIGHT

• IIIIII INTERIOR BEARING WALL

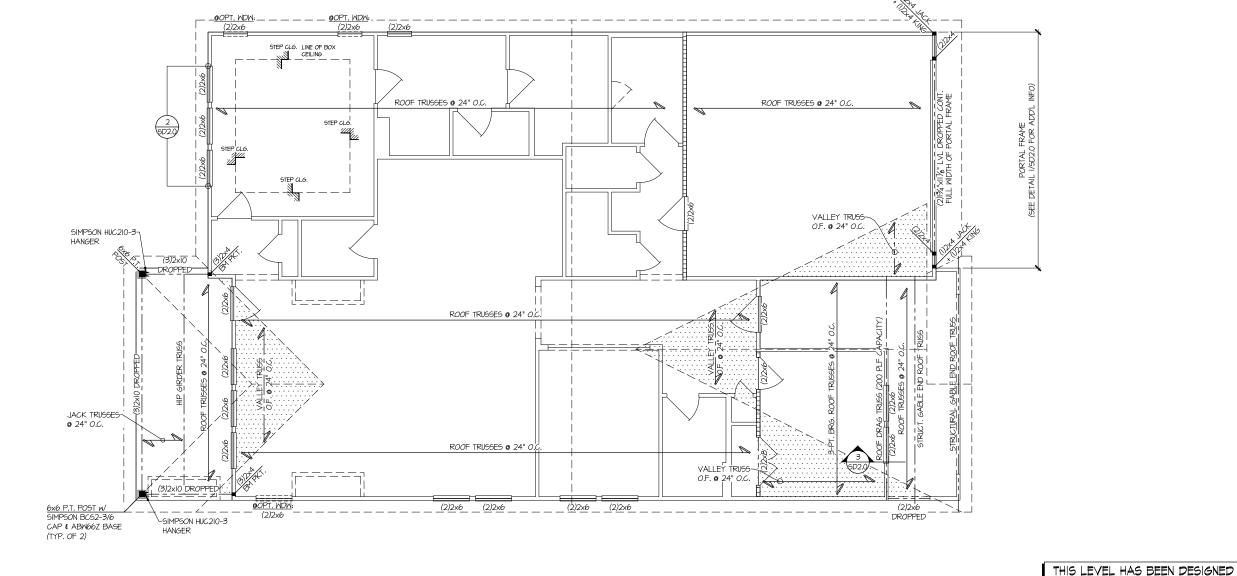
BEAM / HEADER

INDICATES EXTENT OF INT.

OSB SHEARWALL AND/OR
3" O.C. EDGE NAILING

NDICATES POST ABOVE. PROVIDE SOLID

REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES & SCHEDULES



ROOF FRAMING PLAN SCALE: 1/4"=1'-0" (22x24 SHEET) ELEV. A 1/8"=1'-0" (IIxIT SHEET)

ROOF FRAMING PLAN

LEGEND

• ==== BEARING WALL ABOVE (B.W.A.)

• EXTENT OF VALLEY TRUSS OVERFRAMING
• 24" O.C. (MAX.)

NDICATES HOLDOWN

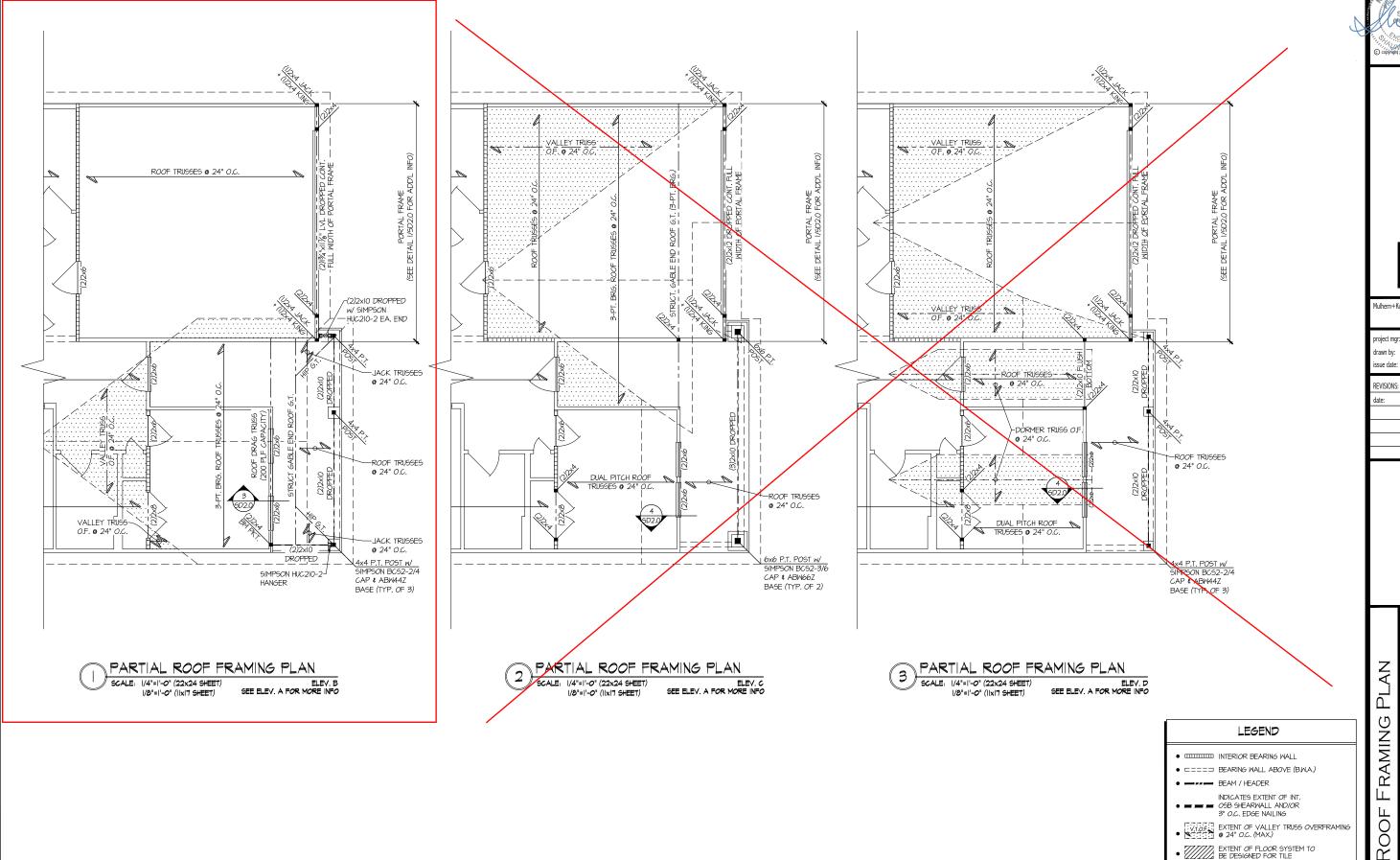
JL METAL HANGER

BLOCKING UNDER POST OR JAMB ABOVE.

**S2.0** 

5920-04 MODEL

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THIS LEVEL HAS BEEN DESIGNED FOR 9'-I" PLATE HEIGHT

REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES # SCHEDULES

- EXTENT OF VALLEY TRUSS OVERFRAMING

  24" O.C. (MAX.)

- EXTENT OF FLOOR SYSTEM TO BE DESIGNED FOR TILE
- NDICATES HOLDOWN
- JL METAL HANGER
- | INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

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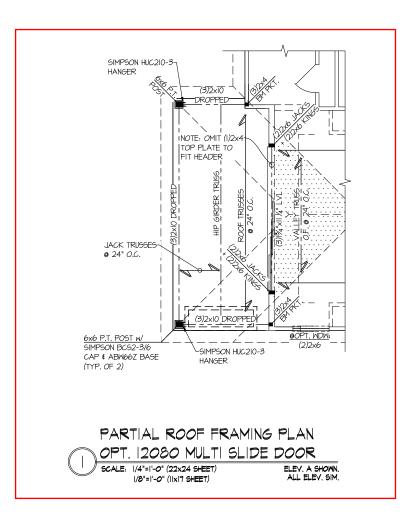
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MODEL SERENITY MASTER SET RALEIGH, NC 5920-04

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- □===□ BEARING WALL ABOVE (B.W.A.)

- EXTENT OF FLOOR SYSTEM TO BE DESIGNED FOR TILE

REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES # SCHEDULES

### LEGEND

INTERIOR BEARING WALL

• BEAM / HEADER

EXTENT OF VALLEY TRUSS OVERFRAMING

• 24" O.C. (MAX.)

NDICATES HOLDOWN

JL METAL HANGER

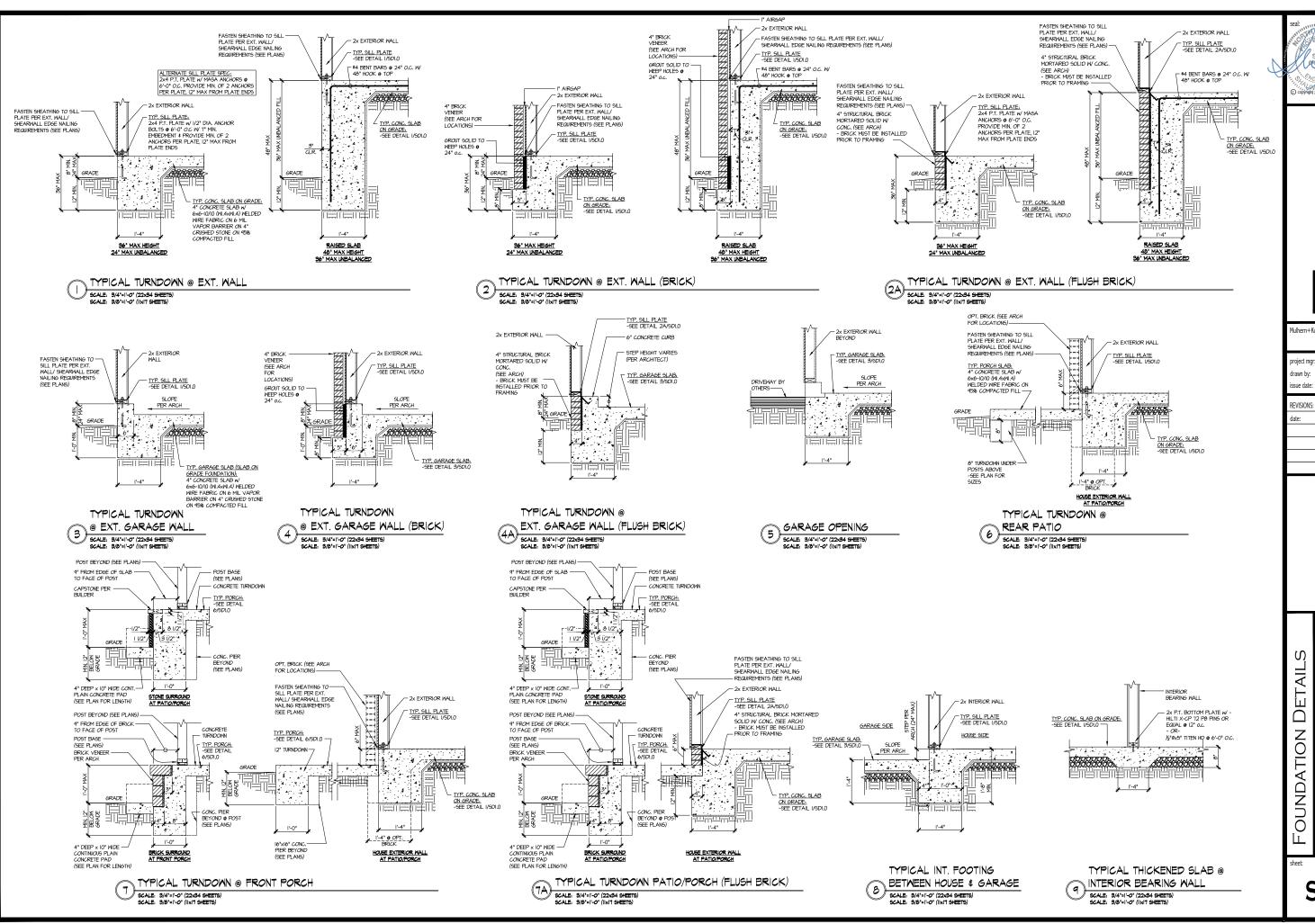
\* INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

**S3.3** 

STRUCTURAL OPTIONS

5920-04 MODEL

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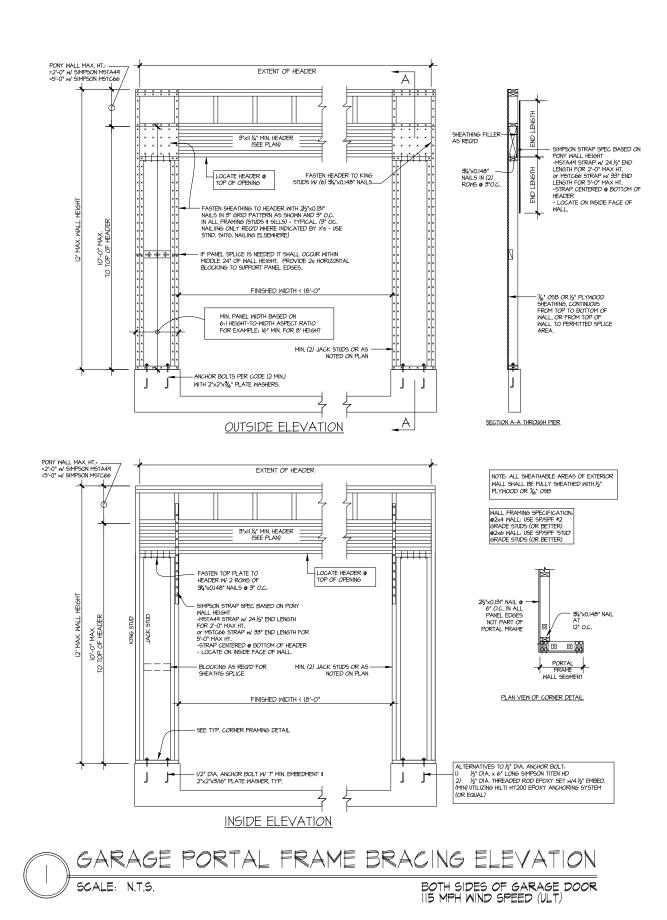
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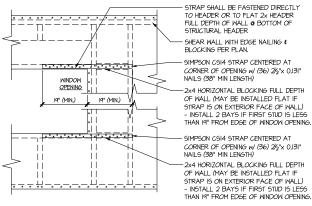
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MASTER SET RALEIGH, NC SERENITY 5920-

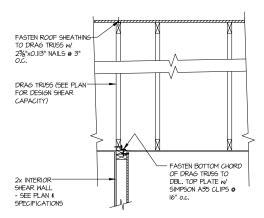
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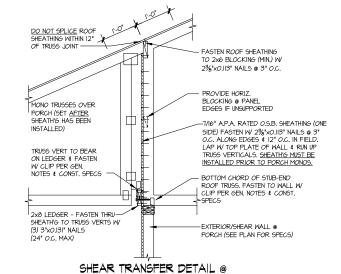


- STRAPS MAY BE INSTALLED ON EXTERIOR OR INTERIOR FACE OF WALL WHEN INSTALLED ON THE EXTERIOR FACE OF THE WALL, STRAPS TO BE INSTALLED ON EXTERIOR FACE OF SHIG. & MAY BE MOVED 1/2" FROM EDGE TO ALLOW FOR WINDOW NAILING
  REQUIRED ONLY @ OPENINGS WHERE SPECIFIED ON PLAN

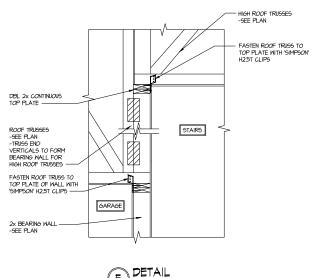
## TYPICAL EXT. WALL & INT. SHEARWALL OPENING ELEVATION SCALE. NTS



DRAG TRUSS DETAIL (3)



BREAK IN TRUSSES OVER SHEAR WALL



SCALE: 3/4"=|'-0" - 22x34 3/8"=|'-0" - ||x|7

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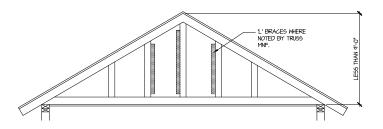
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FRAMING SERENITY MASTER SET RALEIGH, NC 5920-04

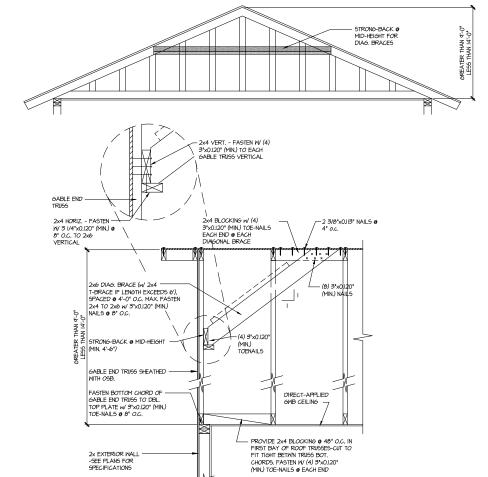
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L' BRACES FASTENED TO VERTICALS IMPERE REQ'D BY TRUSS MANUFACTURER. FASTEN W 16d GUN NAILS (0.131 x 3 1/2") @ 6" O.C.

GABLE END TRUSS SHEATHED-WITH OSB.

FASTEN BOTTOM CHORD OF — GABLE END TRUSS TO DBL. TOP PLATE w/ 3"XO.120" (MIN.) TOE-NAILS @ 8" O.C.



TYPICAL GABLE END BRACING DETAIL SCALE: NONE REQU & GABLE END TRUSS REQ'D & GABLE END TRUSS HEIGHT UP TO 9'-0"

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT IS LESS THAN 9-0". "L' BRACES REQUIRED WHERE NOTED BY TRUSS MANUFACTURER.

DIRECT-APPLIED GWB CEILING —

— PROVIDE 2x4 BLOCKING @ 48" O.C. IN FIRST BAY OF ROOF TRUSSES-CUT TO FIT TIGHT BETWN TRUSS BOT. CHORDS, FASTEN W (3) 3 1/4"x0.120" (MIN.) TOE-NAILS @ EACH END

TYPICAL GABLE END BRACING DETAIL
SCALE: NONE REGT & GABLE END TRUSS REQ'D @ GABLE END TRUSS HEIGHT BETW'N 9'-0" TO 14'-0"

BRACE GABLE END TRUGGES PER ABOVE DETAIL WHEN GABLE HEIGHT EXCEEDS 9'-0'. "L' BRACES NOT REQUIRED.

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FRAMING DETAILS 5920-04 MODEL SERENITY MASTER SET RALEIGH, NC

**SD2.1**