

LOT INFORMATION:

PLN: 9681-50-8339.000
 REFERENCE: DB, 4093 PGS. 784-789
 TOTAL LOT AREA = 0.660 AC = 28,751 SF
 HOUSE = 1,276 SF

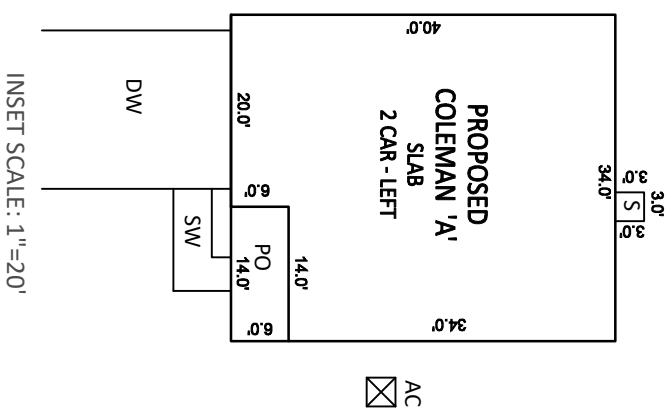
PORCH = 84 SF
 SIDEWALK = 50 SF
 DRIVEWAY = 611 SF
 STOOP = 9 SF

AC PAD = 9 SF
 PROPOSED IMPERVIOUS = 2,039 SF
 PERCENT IMPERVIOUS = 7.09%

REFERENCE: PC 2024 SLIDE 373

N/F
 HARRINGTON PROPERTIES OF NC, LLC
 DB, 4093, PG. 784
 TRACT 2
 PLN: 0681-50-4492
 FUTURE PHASE

BUILDING SETBACKS
 FRONT - 35'
 REAR - 25'
 SIDE - 10'
 CORNER SIDE - 20'



INSET SCALE: 1" = 20'

BK: 2024 PG:381

NOTES:

1. THIS SURVEY WAS PREPARED BY BATEMAN CIVIL SURVEY CO., UNDER THE SUPERVISION OF STEVEN P. CARSON, PLS.

2. THIS PLAN HAS BEEN PREPARED FOR LAYOUT AND PERMITTING PURPOSES ONLY.

3. PROPERTY LINES SHOWN WERE TAKEN FROM EXISTING FIELD EVIDENCE, EXISTING DEEDS AND PLATS OF PUBLIC RECORD, AND INFORMATION SUPPLIED TO THE SURVEYOR BY THE CLIENT.

4. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES AND ALL BEARINGS ARE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM UNLESS OTHERWISE SHOWN.

5. THIS MAP IS NOT FOR RECORDATION AND SHOULD BE REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS.

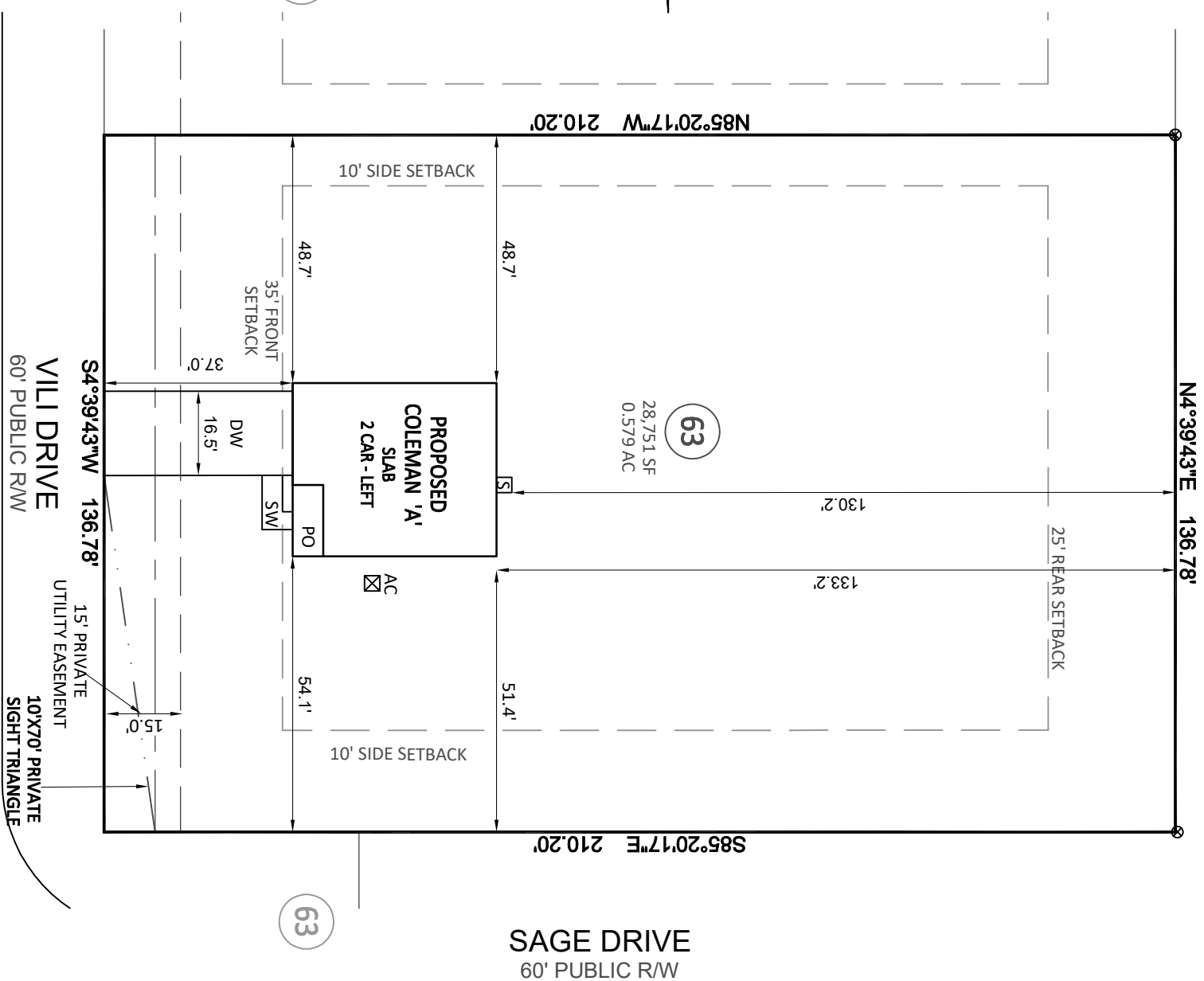
6. THE BASIS OF NORTH AND ALL EASEMENTS, RIGHTS-OF-WAYS, BUFFERS, SETBACKS AND ADJOINERS, ETC., REFERENCED IN TITLE BLOCK.

7. NO INVESTIGATION INTO THE EXISTENCE OF JURISDICTIONAL WETLANDS, FLOOD ZONES OR RIPARIAN BUFFERS PERFORMED BY THIS FIRM. ALL LINES SHOWN, IF ANY, ARE SCALED FROM THE RECORDED PLAT.

8. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.

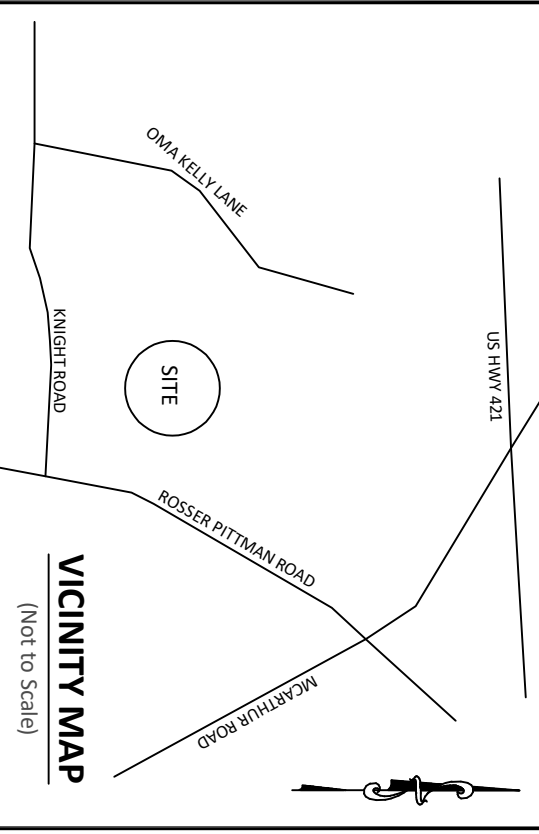
9. ZONING IS RA-20.

10. PROPERTY DEVELOPER: SMITH DOUGLAS HOMES
 3412 APEX PEAKWAY
 APEX, NC 27502



Bateman Civil Survey Company

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 NCBELS Firm No. C-2378



LEGEND

- PO = FRONT COVERED PORCH
- SP = SCREENED PORCH/PATIO
- CP = COVERED PORCH/PATIO
- S = STOOP
- SW = SIDEWALK
- DW = CONC DRIVEWAY
- P = CONC PATIO
- ⊗ = COMPUTED POINT
- ⊗ = MAG NAIL FOUND (IPF)
- ⊗ = IRON PIPE SET (IPS)
- ⊗ = DRILL HOLE FOUND
- ⊗ = WATER METER
- CO = CLEAN OUT
- AC = AIR CONDITIONER
- ⊗ = SEWER MANHOLE
- ⊗ = ELECTRIC BOX
- ⊗ = CABLE BOX
- ⊗ = TELEPHONE PEDESTAL
- CB = CATCH BASIN
- IC = IRRIGATION CONTROLLER
- ⊗ = LIGHT POLE
- ⊗ = UTILITY POLE
- ⊗ = FIRE HYDRANT
- DI = DRAIN INLET
- WV = WATER VALVE
- ⊗ = STREET SIGN
- YI = YARD INLET
- G = GAS METER
- E = ELECTRIC METER

BUILDER TO VERIFY HOUSE LOCATION DIMENSIONS AND REVIEW TOTAL IMPERVIOUS NOTED ON THIS PLOT PLAN

PRELIMINARY PLOT PLAN
 FOR
SMITH DOUGLAS HOMES

HARRINGTON PLACE - LOT 63
 111 VILL DRIVE, BROADWAY, NC
 UPPER LITTLE RIVER TOWNSHIP, HARNETT COUNTY

DATE: 10/31/24 DRAWN BY: DOM CHECKED BY: SPC

REFERENCE: BK: 2024 PG:381 BCS# 230119 SCALE: 1" = 30'