

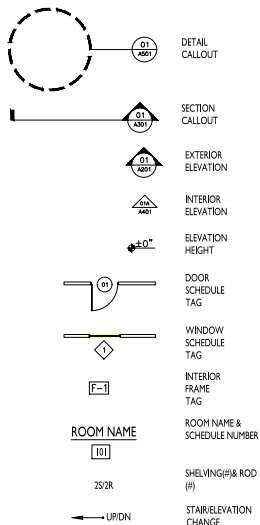
REID HOMESTEAD

Fuquay-Varina, NC



3-5-25 CONSTRUCTION DOCS./PERMIT SET - REVISED #3

8 DRAWING SYMBOLS



7 ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR
AFS	ABOVE FINISHED SLAB
BO.	BOARD
C.J.	CONTROL JOINT
CLG.	CEILING
CLG. J	CEILING JOIST
CONC.	CONCRETE
CTR.	COUNTER TOP
D.SINK	DOUBLE SINK
D.S.	DOWN SPOUT
DW	DISHWASHER
F.J.	FLOOR JOIST
FRIG	REFRIGERATOR
GYP.BD.	GYPSUM WALL BOARD
LAV.	LAVATORY
MTL.	METAL
N.I.C.	NOT IN CONTRACT
O.C.	ON CENTER
PLAS.LAM.	PLASTIC LAMINATE
PLYWD.	PLY WOOD
S.S.	STAINLESS STEEL
S.SURF.	SOLID SURFACE
TEMP.	TEMPERED GLASS
TYP.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
W.C.	WATER CLOSET
WWM	WELDED WIRE MESH

6 GENERAL PROJECT NOTES

5 PROJECT TEAM

ARCHITECT: MICHAEL MORSE
2310 WEYMOUTH CT.
RALEIGH, NC 27612

4 DRAWING INDEX

PROJECT INFO
TS - TITLE SHEET
ARCHITECTURAL
A001 FOUNDATION/FRAMING PLANS
A101 FLOOR PLANS
A102 ROOF/FRAMING PLANS & DETAILS
A201 EXTERIOR ELEVATIONS
A301 BUILDING SECTIONS
A302 WALL SECTIONS
A303 WALL SECTIONS
A304 WALL SECTIONS
A401 INTERIOR ELEVATIONS
A501 SCHEDULES

3 SQ.FTG.CALCS.

PROPOSED	
MAIN FLOOR HEATED SPACE	2,638
MAIN FLOOR UNHEATED SPACE	1,100
MAIN FLOOR GROSS SF	3,738
UPPER FLOOR HEATED SPACE	0 SF
UPPER FLOOR UNHEATED SPACE	400 SF
UPPER FLOOR FLOOR GROSS SF	400 SF
TOTAL PROPOSED GROSS SF	4,138
TOTAL PROPOSED HEATED SF	2,638

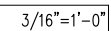
1 SUBMITTAL RECORD

10-22-24 - DESIGN DEVELOP. PRELIM. PRICING
11-4-24 - CONSTRUCTION/PERMIT DOCS.
12-15-24 - CONSTRUCTION/PERMIT DOCS./REVISED
2-17-25 - CONSTRUCTION/PERMIT DOCS./REVISED 2
3-5-25 - CONSTRUCTION/PERMIT DOCS./REVISED 3

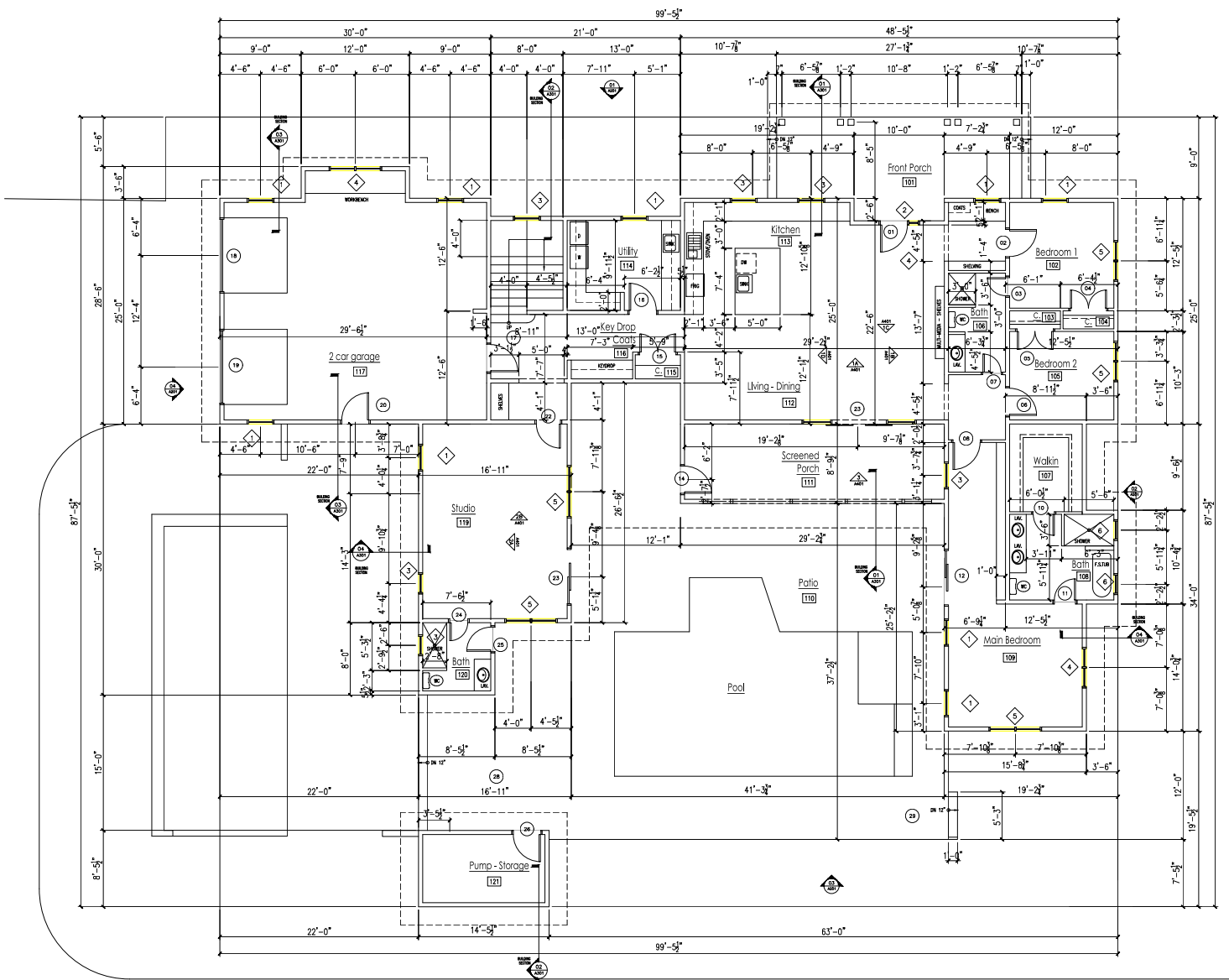


2 VICINITY MAP





CONST.DOCS.



03 FLOOR PLAN

3/16"=1'-0"

- GENERAL CONDITIONS:**
1. SEE GENERAL CONDITIONS FOR ALL LOCAL SAFETY CODES.
 2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE REGULATIONS.
 3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE REGULATIONS.
 4. SEE CONTRACT BETWEEN GC AND OWNER FOR SPECIFIC NOTES AND METHODS OF GENERAL CONDITIONS.
- SUBSTITUTIONS/SHOP DRAWINGS:**
1. ALL SUBSTITUTIONS SHALL BE SUBMITTED TO ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
 2. ALL SHOP DRAWINGS SHALL BE SUBMITTED TO ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
 3. ALL SHOP DRAWINGS SHALL BE SUBMITTED TO ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
- SITE WORK:**
1. SEE SITE WORK.
 2. COORDINATE ALL LANDSCAPE CONNECTIONS TO BUILDING ARCHITECTURE.
 3. COORDINATE ALL ROOF DRAIN LINES/DOWNSPUTES WITH EXISTING EXTERIOR FINISHES/CLADDING.
- BUILDING EXTERIOR:**
1. SEE EXTERIOR FINISHES AND SETTING FOR EXTERIOR FINISHES.
 2. SEE EXTERIOR FINISHES AND SETTING FOR EXTERIOR FINISHES.
 3. SEE EXTERIOR FINISHES AND SETTING FOR EXTERIOR FINISHES.
- INTERIOR FRAMING:**
1. INTERIOR FRAMING SHALL BE 2"X4" WOOD STUDS @ 16" O.C.
 2. INTERIOR FRAMING SHALL BE 2"X4" WOOD STUDS @ 16" O.C.
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02 GENERAL NOTES

- 01 SYMBOLS KEY

Michael Morse, Architect
210 Westmont Court, Raleigh, NC 27612
Contact Person: Michael Morse
919-889-2305



REID RESIDENCE
Fuquay-Varina, NC
New Single Family Construction

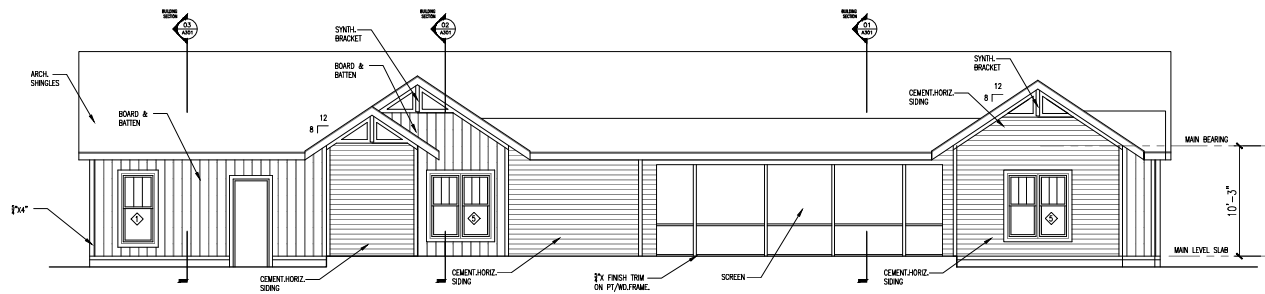
Revisions

2-17-25

FLOOR PLANS
A101

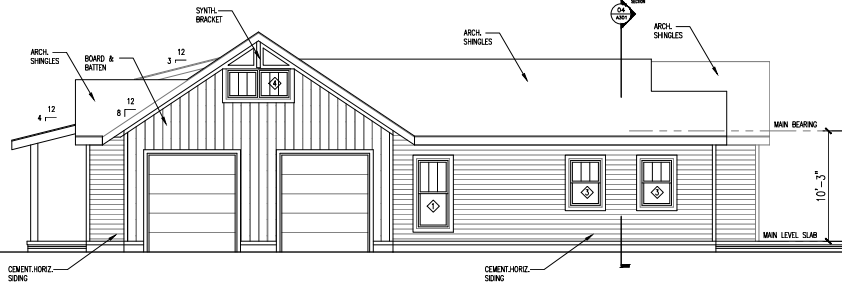
3 of 11

CONST.DOCS.



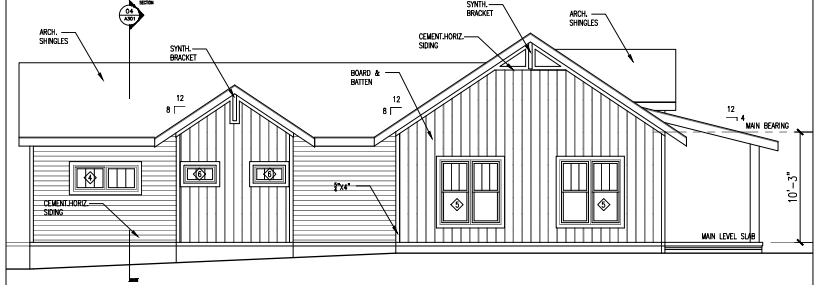
04 REAR ELEVATION (LAKE FACING)

3/16"=1'-0"



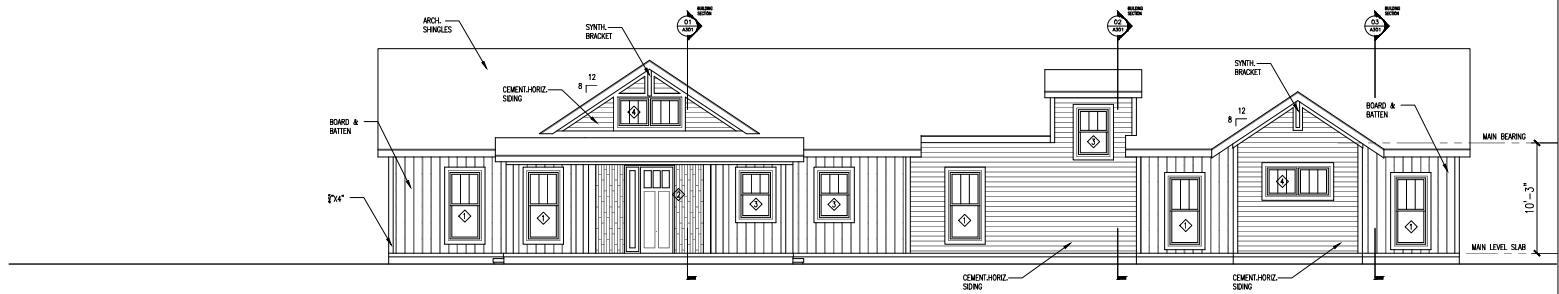
03 RIGHT SIDE ELEVATION

3/16"=1'-0"



02 LEFT SIDE ELEVATION

3/16"=1'-0"



01 FRONT ELEVATION (STREET FACING)

3/16"=1'-0"

Michael Morse, Architect
2010 Watermark Court Raleigh, NC 27612
Contact Person: Michael Morse
919-889-2305



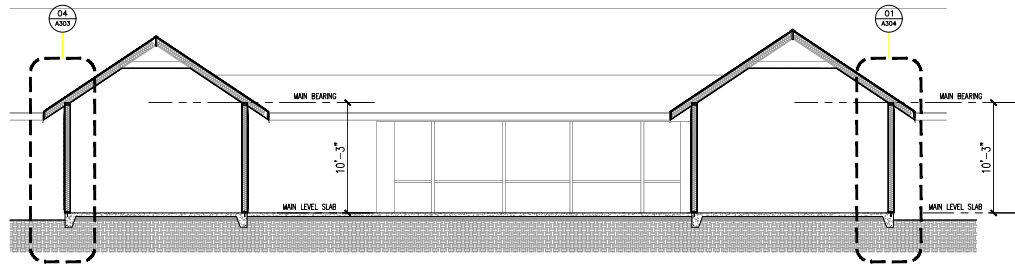
REID RESIDENCE
Fuquay-Varina, NC
New Single Family Construction

Revisions

2-17-25

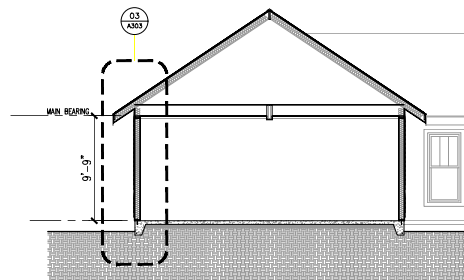
EXT. ELEVS.
A201

5 of 11
CONST. DOCS.



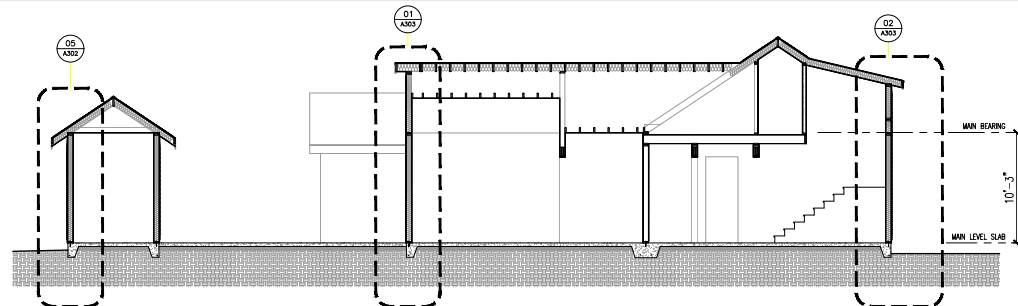
04 BUILDING SECTION

3/16"=1'-0"



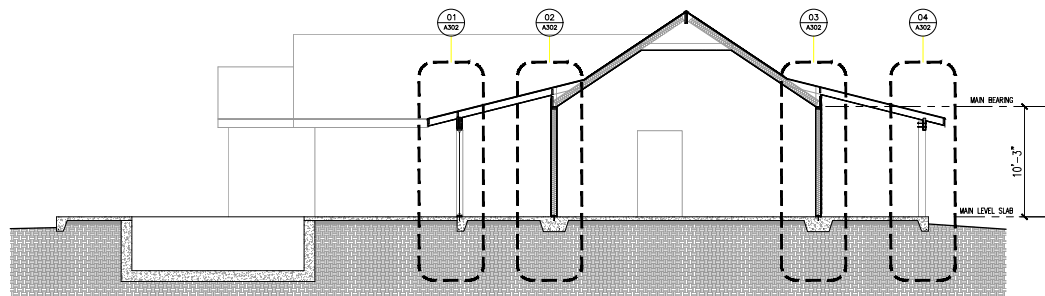
03 BUILDING SECTION

3/16"=1'-0"



02 BUILDING SECTION

3/16"=1'-0"



01 BUILDING SECTION

3/16"=1'-0"

Michael Morse, Architect
210 Westwood Court Raleigh, NC 27612
Contact Person: Michael Morse
(919) 889-2305



REID RESIDENCE
Fuquay-Varina, NC
New Single Family Construction

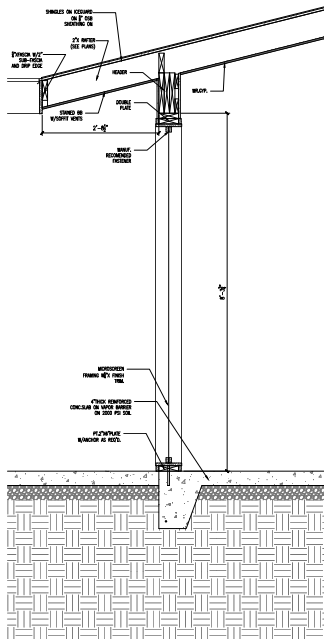
Revisions

2-17-25

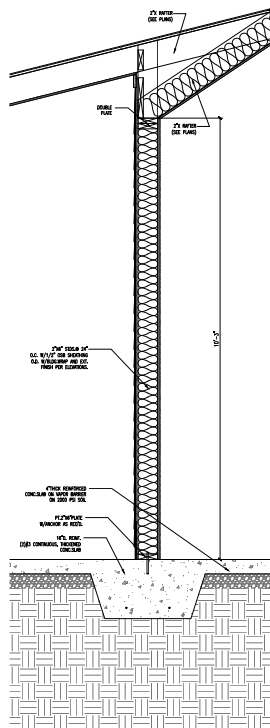
BUILDING SECTIONS
A301

6 of 11

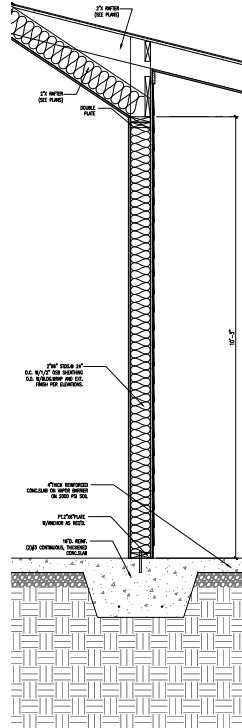
CONST.DOCS.



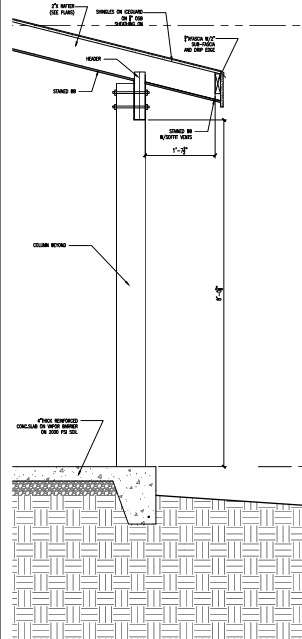
01 WALL SECT. AT SCREEN PRCH. 3/4"=1'-0"



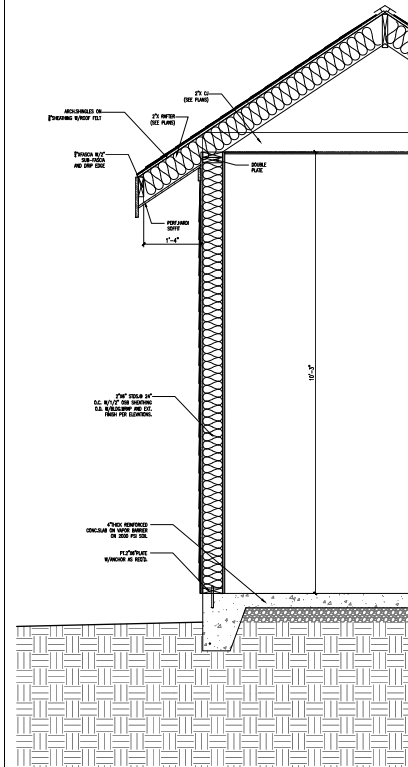
02 WALL SECT. AT LIVING 3/4"=1'-0"



03 WALL SECT.- ENTRY 3/4"=1'-0"



04 WALL SECT.-FRONT PORCH 3/4"=1'-0"



05 WALL SECT.-POOL HOUSE 3/4"=1'-0"

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2010 Veterans Court Raleigh, NC 27612
Contact Person: Michael Morse
919-889-2305



REID RESIDENCE
Fuquay-Varina, NC
New Single Family Construction

Revisions

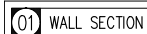
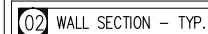
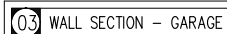
2-17-25

WALL SECTIONS

A302

7 of 11

CONST.DOCS.


$$3/4'' = 1' - 0''$$

$$3/4'' = 1' - 0''$$

$$3/4^{\circ}=1^{\circ}-0^{\circ}$$

$$3/4'' = 1' - 0''$$

REID RESIDENCE
Fuquay-Varina, NC

Revisions

2-17-25

WALL SECTIONS
A303

8 of 11

CONST.DOCS.



CONST.DOCS.



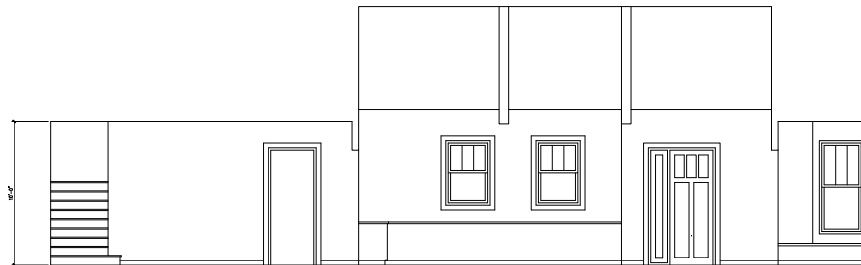
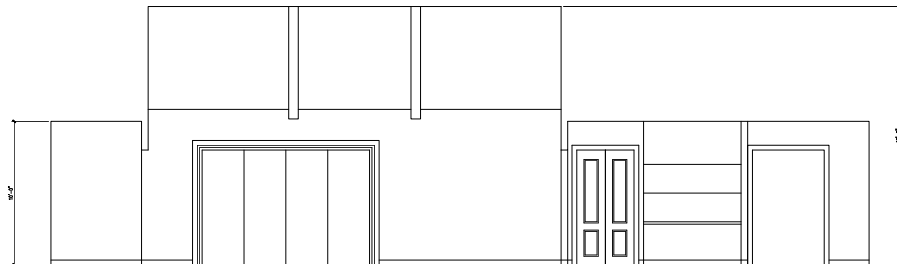
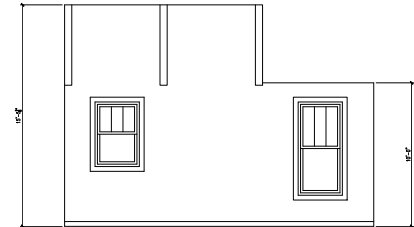
Revisions

2-17-25

INTERIOR ELEVATIONS

A401
10 of 11

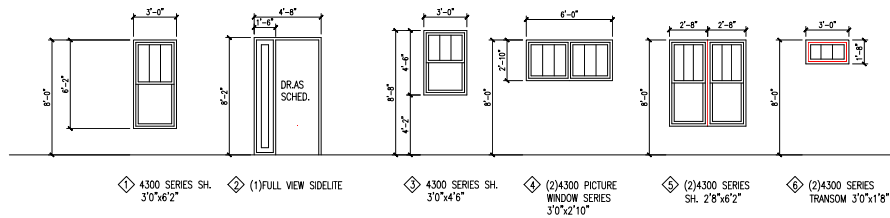
CONST.DOCS.


$$\frac{1}{4}'' = 1' - 0''$$

FINISH SCHEDULE

MAIN LEVEL						
RM.NO.	NAME	BASE	FLOOR	WALL	SURFACE	CEILING
101	X	X	X	X	X	X
102						
103						
104						
105						
106						
107						
108						
109						
110						
111						
112						
113						
114						
115						
116						
117						
118						
119						
120						
121						
122						
ATTIC LEVEL						
RM.NO.	NAME	BASE	FLOOR	WALL	SURFACE	CEILING
201	X	X	X	X	X	X

03 FINISH SCHEDULE



NOTE: SKYLITE MANUF: VELUX 2'X2' AND 2'X4'.

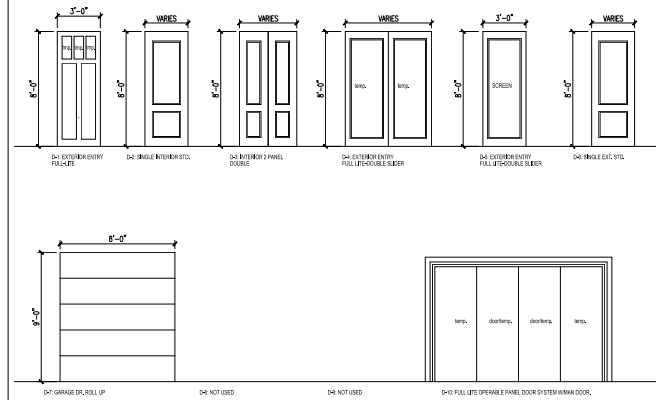
NOTE: ALL EXTERIOR GLAZING UNITS SHALL BE DOUBLE PANE-LOW E. 0.25 U FACTOR.

02 WINDOW SCHEDULE

1/4"=1'-0"

DOOR SCHEDULE

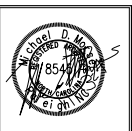
DR.NO.	TYPE	WIDTH	HEIGHT	DOOR MATL.	FRAME MATL.	GLASS	RATED	HARDWARE*	HW SET	KEY	REMARKS
MAIN LEVEL											
01	D1	3'0"	8'0"	SYNTH.	VINYL CLAD	TEMP.	-	EXTERIOR	X	X	(SEE EXT. ELEV.)
02	D2	2'8"	8'0"	SOLID CORE	WD	-	-	PASSAGE	X	X	-
03	D2	2'4"	8'0"	SOLID CORE	WD	-	-	PASSAGE	X	X	-
04	D3	(2)2'0"	8'0"	SOLID CORE	WD	-	-	CLOSET	X	X	-
05	D3	(2)2'0"	8'0"	SOLID CORE	WD	-	-	CLOSET	X	X	-
06	D2	2'8"	8'0"	SOLID CORE	WD	-	-	PASSAGE	X	X	-
07	D2	2'4"	8'0"	SOLID CORE	WD	-	-	PASSAGE	X	X	-
08	D2	2'8"	8'0"	SOLID CORE	WD	-	-	PASSAGE	X	X	-
09	NOT USED										
10	D2	2'4"	8'0"	SOLID CORE	WD	-	-	PASSAGE	X	X	-
11	D2	2'4"	8'0"	SOLID CORE	WD	-	-	PASSAGE	X	X	-
12	D4	(2)3'0"	8'0"	SYNTHETIC	VINYL CLAD	TEMP.	-	EXTERIOR	X	X	(SEE EXT. ELEV.)
13	D10	12'	8'0"	SEE MANUF. SPECS.	TEMP.	-	-	EXTERIOR	X	X	(SEE ELEVATIONS)
14	D5	3'0"	8'0"	SYNTHETIC	WD	SCREEN	-	EXTERIOR	X	X	(SEE EXT. ELEV.)
15	D3	(2)2'0"	6'8"	SOLID CORE	WD	-	-	CLOSET	X	X	-
16	D2	3'0"	8'0"	SOLID CORE	WD	-	-	PASSAGE	X	X	-
17	D6	3'0"	8'0"	SOLID CORE	WD	-	-	EXTERIOR	X	X	-
18	D7	8'0"	9'0"	SYNTHETIC	VINYL CLAD	-	-	EXTERIOR GARAGE	X	X	(SEE EXT. ELEV.)
19	D7	8'0"	9'0"	SYNTHETIC	VINYL CLAD	-	-	EXTERIOR GARAGE	X	X	(SEE EXT. ELEV.)
20	D6	3'0"	8'0"	SYNTHETIC	VINYL CLAD	-	-	EXTERIOR	X	X	-
21	NA										
22	D2	2'8"	8'0"	SOLID CORE	WD	-	-	PASSAGE	X	X	-
23	D10	(2)3'0"	8'0"	TEMP.GLASS	SS/MANUF.	TEMP.	-	EXTERIOR - DBL SLIDE	X	X	(SEE EXT. ELEV.)
24	D2	2'4"	8'0"	SOLID CORE	WD	-	-	PASSAGE	X	X	-
25	D6	2'8"	8'0"	SOLID CORE	WD	-	-	EXTERIOR	X	X	-
26	D6	3'0"	8'0"	FG	WD	-	-	EXTERIOR	X	X	-
27	NA										
28	GATE BY MANUF.										
29											
30											
31											
ATTIC LEVEL											
40											
41											
42											
43											



01 DOOR/INTERIOR FRAME SCHEDULE

1/4"=1'-0"

Michael Morse, Architect
2010 Westwood Court Raleigh, NC 27612
Contact Person: Michael Morse
(919) 889-2205



REID RESIDENCE
Fuquay-Varina, NC
New Single Family Construction

Revisions

2-17-25

DOOR, FRAME, WINDOW & FINISH SCHEDULES

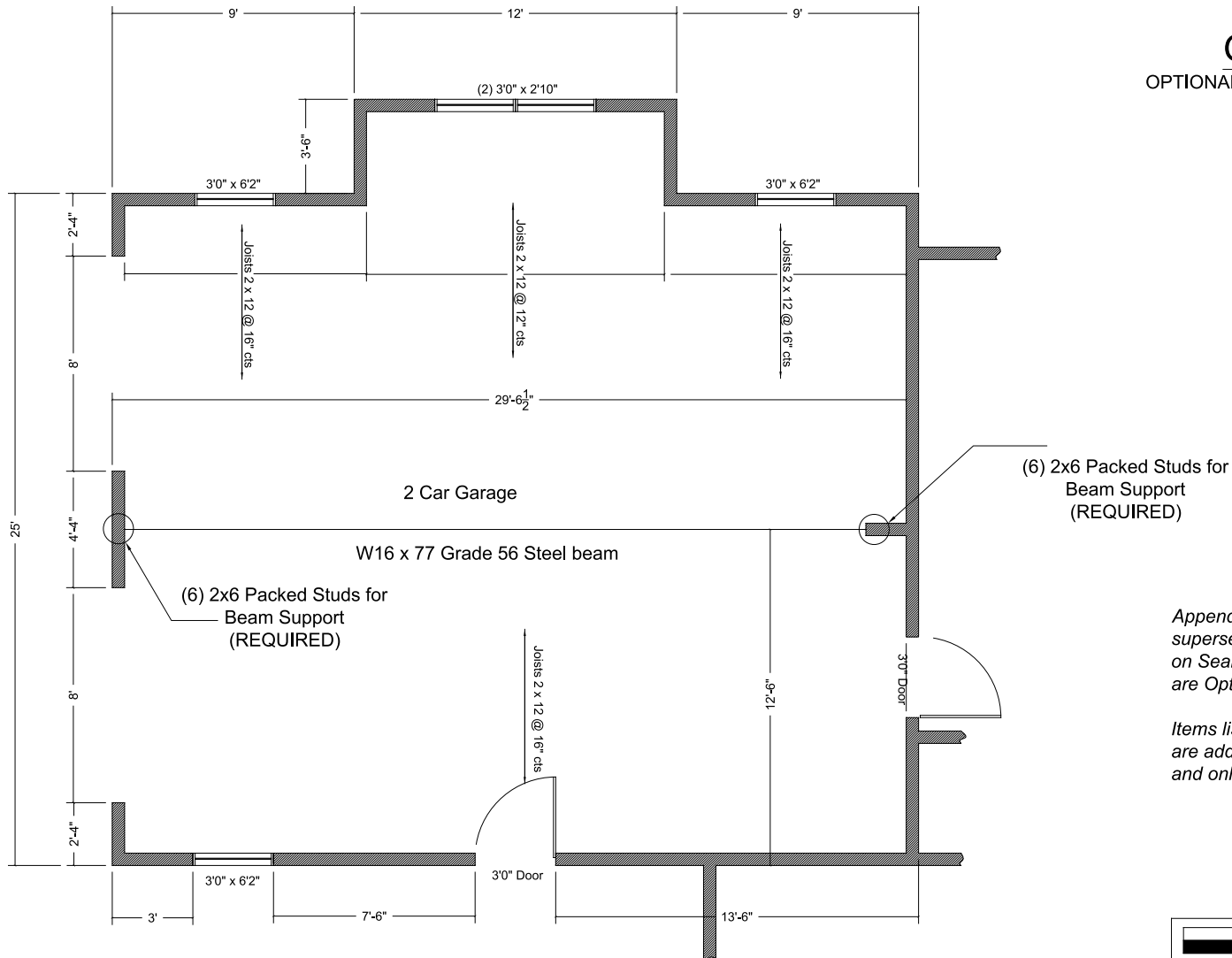
A501

11 of 11

CONST.DOCS.

GARAGE

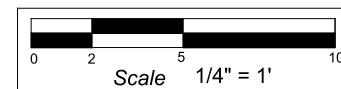
OPTIONAL ATTIC FLOOR FRAMING



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JOIST NOTATION
Joists 2 x 10 @ 16" cts
Indicates direction of joists
(Span length of Joists or Spanning direction)



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John Oerter, PE
Engineer Design Consultant, Permit Drawings
919-210-2798

Date 3-7-25

Sheet S1



BUILDING OPTION DETAILS

FOOTING REINFORCEMENT CHANGES REQUIRED

REQUIRED (2) # 5 Perimeter Footings
Sections 01, 04, 05 Page A302
Sections 02 - 04 Page A303
Section 01 Page A304

REQUIRED (4) # 5 Drop Footings
Sections 02, 03 Page A302
Section 01 Page A303

ROOF FRAMING REQUIRED

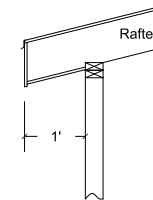
2 x 6 Collar Ties @ 48" cts, Positioned 3' to 4' below Ridge Peak

Optional Roof Overhang (Eaves)

Uses 12" Overhang

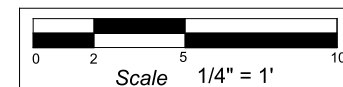
$\frac{1}{2}$ or $\frac{5}{8}$ " Sheathing, Felt & Shingles

Panel Clips required with rafter
spacing greater than 16"



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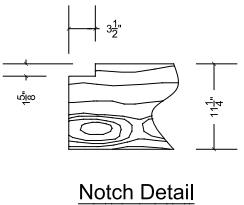
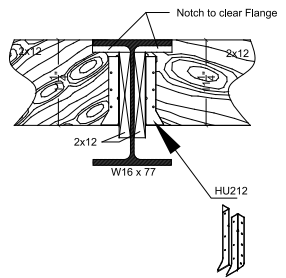
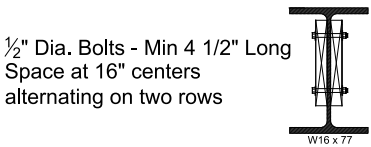
John Oerter, PE
Engineer Design Consultant, Permit Drawings
919-210-2798

Date 3-7-25

Sheet S2

STEEL BEAM DETAILS

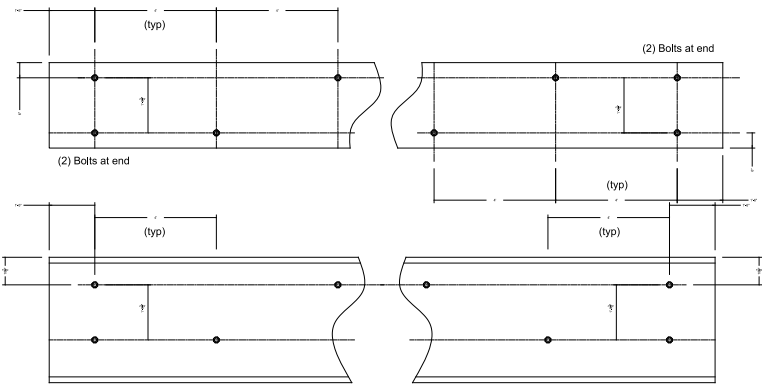
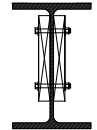
FLOOR JOIST CONNECTION
TO STEEL BEAM
REQUIRED



NOT TO SCALE

2x12

W16 x 77



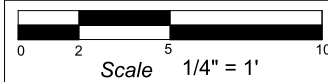
WEB HOLE PATTERN REQUIRED

5/8" Dia. Holes
Space at 16" centers
alternating on two rows

NOT TO SCALE

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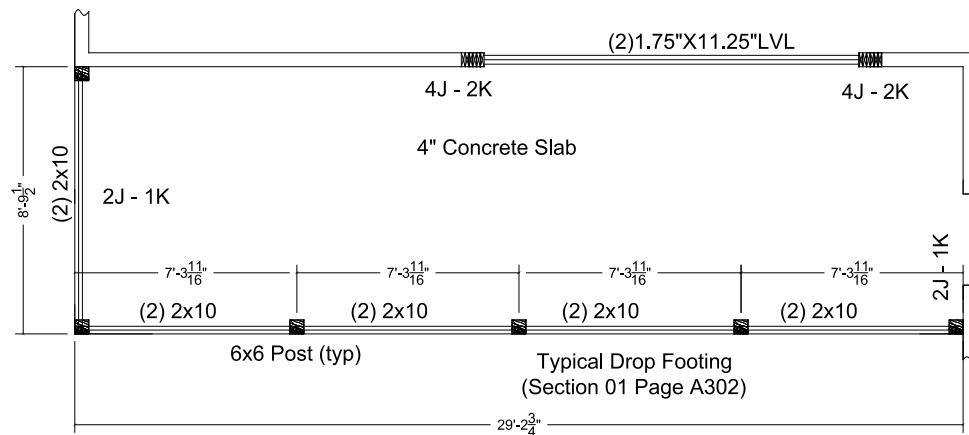
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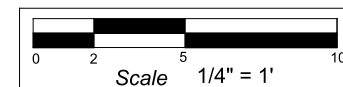
Sheet S3

SCREENED PORCH ALTERNATE WALL FRAMING



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Date 3-7-25

Sheet S4

STRUCTURAL NOTES

1. All construction shall conform to the the latest requirements of the North Carolina Building Code, in addition to all local codes and regulations.

2. Design Loads:

DESIGN LOADS	LIVE LOAD (psf)	DEAD LOAD (psf)	DEFLECTION	
			LL	TL
ALL FLOORS	40	10	L/360	L/240
ATTIC (w/ Walk Up stairs)	30	10	L/360	L/240
ATTIC (Pull Down Access)	20	10	L/240	L/180
ATTIC (No access)	10	5	L/240	L/180
EXTERNAL BALCONY	40	10	L/360	L/240
ROOF	20	10	L/240	L/180
ROOF TRUSS	20	20	L/240	L/180
WIND LOAD	BASED ON I@) MPF (Exposure B)			
SEISMIC	SEISMIC ZONES A< B< & C			

3. Minimum allowable soil pressure bearing pressure = 2000 psf

4. Concrete shall have a minimum 28 day strength of 3000 psi and a maximum slump of 5 inches unless noted otherwise.

5. Maximum depth of unbalanced fill against foundation walls to be less than 4'-0" without using sufficient wall bracing. Refer to section R404 of 2018 NC Residential Building Code for backfill limitations based on wall height, wall thickness, soil type, and unbalanced backfill.

6. All framing lumber shall be SYP #2 (Fb = 800 psi). All framing lumber exposed to the elements shall be treated material.

All LVL Lumber to be 1.75" wide nominal. Each single member Fb - 2600 psi, E = 1.9M psi (UNO)
All LSL lumber to be 3.5" wide nominal. Each single member Fb - 2325 psi, E = 1.6M psi (UNO)
All PSL lumber to be 3.5" wide nominal. Each single member Fb - 2400 psi, E = 1.8M psi (UNO)
PSL columns designed with a MAXIMUM height of 9'-0".

7. All load bearing headers shall be (2) 2x10 unless otherwise noted. All window headers shall be supported by (1) jack stud and (1) king stud at each end unless otherwise noted.
All other beams shall be supported by 2 studs or the amount of studs required for full bearing at each end unless otherwise noted. Point loads shall consist of 2 studs unless otherwise noted. All supports of 2 studs or more shall be transferred through each floor to the foundation. Refer to table R602.7(1) & (2) for Jack Stud requirements for header spans for interior and exterior load conditions unless specifically noted on plans.

8. All exterior wall to be sheathed with 7/16" wood structural panels fastened with 8D nails at 6" O.C. at edges and 12" O.C. at interior supports. Blocking shall be installed if less than 50 percent of the wall length is sheathed. Where blocking is required, all panels shall be fastened at 3" O.C. at edges and 6" O.C. at interior supports. Refer to section R602.3 for framing of all walls over 10'-0" in height.

Wall Bracing NCBC R602.3(3)

Required Wall Bracing Method and Connections - CS-WSP (Wood Structural Panel). Min Thickness 3/8" 6d Common Nails @ 6" O.C. along Panel Edges. 6d Common Nails @ 12" cts at Intermediate Supports.

9. All structural steel shall be ASTM A-36. All structural Steel W-Shapes (I-Beams) shall be ASTM A992 Grade 50. All steel angles, plates and C-Channels shall be ASTM A36. All Steel Pipe shall be ASTM A53 Grade B. Steel beams shall be supported at each end with a minimum bearing length of 3-1/2" and full flange width. Provide solid bearing from beam support to foundation. Beams shall be attached to each support with two lag screws (1/2" diameter and 4" long). Lateral support is considered adequate providing the joists are toe nailed to the sole plates and the sole plates are nailed or bolted to the beam flanges at a maximum spacing of 48" O.C.

10. Provide Anchor bolt Placement per section R403.1.6. 1/2" diameter Anchor bolts spaced at 6'-0" O.C. and placed 12" from the end of each plate section. Anchor bolts shall be placed at 3'-0" O.C. for basements. Anchor bolts shall extend 7 inches into concrete or masonry. The bolt shall be located in the middle third of the width of the plate. There shall be a minimum two anchor bolts per plate section.

11. Foundation drainage/damp proofing or water proofing per section 405 and 406 of 1018 NC Residential Building Code.

12. Uplift loads greater than 500 lbs. shall be continuously anchored to the foundation.

13. Provide a minimum of 500 lbs. uplift & lateral connection at top and bottom of porch columns (UNO)

14. Maximum masonry pier height shall not exceed four times its least horizontal dimension.

15. Wall and Roof cladding values:

Wall cladding shall be designed for a 28.0 pounds per square foot or greater positive and negative pressure.

Roof values both positive and negative shall be as follows:

45.5 lbs/sqft for roof pitches 0/12 to 2.25/12

34.8 lbs/sqft for roof pitches 2.25/12 to 7/12

21.0 lbs/sqft for roof pitches 7/12 to 12/12

** Mean roof height 30' or less.

13. For roof slopes from 2/12 through 4/12, Builder to install 2 layers of 15# felt paper.

14. It is the contractor's responsibility to verify all dimensions and square footage prior to construction.

15. The structure is adequate to withstand uplift forces on an open structure with a flat sloped roof from ASCE 7-16, Risk Category II wind speeds of 115 mph. The attachment of the roof is to include hurricane clips (Simpson) or straps placed at all rafters and roof supports.

GENERAL NOTES

1. It is the contractor's responsibility that all dimensions, roof pitches, and square footage are correct prior to construction. Engineer sealing plans is not responsible for any dimensioning, roof pitch, or square footage errors once construction begins.

2. All walls shown on the floor plans are drawn at 5" unless noted otherwise.

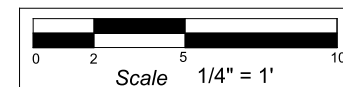
3. Stud wall design shall conform to North Carolina State Building Code requirements.

4. DO NOT SCALE PLANS. Drawing scale may be distorted due to copier imperfections.

5. All construction shall be in accordance with NORTH CAROLINA RESIDENTIAL STATE BUILDING CODE, 2018 edition.

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Sheet S5